

AGENDA NO. 6



PLANNING COMMISSION

STAFF REPORT

DATE: January 11, 2010

TO: Chairperson and Members of the Planning Commission

FROM: Development Services Department/Planning Division

SUBJECT: **CONSIDERATION OF A DEVELOPMENT PLAN (D-1-09) AND CONDITIONAL USE PERMIT (C-5-09) TO ALLOW FOR THE CONSTRUCTION OF THREE WAREHOUSE INDUSTRIAL BUILDINGS LOCATED ON LOTS 20-23 OF PACIFIC COAST BUSINESS PARK AND IS SITUATED WITHIN THE IVEY RANCH/RANCHO DEL ORO NEIGHBORHOOD – PACIFIC COAST BUSINESS PARK PHASE II – APPLICANT: AMB DFS PACIFIC COAST, LLC**

RECOMMENDATION

Staff recommends that the Planning Commission by motion:

- (1) Approve Development Plan (D-1-09) and Conditional Use Permit (C-5-09) by adopting Planning Commission Resolution No. 2010-P03 with findings and conditions of approval attached herein.

PROJECT DESCRIPTION AND BACKGROUND

Background: The subject site is within the Pacific Coast Business Park that was previously approved by the Planning Commission on August 22, 2005. Planning Commission Resolution No. 2005-P45 and Resolution No. 2005-P46 approved a Parcel Map (P-8-04), Development Plan (D-17-04) and an Environmental Impact Report for subdividing a 127-acre parcel into 30 industrial lots. The original Tentative Parcel Map and Development Plan established the original pad area and determined the criteria for each future phase and/or lot proposed development, which is regulated by the Pacific Coast Business Park Industrial Master Development Plan and the Oceanside Zoning Ordinance for Light Industrial (LI). The Zoning Ordinance and/or the General Plan regulations would apply where the adopted Master Development Plan is silent. As designed, this project either meets or exceeds the established development regulations. An application is pending to allow a greater amount of office development within the Pacific Coast Business Park. The current proposed project would not affect that request

as only a relatively small portion of the lots within the business park have been entitled and the number of vehicle trips for the development would not be exceeded by the proposed project.

Site Review: The project site is located at the south east corner of Windansea Street and Rocky Point Drive within the Ivey Ranch/Rancho Del Oro Neighborhood. The property is comprised of four vacant lots that total 15.24 acres. A boundary adjustment will be processed separately in order to merge lots 20 and 21, and adjust the lot line between lots 22 and 23. The site is relatively flat and has been pre-graded under the Pacific Coast Business Park grading plan No. 2597. Slope landscaping has been installed in accordance with the approved plans for the Industrial Master Development Plan for Pacific Coast Business Park. Sidewalks, interior street have been completed throughout the business park and utilities have been installed and stubbed at each lot. Several lots adjacent to the project have either been entitled or have buildings near completion.

The subject site is Zoned PD-1 (Rancho Del Oro Planned Development Industrial) and the General Plan Land Use Designation is S-1-84 (Rancho Del Oro Industrial). Industrial and Office uses are permitted within the (Rancho Del Oro Planned Development Industrial) district with an approval of a Development Plan.

Surrounding land uses adjacent to the site include undeveloped portions of the Pacific Coast Business Park Master Industrial Plan area to the north, south, and west, and to the east. This development of the industrial warehouse use is one of the many uses anticipated with the Pacific Coast Business Park Master Industrial Plan.

Project Description: The application consists of the following component a Development Plan (D-1-09), and Conditional Use Permit (C-5-09) as follows:

Development Plan (D-1-09) represents a request for the following:

- (a) To construct three industrial/warehouse buildings, totaling 272,630 square feet. After the proposed boundary adjustment, each of the three proposed buildings would be located on individual lots.

The proposed three industrial buildings would range from 56,000 to 131,000 square feet as listed in the table below:

Parcel	Parcel Size (Acres)	Building Size (sq. ft.)
Parcel A (Lots 20 & 21)	7.52	131,906
Parcel B (Lot 22)	4.99	83,862
Parcel C (Lot 23)	2.73	56,862

The building pads and all of the necessary infrastructure have been constructed with the previously approved parcel map. The finished grade of the building will be approximately 5 - 10 feet higher than the abutting streets of Rocky Point Drive and Windansea Street with the abutting streets. The average lot elevation is 391 feet above mean sea level. There would be minimal grading associated with the development of the buildings, with approximately 27,000 cubic yards of cut, 23,000 cubic yards of fill, and 4,000 cubic yards of export. The industrial buildings would be concrete tilt-up shell buildings with small office mezzanines within, and an open interior for future tenant improvements. The buildings would be surrounded by 493 parking stalls throughout the industrial site, which would exceed the 329 parking requirements as per the City of Oceanside's Zoning Ordinance requirements for industrial shell buildings. The extra 164 spaces have been located on permeable pavement for water quality purposes with an additional 25 spaces marked for carpool parking. Employee eating areas are strategically placed at the corners of the buildings to provide an area for employees to relax and enjoy the outdoors. Three proposed bike racks have been incorporated into the site and would promote alternative means of transportation for the employees and customers. Each building would have truck loading docks attached that have been designed to meet the city standards for truck loading facilities.

The proposed building's design is of a contemporary architecture style using neutral colors, with clear anodized mullion and blue reflective glazing as accents at the entries of the buildings. The building massing has been minimized using inset walls panels to add interest and variation to the wall planes. The project would be architecturally compatible in scale, materials, and colors with some of the neighboring industrial buildings and with the designs specified in the Pacific Coast Business Park Development Plan.

Conditional Use Permit (C-5-09) represents a request for the following:

- (a) The proposed project is located within an approved business park with a Light Industrial zoning designation. Various industrial uses are permitted in this zoning designation, including warehousing facilities under 50,000 square feet. Because the proposed buildings are greater than 50,000 square feet, a Conditional Use Permit is being requested as required by the industrial zoning regulations (Section 1320). The Conditional Use Permit is necessary to ensure that parking, loading facilities, landscaping, and the circulation on-site meets all current city regulations, and would not impact the property; as well as, the adjoining neighbors.

The project is subject to the following Ordinances and City policies:

1. General Plan
2. Zoning Ordinance
3. Land Use Compatibility
4. California Environmental Quality Act (CEQA)

ANALYSIS

KEY PLANNING ISSUES

1. **General Plan conformance**

The General Plan Land Use Map designation on the subject property is Rancho del Oro Specific Plan (S-1-84). The proposed project is consistent with this designation and the goals and objectives of the City's General Plan as follows:

A. Land Use Element I

Goal 1.11 Balanced Land Use

Objective: To develop and use lands for the long-term provision of a balanced, self-sufficient, and efficient community.

Policy A: The City shall establish and enforce a balanced distribution of land uses to organize the City in a hierarchy of activity centers and land use so as to foster a sense of neighborhood, community, and regional identity.

Policy B: The City shall analyze proposed land uses for assurance that the land use will contribute to the proper balance of land uses within the community or provide a significant benefit to the community.

The proposed three industrial buildings would provide uses that would foster economic activity, and employment in the Rancho del Oro Specific Plan area. The industrial buildings are consistent with those approved and anticipated within the Pacific Coast Business Park.

Policy C: The City shall continuously monitor the impact and intensity of land use and land use distribution to ensure that the City's circulation system is not overburdened beyond design capacity.

The proposed project is consistent with uses approved for the Pacific Coast Business Park. Therefore, no significant impacts to traffic would result from the construction and operation of the proposed industrial warehouse and office buildings.

The site design provides sufficient off-street parking associated with the warehouse use. A total of 493 parking spaces, 17 of which are handicap, will be available for customers and employee use. Based on the industrial warehouse and office building square footage, a total of one parking space per 1,000 square feet of building area is required for the warehouse storage use, and one parking space per 300 square feet is required for office use. As proposed, the project provides a total of 493 parking spaces, which exceeds the required total 329

potential parking spaces by 164 spaces. The 164 excess parking spaces are needed to meet the future demand for multi-tenants and office uses. The 164 excess spaces are permeable and would assist in the treatment of urban run-off from the site.

B. Land Use Element II

Objective 2.1 Industrial Development: To promote industries which are consistent with community enhancement and provide stable tax bases and a balance of employment opportunities.

Policy A: Industrially designated lands shall be devoted to industrial uses for the preservation of the City's economic future, employment opportunities, and general welfare.

Policy C: Ancillary commercial, office, and recreational uses may be permitted when clearly oriented to support the industrial development and serve its population.

The proposed warehouse and office use is consistent with the uses approved for the Pacific Coast Business Park. It is anticipated that the proposed industrial buildings will benefit the City of Oceanside by providing services and jobs to many of the residents living in the area, and employment.

2. Zoning Ordinance Compliance

This project is located within the Rancho Del Oro Industrial Master Development Plan area and as designed, complies with the requirements of the Master Plan. The following table summarizes proposed and applicable development standards for the project site:

	MINIMUM REQUIRED (per Rancho Del Oro Industrial Master Development Plan)	PROPOSED
LOT COVERAGE	50% (max)	41.1%
FRONT YARD	15 foot min.	60 feet
CORNER SIDE	15 foot min.	40 feet
SIDE YARD	5 foot min.	30 feet
REAR YARD	0 foot min.	0 feet
PARKING	329 spaces	• 493spaces

	MINIMUM REQUIRED (per Rancho Del Oro Industrial Master Development Plan)	PROPOSED
BUILDING HEIGHT	45 foot max.	37.2 foot max.
LANDSCAPING	15% of yard area	17 %

The proposed project meets all applicable requirements of the Rancho Del Oro Industrial Master Development Plan as denoted above, and would exceed the required number of parking spaces required for the proposed building. No variances or modifications to the Master Development Plan are required as part of the proposed project.

3. Land Use Compatibility with surrounding developments

The Pacific Coast Business Park Parcel Map is located within the Rancho del Oro Specific Plan (S-1-84) and Planned Development (PD-1) zoning district. Listed below is a table that shows that the proposed project is compatible with the surrounding land uses:

LOCATION	GENERAL PLAN	ZONING	LAND USE
Subject Property:	S-1-84 (Rancho Del Oro Specific Plan)	PD-1 PCBP Master Development Plan	Light Industrial
North of Subject Property	S-1-84 (Rancho Del Oro Specific Plan)	PD-1 PCBP Master Development Plan	Approved Medical Office
East of Subject Property:	S-1-84 (Rancho Del Oro Specific Plan)	PD-1 PCBP Master Development Plan	Undeveloped Light Industrial
South of Subject Property:	S-1-84 (Rancho Del Oro Specific Plan)	PD-1 PCBP Master Development Plan	Developed and Undeveloped Light Industrial
West of Subject Property:	S-1-84 (Rancho Del Oro Specific Plan)	PD-1 PCBP Master Development Plan	Undeveloped Light Industrial

DISCUSSION

Issue: Project Compatibility with the Existing Developed and Undeveloped Areas: The proposed three industrial shell buildings would be compatible with the goals and objectives of the General Plan and the intentions of the Pacific Coast Business Park Specific Plan. The neighboring industrial properties are primarily vacant, but are permitted for similar industrial type developments as the proposed development.

The approved adjacent medical offices would be similar tilt-up construction as this proposed three-unit development. The proposed project would be an important part of the City's future economic base and provide for a diversity of job opportunities close to residential developments.

Recommendation: Staff finds that the overall design of the project is compatible with the existing and anticipated development in the area. No known opposition to the project has been noted. Staff supports the project as submitted by the applicant, subject to conditions of approval contained within the draft resolution.

ENVIRONMENTAL DETERMINATION

Pursuant to the California Environmental Quality Act of 1970 (CEQA), and State Guidelines thereto; an Environmental Impact Report (EIR) was prepared for the Pacific Coast Business Park Master Developments Plan with the Initial Tentative Parcel Map (P-8-04) and Development Plan (D-17-04) that created the Pacific Coast Business Park, and in accordance with CEQA guidelines Section 15162 the proposed project to construct industrial/warehouse buildings on lots 20-23 of Pacific Coast Business Park will not result in substantial changes in the original project, will not involve substantial changes to the circumstances for which the project was originally undertaken, and no new information of substantial importance not known at the time of the initial CEQA review has been identified; therefore, the City serving as the lead agency has determined that further environmental review is not required at this time.

PUBLIC NOTIFICATION

Pursuant to Article 41 of the Oceanside Zoning Ordinance, a Legal notice was published in the North County Times and notices were sent to property owners of record within a 1,500-foot radius of the subject property, individuals and/or organizations requesting notification, applicant and other interested parties. Copies of this agenda item have been mailed to the applicant and their representatives.

SUMMARY

The proposed Development Plan (D-1-09) and Conditional Use Permit (C-5-09), as designed and conditioned, is consistent with the requirements of the Zoning Ordinance, the Rancho del Oro Specific Plan, and the land use policies of the General Plan. The project has been designed and conditioned to meet or exceed all applicable development standards. As such, staff recommends that the Planning Commission approve the project based on the findings and subject to the conditions contained in the attached Resolution. Staff recommends that the Planning Commission:

- Adopt Planning Commission Resolution No. 2010-P03 approving Development Plan (D-1-09) and Conditional Use Permit (C-5-09) with findings and conditions of approval attached herein.

PREPARED BY:



Scott Nightingale
Acting Associate Planner

SUBMITTED BY:



Jerry Hittleman
City Planner

JH/SN/fil

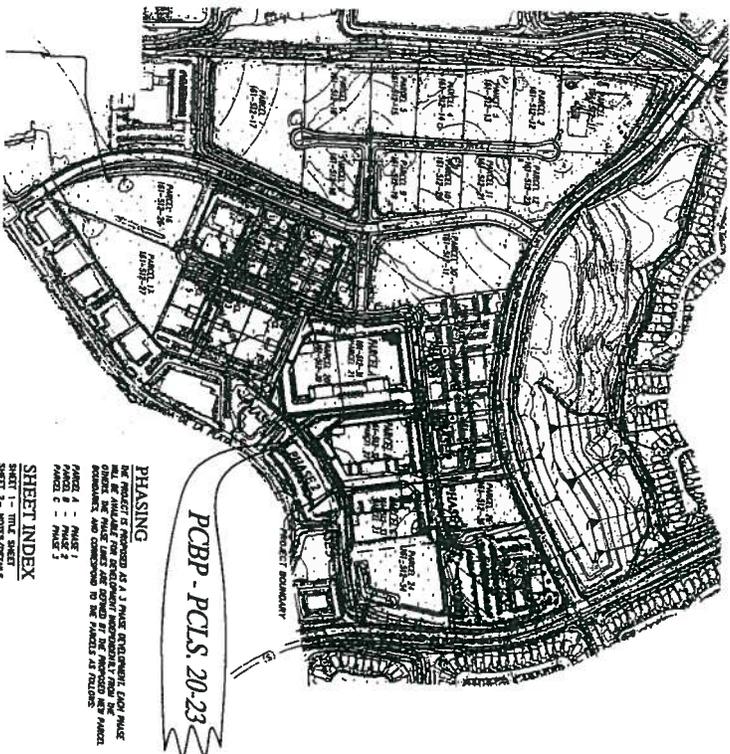
Attachments:

1. Site Plan and Elevations
2. Planning Commission Resolution No. 2010-P03

SITE DEVELOPMENT PLAN PACIFIC COAST BUSINESS PARK - PARCELS 20-23 CITY OF OCEANSIDE

LEGEND

- PROJECT BOUNDARY
- EXISTING LOT LINES
- EXISTING RIGHT-OF-WAY
- EXISTING WATER LINE
- EXISTING STORM LINE
- EXISTING GAS LINE
- EXISTING CENTER LINE
- EXISTING CURB & GUTTER
- EXISTING CONDUIT ALONG
- EXISTING CONDUIT ALONG
- PROPOSED SPOT ELEVATION
- PROPOSED SEWER LINE
- PROPOSED SEWER MANHOLE
- PROPOSED WATER LINE
- PROPOSED FIRE SERVICE
- PROPOSED STORMWATER
- PROPOSED PERFORATED WATER MAIN
- PROPOSED SANITARY MANHOLE
- PROPOSED METRIC DRIVE
- PROPOSED PAVEMENT BLOCK OR SIGN-ALP
- PROPOSED 8'x4' REINFORCED UNIT
- PROPOSED CATCH BASIN
- PROPOSED BROWNSHAW ARROW 4x4-800
- PROPOSED CURB & GUTTER C-2
- PROPOSED FIRE HYDRANT W-1
- EXISTING FIRE HYDRANT
- EXISTING STREET LIGHT
- PROPOSED RETAINING WALL 6'x8' BATTERY 22'
- (MAXIMUM 7' OVER 4' HIGH)
- PROPOSED AT 1' GRADE (LANDING AREA)
- PROPOSED SAND/GRANULATE LANDING AREA
- PROPOSED STORMWATER PLANTER AREA 1/2" @ 1/2"
- PROPOSED AC PAVEMENT
- PROPOSED PERFORATE MANHOLE
- PROPOSED ROOF DRAIN LOCATION
- PROPOSED STORMWATER CATCHMENT (1'-9")
- PROPOSED FCC BROWNSHAW CATCHER (4'-8")



LEGAL DESCRIPTION:

BEING A BOUNDARY ADJUSTMENT OF PARCELS 20, 21, 22 AND 23 OF BLOCK 2, LOT 2, SUBDIVISION 1, MAP 111, AS SHOWN ON THE CITY OF OCEANSIDE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, CALIFORNIA, BOOK 111, PAGE 111.

OWNER/DEVELOPER:

AAA 075 PACIFIC COAST LLC
C/O DELAWARE UNITED LIABILITY COMPANY
1000 W. 10TH STREET, SUITE 200
OCEANSIDE, CA 92054-4427
PHONE (619) 470-7110

OWNER/DEVELOPER:

SCOTT BROWN ENGINEERING

REFERENCE DISTANCE	DATE OF REGISTRATION	BOOK	PAGE
C-2001	01-27-01	13223	AC GROSS
M-2001	01-27-01	13223	AC GROSS
P-2001	01-27-01	13223	AC GROSS
D-2001	01-27-01	13223	AC GROSS



dhaling
ENGINEERING GROUP
1000 W. 10TH STREET, SUITE 200
OCEANSIDE, CA 92054-4427
PHONE (619) 470-7110

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PLANNING DEPARTMENT
SHEET 1 OF 5

ENGINEER OF WORK:

dhaling

1155 AVENUE 68
OCEANSIDE, CA 92054
PHONE (619) 470-7110

REPRESENTATIVE:

THE OCEANSIDE PLANNING GROUP
1000 W. 10TH STREET, SUITE 200
OCEANSIDE, CA 92054
PHONE (619) 470-7110

GENERAL NOTES:

- TOTAL SITE AREA: 13,223 AC GROSS
- ZONING: EXISTING: PD-1 (PUB. SPECIFIC PLANNING, LIGHT INDUSTRIAL)
- EXISTING GENERAL PLANNING GROUP: PD-1 (PUB. SPECIFIC PLANNING, LIGHT INDUSTRIAL)
- PROPOSED GENERAL PLANNING GROUP: PD-1 (PUB. SPECIFIC PLANNING, LIGHT INDUSTRIAL)
- EXISTING LAND USE: VACANT
- PROPOSED LAND USE: LIGHT INDUSTRIAL
- TOTAL NUMBER OF PARCELS EXISTING: 4; PROPOSED: 3 (PER BOUNDARY ADJUSTMENT)
- ASSESSOR'S PARCEL NUMBER: 161-012-20, 31, 32 & 33
- NEIGHBORHOOD PLANNING AREA: HWY/VANCOUVER DEL. DR. DR.

GENERAL DESIGN NOTES:

- ALL STREET DESIGN CONFORM TO THE CITY OF OCEANSIDE SPECIFICATIONS AND AS REQUIRED BY THE CITY OF OCEANSIDE ENGINEER.
- EXISTING STREETS AND WATER TO BE PRESERVE.
- ALL PROPOSED UTILITIES TO BE UNDERGROUND.
- SLOPE RATIOS SHALL BE 2:1 MIN.
- CONDUIT INTERVALS: 15 FT.
- CONDUIT QUANTITIES: 21,000 FT. OF 2" CONDUIT; 12,000 FT. OF 1.5" CONDUIT; 10,000 FT. OF 1" CONDUIT.
- SETBACKS: FRONT YARD DRIVE: AVERAGE DEL. 100 FT. MINIMUM DEL. 100 FT.; SIDE DRIVE: 10 FT. MINIMUM DEL. 10 FT.; REAR: 10 FT. MINIMUM DEL. 10 FT.; PERIMETER: 10 FT. MINIMUM DEL. 10 FT.
- PERCENT OF PROJECT IN SHEETS/PANNING: 43.2%
- LANDSCAPE AREA REQUIRED: 17,245.
- SOURCE OF TOPOGRAPHY: DUDMAN TOPOGRAHY 7-21-01-03
- PRODUCT IS NOT WITHIN A 100 YEAR FLOOD PLAIN.
- REFER TO HYDROLOGY AND HYDRAULIC REPORT PREPARED BY BVA INC. DATED AUGUST 11, 2001.
- REFER TO STORMWATER IMPLICATION PLAN PREPARED BY BVA INC. DATED AUGUST 11, 2001.
- REFER TO RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN 2001 CITY OF OCEANSIDE SPECIFICATIONS FOR STREETS AND UTILITIES BY OCEANSIDE UTILITIES DEPARTMENT 4-1-00 AND 6-23-00 PREPARED BY BVA INC.
- PRODUCT AS PROPOSED WILL BE LAIN CHANGED AS ONE PHASE.
- SEPARATE DISTANCE: ALL PROPOSED OVERHEAD INTERFERENCES HAVE A 35' (9M) CLEARANCE FROM UTILITIES.
- SEE SHEET 2 FOR UTILITIES.

