



DATE: October 6, 2008

TO: Chairperson and Members of the Planning Commission

FROM: Development Services Department/Planning Division

SUBJECT: **CONSIDERATION OF A TENTATIVE PARCEL MAP (P-4-08) AND DEVELOPMENT PLAN (D-5-08) TO ALLOW FOR THE CONSTRUCTION OF 12 INDUSTRIAL BUILDINGS ON LOT 19 OF THE OCEAN RANCH CORPORATE CENTER. THE TENTATIVE MAP WOULD PLACE EACH BUILDING ON INDIVIDUAL LOTS, WITH THE PARKING LOT AND OPEN SPACE AS ONE COMMON LOT. THE PROPOSED BUILDING WOULD HAVE A TOTAL SQUARE FOOTAGE OF 224,900 AND WOULD BE LOCATED EAST OF RANCHO DEL ORO ROAD AND NORTH OF OCEAN RANCH BOULEVARD. THE PROJECT SITE IS ZONED IL (LIMITED INDUSTRIAL) AND IS SITUATED WITHIN THE IVEY RANCH/RANCHO DEL ORO NEIGHBORHOOD. – WINDSTAR OCEAN RANCH LOT 19 – APPLICANT: CREA/WINDSTAR OCEAN RANCH LLC**

### RECOMMENDATION

Staff recommends that the Planning Commission by motion:

- (1) Approve Tentative Parcel Map (P-4-08) and Development Plan (D-5-08) by Adopting Planning Commission Resolution No. 2008-P61 with findings and conditions of approval attached herein.

### PROJECT DESCRIPTION AND BACKGROUND

**Background:** The site is located on a 14.14-acre site east of Rancho Del Oro Road and north of Ocean Ranch Boulevard, with the Ocean Ranch Corporate Center. The original 393-acre Ocean Ranch Corporate Center Industrial Master Development Plan area subdivision map was processed as part of Tentative Map (T-1-99) and Development Plan (D-7-99), and created a total of 22 industrial lots. On September 13, 1999, the Planning Commission adopted Resolution No. 1999-P56 approving Tentative Map (T-1-99) and Development Plan (D-7-99), allowing for phasing of individual lot development throughout the Ocean Ranch Corporate Center.

The original Tentative Parcel Map and Development Plan established the original pad area and determined the criteria for each future phase and/or lot proposed for development, which is regulated by the Ocean Ranch Corporate Center Industrial Master Development Plan and the Oceanside Zoning Ordinance for Limited Industrial (IL). The Zoning Ordinance and/or the General Plan regulations would apply where the adopted Master Development Plan is silent. As designed, this project either meets or exceeds the established development regulations contained within the Oceanside Zoning Ordinance and the Ocean Ranch Master Development Plan.

**Site Review:** The project involves development of a vacant 14.14-acre lot, "Lot 19", which is one of the original 22 lots created within the 393-acre Ocean Ranch Corporate Center Industrial Master Development Plan area. The site is zoned IL (Limited Industrial) and is regulated by the Ocean Ranch Community Master Development Plan, which establishes additional development standard regulations and/or more restrictive regulations than the land use standards contained within the Oceanside Zoning Ordinance. The General Plan designation is LI (Limited Industrial). Surrounding land uses include a Coca-Cola plant to the west, vacant land to the east, Genentech to the south, and open space and residential condominiums to the north.

**Project Description:** The project application is comprised of two components; a Tentative Parcel Map (P-3-08) and Development Plan (D-4-08).

Tentative Parcel Map (P-3-08) represents a request for the following:

- (a) To create 13 parcels on 14.14 acres on Lot 19 of the original Ocean Ranch Corporate Center Industrial Master Development Plan area.

Development Plan (D-4-08) represents a request for the following:

- (a) To construct 12 industrial office buildings with a combined square footage of 224,905 square feet.

Under the proposal, the 12 buildings on Lot 19 would provide a combined total building floor area of 224,905 square feet, with 224,600 square feet of leasable space. Of this, 48,000 square feet would be mezzanine space for potential offices. A total of 575 parking spaces would be provided. The Tentative Parcel Map would allow each of the 12 buildings to sit on individual lots, with the parking lot and open space on a 13<sup>th</sup> common lot. The buildings would cover 35.8 percent of the overall 14.14-acre site

Architectural design would be contemporary in style with stone and tile accents along the front elevations of the buildings, and would be constructed using tilt-up concrete panels finished in earth tone colors and storefront type glazing. Overall design of the buildings establishes a maximum height of 33 feet

Traffic impacts have been considered as part of the larger Ocean Ranch Industrial Master Development Plan area traffic and parking allocation models. As designed, and based

upon the number of average daily trips being assigned to the industrial office center by the Ocean Ranch Business Association, the City's Transportation and Engineering Department has determined that this project can be accommodated. This project will also provide a total of 23 loading spaces to meet the required loading space regulations established within Section 3103 of the OZO.

Site landscaping has been evaluated and determined to meet the required landscape criteria established within the Ocean Ranch Industrial Master Development Plan. In particular, this project meets the landscape palette and exceeds the minimum required 12 percent landscape coverage requirement. In all, 14.6 percent of the total 14.14-acre area will be devoted to an enhanced landscape palette. A total of 14 outdoor employee eating areas would be integrated throughout the industrial office complex, each designed with tables and/or benches, and adequate landscaping for shade.

Signage is not proposed as part of the project. All signage associated with individual tenants would meet the stringent criteria established within the Ocean Ranch Industrial Master Development Plan and would need to be approved by the Ocean Ranch Business Association Architectural Review Committee prior to submittal to the City.

The project is subject to the following City ordinances and policies:

1. Zoning Ordinance
2. General Plan Land Use Element
3. Ocean Ranch Industrial Master Development Plan
4. California Environmental Quality Act (CEQA)
5. The Subdivision Ordinance

## **ANALYSIS**

### **KEY PLANNING ISSUES**

#### **1. General Plan conformance**

The General Plan Land Use Map designation on the subject property is LI (Light Industrial) on the Land Use Map. The proposed project is consistent with this designation and the goals and objectives of the City's General Plan as follows:

##### **A. Land Use Element**

###### **Goal 1.2: Site Design**

**Objective:** To provide high-quality site design, all proposed land development projects shall take advantage of natural or manmade environments to maximize energy conservation, natural air circulation, public safety, visual aesthetics, private and common open spaces, privacy, and land use compatibility.

**Policy C:** New development or land uses shall provide coordinated site design wherever possible with existing or proposed adjacent land uses to provide complimentary site design, unified circulation access, and joint use of ancillary facilities.

The site is physically suitable for the type of uses proposed, in that the entire Ocean Ranch Industrial Master Development Plan area was originally designed to accommodate light industrial type tenants, and the proposal to develop Lot 19 with industrial type units is consistent with the overall Master Plan envisioned for the area.

In all, the project would make industrial facilities available to small and medium size industrial companies and/or ancillary services supporting larger companies. The site would have buildings between 7,800 square feet and 33,950 square feet of area. All future tenant improvements will be processed as appropriate.

The concrete tilt-up structures have been designed and sited in a manner that provides for a industrial park type development consistent with the business park developments found throughout the Ocean Ranch community. In order to provide for