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SEP 1 2002
PLANNING DEPARTMENT
SHEET 1 OF 5

FIRE DEPARTMENT/FIRE PREVENTION

1. A MINIMUM FIRE FLOW OF 200 SQUARE FEET SHALL BE PROVIDED.
2. THE SIZE OF FIRE HYDRANT UNITS SHALL BE 2-1/2" x 1-1/2" x 1".
3. ALL FIRE HYDRANT ACCESS ROADS SHALL BE LOCATED ON THE FIRE PLAN.
4. THE FIRE HYDRANTS SHALL BE INSTALLED AND TESTED PRIOR TO PLACING ANY CONCRETE/SLAB WORK ON THE JOB SITE.
5. PROVIDE ONE-SIDE (MINIMUM) AND LAND FLOW.
6. OBTAIN PLANS OF UNDERGROUND FIRE SERVICE FROM THE FIRE DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
7. ALL FIRE HYDRANT ACCESS ROADS SHALL BE PAVED TO THE CENTERLINE OF THE ROAD AND SHALL BE MAINTAINED AS SUCH.
8. ALL UTILITY ACCESS ROADS SHALL BE PAVED TO THE CENTERLINE OF THE ROAD AND SHALL BE MAINTAINED AS SUCH.
9. A FIRE APPARATUS ACCESS ROAD SHALL BE LOCATED AT THE POINT OF THE FIRE APPARATUS ACCESS ROAD TO THE FIRE DEPARTMENT'S ACCESS ROAD AND SHALL BE MAINTAINED AS SUCH.
10. FIRE DEPARTMENT EMERGENCY ACCESS MUST NOT EXCEED 15 FEET.
11. WHEN FIRE SUPPRESSION SYSTEMS ARE REQUIRED, THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODE OF CONSTRUCTION, SEC. 902, UNDERGROUND FIRE PROTECTION.
12. BUILDINGS SHALL MEET ALL APPLICABLE CODES AND REGULATIONS.
13. ACCORDANCE WITH THE LATEST FIRE CODE OF CONSTRUCTION, UNDERGROUND FIRE PROTECTION, SHALL BE MAINTAINED AS SUCH.
14. BUILDINGS SHALL BE LOCATED ON THE PARCEL PERMITS AND LOTS FROM THEM.
15. BUILDINGS SHALL BE MAINTAINED AS SUCH.
16. BUILDINGS SHALL BE MAINTAINED AS SUCH.
17. BUILDINGS SHALL BE MAINTAINED AS SUCH.
18. BUILDINGS SHALL BE MAINTAINED AS SUCH.
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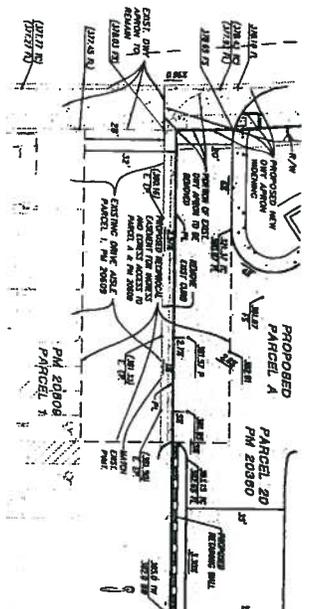
WATER UTILITY NOTES

1. ALL WATER UTILITY SYSTEMS SHALL BE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY AND SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE CALIFORNIA WATER SUPPLY CODE.
2. NO WATER UTILITY SYSTEMS SHALL BE LOCATED WITHIN THE PROPERTY OWNER'S RIGHT-OF-WAY.
3. A SEPARATE RESERVATION LETTER AND APPROVED SECTION NUMBER SHALL BE OBTAINED FROM THE WATER UTILITY DEPARTMENT PRIOR TO CONSTRUCTION.
4. ALL WATER UTILITY SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE CALIFORNIA WATER SUPPLY CODE.
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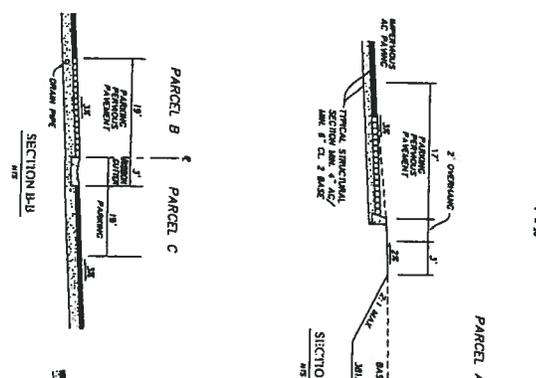
SITE DEVELOPMENT PLAN

PACIFIC COAST BUSINESS PARK - PARCELS 20-23

CITY OF OCEANSIDE



DETAIL: BUILDING 1 & PARK ENTRY DETAIL



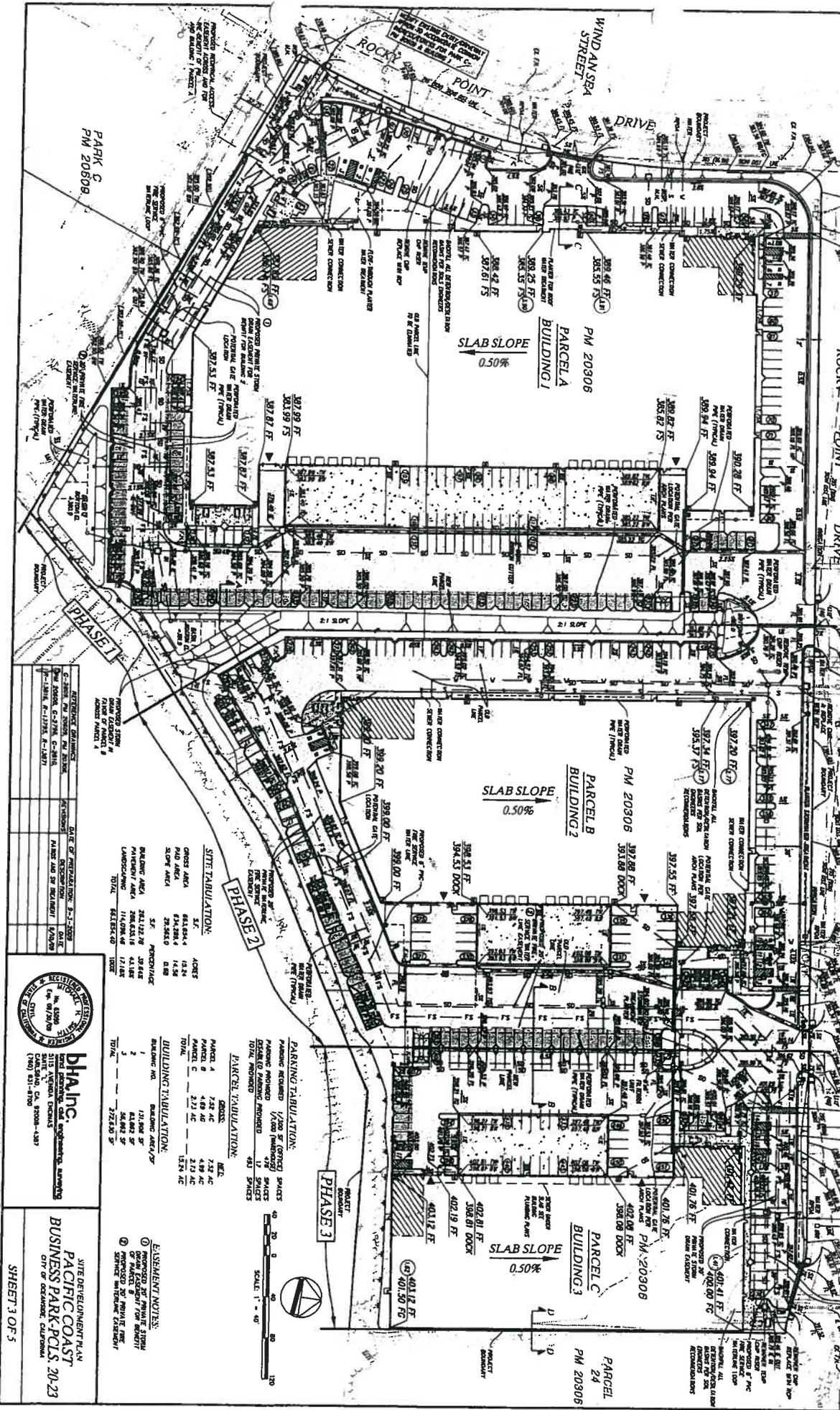
DATE OF REVISION	DESCRIPTION	DATE
01/20/20	ISSUED FOR PERMITS	01/20/20
01/20/20	ISSUED FOR PERMITS	01/20/20
01/20/20	ISSUED FOR PERMITS	01/20/20
01/20/20	ISSUED FOR PERMITS	01/20/20



bha, Inc.
 CIVIL ENGINEERING
 1515 AVENUE 200
 OCEANSIDE, CA 92054-4137
 (760) 531-8700

SITE DEVELOPMENT PLAN
 PACIFIC COAST
 BUSINESS PARK - P.CLS. 20-23
 CITY OF OCEANSIDE, CALIFORNIA

SITE DEVELOPMENT PLAN PACIFIC COAST BUSINESS PARK - PARCELS 20-23



SITE TABULATION:

GROUP AREA	S.F.	ADJERS
GROUP AREA 1	66,604.4	14.84
PAD AREA	13,288.4	14.84
SCAPE AREA	20,345.0	0.00
BUILDING AREA	281,122.18	20.848
PARKING AREA	208,628.18	41.188
LANDSCAPE AREA	17,188	0.00
TOTAL	623,576.24	100.88

PARKING TABULATION:

GROUP	NO. OF SPACES
GROUP A	732
GROUP B	519
GROUP C	232
TOTAL	1483

BUILDING TABULATION:

GROUP	BUILDING AREA/SF
GROUP A	121,808 SF
GROUP B	64,882 SF
GROUP C	95,432 SF
TOTAL	282,122 SF

DATE OF PREPARATION: 8-2-2009

NO.	DESCRIPTION	DATE
1	PRELIMINARY PLAN	12/10/08
2	FINAL PLAN	8/2/09

Blainc.
 5115 AVENUE 200
 SUITE 100
 ROCKY POINT, CA 92083-1337
 (760) 831-8700

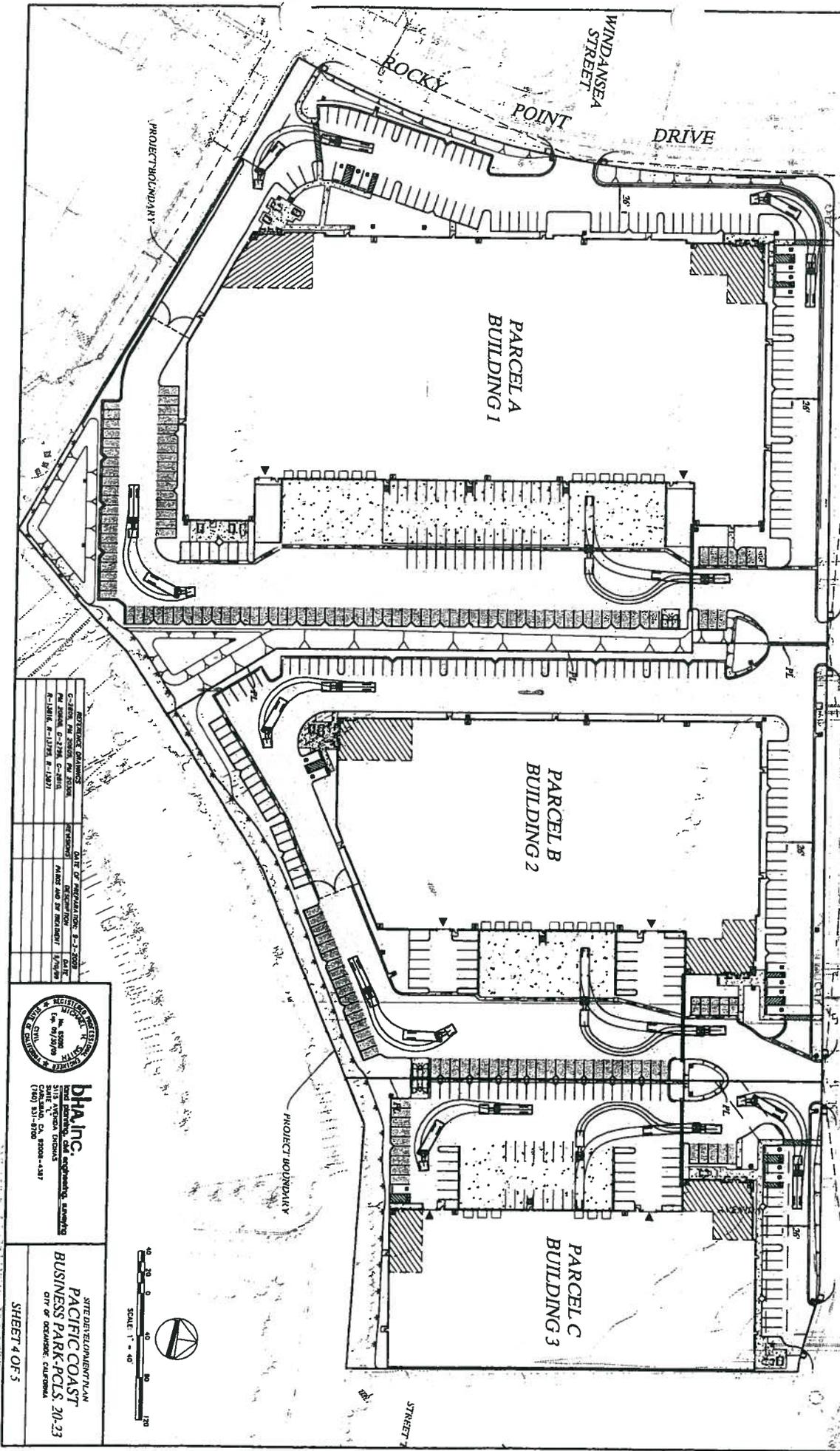
**SITE DEVELOPMENT PLAN
 PACIFIC COAST
 BUSINESS PARK - P.C.S. 20-23
 CITY OF OCEANVIEW, CALIFORNIA**

SHEET 3 OF 5

SITE DEVELOPMENT PLAN

PACIFIC COAST BUSINESS PARK - PCLS. 20-23

HEAVY VEHICLE TURNING TEMPLATES



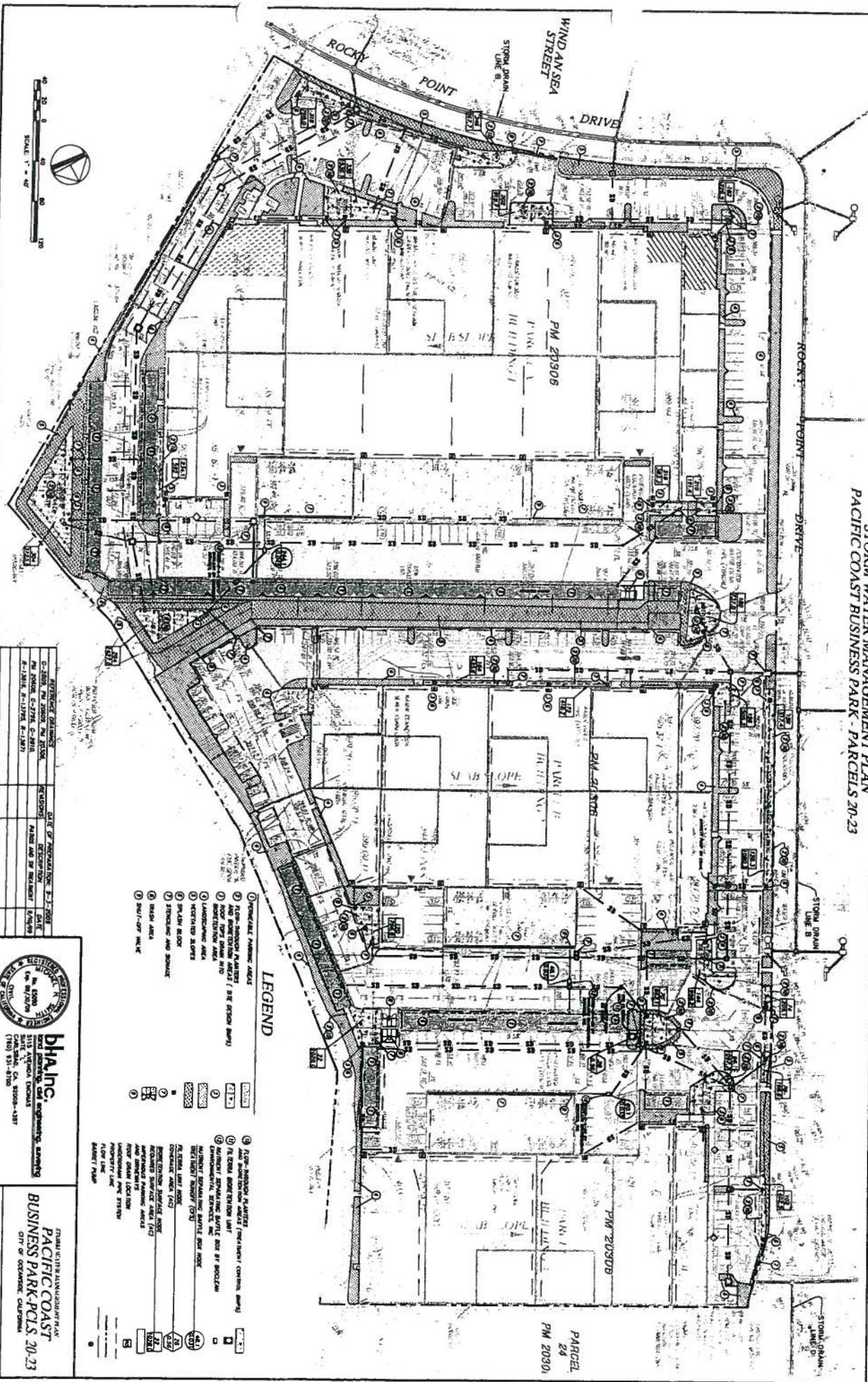
DATE OF REVISION	DESCRIPTION	DATE
0-2-2004	PRELIMINARY	12/14/03
0-2-2004	REVISED	1/14/04
0-2-2004	REVISED	2/14/04
0-2-2004	REVISED	3/14/04
0-2-2004	REVISED	4/14/04
0-2-2004	REVISED	5/14/04
0-2-2004	REVISED	6/14/04
0-2-2004	REVISED	7/14/04
0-2-2004	REVISED	8/14/04
0-2-2004	REVISED	9/14/04
0-2-2004	REVISED	10/14/04
0-2-2004	REVISED	11/14/04
0-2-2004	REVISED	12/14/04

bha, inc.
 bha, inc. is a registered professional engineering and architectural firm.
 5115 AVENUE 108
 SUITE 100
 IRVINE, CA 92618-4347
 (714) 831-8700

SITE DEVELOPMENT PLAN
 PACIFIC COAST
 BUSINESS PARK - PCLS. 20-23
 CITY OF OCEANSIDE, CALIFORNIA

SHEET 4 OF 5

STORM WATER MANAGEMENT PLAN
PACIFIC COAST BUSINESS PARK - PARCELS 20-23



DATE OF REVISION	DESCRIPTION	BY	DATE
0-20-20	PM 20300, PM 20305, PM 20306	ASB	02/20/20
0-27-20	PM 20306, C-2700	ASB	02/27/20
0-27-20	PM 20306, C-2700	ASB	02/27/20
0-27-20	PM 20306, C-2700	ASB	02/27/20



bha, Inc.
 3115 AVENUE 108
 SUITE 100
 COSTA MESA, CA 92626-4397
 (714) 531-8700

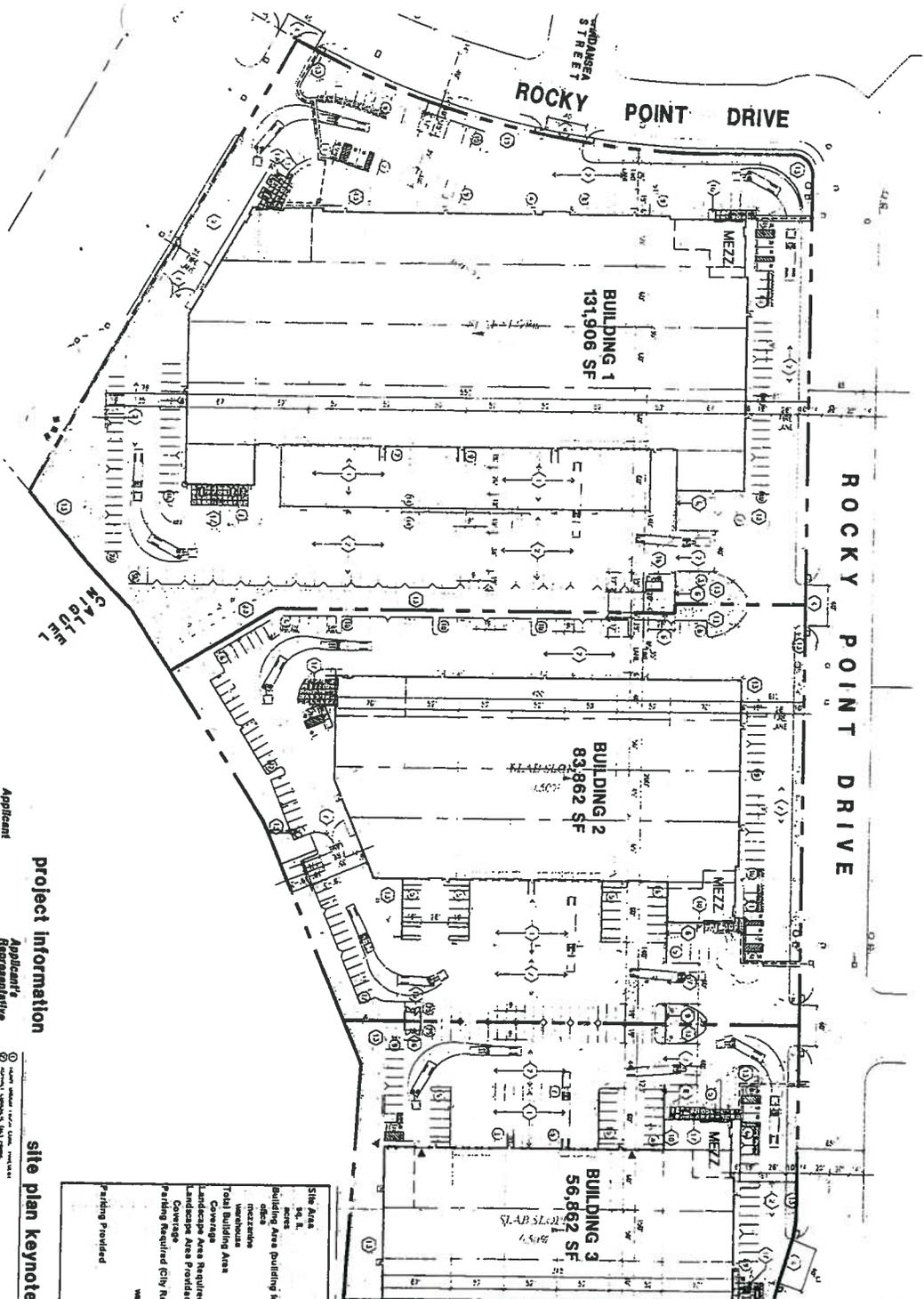
DESIGNED BY: LANDSCAPE ARCHITECT
PACIFIC COAST
 BUSINESS PARK - PCLs 20-23
 CITY OF OCCIDENT, CALIFORNIA

SHEET 5 OF 5

- LEGEND**
- ① PERMITTED PARKING AREAS
 - ② DISPERSED PARKING AREAS (SEE OTHER SHEETS)
 - ③ ROOF TOP DRAIN AND
 - ④ LANDSCAPING AREA
 - ⑤ VERTICALLY CURVED
 - ⑥ STORMWATER STORAGE
 - ⑦ SAND BASIN
 - ⑧ SWIFT-FLOW VALVE

- ⑨ FLOW RESTRICTION DEVICES (TREATMENT CONTROL, BARRIERS)
- ⑩ FLOW RESTRICTION DEVICES (TREATMENT CONTROL, BARRIERS)
- ⑪ FLOW RESTRICTION DEVICES (TREATMENT CONTROL, BARRIERS)
- ⑫ FLOW RESTRICTION DEVICES (TREATMENT CONTROL, BARRIERS)
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- ㊾ FLOW RESTRICTION DEVICES (TREATMENT CONTROL, BARRIERS)
- ㊿ FLOW RESTRICTION DEVICES (TREATMENT CONTROL, BARRIERS)

PARCEL
24
PM 20301



vicinity map

tabulation

Site Area	Building 1	Building 2	Building 3	Total
Site Area, sq. ft.	347,402	317,177	118,018	682,598
Building Area Building Footprint, sq. ft.	136,800	66,642	53,862	257,304
mezzanine	5,000	5,000	5,000	15,000
warehouse	123,000	71,000	3,000	197,000
Total Building Area	131,800	81,642	58,862	272,304
Coverage	40.3%	38.9%	47.3%	41.1%
Landscape Area Required (15%)				85,840
Percentage Area Provided				117.0%
Parking Required (City Requirement)				248
other 1 space @ 300 sq. ft.				17
warehouse 1 space @ 1,000 sq. ft.				1
Total Parking Required				265
standard stalls	234	181	83	498
accessible stalls	7	7	4	18
Total Parking Provided	241	188	87	516

project information

Applicant's Representative
 Name: [Redacted]
 Title: [Redacted]
 Address: [Redacted]
 Phone: [Redacted]
 Email: [Redacted]

Assessor's Parcel Number
 017-000-000-000

Zoning
 M-100

Legal Description
 [Redacted]

Code Analysis
 [Redacted]

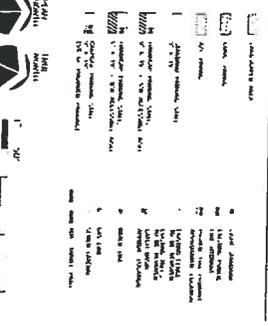
drawing list

- 1.00 SITE PLAN
- 2.00 EXISTING AND PROPOSED UTILITIES
- 3.00 EXISTING AND PROPOSED PAVING
- 4.00 EXISTING AND PROPOSED LANDSCAPE
- 5.00 EXISTING AND PROPOSED LIGHTING
- 6.00 EXISTING AND PROPOSED SIGNAGE
- 7.00 EXISTING AND PROPOSED FURNITURE
- 8.00 EXISTING AND PROPOSED TRAFFIC CONTROL
- 9.00 EXISTING AND PROPOSED SECURITY
- 10.00 EXISTING AND PROPOSED ACCESSIBILITY
- 11.00 EXISTING AND PROPOSED VEHICLE CIRCULATION
- 12.00 EXISTING AND PROPOSED PEDESTRIAN CIRCULATION
- 13.00 EXISTING AND PROPOSED BIKEWAY
- 14.00 EXISTING AND PROPOSED GREEN INFRASTRUCTURE
- 15.00 EXISTING AND PROPOSED ENERGY EFFICIENCY
- 16.00 EXISTING AND PROPOSED WATER EFFICIENCY
- 17.00 EXISTING AND PROPOSED AIR QUALITY
- 18.00 EXISTING AND PROPOSED CLIMATE RESILIENCE
- 19.00 EXISTING AND PROPOSED CULTURAL RESOURCES
- 20.00 EXISTING AND PROPOSED HISTORIC PRESERVATION

site plan keynotes

- 1.00 SITE PLAN
- 2.00 EXISTING AND PROPOSED UTILITIES
- 3.00 EXISTING AND PROPOSED PAVING
- 4.00 EXISTING AND PROPOSED LANDSCAPE
- 5.00 EXISTING AND PROPOSED LIGHTING
- 6.00 EXISTING AND PROPOSED SIGNAGE
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- 18.00 EXISTING AND PROPOSED CLIMATE RESILIENCE
- 19.00 EXISTING AND PROPOSED CULTURAL RESOURCES
- 20.00 EXISTING AND PROPOSED HISTORIC PRESERVATION

site legend



HPA
 14811 148th Ave., Suite 100
 Everett, WA 98201
 (425) 336-1111
 www.hpa.com

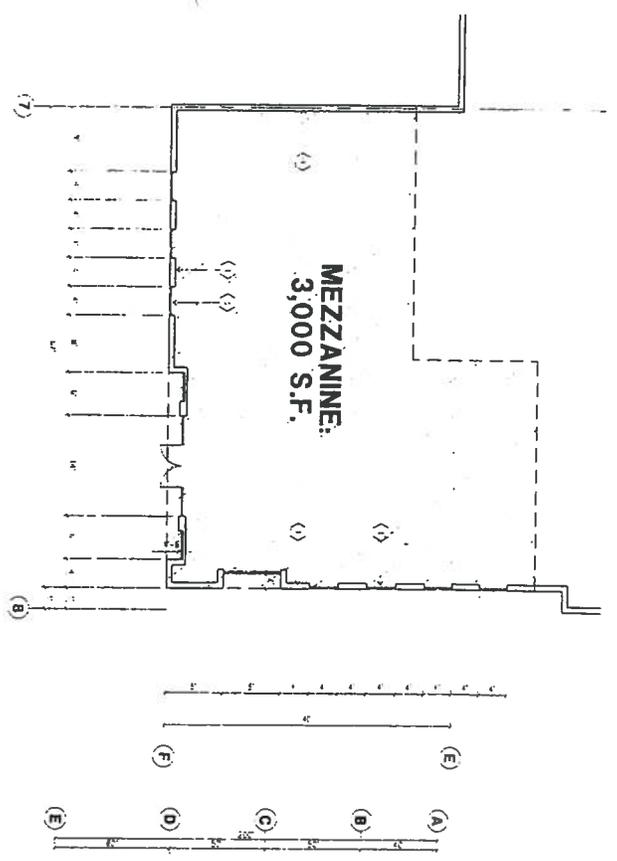
OWNER:
AMB DFS Pacific Coast, LLC.
 11800 Canyon Blvd., Suite 100
 Highlands Ranch, CO 80126
 (303) 781-1111

PROJECT:
Pacific Coast Business Park
 Parcel 26-22
 Colorado, CO

CONSULTANT:
AMB DFS
 11800 Canyon Blvd., Suite 100
 Highlands Ranch, CO 80126
 (303) 781-1111

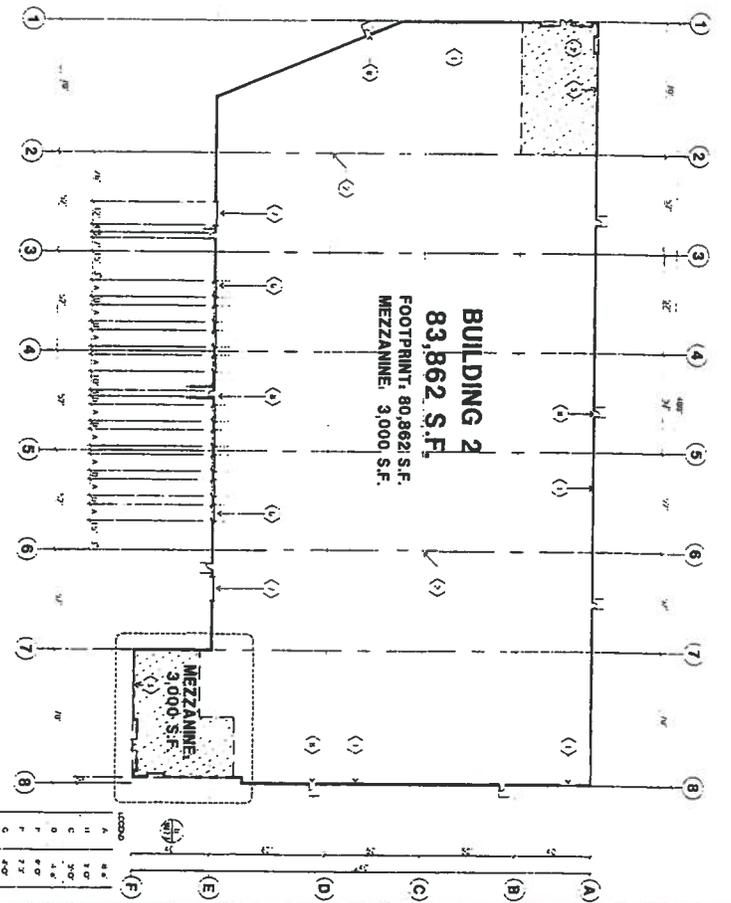
DATE: Jan. 18, 2024
PROJECT NUMBER: 26-22
SCALE: As Shown

Sheet: A1.1



ENLARGED OFFICE AREA
SCALE 1/8" = 1'-0"
(B)

- KEYNOTES - FLOOR PLAN**
- (1) As noted in the notes.
 - (2) Refer to the notes.
 - (3) Refer to the notes.
 - (4) Refer to the notes.
 - (5) Refer to the notes.
 - (6) Refer to the notes.
 - (7) Refer to the notes.
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 - (12) Refer to the notes.
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 - (14) Refer to the notes.
 - (15) Refer to the notes.
 - (16) Refer to the notes.
 - (17) Refer to the notes.
 - (18) Refer to the notes.
 - (19) Refer to the notes.
 - (20) Refer to the notes.



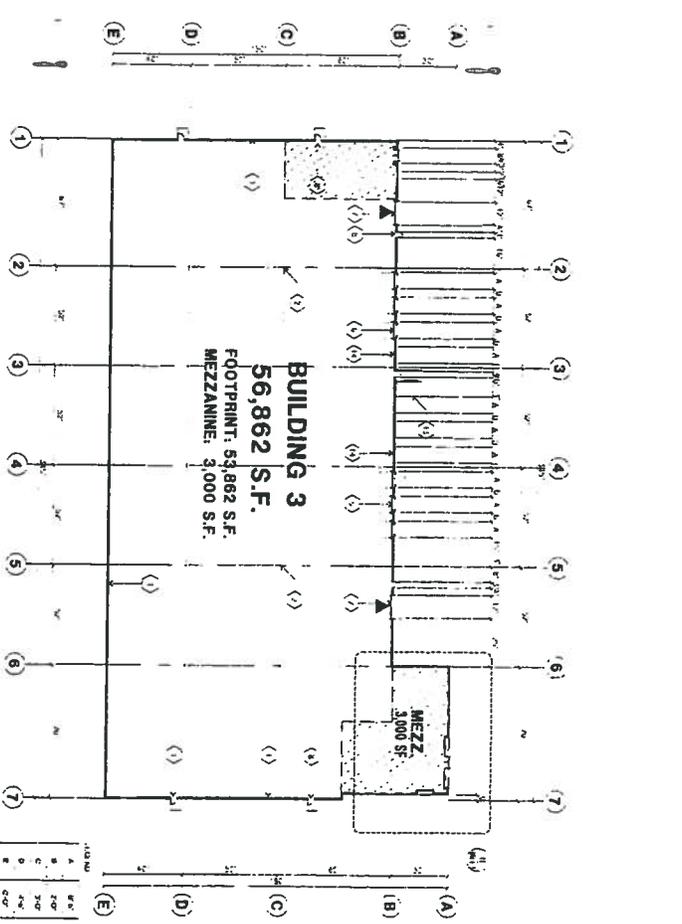
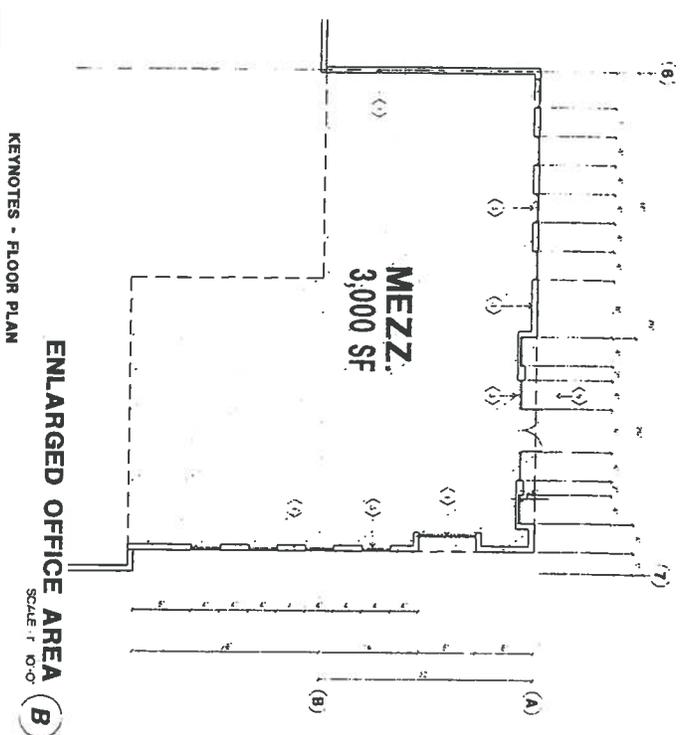
OVERALL FLOOR PLAN
SCALE 1" = 30'-0"
(A)

- GENERAL NOTES - FLOOR PLAN**
1. All dimensions are in feet and inches.
 2. All dimensions are to the center of the member unless otherwise noted.
 3. All dimensions are to the finished surface unless otherwise noted.
 4. All dimensions are to the center of the member unless otherwise noted.
 5. All dimensions are to the finished surface unless otherwise noted.
 6. All dimensions are to the center of the member unless otherwise noted.
 7. All dimensions are to the finished surface unless otherwise noted.
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 18. All dimensions are to the center of the member unless otherwise noted.
 19. All dimensions are to the finished surface unless otherwise noted.
 20. All dimensions are to the center of the member unless otherwise noted.

 HPA HPA, Inc. 10011 Independence Blvd. Suite 100 Houston, TX 77036 Tel: 281.412.1177 Fax: 281.412.1178 www.hpa.com	AMB DFS Pacific Coast, LLC. 1700 Pacific Ave. Suite 200 San Diego, CA 92101 Tel: 619.594.1111 Fax: 619.594.1112	Project: Pacific Coast Business Park Phase 2 Concord, CA	Contributors: CIVIL: HPA STRUCTURE: HPA MECHANICAL: HPA ELECTRICAL: HPA PLUMBING: HPA LANDSCAPE: HPA INTERIOR: HPA EXTERIOR: HPA	Title: FLOOR PLAN (continued)	Project Number: 584 Drawn by: J.M. Check: J.M. Date: 10/1/2009 Revision: 10/1/2009 Scale: 1/8" = 1'-0"
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A2.2

Building 2



KEYNOTES - FLOOR PLAN

- (1) CONCRETE 12" THICK
- (2) INTERIOR WALL SYSTEM
- (3) FLOOR FINISHES: POLYURETHANE, 21 MILS; POLYURETHANE, 21 MILS; POLYURETHANE, 21 MILS
- (4) INTERIOR WALL SYSTEM
- (5) INTERIOR WALL SYSTEM
- (6) INTERIOR WALL SYSTEM
- (7) INTERIOR WALL SYSTEM
- (8) INTERIOR WALL SYSTEM
- (9) INTERIOR WALL SYSTEM
- (10) INTERIOR WALL SYSTEM

ENLARGED OFFICE AREA B
SCALE: 1" = 10'-0"

GENERAL NOTES - FLOOR PLAN

1. SEE GENERAL NOTES TO THE FLOOR PLAN FOR GENERAL NOTES AND SPECIFICATIONS.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL WALLS ARE TO BE CONCRETE UNLESS OTHERWISE NOTED.
4. ALL FLOORS ARE TO BE POLYURETHANE FINISHES UNLESS OTHERWISE NOTED.
5. ALL INTERIOR WALLS ARE TO BE POLYURETHANE FINISHES UNLESS OTHERWISE NOTED.
6. ALL INTERIOR WALLS ARE TO BE POLYURETHANE FINISHES UNLESS OTHERWISE NOTED.
7. ALL INTERIOR WALLS ARE TO BE POLYURETHANE FINISHES UNLESS OTHERWISE NOTED.
8. ALL INTERIOR WALLS ARE TO BE POLYURETHANE FINISHES UNLESS OTHERWISE NOTED.
9. ALL INTERIOR WALLS ARE TO BE POLYURETHANE FINISHES UNLESS OTHERWISE NOTED.
10. ALL INTERIOR WALLS ARE TO BE POLYURETHANE FINISHES UNLESS OTHERWISE NOTED.

OVERALL FLOOR PLAN A
SCALE: 1" = 30'-0"



<p>HPA HARRIS PROJECT ARCHITECTS 18251 Linderoth Ave., Suite 100 Van Nuys, CA 91411 Tel: 818.708.8888 Fax: 818.708.8889 www.harrisproject.com</p>		<p>Project: Pacific Coast Business Park Phase 20-23 Oxnard, CA</p>		<p>Client: AMB DFS Pacific Coast, LLC. 17800 Central Exp., Suite 200 Van Nuys, CA 91411 Tel: 818.708.8888</p>		<p>Consultants: AMB DFS HARRIS PROJECT ARCHITECTS HARRIS PROJECT ARCHITECTS HARRIS PROJECT ARCHITECTS HARRIS PROJECT ARCHITECTS HARRIS PROJECT ARCHITECTS</p>	
<p>Title: FLOOR PLAN Phase 20-23</p>		<p>Project Number: 2021</p>		<p>Drawn by: JML</p>		<p>Date: June 11, 2020</p>	
<p>Scale: As Shown</p>		<p>Revision: None</p>		<p>Project Location: Oxnard, CA</p>		<p>Sheet Number: A2.3</p>	

A2.3
Building 3



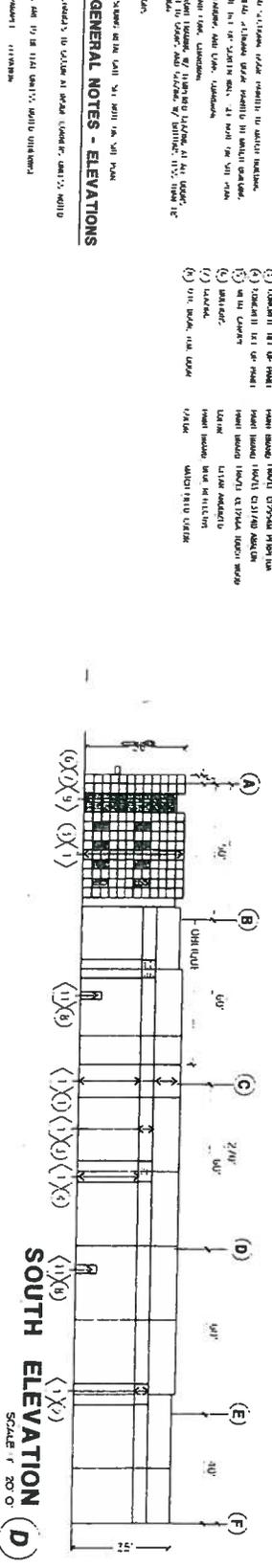
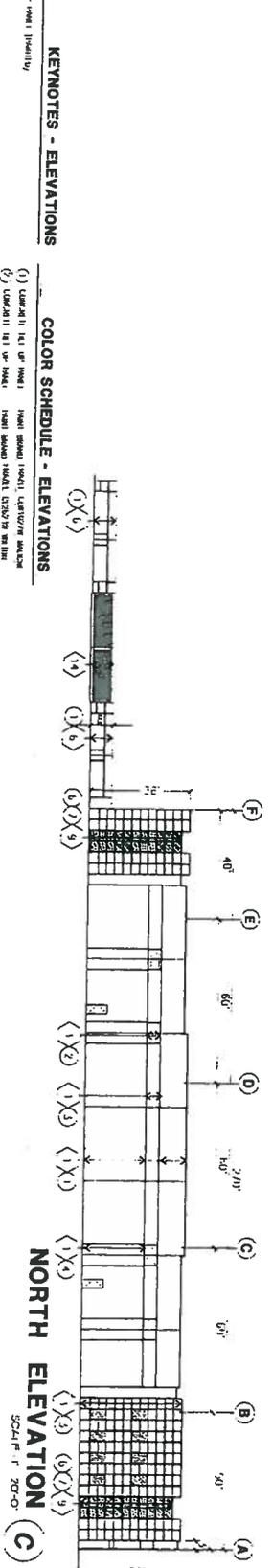
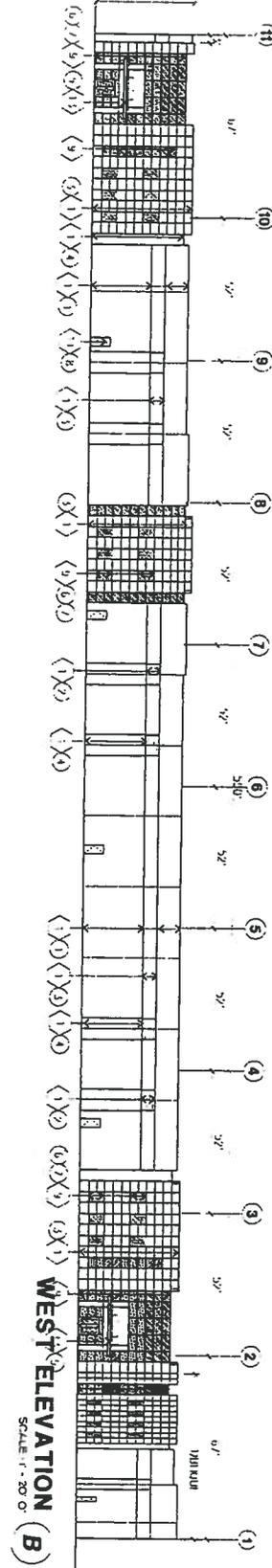
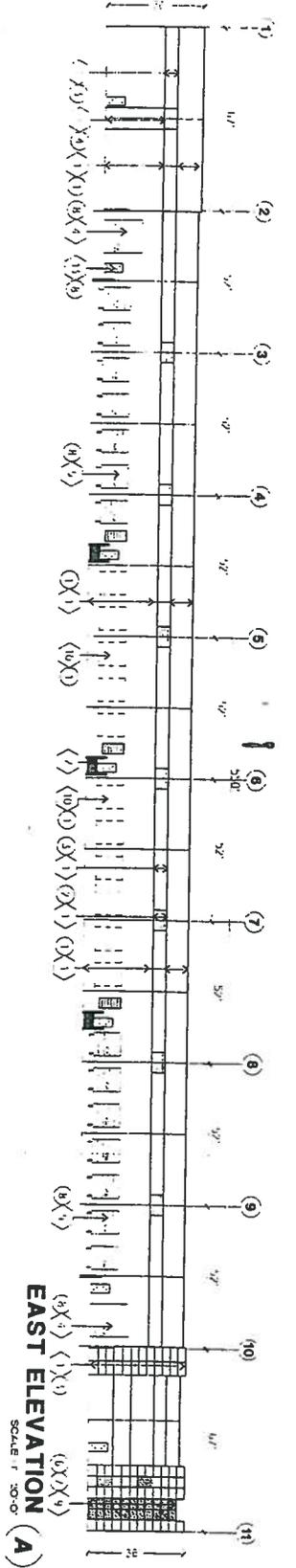
OWNER:
AMB DFS
Pacific Coast, LLC.
 17000 Central Exp. 200
 Irvine, CA 92614
 Tel: 949.453.8100
 Fax: 949.453.8100

PROJECT:
Pacific Coast Business Park
 Permits 2023
 Orange, CA

CONSULTANTS:
AMC INC.
 ARCHITECT
 PLANNING
 ELECTRICAL
 MECHANICAL
 PLUMBING
 FIRE/PROTECTION
 INTERIORS
 EXTERIORS
 LANDSCAPE ARCHITECTURE
 SIGNAGE

DATE: Jan. 18, 2023
PROJECT: Pacific Coast Business Park
SCALE: 1/8" = 1'-0"

PROJECT NUMBER: 2023
DATE: Jan. 18, 2023
PROJECT: Pacific Coast Business Park
SCALE: 1/8" = 1'-0"



KEYNOTES - ELEVATIONS

- 1. Jambes to all of panels (indicated)
- 2. Panel notes
- 3. Panel notes
- 4. Panel notes
- 5. Panel notes
- 6. Panel notes
- 7. Panel notes
- 8. Panel notes
- 9. Panel notes
- 10. Panel notes
- 11. Panel notes

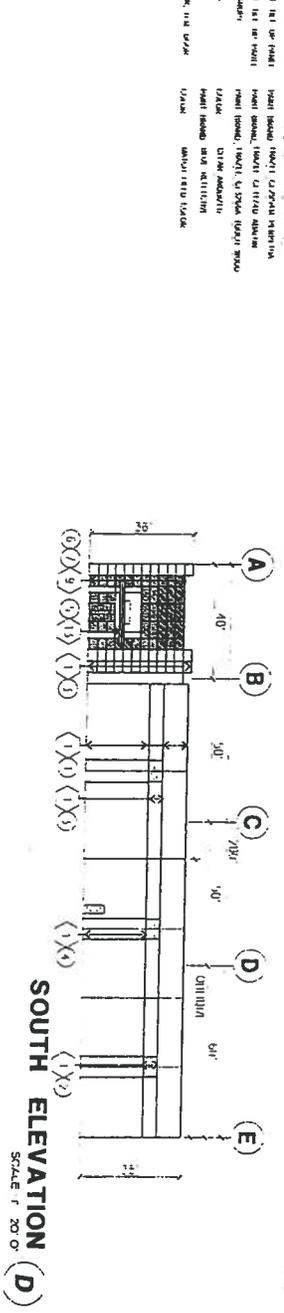
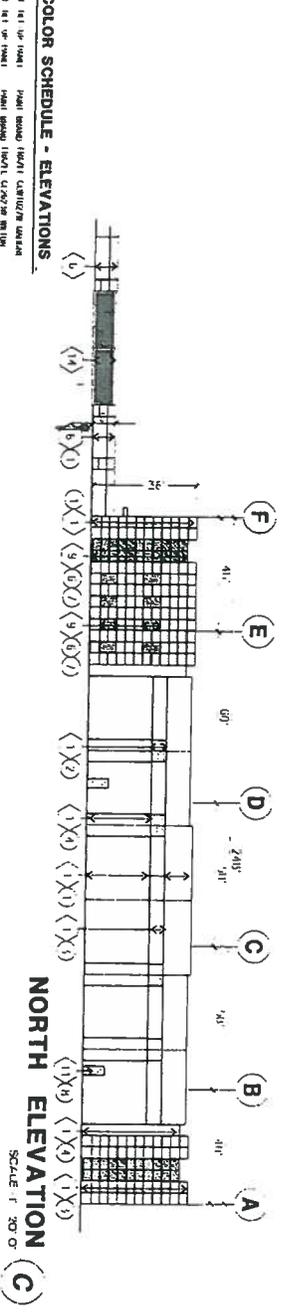
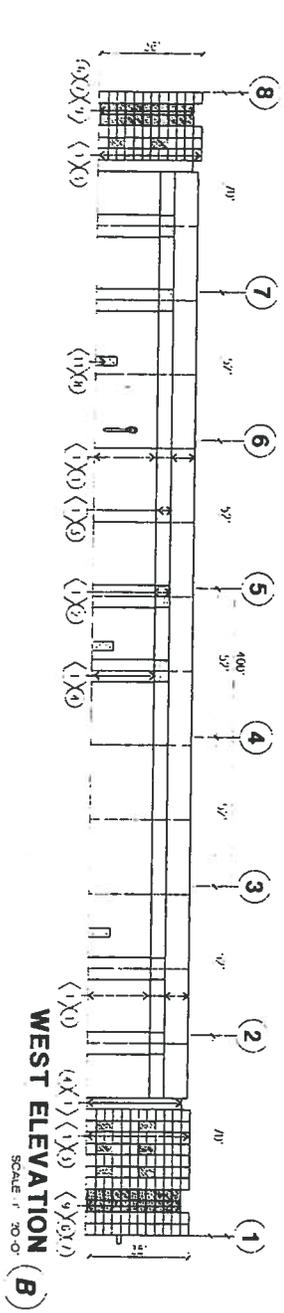
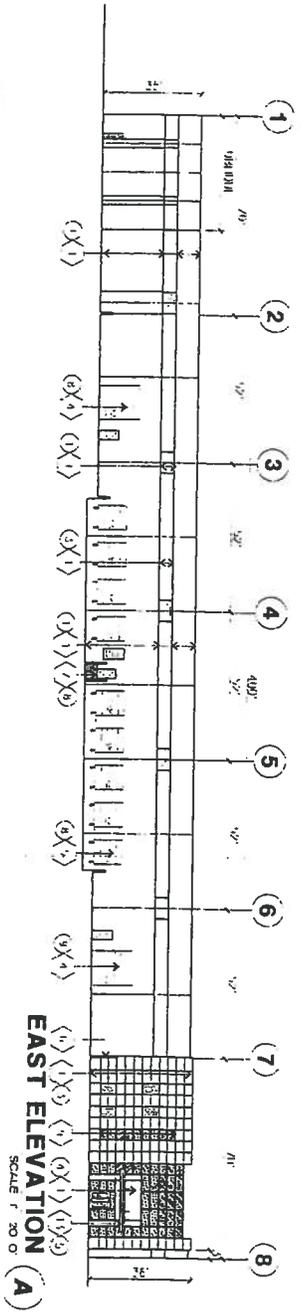
COLOR SCHEDULE - ELEVATIONS

- 1. Concrete (1st of floor)
- 2. Concrete (2nd of floor)
- 3. Concrete (3rd of floor)
- 4. Concrete (4th of floor)
- 5. Concrete (5th of floor)
- 6. Concrete (6th of floor)
- 7. Concrete (7th of floor)
- 8. Concrete (8th of floor)
- 9. Concrete (9th of floor)
- 10. Concrete (10th of floor)
- 11. Concrete (11th of floor)

GENERAL NOTES - ELEVATIONS

- 1. All panels shall be color-coded to match the color of the concrete.
- 2. All panels shall be color-coded to match the color of the concrete.
- 3. All panels shall be color-coded to match the color of the concrete.
- 4. All panels shall be color-coded to match the color of the concrete.
- 5. All panels shall be color-coded to match the color of the concrete.
- 6. All panels shall be color-coded to match the color of the concrete.
- 7. All panels shall be color-coded to match the color of the concrete.
- 8. All panels shall be color-coded to match the color of the concrete.
- 9. All panels shall be color-coded to match the color of the concrete.
- 10. All panels shall be color-coded to match the color of the concrete.
- 11. All panels shall be color-coded to match the color of the concrete.

A3.1
 Building 1



KEYNOTES - ELEVATIONS

- 1) UNLESS NOTED OTHERWISE
- 2) PAINT NAME
- 3) PAINT TYPE
- 4) PAINT COLOR
- 5) PAINT FINISH
- 6) PAINT APPLICATION
- 7) PAINT PREPARATION
- 8) PAINT SCHEDULE
- 9) PAINT NOTES
- 10) PAINT SPECIFICATIONS
- 11) PAINT MANUFACTURER
- 12) PAINT DISTRIBUTOR
- 13) PAINT STORAGE
- 14) PAINT HANDLING
- 15) PAINT DISPOSAL
- 16) PAINT SAFETY
- 17) PAINT QUALITY CONTROL
- 18) PAINT RECORDS
- 19) PAINT INSPECTION
- 20) PAINT ACCEPTANCE

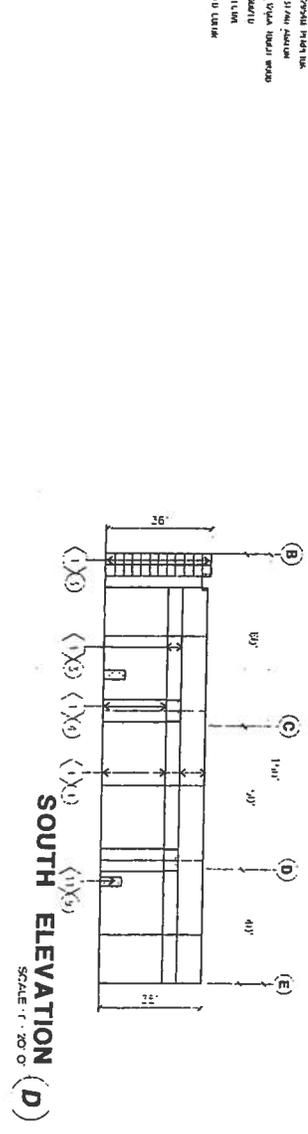
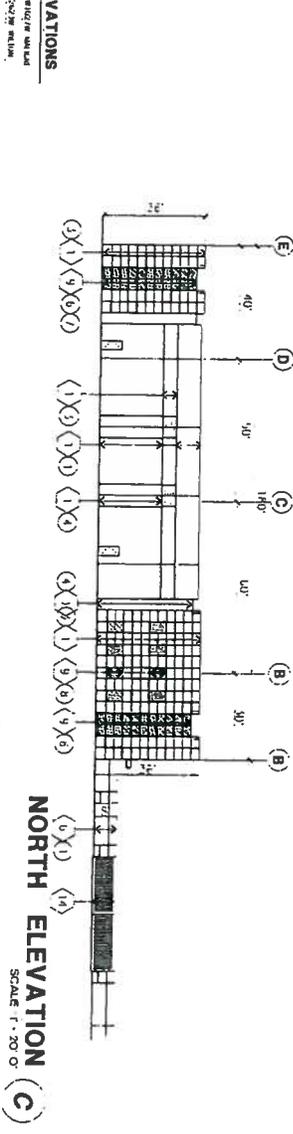
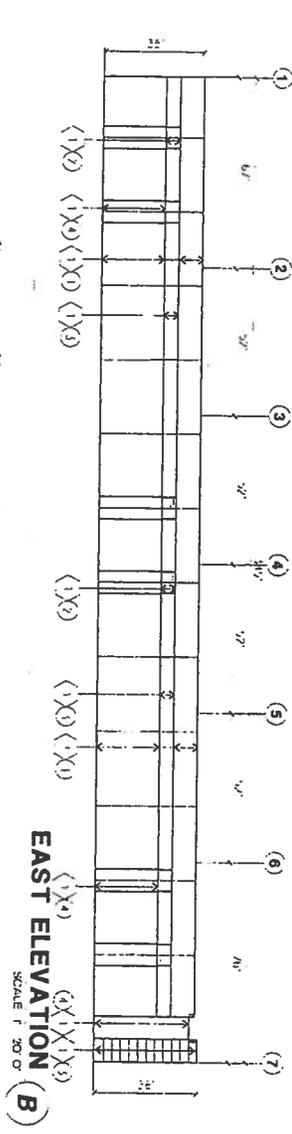
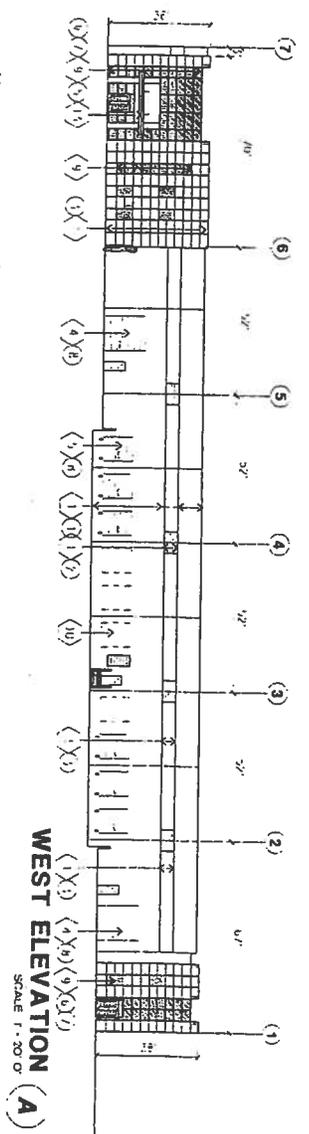
GENERAL NOTES - ELEVATIONS

- 1. GENERAL NOTES - ELEVATIONS
- 2. GENERAL NOTES - ELEVATIONS
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- 17. GENERAL NOTES - ELEVATIONS
- 18. GENERAL NOTES - ELEVATIONS
- 19. GENERAL NOTES - ELEVATIONS
- 20. GENERAL NOTES - ELEVATIONS

COLOR SCHEDULE - ELEVATIONS

- 1) UNLESS NOTED OTHERWISE
- 2) UNLESS NOTED OTHERWISE
- 3) UNLESS NOTED OTHERWISE
- 4) UNLESS NOTED OTHERWISE
- 5) UNLESS NOTED OTHERWISE
- 6) UNLESS NOTED OTHERWISE
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- 18) UNLESS NOTED OTHERWISE
- 19) UNLESS NOTED OTHERWISE
- 20) UNLESS NOTED OTHERWISE

<p>HPA HARRIS PROJECT ARCHITECTS 10000 Wilshire Blvd., Suite 1000 Beverly Hills, CA 90210 Tel: 310.274.1111 Fax: 310.274.1112 www.harrisproject.com</p>	<p>Owner: AMB DRS Pacific Coast, LLC. 1700 Ocean Ave., Suite 2000 Long Beach, CA 90801 Tel: 562.591.1111 Fax: 562.591.1112</p>	<p>Project: Pacific Coast Business Park Parcel 3023 Oxnard, CA</p>	<p>Contractors: SITING FOUNDATION CONCRETE STEEL ERECTION MECHANICAL ELECTRICAL PLUMBING INSULATION PAINTING GENERAL CONTRACTOR</p>	<p>Architect: HPA HARRIS PROJECT ARCHITECTS 10000 Wilshire Blvd., Suite 1000 Beverly Hills, CA 90210 Tel: 310.274.1111 Fax: 310.274.1112 www.harrisproject.com</p>
<p>Building 2</p>				



KEYNOTES - ELEVATIONS

- 1) Material per or notes provided
- 2) Metal panel
- 3) Metal mesh
- 4) Glass in concrete - 1/2" thick, water finished in white enamel.
- 5) Glass in concrete - 1/2" thick, water finished in white enamel.
- 6) Glass in concrete - 1/2" thick, water finished in white enamel.
- 7) Glass in concrete - 1/2" thick, water finished in white enamel.
- 8) Glass in concrete - 1/2" thick, water finished in white enamel.
- 9) Glass in concrete - 1/2" thick, water finished in white enamel.
- 10) Glass in concrete - 1/2" thick, water finished in white enamel.
- 11) Glass in concrete - 1/2" thick, water finished in white enamel.
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- 14) Glass in concrete - 1/2" thick, water finished in white enamel.
- 15) Glass in concrete - 1/2" thick, water finished in white enamel.
- 16) Glass in concrete - 1/2" thick, water finished in white enamel.
- 17) Glass in concrete - 1/2" thick, water finished in white enamel.
- 18) Glass in concrete - 1/2" thick, water finished in white enamel.
- 19) Glass in concrete - 1/2" thick, water finished in white enamel.
- 20) Glass in concrete - 1/2" thick, water finished in white enamel.
- 21) Glass in concrete - 1/2" thick, water finished in white enamel.
- 22) Glass in concrete - 1/2" thick, water finished in white enamel.
- 23) Glass in concrete - 1/2" thick, water finished in white enamel.
- 24) Glass in concrete - 1/2" thick, water finished in white enamel.
- 25) Glass in concrete - 1/2" thick, water finished in white enamel.

GENERAL NOTES - ELEVATIONS

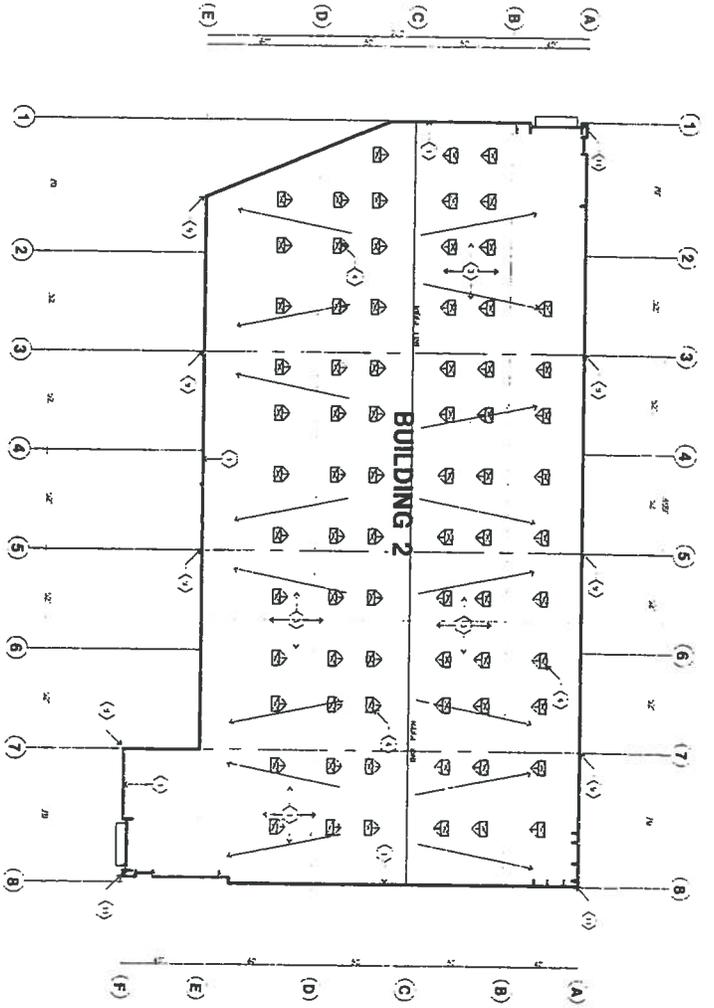
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- 2. All elevations shown are for exterior elevations only.
- 3. All elevations shown are for exterior elevations only.
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- 5. All elevations shown are for exterior elevations only.
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- 22. All elevations shown are for exterior elevations only.
- 23. All elevations shown are for exterior elevations only.
- 24. All elevations shown are for exterior elevations only.
- 25. All elevations shown are for exterior elevations only.

COLOR SCHEDULE - ELEVATIONS

- 1) Concrete in or notes provided
- 2) Concrete in or notes provided
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<p>HPA HARRIS PROJECT ARCHITECTS 1000 N. GARDEN ST. ANN ARBOR, MI 48106-1501 TEL: 734.769.1100 FAX: 734.769.1101 WWW.HARRISPROJECTARCHITECTS.COM</p>		<p>Project: Pacific Coast Business Park Parcel 20-23 Oshtemo, IA</p>		<p>Client: AMB DFS Pacific Coast LLC</p>		<p>Owner: AMB DFS Pacific Coast LLC</p>		<p>Architect: HPA</p>	
<p>Project Number: 104</p> <p>Drawn By: [Name]</p> <p>Date: June 18, 2008</p> <p>Revision: [Number]</p> <p>Scale: 1/8" = 1'-0"</p>		<p>Consultants:</p> <p>Structural: [Name]</p> <p>Mechanical: [Name]</p> <p>Electrical: [Name]</p> <p>Plumbing: [Name]</p> <p>Fire/Smoke: [Name]</p> <p>Life/Safety: [Name]</p> <p>Interior: [Name]</p> <p>Exterior: [Name]</p>		<p>Contract Documents:</p> <p>Contract Documents: [Name]</p> <p>Contract Documents: [Name]</p> <p>Contract Documents: [Name]</p>		<p>Contract Documents:</p> <p>Contract Documents: [Name]</p> <p>Contract Documents: [Name]</p> <p>Contract Documents: [Name]</p>		<p>Contract Documents:</p> <p>Contract Documents: [Name]</p> <p>Contract Documents: [Name]</p> <p>Contract Documents: [Name]</p>	

Building 3
A3.3



OVERALL ROOF PLAN
SCALE: 1/8" = 1'-0"

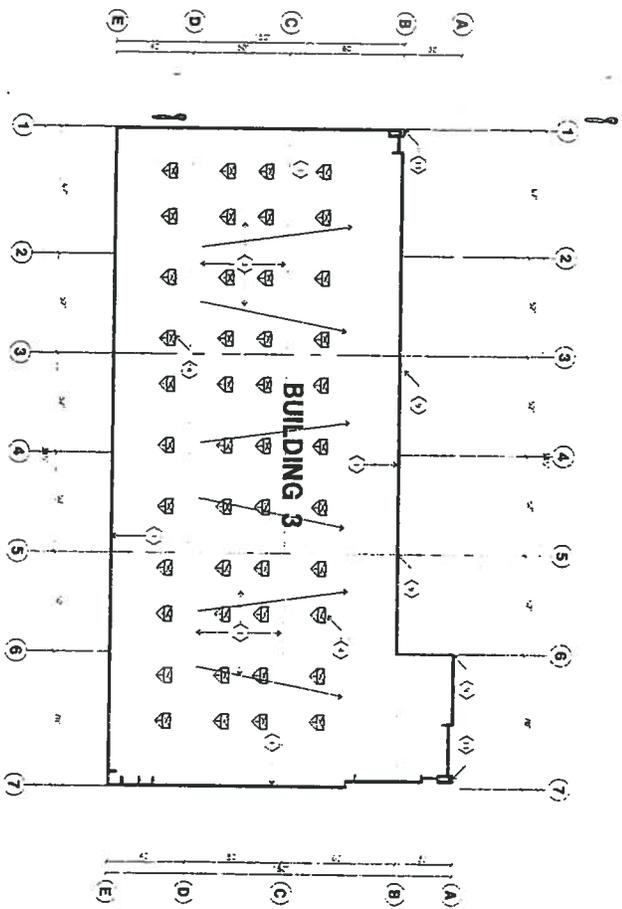
KEYNOTES - ROOF PLAN

- 1) Concrete slab on grade
- 2) 4" concrete slab
- 3) 4" concrete slab on grade over 2" EPS insulation, 2" x 4" joists
- 4) 4" concrete slab on grade over 2" EPS insulation, 2" x 4" joists
- 5) 4" concrete slab on grade over 2" EPS insulation, 2" x 4" joists
- 6) 4" concrete slab on grade over 2" EPS insulation, 2" x 4" joists
- 7) 4" concrete slab on grade over 2" EPS insulation, 2" x 4" joists
- 8) 4" concrete slab on grade over 2" EPS insulation, 2" x 4" joists
- 9) 4" concrete slab on grade over 2" EPS insulation, 2" x 4" joists
- 10) 4" concrete slab on grade over 2" EPS insulation, 2" x 4" joists
- 11) 4" concrete slab on grade over 2" EPS insulation, 2" x 4" joists

GENERAL NOTES - ROOF PLAN

- 1. All dimensions are to face of concrete wall, unless noted.
- 2. All dimensions are to face of steel beam, unless noted.
- 3. All dimensions are to face of steel column, unless noted.
- 4. All dimensions are to face of steel joist, unless noted.
- 5. All dimensions are to face of steel deck, unless noted.
- 6. All dimensions are to face of steel purlin, unless noted.
- 7. All dimensions are to face of steel truss, unless noted.
- 8. All dimensions are to face of steel girder, unless noted.
- 9. All dimensions are to face of steel beam, unless noted.
- 10. All dimensions are to face of steel column, unless noted.
- 11. All dimensions are to face of steel joist, unless noted.

 HPA 18011 Wilshire Blvd., Suite 1000 Los Angeles, CA 90025 Tel: 310.201.1000 Fax: 310.201.1001 www.hpa.com	Owner: AMB DFS Pacific Coast, LLC. 13822 Olympic Blvd., Suite 200 Van Nuys, CA 91411 Tel: 818.709.1111 Fax: 818.709.1112	Project: Pacific Coast Business Park Parcel 20-23 Oxnard, CA	Consultant: AMB DFS 13822 Olympic Blvd., Suite 200 Van Nuys, CA 91411 Tel: 818.709.1111 Fax: 818.709.1112	1st ROOF PLAN DATE: 01/11/11	AS.2 Building 2
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OVERALL ROOF PLAN

SCALE: 1" = 30'-0"



1/4" = 1'-0"

KEYNOTES - ROOF PLAN

- (1) CONCRETE SLAB
- (2) ROOF STRUCTURE
- (3) INSULATION
- (4) MEMBRANE
- (5) FLASHING
- (6) CURB
- (7) DRAIN
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GENERAL NOTES - ROOF PLAN

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		11821 Woodloch Lane, Suite 1100 Houston, TX 77055 Tel: 281.416.1111 Fax: 281.416.1111 www.hpa.com	
Project: Pacific Coast Business Park Parcels 20/23 Overland, CA		Owner: AMB DFS Pacific Coast, LLC. 17825 Canyon Blvd, Suite 1000 Irvine, CA 92614 Tel: 949.453.1111 Fax: 949.453.1111	
Consultant: CIVIL STRUCTURE MECHANICAL ELECTRICAL PLUMBING ROOFING INSULATION MEMBRANE FLASHING CURB DRAIN		Scale: 1/4" = 1'-0" 1" = 30'-0"	
Title: ROOF PLAN PARCELS 20/23		Project Number: 150 Drawn by: JMB Checked by: JMB Date: 04/14/2008 Revision: None Revised by: None Revised date: None	

A5.3
Building 3



KEY PLAN



PACIFIC COAST BUSINESS PARK PARCELS 20-23 Oceanside, CA.

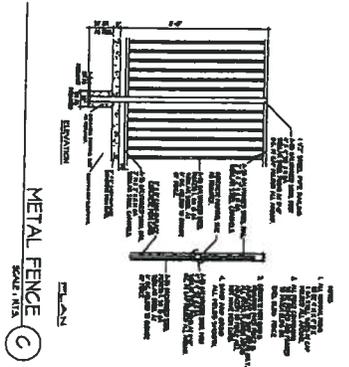
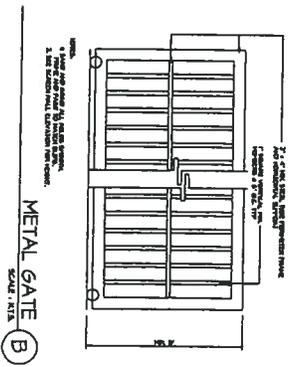
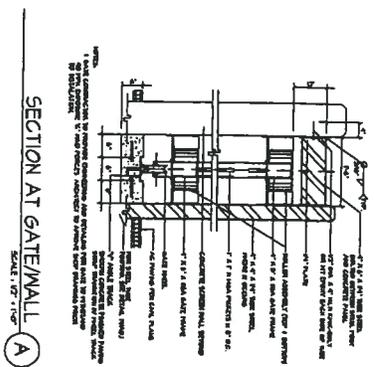
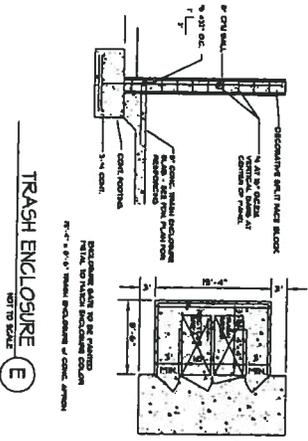
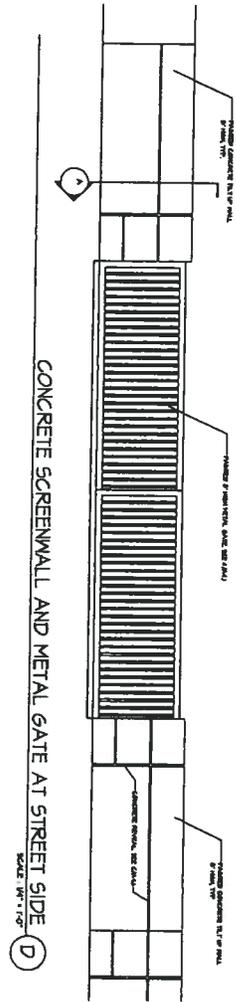


www.gmp.com
4155 Santee Valley, Inc.
Suite 10, San Diego
California, 92131
Tel: 619 444 8877
Fax: 619 444 8118

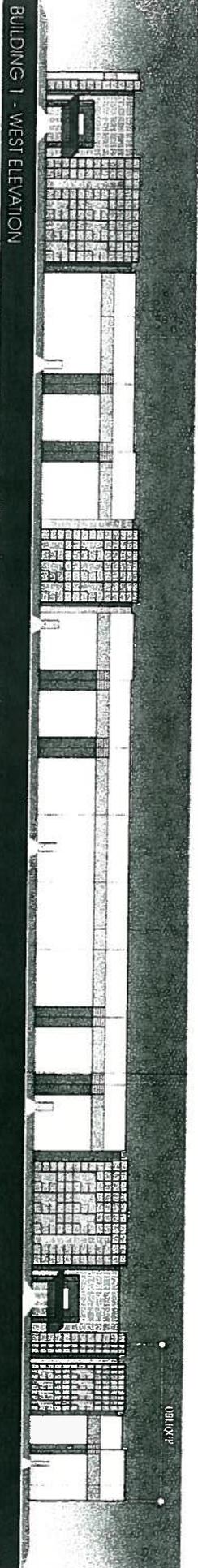
CDP 201 000003

NOT DATE September 16, 2009

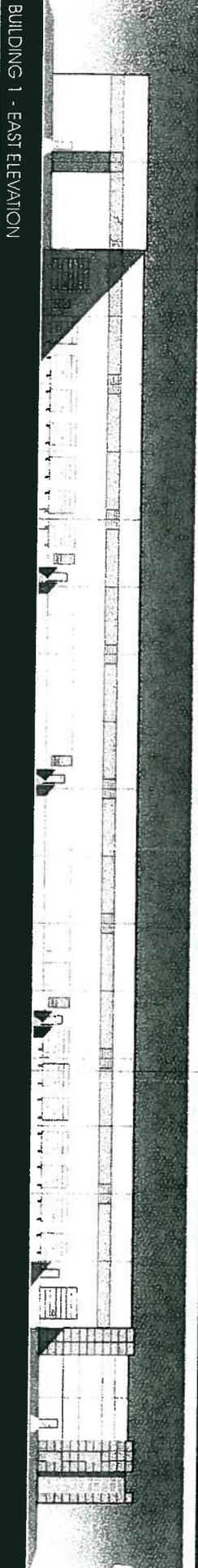
REVISION DATA: PR-04-01



SHEET 1 OF 3

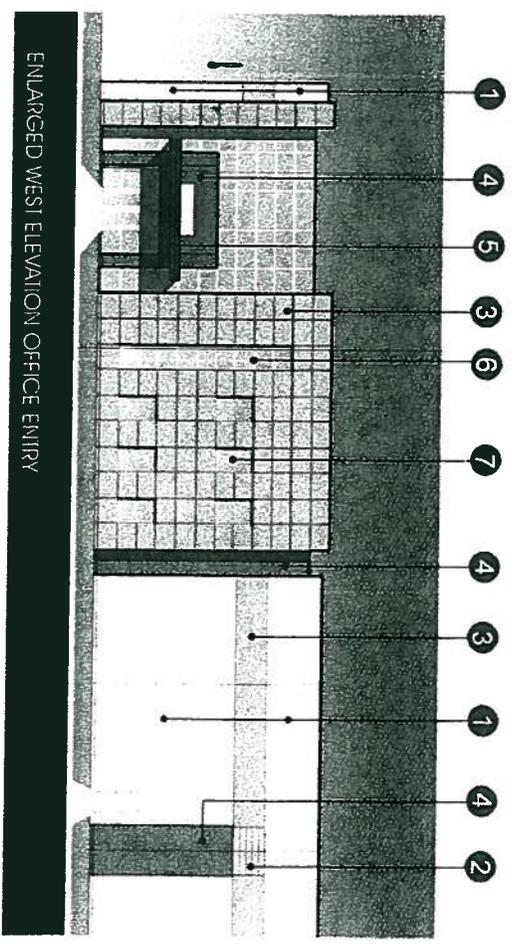


BUILDING 1 - WEST ELEVATION



BUILDING 1 - EAST ELEVATION

- 1 Frazee CLW1027W
Maligne
- 2 Frazee CL2623W
Wilton
- 3 Frazee CL2954M
Perpetua
- 4 Frazee CL3174D
Abalone
- 5 Frazee CL3266A
Touch Wood
- 6 Clear Anodized
MULLION
- 7 Blue Reflective
GLAZING



ENLARGED WEST ELEVATION OFFICE ENTRY

HPA
conceptual elevations

Building 1

Pacific Coast Business Park



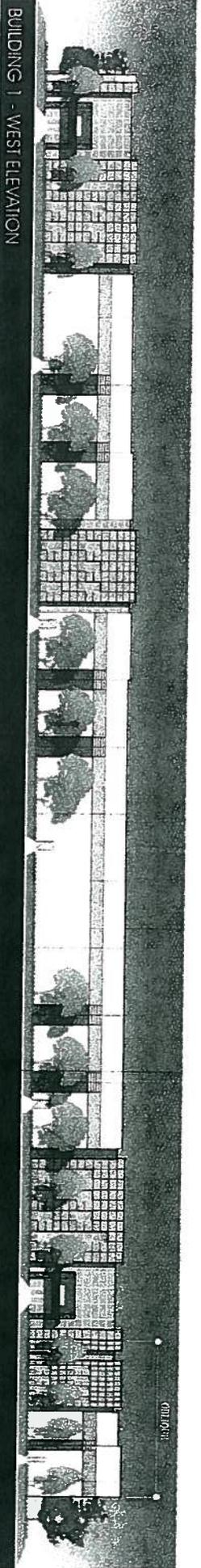
DMO
ENTERPRISES, INC.

City of Oceanside, CA

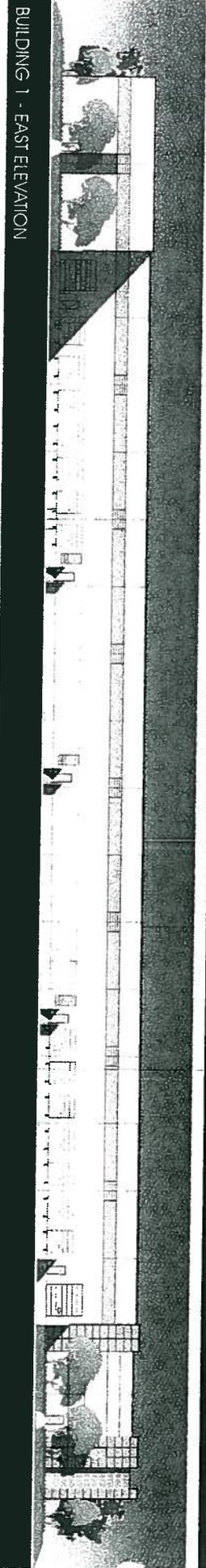
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Job#9054.03

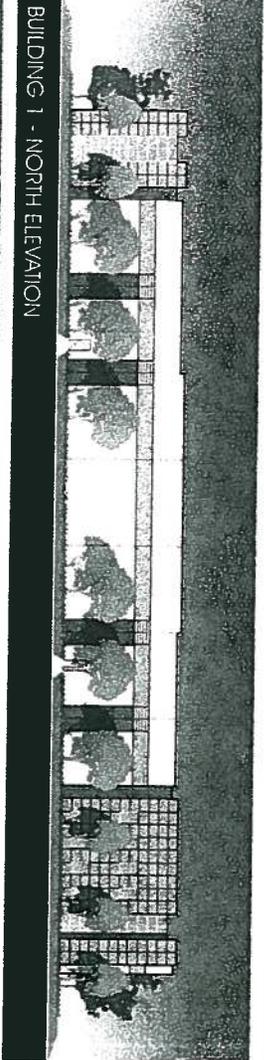
Planning Division
17 2009
developed



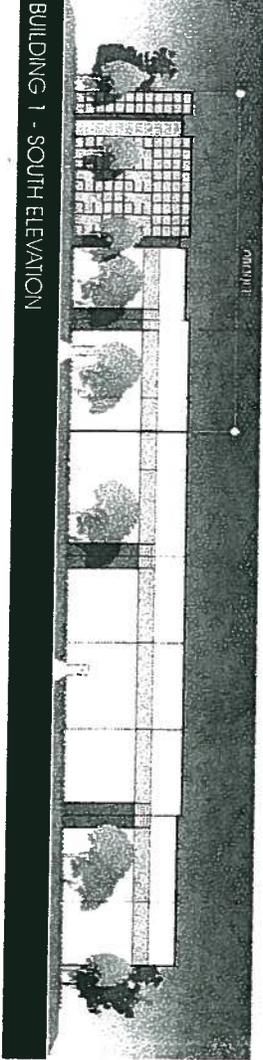
BUILDING 1 - WEST ELEVATION



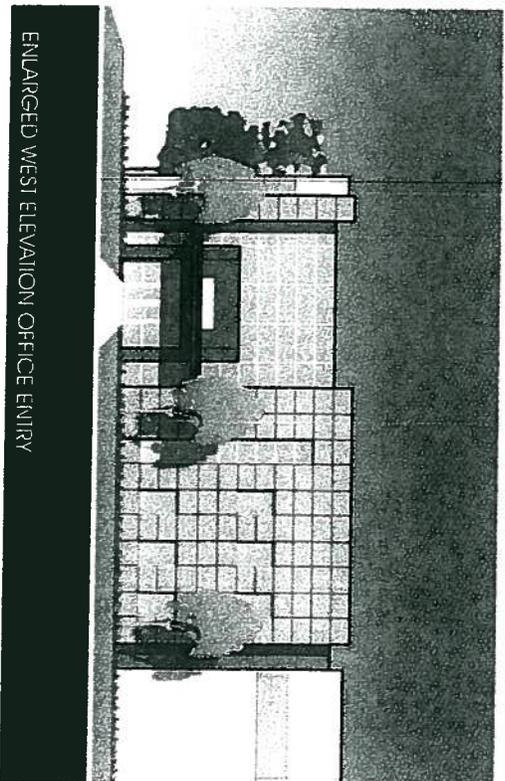
BUILDING 1 - EAST ELEVATION



BUILDING 1 - NORTH ELEVATION



BUILDING 1 - SOUTH ELEVATION



ENLARGED WEST ELEVATION OFFICE ENTRY

HPA

Building 1

Pacific Coast Business Park

conceptual elevations

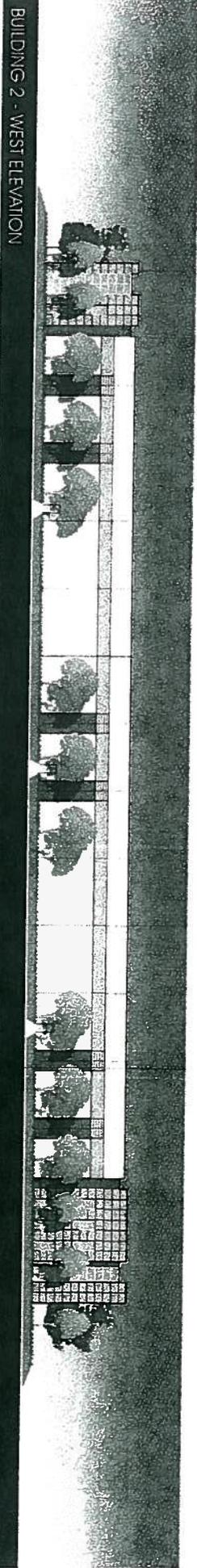
City of Oceanside, CA



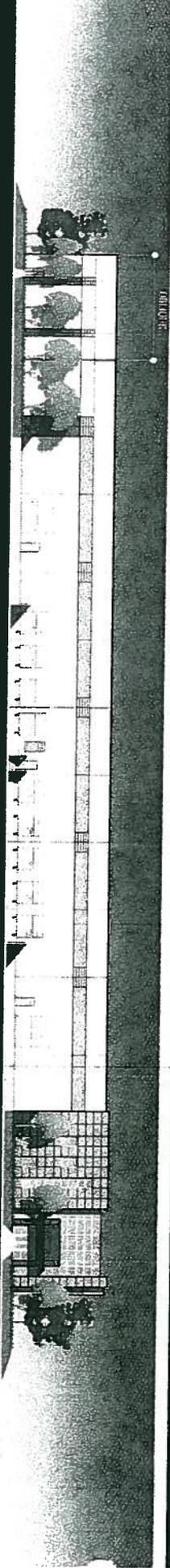
ENTRPRENEURS, INC.

09.04.09

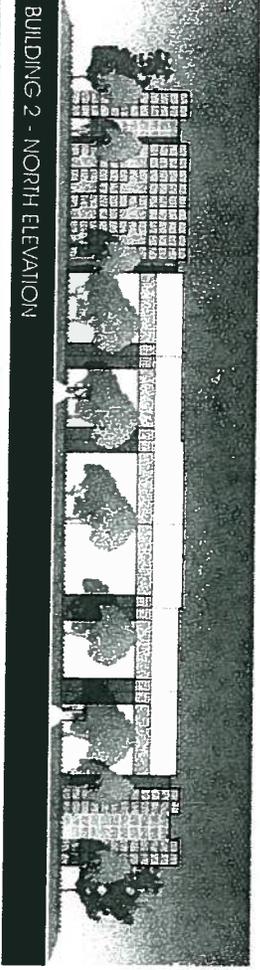
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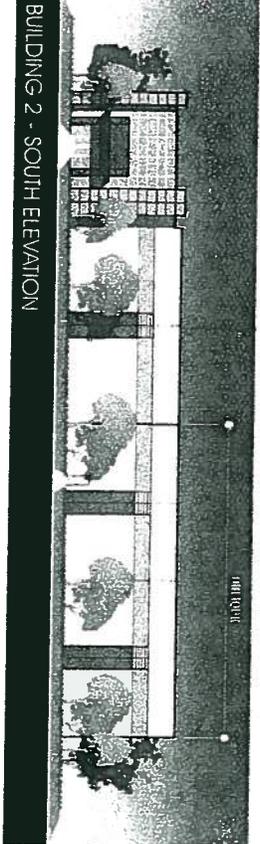
BUILDING 2 - WEST ELEVATION



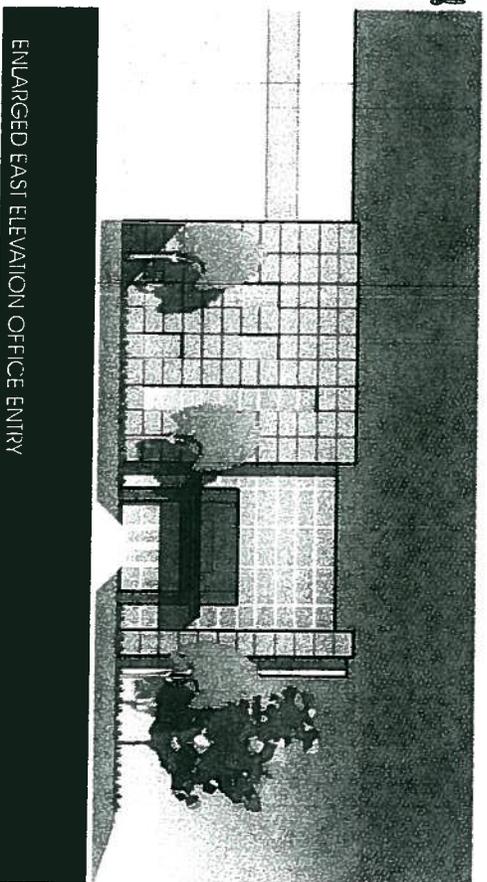
BUILDING 2 - EAST ELEVATION



BUILDING 2 - NORTH ELEVATION



BUILDING 2 - SOUTH ELEVATION



ENLARGED EAST ELEVATION OFFICE ENTRY

HPA

conceptual elevations

Building 2 Pacific Coast Business Park

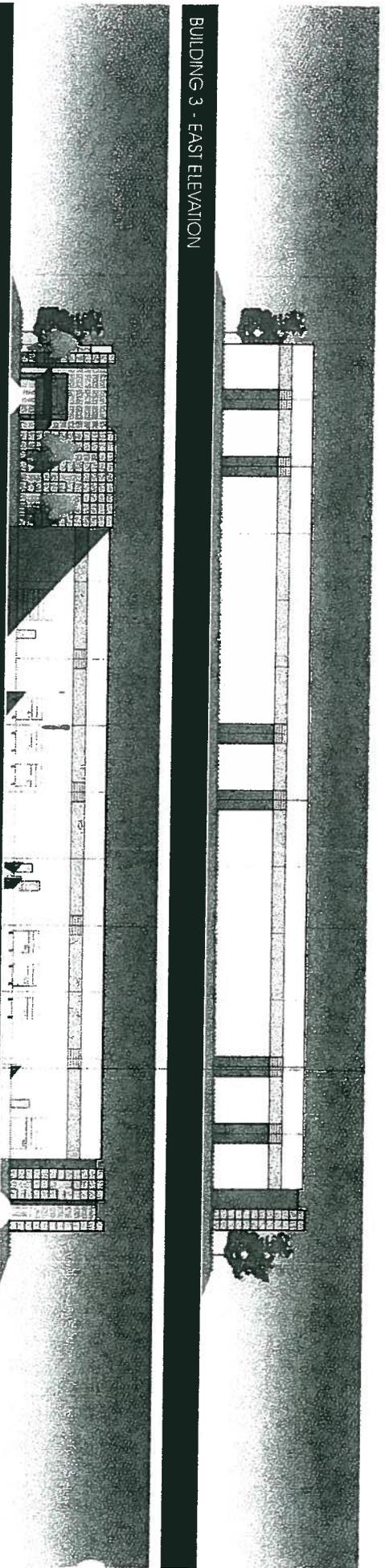
City of Oceanside, CA



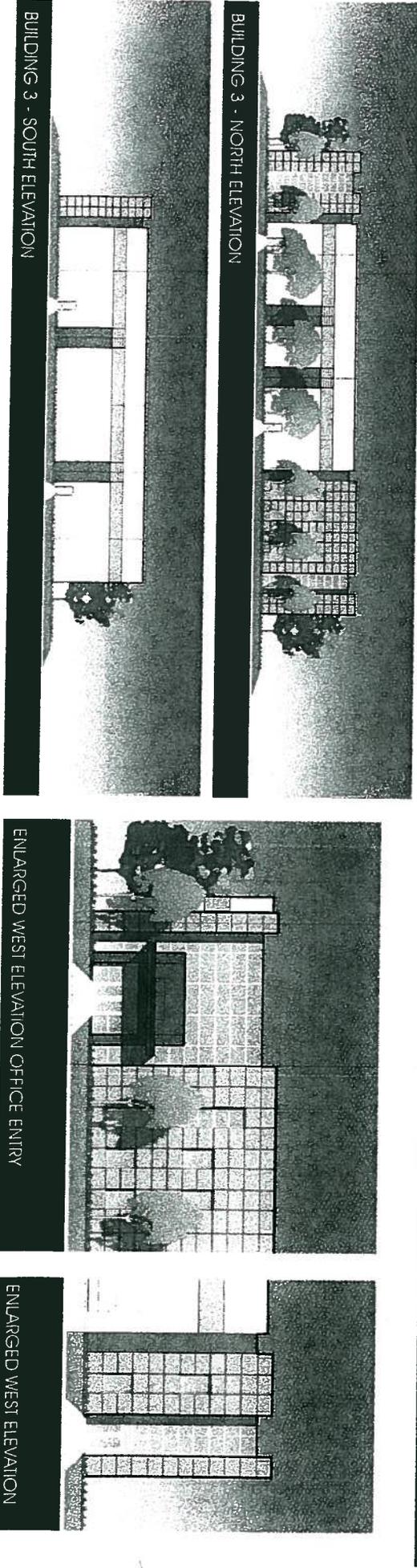
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Job # 9054.00

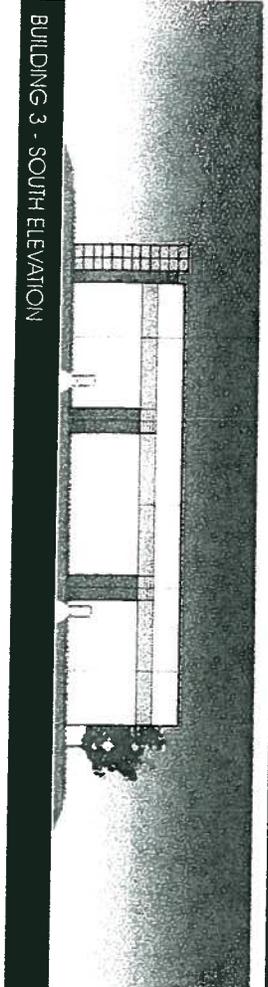
BUILDING 3 - EAST ELEVATION



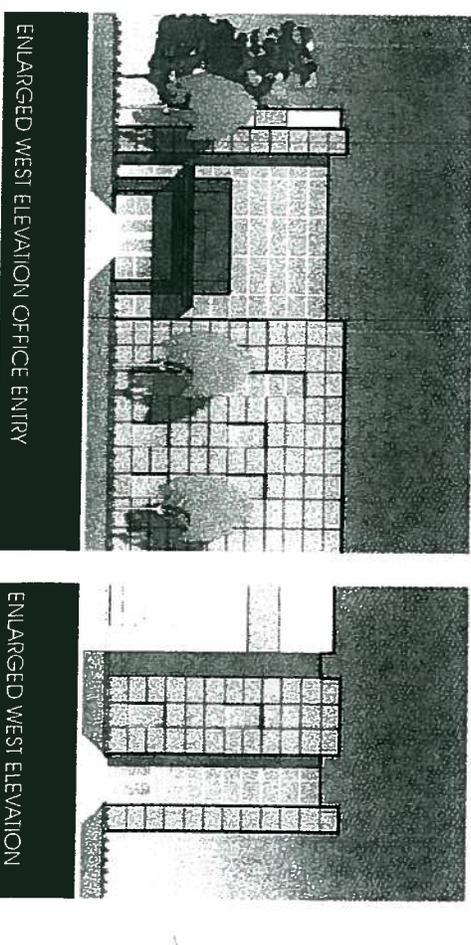
BUILDING 3 - WEST ELEVATION



BUILDING 3 - NORTH ELEVATION



BUILDING 3 - SOUTH ELEVATION



HPA

conceptual elevations

Building 3

Pacific Coast Business Park

City of Oceanside, CA



09.04.09

Job # 9054.00

1 PLANNING COMMISSION
2 RESOLUTION NO. 2010-P03

3 A RESOLUTION OF THE PLANNING COMMISSION OF THE
4 CITY OF OCEANSIDE, CALIFORNIA APPROVING A
5 DEVELOPMENT PLAN, AND CONDITIONAL USE PERMIT
6 ON CERTAIN REAL PROPERTY IN THE CITY OF
OCEANSIDE

7 APPLICATION NO: D-1-09, C-5-09
8 APPLICANT: AMB DFS Pacific Coast LLC.
9 LOCATION: Lots 20-23 of Pacific Coast Business Park at the south east corner of
Windansea Street and Rocky Pointe Drive

10 THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES
11 RESOLVE AS FOLLOWS:

12 WHEREAS, there was filed with this Commission a verified petition on the forms
13 prescribed by the Commission requesting a Development Plan and Regular Coastal Permit under
14 the provisions of Articles 17, 41, and 43 of the Zoning Ordinance of the City of Oceanside to
15 permit the following:

16 the construction of three industrial/warehouse buildings, totaling 272,630 square feet on
17 three individual parcels, and associated parking and landscaping improvements;

18 on certain real property described in the project description;

19 WHEREAS, the Planning Commission, after giving the required notice, did on the 11th day
20 of January, 2010 conduct a duly advertised public hearing as prescribed by law to consider said
21 application.

22 WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State
23 Guidelines thereto; this project is categorically exempt from CEQA per Article 19, Section 15332,
Class 32, In-Fill Development Projects;

24 WHEREAS, there is hereby imposed on the subject development project certain fees,
25 dedications, reservations and other exactions pursuant to state law and city ordinance;

26 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that
27 the project is subject to certain fees, dedications, reservations and other exactions as provided
28 below:
29

<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
Drainage Fee	Ordinance No. 85-23 Resolution No. 06-R0334-1	Depends on area (range is \$2,843-\$15,964 per acre)
Public Facility Fee	Ordinance No. 91-09 Resolution No. 06-R0334-1	\$0.713 per square foot or \$713 per thousand square feet for non-residential uses
School Facilities Mitigation Fee	Ordinance No. 91-34	\$.42 per square foot non-residential for Oceanside
Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 05-OR 0611-1	Fee based on water meter size. Non-residential is \$36,775 for a 2" meter.
Wastewater System Buy-in Fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 05-OR 0610-1	Based on capacity or water meter size. Non-residential is \$50,501 for a 2" meter.
San Diego County Water Authority Capacity Fees	SDCWA Ordinance No. 2005-03	Based on meter size. Non-residential is \$22,495 for a 2" meter.

WHEREAS, the current fees referenced above are merely fee amount estimates of the impact fees that would be required if due and payable under currently applicable ordinances and resolutions, presume the accuracy of relevant project information provided by the applicant, and are not necessarily the fee amount that will be owing when such fee becomes due and payable;

WHEREAS, unless otherwise provided by this resolution, all impact fees shall be calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside City Code and the City expressly reserves the right to amend the fees and fee calculations consistent with applicable law;

WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee, dedication, reservation or other exaction to the extent permitted and as authorized by law;

WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction

1 described in this resolution begins on the effective date of this resolution and any such protest must
2 be in a manner that complies with Section 66020;

3 WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes
4 effective 10 days from its adoption in the absence of the filing of an appeal or call for review;

5 WHEREAS, studies and investigations made by this Commission and in its behalf reveal
6 the following facts:

7 FINDINGS:

8 For the Development Plan:

- 9 1. The site plan and physical design of the project are consistent with the Zoning
10 Ordinance because the project, as designed, meets or exceeds the development standards
11 established in the Zoning Ordinance.
- 12 2. The Development Plan is consistent with the General Plan of the City because the use is
13 permitted by the General Plan, it is consistent with the intent of the designated land use,
14 and it is compatible with the surrounding existing land uses. The proposed warehouse
15 buildings are permitted with the approval of a Conditional Use Permit, and the
16 development intent of the Pacific Coast Business Park.
- 17 3. The project site can be adequately served by existing public facilities, services and
18 utilities because the site has been previously developed and the necessary infrastructure
19 to serve the use is already in place.
- 20 4. The project, as proposed, is compatible with the existing and potential development on
21 adjoining properties and in the surrounding neighborhood because the proposed Industrial
22 use is permitted within the Pacific Coast Business Industrial Master Plan Park and this in-
23 fill type development is within an industrial urbanized area of the City of Oceanside.
- 24 5. The site plan and physical design of the project is consistent with section 1.24 and 1.25 of
25 the Land Use Element of the General Plan because the project site is currently developed
26 and contains no natural topographic features; and will not lead to slope instability,
27 flooding, or erosion hazards to life or property because those threats have been designed
28 out of the project; there are no significant natural resources on site to preserve; there are
29 no natural hazards in proximity to the site and the project meets all setback requirements;
the project is not subject to the Development Guidelines for Hillsides or Section 3039 of
the Ordinance because the site contains no qualifying slopes.

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2
3 For the Conditional Use Permit:

- 4 1. The proposed use is in accord with the objectives of the Zoning Ordinance and the
5 purposes of the Pacific Coast Business Park Master Plan Industrial Development land use
6 district because various industrial uses are permitted in this zoning designation including
7 warehouse facilities are permitted and compatible with the industrial properties in the area.
8 Because the proposed buildings are greater than 50,000 square feet, a conditional use
9 permit is being requested with this project as required by the zoning regulations.
- 10 2. The industrial warehouse use is permitted, and the conditions under which it will be
11 operated and regulated are, consistent with the General Plan because it is permitted and
12 compatible with the Pacific Coast Business Park Master Plan; but the use permit is
13 necessary for the size of the industrial warehouses. The three proposed industrial
14 warehouse buildings and the use will not be detrimental to the welfare of the properties or
15 persons working, residing, or otherwise existing in the adjacent neighborhood areas
16 because the industrial warehouse use has been anticipated and analyzed to ensure that
17 impacts are not substantially negative. The industrial warehouse use provides a valuable
18 service to the local community; and the use will not be detrimental to properties or
19 improvements in the vicinity or to the general welfare of the City because the use has been
20 analyzed and approved with the Pacific Coast Business Master Plan and is appropriate for
21 the site, it is permitted on the site, and it will provide a valuable service to the local
22 community.
- 23 3. The proposed industrial use complies with the provisions of the Zoning Ordinance and the
24 Planned Industrial Zone because it meets all development standards for the use and the
25 zone and has been Conditioned as required by the Code.

26 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby
27 approve Development Plan (D-1-09) and Regular Coastal Permit (C-5-09), subject to the following
28 conditions:

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1 **Building:**

- 2 1. Applicable Building Codes and Ordinances shall be based on the date of submittal for
3 Building Division plan check. (As of January 1, 2008 the 2007 California Building
4 Code, and 2007 California Electrical Code).
- 5 2. The granting of approval under this action shall in no way relieve the applicant/project
6 from compliance with all State and Local building codes.
- 7 3. Site development, parking, access into buildings and building interiors shall comply with
8 the State's Disabled Accessibility Regulations. (2007 California Building Code (CBC),
9 Chapter 11B).
- 10 4. All electrical, communication, CATV, etc. service lines within the exterior lines of the
11 property shall be underground (City Code Sec. 6.30).
- 12 5. The building plans for this project are required by State law to be prepared by a licensed
13 architect or engineer and must be in compliance with this requirement prior to submittal
14 for building plan review.
- 15 6. All outdoor lighting must comply with Chapter 39 of the City Code (Light Pollution
16 Ordinance). Where color rendition is important, high-pressure sodium, metal halide or
17 other such lights may be utilized and shall be shown on building and electrical plans.
- 18 7. Compliance with the Federal Clean Water Act (BMP's) must be demonstrated on the
19 plans.
- 20 8. Separate/unique addresses will/may be required to facilitate utility releases. Verification
21 that the addresses have been properly assigned by the City's Planning Division must
22 accompany the Building Permit application.
- 23 9. A complete Soils Report, Structural Calculations, & Energy Calculations/documentation
24 will be required at time of plans submittal to the Building Division for plan check.
- 25 10. Tenant Improvements or other construction to the existing building requires permits
26 (including all required Inspections and approvals, and Issuance of Certificate of
27 Occupancy) from the Building Division.
- 28 11. Provide elevation at all accessible parking spaces, routes to the main entrance and all
29 elevation changes, grades, etc.

1 12. The developer shall monitor, supervise and control all building construction and supporting
2 activities so as to prevent these activities from causing a public nuisance, including, but not
3 limited to, strict adherence to the following:

4 a) Building construction work hours shall be limited to between 7:00 a.m. and 6:00
5 p.m. Monday through Friday, and on Saturday from 7:00 a.m. to 6:00 p.m. for work
6 that is not inherently noise-producing. Examples of work not permitted on
7 Saturday are concrete and grout pours, roof nailing and activities of similar noise-
8 producing nature. No work shall be permitted on Sundays and Federal Holidays
9 (New Year's Day, Memorial Day, July 4th, Labor Day, Thanksgiving Day,
10 Christmas Day) except as allowed for emergency work under the provisions of the
11 Oceanside City Code Chapter 38 (Noise Ordinance).

12 b) The construction site shall be kept reasonably free of construction debris as
13 specified in Section 13.17 of the Oceanside City Code. Storage of debris in
14 approved solid waste containers shall be considered compliance with this
15 requirement. Small amounts of construction debris may be stored on-site in a neat,
16 safe manner for short periods of time pending disposal.

17 **Engineering:**

18 13. Design and construction of all improvements shall be in accordance with the City of
19 Oceanside Engineers Design and Processing Manual, City Ordinances, and standard
20 engineering and specifications of the City of Oceanside and subject to approval by the
21 City Engineer.

22 14. A construction-phasing plan for the construction of public and on site private
23 improvements shall be reviewed and approved by the City Engineer prior to the issuance
24 of any grading or improvement permits. Prior to the issuance of any building permits all
25 frontage improvements including landscaping shall be under construction to the
26 satisfaction of the City Engineer. All improvements shall be completed prior to issuance
27 of any certificates of occupancy.

28 15. Prior to issuance of a grading permit, a covenant, reviewed and approved by the City
29 Attorney, shall be recorded attesting to these improvement conditions.

16. Prior to the issuance of a grading permit, the owner/developer shall notify and host a
neighborhood meeting with all of the area residents located within 300 feet of the project

1 site, to inform them of the grading and construction schedule, and to answer questions.
2 The owner/developer shall submit the list of neighbors within 300 feet of the property,
3 the letter mailed to the neighbors, the meeting sign in list, and minutes from the meeting.

4 17. The owner/developer shall monitor, supervise and control all construction and
5 construction-supportive activities, so as prevent these activities from causing a public
6 nuisance, including but not limited to, insuring strict adherence to the following:

7 a) Dirt, debris and other construction material shall not be deposited on any public
8 street or within the City's storm water conveyance system.

9 b) All grading and related site preparation and construction activities shall be
10 limited to the hours of 7:00 a.m. to 6:00 p.m., Monday through Friday. No
11 engineering related construction activities shall be conducted on Saturdays,
12 Sundays or legal holidays unless written permission is granted by the City
13 Engineer with specific limitations to the working hours and types of permitted
14 operations. All on-site construction staging areas shall be as far as possible
15 (minimum 100 feet) from any existing residential development. Because
16 construction noise may still be intrusive in the evening or on holidays, the City of
17 Oceanside Noise Ordinance also prohibits "any disturbing excessive or offensive
18 noise which causes discomfort or annoyance to reasonable persons of normal
19 sensitivity."

20 c) The construction site shall accommodate the parking of all motor vehicles used
21 by persons working at or providing deliveries to the site. An alternate parking
22 site can be considered by the City Engineer in the event that the lot size is too
23 small and cannot accommodate parking of all motor vehicles.

24 d) The owner/developer shall complete a haul route permit application (if required
25 for import/export of dirt) and submit to the City of Oceanside Engineering
26 Division 48 hours in advance of beginning of work. Hauling operations (if
27 required) shall be 8:00 a.m. to 3:30 p.m. unless approved otherwise.

28 18. It is the responsibility of the owner/developer to evaluate and determine that all soil
29 imported as part of this development is free of hazardous and/or contaminated material
as defined by the City and the County of San Diego Department of Environmental

1 Health. Exported or imported soils shall be properly screened, tested, and documented
2 regarding hazardous contamination.

3 19. A traffic control plan shall be prepared according to the City traffic control guidelines
4 and approved to the satisfaction of the City Engineer prior to the start of work within the
5 public right-of-way. Traffic control during construction of streets that have been opened
6 to public traffic shall be in accordance with construction signing, marking and other
7 protection as required by the Caltrans Traffic Manual and City Traffic Control
8 Guidelines. Traffic control plans shall be in effect from 8:00 a.m. to 3:30 p.m. unless
9 approved otherwise.

10 20. Approval of this development project is conditioned upon payment of all applicable
11 impact fees and connection fees in the manner provided in chapter 32B of the Oceanside
12 City Code. All traffic signal fees and contributions, highway thoroughfare fees, park
13 fees, reimbursements, and other applicable charges, fees and deposits shall be paid prior
14 to the issuance of any building permits, in accordance with City Ordinances and policies.
15 The owner/developer shall also be required to join into, contribute, or participate in any
16 improvement, lighting, or other special district affecting or affected by this project.
17 Approval of the project shall constitute the owner/developer's approval of such
18 payments, and his agreement to pay for any other similar assessments or charges in
19 effect when any increment is submitted for building permit approval, and to join,
20 contribute, and/or participate in such districts.

21 21. Sidewalk improvements and pedestrian ramps shall comply with ADA requirements.
22 Pedestrian ramps maintained by the City must be fully located within public right-of-
23 way.

24 22. Sight distance requirements at the project driveway or street shall conform to the corner
25 sight distance criteria as provided by SDRSD, DS-20. Intersectional sight distance shall
26 be required along Rocky Point Drive from the project driveways for each direction of
27 traffic.

28 23. The project's driveways and parking lots shall be maintained by an association. The
29 pavement sections, traffic indices shall be based on approved geotechnical report and in
compliance with the City of Oceanside Engineers Design and Processing Manual and be

1 approved by the City Engineer, prior to paving. The driveway alignments and geometric
2 layouts shall meet the City of Oceanside Engineers Design and Processing Manual.

3 24. Any existing broken pavement, concrete curb, gutter, driveways, pedestrian ramps and
4 sidewalk adjacent to the project frontage or damaged during construction of the project,
5 shall be repaired or replaced as directed by the City Engineer.

6 25. The owner/developer shall comply with all the provisions of the City's cable television
7 ordinances including those relating to notification as required by the City Engineer.

8 26. Drainage facilities shall be designed and installed to adequately accommodates the local
9 storm water runoff and shall be in accordance with the San Diego County Hydrology
10 and Design Manual and in compliance with the City of Oceanside Engineers Design and
11 Processing Manual to the satisfaction of the City Engineer.

12 27. The owner/developer shall obtain any necessary permits and clearances from all public
13 agencies having jurisdiction over the project due to its type, size, or location, including
14 but not limited to the U. S. Army Corps of Engineers, California Department of Fish &
15 Game, U. S. Fish and Wildlife Service and/or San Diego Regional Water Quality
16 Control Board (including NPDES), San Diego County Health Department, prior to the
17 issuance of grading permits.

18 28. Prior to issuance of a grading permit owner/developer shall submit to the City, process
19 and record a lot merger.

20 29. Prior to any grading of any part of the project, a comprehensive soils and geologic
21 investigation shall be conducted of the soils, slopes, and formations in the project. All
22 necessary measures shall be taken and implemented to assure slope stability, erosion
23 control, and soil integrity. No grading shall occur until a detailed grading plan, to be
24 prepared in accordance with the Grading Ordinance and Zoning Ordinance is approved
25 by the City Engineer.

26 30. This project shall provide year-round erosion control including measures for the site
27 required for the phasing of grading. Prior to the issuance of grading permit, an erosion
28 control plan, designed for all proposed stages of construction, shall be reviewed, secured
29 by the owner/developer with cash securities and approved by the City Engineer.

30 31. A precise grading and private improvement plan shall be prepared, reviewed, secured
and approved prior to the issuance of any building permits. The plan shall reflect all

1 pavement, flatwork, landscaped areas, special surfaces, curbs, gutters, medians, striping,
2 and signage, footprints of all structures, walls, drainage devices and utility services.
3 Parking lot striping and any on-site traffic calming devices shall be shown on all precise
4 grading and private improvement plans.

5 32. Landscaping plans, including plans for the construction of walls, fences or other
6 structures at or near intersections, must conform to intersection sight distance
7 requirements. Landscape and irrigation plans for disturbed areas shall be submitted to
8 the City Engineer prior to the issuance of a preliminary grading permit and approved by
9 the City Engineer prior to the issuance of occupancy permits. Frontage landscaping
10 shall be installed prior to the issuance of any certificates of occupancy. Any project
11 fences, sound or privacy walls and monument entry walls/signs shall be shown on,
12 bonded for and built from the landscape plans. These features shall also be shown on
13 the precise grading plans for purposes of location only. Plantable, segmental walls shall
14 be designed, reviewed and constructed by the grading plans and landscaped/irrigated
15 through project landscape plans. All plans must be approved by the City Engineer and a
16 pre-construction meeting held, prior to the start of any improvements.

17 33. The drainage design on development plan is conceptual only. The final design shall be
18 based upon latest San Diego County Hydrology and Drainage Manual to be approved by
19 the City Engineer during final engineering. All drainage picked up in an underground
20 system shall remain underground until it is discharged into an approved channel, or as
21 otherwise approved by the City Engineer.

22 34. Storm drain facilities shall be designed and located such that the inside travels lanes on
23 streets with collector or above design criteria shall be passable during conditions of a
24 100-year frequency storm.

25 35. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and
26 disposed of in accordance with all state and federal requirements, prior to stormwater
27 discharge either off-site or into the City drainage system.

28 36. Unless an appropriate barrier is approved on a landscape plan, a minimum 42-inch high
29 barrier, approved by the City Engineer, shall be provided at the top of all slopes whose
height exceeds 20 feet.

1 37. The owner/developer shall comply with the provisions of National Pollution Discharge
2 Elimination System (NPDES) General Permit for Storm Water Discharges Associated
3 with Construction Activity (General Permit) Water Quality Order 99-08-DWQ. The
4 General Permit continues in force and effect until a new General Permit is issued or the
5 SWRCB rescinds this General Permit. Only those owner/developers authorized to
6 discharge under the expiring General Permit are covered by the continued General
7 Permit. Construction activity subject to the General Permit includes clearing, grading,
8 and disturbances to the ground such as stockpiling, or excavation that results in soil
9 disturbances of at least one acre of total land area. The owner/developer shall obtain
10 coverage under the General Permit by submitting a Notice of Intent (NOI) and obtaining
11 a Waste Discharge Identification Number (WDID#) from the State Water Resources
12 Control Board (SWRCB). In addition, coverage under the General Permit shall not
13 occur until an adequate SWPPP is developed for the project as outlined in Section A of
14 the General Permit. The site specific SWPPP and associated NOI shall be maintained on
15 the project site at all times. The SWPPP shall be provided, upon request, to the United
16 States Environmental Protection Agency (USEPA), SWRCB, Regional Water Quality
17 Control Board (RWQCB), City of Oceanside, and other applicable governing regulatory
18 agencies. The SWPPP is considered a report that shall be available to the public by the
19 RWQCB under section 308(b) of the Clean Water Act. The provisions of the General
20 Permit and the site specific SWPPP shall be continuously implemented and enforced
21 until the owner/developer obtains a Notice of Termination (NOT) for the SWRCB. The
22 owner/developer is required to retain records of all monitoring information, copies of all
23 reports required by this General Permit, and records of all data used to complete the NOI
24 for all construction activities to be covered by the General Permit for a period of at least
25 three years from the date generated. This period may be extended by request of the
26 SWRCB and/or RWQCB.

27 38. The owner/developer shall provide a copy of the title/cover page of an approved SWMP
28 with the first engineering submittal package. The SWMP shall be prepared by the
29 owner/developer's Civil Engineer. All Storm water documents shall be in compliance
with the latest edition of submission requirements.

1 39. Following approval of the SWMP by the City Engineer and prior to issuance of grading
2 permits, the owner/developer shall submit and obtain approval of an Operation &
3 Maintenance (O&M) Plan, prepared to the satisfaction of the City Engineer. The O&M
4 Plan shall include an approved and executed Maintenance Mechanism pursuant to
5 Section 4.1 of the Interim Standard Urban Storm Water Mitigation Plan (ISUSMP). The
6 O&M shall satisfy the minimum Maintenance Requirements pursuant to Section 4.3 of
7 the ISUSMP. At a minimum the O&M Plan shall include the designated responsible
8 party to manage the stormwater BMP(s), employee training program and duties,
9 operating schedule, maintenance frequency, routine service schedule, specific
10 maintenance activities, copies of resource agency permits, cost estimate for
11 implementation of the O&M Plan, a security to provide maintenance in the event of
12 noncompliance to the O&M Plan, and any other necessary elements. The
13 owner/developer shall provide the City with access to site for the purpose of BMP
14 inspection and maintenance by entering into an Access Rights Agreement with the City.
15 The owner/developer shall complete and maintain O&M forms to document all
16 operation, inspection, and maintenance activities. The owner/developer shall retain
17 records for a minimum of five years. The records shall be made available to the City
upon request.

18 40. The owner/developer shall enter into a City-Standard Stormwater Facilities Maintenance
19 Agreement with the City obliging the owner/developer to maintain, repair and replace
20 the Storm Water Best Management Practices (BMPs) identified in the project's
21 approved SWMP, as detailed in the O&M Plan into perpetuity. The Agreement shall be
22 approved by the City Attorney prior to issuance of any precise grading permit and shall
23 be recorded at the County Recorder's Office prior to issuance of any building permit.
24 Security in the form of cash (or certificate of deposit payable to the City) or an
25 irrevocable, City standard letter of credit shall be required prior to issuance of a precise
26 grading permit. The amount of the security shall be equal to 10 years of maintenance
27 costs, as identified by the O&M Plan, but not to exceed a total of \$25,000. The
owner/developer's civil engineer shall prepare the O&M cost estimate.

28 41. At a minimum, maintenance agreements shall require the staff training, inspection and
29 maintenance of all BMPs on an annual basis. The owner/developer shall complete and

1 maintain O&M forms to document all maintenance activities. Parties responsible for the
2 O&M plan shall retain records at the subject property for at least five years. These
3 documents shall be made available to the City for inspection upon request at any time.

4 42. The Agreement shall include a copy of executed on-site and off-site access easement and
5 or access rights necessary for the operation and maintenance of BMPs that shall be
6 binding on the land throughout the life of the project to the benefit of the party
7 responsible for the O&M of BMPs, satisfactory to the City Engineer. The agreement
8 shall also include a copy of the O&M Plan approved by the City Engineer.

9 43. The BMPs described in the project's approved SWMP shall not be altered in any way,
10 unless reviewed and approved to the satisfaction of the City Engineer. The
11 determination of whatever action is required for changes to a project's approved SWMP
12 shall be made by the City Engineer.

13 44. Upon acceptance of any fee waiver or reduction by the owner/developer, the entire
14 project will be subject to prevailing wage requirements as specified by Labor Code
15 section 1720(b) (4). The owner/developer shall agree to execute a form acknowledging
16 the prevailing wage requirements prior to the granting of any fee reductions or waivers.

17 45. In the event that the conceptual plan does not match the conditions of approval, the
18 resolution of approval shall govern.

19 46. Landscape plans, shall meet the criteria of the City of Oceanside Landscape Guidelines
20 and Specifications for Landscape Development (latest revision), Water Conservation
21 Ordinance No. 91-15, Engineering criteria, City code and ordinances, including the
22 maintenance of such landscaping, shall be reviewed and approved by the City Engineer
23 prior to the issuance of building permits. Landscaping shall not be installed until bonds
24 have been posted, fees paid, and plans signed for final approval. The following
25 landscaping requirements shall be required prior to plan approval and certificate of
26 occupancy

27 a) Final landscape plans shall accurately show placement of all plant material such
28 as but not limited to trees, shrubs, and groundcovers.

29 b) Landscape Architect shall be aware of all utility, sewer, storm drain easement
and place planting locations accordingly to meet City of Oceanside requirements.

- 1 c) All required landscape areas shall be maintained by owner. The landscape areas
2 shall be maintained per City of Oceanside requirements.
- 3 d) Proposed landscape species shall be native or naturalized to fit the site and meet
4 climate changes indicative to their planting location. The selection of plant
5 material shall also be based on cultural, aesthetic, and maintenance
6 considerations. In addition proposed landscape species shall be low water users
7 as well as meet all Fire Department requirements.
- 8 e) All planting areas shall be prepared with appropriate soil amendments,
9 fertilizers, and appropriate supplements based upon a soils report from an
10 agricultural suitability soil sample taken from the site.
- 11 f) Ground covers or bark mulch shall fill in between the shrubs to shield the soil
12 from the sun, evapotranspiration and run-off. All the flower and shrub beds
13 shall be mulched to a 3" depth to help conserve water, lower the soil temperature
14 and reduce weed growth.
- 15 g) The shrubs shall be allowed to grow in their natural forms. All landscape
16 improvements shall follow the City of Oceanside Guidelines.
- 17 h) Root barriers shall be installed adjacent to all paving surfaces, where a paving
18 surface is located within six feet of a trees trunk on-site (private) and within 10
19 feet of a trees trunk in the right-of-way (public). Root barriers shall extend five
20 feet in each direction from the centerline of the trunk, for a total distance of 10
21 feet. Root barriers shall be 24 inches in depth. Installing a root barrier around
22 the tree's root ball is unacceptable.
- 23 i) All fences, gates, walls, stone walls, retaining walls, and plantable walls shall
24 obtain Planning Division approval for these items in the conditions or application
25 stage prior to 1st submittal of working drawings.
- 26 j) For the planting and placement of trees and their distances from hardscape and
27 other utilities/ structures the landscape plans shall follow the City of Oceanside's
28 (current) Tree Planting Distances and Spacing Standards.
- 29 k) An automatic irrigation system shall be installed to provide coverage for all
planting areas shown on the plan. Low precipitation equipment shall provide

1 sufficient water for plant growth with a minimum water loss due to water run-
2 off.

3 l) Irrigation systems shall use high quality, automatic control valves, controllers
4 and other necessary irrigation equipment. All components shall be of non-
5 corrosive material. All drip systems shall be adequately filtered and regulated
6 per the manufacturer's recommended design parameters.

7 m) All irrigation improvements shall follow the City of Oceanside Guidelines and
8 Water Conservation Ordinance.

9 n) The landscape plans shall match all plans affiliated with the project.

10 o) Landscape plans shall comply with Biological and/or Geotechnical reports, as
11 required, shall match the grading and improvement plans, comply with SWMP
12 Best Management Practices and meet the satisfaction of the City Engineer.

13 p) Existing landscaping on and adjacent to the site shall be protected in place and
14 supplemented or replaced to meet the satisfaction of the City-Engineer.

15 47. All landscaping, fences, walls, etc. on the site, in medians within the public right-of-way
16 and within any adjoining public parkways shall be permanently maintained by the
17 owner, his assigns or any successors-in-interest in the property. The maintenance
18 program shall include: a) normal care and irrigation of the landscaping b) repair and
19 replacement of plant materials c) irrigation systems as necessary d) general cleanup of
20 the landscaped and open areas e) parking lots and walkways, walls, fences, etc. Failure
21 to maintain landscaping shall result in the City taking all appropriate enforcement
22 actions including but not limited to citations. This maintenance program condition shall
23 be recorded with a covenant as required by this resolution.

24 48. In the event that the conceptual landscape plan (CLP) does not match the conditions of
25 approval, the resolution of approval shall govern.

26 **Fire:**

27 49. Submit a copy of as-built plans on a CD for all projects on the job site. A site plan
28 indicating the fire access and hydrant locations must also be submitted on CD Rom.

29 50. A minimum fire flow of 3000 gallons per minute shall be provided.

51. The size of fire hydrant outlets shall be 2 ½ "X 2 ½ x 4".

1.

- 1 52. All proposed and existing fire hydrants within 400 feet of the project shall be shown on
2 the site plan. (maximum 300' fire hydrant spacing).
- 3 53. The fire hydrants shall be installed and tested prior to placing any combustible materials
4 on the job site.
- 5 54. Provide on-site hydrants and mains capable of supplying the required fire flow. (All
6 portions of building shall be within 150" of fire hydrant).
- 7 55. The developer shall supply the Fire Department with updated map and hydrant locations
8 in a digital format compatible with the Fire Department's mapping program upon
9 approval of final improvements plans.
- 10 56. Blue hydrant identification markers shall be placed as per Oceanside's Engineers Design
11 and Processing Manual Standard Drawing No. M-13.
- 12 57. All weather access roads shall be installed and made serviceable prior to and maintained
13 during time of construction.
- 14 58. All streets less than 32 feet wide shall be posted "NO PARKING FIRE LANE" per
15 Vehicle Code Section 22500.1. Any markings, signs and/or fire lane identification shall
16 be in accordance with the Fire Department Standard Guidelines for Emergency Access.
- 17 59. A "Knox" key storage box shall be provided for all new construction.
- 18 60. All security gates shall have a Knox-box override and as required have strobe activation
19 capability.
- 20 61. An approved fire sprinkler system must be installed throughout the building. The
21 system shall be designed per N.F.P.A. 13, and U.B.C. Standard 9-1. The sprinkler
22 system requires 24-hour supervision.
- 23 62. When fire sprinklers systems are required in buildings of undetermined use, they shall
24 have a sprinkler density of .45 GPM/sq. ft. (or as otherwise required by the Oceanside
25 Fire Marshal), with a minimum design area of 3,000 square feet.
- 26 63. The Fire Department connection shall be located on the address side of the building –
27 unless otherwise determined by the Fire Department. The hydrant shall be located on
28 the same side of the street as the Fire Department connection.
- 29 64. In accordance with the Oceanside Fire Code Section 505, approved addresses for
commercial, industrial, and residential occupancies shall be placed on the structure in
such a position as to be plainly visible and legible from the street or roadway fronting

1 the property. Numbers shall be contrasting with their background and meet the current
2 City of Oceanside size and design standard.

3 65. Single-family dwellings require four-inch address numbers. Commercial buildings and
4 multi-family dwellings require six-inch address numbers. Industrial buildings require
5 12-inch address numbers. Minimum specifications are set forth in Oceanside Fire Code
6 Section 505.1, and the Fire Marshal may establish other requirements as deemed
7 necessary.

8 66. Plans shall be submitted to the Fire Prevention Bureau for plan check review and
9 approval prior to the issuance of building permits.

10 67. All fire sprinkler systems shall be electronically monitored unless approved by the Fire
11 Chief (exception: one and two family dwellings).

12 68. Provide a horn strobe device on the exterior of the building to be activated by fire
13 sprinkler water flow.

14 69. Fire apparatus access roads shall be designed and maintained to support the imposed
15 loads of fire apparatus not less than 75,000 lbs and shall be provided with an approved
16 paved surface to provide all-weather driving capabilities.

17 70. All water mains which support fire hydrants shall be looped as required by City of
18 Oceanside Engineer's Manual.

19 **Planning:**

20 71. The Development Plan and Conditional Use Permit shall expire on January 11, 2013,
21 unless implemented in accordance with the City of Oceanside Zoning Ordinance or unless
22 a time extension is granted by the Planning Commission.

23 72. This Development Plan (D-1-09) and Conditional Use Permit (C-5-09) approves the
24 construction of three industrial/warehouse buildings, totaling 272,630 square feet,
25 associated parking lot, and landscaping improvements as depicted on the plans and exhibits
26 presented to the Planning Commission for review and approval. No deviation from these
27 approved plans and exhibits shall occur without City Planner or Planning Commission
28 approval. Substantial deviations shall require a revision to the Development Plan and
29 Conditional Use Permit, or a new Development Plan, and Conditional Use Permit, as
determined by the City Planner.

1 73. The applicant, permittee or any successor-in-interest shall defend, indemnify and hold
2 harmless the City of Oceanside, its agents, officers or employees from any claim, action or
3 proceeding against the City, its agents, officers, or employees to attack, set aside, void or
4 annul an approval of the City, concerning Development Plan (D-1-09) and Conditional Use
5 Permit (C-5-09). The City will promptly notify the applicant of any such claim, action or
6 proceeding against the City and will cooperate fully in the defense. If the City fails to
7 promptly notify the applicant of any such claim action or proceeding or fails to
8 cooperate fully in the defense, the applicant shall not, thereafter, be responsible to
9 defend, indemnify or hold harmless the City.

10 74. All mechanical rooftop and ground equipment shall be screened from public view as
11 required by the Zoning Ordinance. The roof jacks, mechanical equipment, screen and
12 vents shall be painted with non-reflective paint to match the roof. This information shall be
13 shown on the building plans.

14 75. A letter of clearance from the affected school district in which the property is located
15 shall be provided as required by City policy at the time building permits are issued.

16 76. Recycling Services: OCC 13.16(h), the requirement to separate all recyclable material
17 from solid waste for separate collection.

18 77. Green Waste Services: The separation of all green waste from solid waste using the
19 approved city collection service and the collection of the material in compliance with
20 standards as identified in the city code, if green waste is to be collected by the tenant.

21 78. A covenant or other recordable document approved by the City Attorney shall be prepared
22 by the developer and recorded prior to issuance of building permits. The covenant shall
23 provide that the property is subject to this resolution, and shall generally list the conditions
24 of approval.

25 79. All lighting showcasing building architecture shall be shown on the building plans.

26 80. Prior to the issuance of building permits, compliance with the applicable provisions of the
27 City's anti-graffiti (Ordinance No. 93-19/Section 20.25 of the City Code) shall be reviewed
28 and approved by the Planning Division. These requirements, including the obligation to
29 remove or cover with matching paint all graffiti within 24 hours, shall be noted on the
Landscape Plan and shall be recorded in the form of a covenant affecting the subject
property.

- 1 81. Prior to the transfer of ownership and/or operation of the site the owner shall provide a
2 written copy of the applications, staff report and resolutions for the project to the new
3 owner and or operator. This notification's provision shall run with the life of the project
4 and shall be recorded as a covenant on the property.
- 5 82. Failure to meet any conditions of approval for this development shall constitute a violation
6 of the Development Plan and Conditional Use Permit.
- 7 83. The hours-of-operation of the use shall be reviewed and may be limited by the Planning
8 Commission when valid issues or complaints pertaining to code violations arise and are
9 validated by the Code Enforcement Officer.
- 10 84. The developer's construction of all fencing and walls associated with the project shall be in
11 conformance with the approved Development Plan. Minor revisions are subject to review
12 and approval by the City Planner. Any substantial change in any aspect of fencing or wall
13 design from the approved Development Plan shall require a revision to the Development
14 Plan or a new Development Plan, as determined by the City Planner.
- 15 85. Unless expressly waived, all current zoning standards and City ordinances and policies in
16 effect at the time building permits are issued are required to be met by this project. The
17 approval of this project constitutes the applicant's agreement with all statements in the
18 Description and Justification Plan and other materials and information submitted with this
19 application, unless specifically waived by an adopted condition of approval.
- 20 86. The applicant, tenants, or successors in interest shall comply with the City's business
21 license requirements as necessary.
- 22 87. Elevations, siding materials, colors, roofing materials and floor plans shall be
23 substantially the same as those approved by the Planning Commission. These shall be
24 shown on plans submitted to the Building Division and Planning Division for permit
25 plan check, and prior to issuance of any building permit.
- 26 88. No project signage is approved with this application. All project signage shall be subject
27 to a separate sign permit and be in compliance with Article 33, Signs, of the Zoning
28 Ordinance.

27 **Water Utilities:**

- 28 89. The developer will be responsible for developing all water and sewer utilities necessary to
29 develop the property. Any relocation or abandonment of water and/or sewer utilities is the

responsibility of the developer and shall be done by an approved licensed contractor at the developer's expense.

90. The property owner shall maintain private water and wastewater utilities located on private property.

91. Water services and sewer laterals constructed in existing right-of-way locations are to be constructed by approved and licensed contractors at developer's expense.

92. All Water and Wastewater construction shall conform to the most recent edition of the Water, Sewer, and Reclaimed Water Design and Construction Manual or as approved by the Water Utilities Director.

93. All water and sewer services not being utilized for this development shall be abandoned at the corresponding main in accordance with the Water, Sewer and Reclaimed Water Design and Construction Manual.

94. All public water and/or sewer facilities not located within the public right-of-way shall be provided with easements sized according to the Water, Sewer, and Reclaimed Water Design and Construction Manual. Easements shall be constructed for all weather access.

95. No trees, structures or building overhang shall be located within any water or wastewater utility easement.

96. All lots with a finish pad elevation located below the elevation of the next upstream manhole cover of the public sewer shall be protected from backflow of sewage by installing and maintaining an approved type backwater valve, per the Uniform Plumbing Code (U.P.C.).

97. A separate irrigation meter and approved backflow prevention device is required and shall be displayed on the plans.

98. An Inspection Manhole, described by the Water, Sewer, and Reclaimed Water Design and Construction Manual, shall be installed in each building sewer lateral and the location shall be called out on the approved Improvement Plans.

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1 99. Water and Wastewater Buy-in fees and the San Diego County Water Authority Fees are to
2 be paid to the City and collected by the Water Utilities Department at the time of Building
3 Permit issuance.

4 PASSED AND ADOPTED Resolution No. 2010-P03 on January 11, 2010 by the
5 following vote, to wit:

- 6 AYES:
- 7 NAYS:
- 8 ABSENT:
- 9 ABSTAIN:

10 _____
11 Claudia Troisi, Chairperson
12 Oceanside Planning Commission

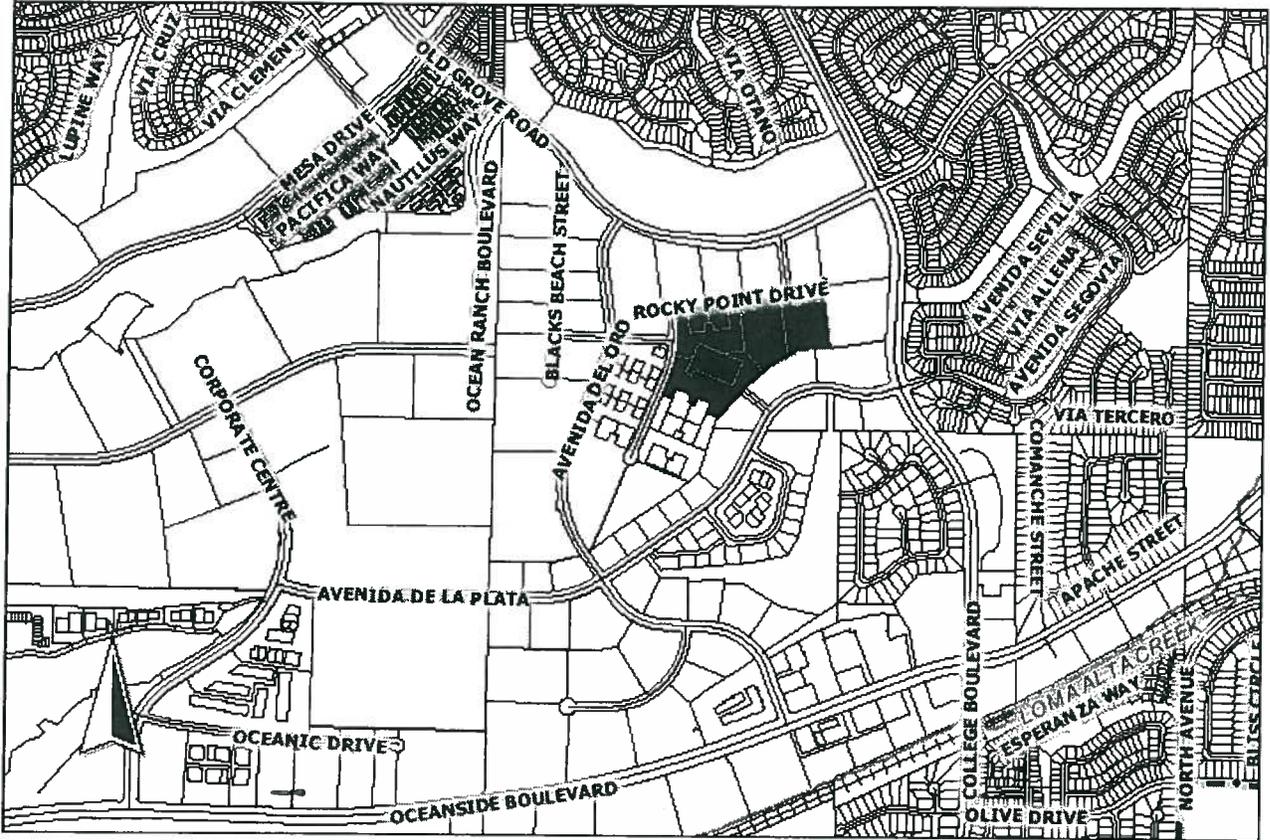
12 ATTEST:
13 _____
14 Jerry Hittleman, Secretary

15 I, JERRY HITTLEMAN, Secretary of the Oceanside Planning Commission, hereby certify that
16 this is a true and correct copy of Resolution No. 2010-P03.

17
18 Dated: January 11, 2010

19
20 Applicant accepts and agrees with all conditions of approval and acknowledges impact fees may
21 be required as stated herein:

22
23 _____
24 Applicant/Representative Date
25
26
27
28
29



File Number: D-1-09, C-5-09

Applicant: AMB DFS Pacific Coast, LLC

Description:

DEVELOPMENT PLAN (D-1-09) and CONDITIONAL USE PERMIT (C-5-09) for the construction of three industrial warehouse and office buildings located south of Rocky Point Drive and east of Avenida Del Oro. The project site is zoned PD-1 (Rancho Del Oro Planned Development) and is situated within the Ivey Ranch/Rancho Del Oro Neighborhood. – **PACIFIC COAST BUSINESS PARK PHASE II**

Environmental Determination:

The project is exempt from the California Environmental Quality Act.

City of Oceanside, Planning Division
300 N. Coast Highway
Oceanside, CA 92054
(760) 435-3520

Pacific Coast
Business Park phase



Application For Public Hearing

Community Development Department / Planning Division
(760) 435-3520
Oceanside Civic Center 300 North Coast Highway
Oceanside, California 92054-2885

STAFF USE ONLY

ACCEPTED
7/17/09
Received
JUL 17 2009
Planning Division
BY
SN.

Please Print Or Type All Information

HEARING

PART I - APPLICANT INFORMATION

1. APPLICANT AMB DFS Pacific Coast, LLC	2. STATUS Owner	GPA	
3. ADDRESS 17777 Center Court Drive, Suite 100 Cerritos, CA 90703	4. PHONE / FAX / E-mail 562-345-9200 562-724-6171 (fax)	MASTER/SP.PLAN	
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing) The Lightfoot Planning Group - Joy Chung		ZONE CH.	
6. ADDRESS 5750 Fleet Street, Suite 250 Carlsbad, CA 92008	7. PHONE / Fax / E-mail (760) 692-1924 phone (760) 692-1935 fax	TENT. MAP	
		PAR. MAP	
		X DEV. PL	D-1-09
		X C.U.P.	C-5-09
		VARIANCE	
		COASTAL	
		O.H.P.A.C.	

PART II - PROPERTY DESCRIPTION

8. LOCATION Lots 20-23 of Pacific Coast Business Park, south of Rocky Point Drive.	9. SIZE 15.25-acres		
10. GENERAL PLAN RDO Specific Plan	11. ZONING PD-1 RDO Specific Plan, Light Industrial	12. LAND USE Industrial	13. ASSESSOR'S PARCEL NUMBER 161-512-30, 31, 32, 33

PART III - PROJECT DESCRIPTION

14. GENERAL PROJECT DESCRIPTION *Construction of*
Three warehouse/industrial buildings located on Lots 20-23 of Pacific Coast Business Park. *totaling 272,630 sq ft*

15. PROPOSED GENERAL PLAN No Change	16. PROPOSED ZONING No Change	17. PROPOSED LAND USE No Change	18. NO. UNITS N/A	19. DENSITY N/A
20. BUILDING SIZE 272,630 square feet	21. PARKING SPACES 493 spaces	22. % LANDSCAPE 16.20%	23. % LOT COVERAGE or FAR	

PART IV - ATTACHMENTS

X 24. DESCRIPTION/JUSTIFICATION	X 25. LEGAL DESCRIPTION	X 26. TITLE REPORT
X 27. NOTIFICATION MAP & LABELS	X 28. ENVIRONMENTAL INFO FORM	X 29. PLOT PLANS
X 30. FLOOR PLANS AND ELEVATIONS	X 31. CERTIFICATION OF POSTING	N/A 32. OTHER (See attachment for required reports)

PART V - SIGNATURES

33. APPLICANT OR REPRESENTATIVE (Print): Kim Snyder	34. DATE 7/9/09	SIGNATURES OF ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).	
Sign: <i>[Signature]</i>	37. OWNER (Print) Kim Snyder	38. DATE 7/9/09	
I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.		Sign: <i>[Signature]</i>	

SCOTT

Received

JUL 17 2009

Planning Division

**PACIFIC COAST BUSINESS PARK
Phase II**

**DESCRIPTION AND JUSTIFICATION
July 2009**

This application is for a Development Plan and Conditional Use Permit for three industrial/warehouse buildings located on lots 20 - 23 (APN 161-512-30, 31, 21, 33) of Pacific Coast Business Park. A boundary adjustment application will be processed separately in order to merge lots 20 and 21, and adjust the lot line between lots 22 and 23. The parcels are located south of Rocky Point Drive, near the intersection of Rocky Point and Trestles Drive. The General Plan land use designation is RDO Specific Plan, with zoning regulations designated as PD-1, using the Light Industrial standards per the PCBP Industrial Master Development Plan. The proposed use is permitted with the approval of a conditional use permit for warehouse facilities over 50,000 square feet.

The property is surrounded by approved Light Industrial uses, including a variety of industrial buildings and medical office buildings. The project site is a graded lot, completed as part of the master industrial plan for Pacific Coast Business Park. Slope landscaping has been installed in accordance with the approved plans for the Industrial Master Development Plan for Pacific Coast Business Park. Sidewalks, interior streets have been completed throughout the business park and utilities have been installed and stubbed at each lot. Several lots adjacent to the project have either been entitled or have buildings near completion.

DEVELOPMENT PLAN

The proposed project includes three industrial/warehouse type buildings, totaling 272,630 square feet. After completion of a boundary adjustment, each building will be located on individual lots. The breakdown of each building is as follows:

Parcel	Parcel Size (acres)	Building Size (sq. ft.)
Parcel A	7.52	131,906
Parcel B	4.99	83,862
Parcel C	2.73	56,862

Loading truck docks have been included for each building. Permeable pavement has been used in several parking areas, helping to improve drainage and lower the amount of impervious surface with the development of this project. The permeable pavement is placed where parking stalls are proposed, not in drive aisles. The project has been designed to accommodate large trucks to maneuver and temporarily park onsite, eliminating any potential for conflicts with surrounding office parks.

Two large detention basins are proposed to be located at the southern corner of Lot 1, to handle any surface runoff as well as treat the runoff before it is released into the public storm drain system.

Upon completion of the boundary adjustment, each building will be located on a separate lot with the ability to function alone in terms of the amount of provided parking, utilities and employee eating areas. Each building has one designated employee eating area, adjacent to one of the building's office entrances. Access will be reciprocal between all buildings and lots.

The proposed plans also show potential gate locations that can create a secured yard area for each building. The gates are optional and will not necessarily be installed with the construction of the buildings, but are shown on the plans as potential locations should a user require secured yards.

ARCHITECTURE

Architectural style will be similar throughout the project, using neutral colors, with clear anodized mullion and blue reflective glazing as accents at entries. Massing on the buildings has been minimized using inset wall panels to add interest and variation to the wall planes. A natural wood color is used over entry door canopies to help anchor the entry area to a pedestrian scale. Each building will have two entry level office areas and the potential for additional mezzanine level offices.

The chart below summarizes how the project meets or exceeds the required development standards:

DEVELOPMENT STANDARDS - IL ZONE		
	REQUIRED	PROPOSED
Parking: 1 space/1,000 sq. ft.	329	502
Landscape	15%	19.4%
Setbacks (feet)		
Front	10	10
Side	0	1
Corner Side	10	10
Rear	0	10
Building Height (feet)	80	36
Lot Coverage	75%	41.1%

DEVELOPMENT PLAN FINDINGS

The City of Oceanside Zoning Ordinance stipulates that five specific findings must be made before a Development Plan can be approved. This proposal meets those conditions as follows:

1. **That the site plan and physical design of the project as proposed is consistent with the purposes of the Zoning Ordinance.**

The Phase II project is located within Pacific Coast Business Park, which is designated as a Light Industrial use area. The proposed project will provide the overall business park with a different type of building use and job opportunity than what is currently approved within PCBP. Being located within an existing business park, the proposed project will not impact surrounding neighborhoods, is in compliance with the Zoning Ordinance and appropriate for the proposed site.

2. **That the Development Plan as proposed conforms to the General Plan of the City.**

The proposed project meets all goals and objectives of the RDO Specific Plan, PCBP Master Development Plan, and the industrial land use category. The proposed warehouse buildings are allowed with the approval of a conditional use permit.

3. **That the area covered by the Development Plan can be adequately, reasonably and conveniently served by existing and planned public services, utilities and public facilities.**

Public utilities were included as a part of the master development plan of Pacific Coast Business Park and have been installed. A licensed civil engineer, landscape architect and other technical professionals have reviewed the project and generated reports to ensure that the proposed development will be adequately served by the appropriate type, size and amount of utilities.

4. **That the project as proposed is compatible with existing and potential development on adjoining properties or in the surrounding neighborhood.**

The proposed project is located within a master planned industrial business park. Surrounding land uses are similar to the proposed project.

5. **That the site plan and physical design of the project is consistent with the policies contained within Section 1.24 and 1.25 of the Land Use Element of the General Plan, the Development Guidelines for Hillside, and Section 3039 of this ordinance.**

The subject site does not contain undevelopable land or qualifying slopes, and is therefore not subject to the provisions of the Land Use Element or the Development Guidelines for Hillside in Section 3039 of the Zoning Ordinance.

CONDITIONAL USE PERMIT FINDINGS

The City of Oceanside Zoning Ordinance stipulates that three specific findings must be made before a Conditional Use Permit can be approved. This proposal meets those conditions as follows:

1. **That the proposed location of the use is in accord with the objectives of this ordinance and the purposes of the district in which the site is located.**

The proposed project is located within an approved business park with a Light Industrial zoning designation. Various industrial uses are permitted in this zoning designation, including warehousing facilities under 50,000 square feet. Because the proposed buildings are greater than 50,000 square feet, a conditional use permit is being requested with this project as required by the zoning regulations.

2. **That the proposed location of the conditional use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the City.**

The proposed location and use will not be detrimental to the general health, safety or welfare of the City. The use itself is an allowed use within the zone, the use permit is for the size of the building. The location of the proposed buildings is in the interior of Pacific Coast Business Park and near main arterials.

3. **That the proposed conditional use will comply with the provisions of this ordinance, including any specific condition required for the proposed conditional use in the district in which it would be located.**

The conditional use will comply with the provisions of this ordinance and any specific conditions required for the project.

PACIFIC COAST BUSINESS PARK PHASE II

LEGAL DESCRIPTION

PARCELS 20 THROUGH 23 INCLUSIVE OF PARCEL MAP NO. 20306, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JULY 24, 2007 AS FILE NO. 2007-049309, OFFICIAL RECORDS.

APN: 161-512-30 THROUGH 33

Received
JUL 17 2009
Planning Division



NOTICE OF EXEMPTION

City of Oceanside, California

Post Date: January 13, 2010

Removal Date:

1. **APPLICANT:** AMB DFS PACIFIC COAST LLC.
2. **ADDRESS:** 1777 Center Court Drive #100
3. **PHONE NUMBER:** (562) 345-9200
4. **LEAD AGENCY:** City of Oceanside
5. **PROJECT MGR.:** Scott Nightingale, Associate Planner
6. **PROJECT TITLE:** Pacific Coast Business Park Phase II (D-1-09 & C-5-09)
7. **DESCRIPTION:** The application is for the construction of a three industrial/warehouse buildings, totaling 272,630 square feet on three individual parcels, and associated parking and landscaping improvements.

ADMINISTRATIVE DETERMINATION: Planning Department staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA), 1970. Based on that review, staff finds that the proposed project constitutes an in-fill development project as defined by CEQA. Therefore, the Environmental Coordinator has determined that further environmental evaluation is not required because:

- "The activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA" (Section 15061(b)(3)); or,
- The project is statutorily exempt, Section _____, <name> (Sections 15260-15277); or,
- The project is categorically exempt, Class 32, "In-fill Development Project" (Section 15332 In-fill Development Project; or,**
 - The project does not constitute a "project" as defined by CEQA (Section 15378).



Scott Nightingale, Associate Planner

Date:

cc: Project file Counter file Library

Posting: County Clerk \$50.00 Admin. Fee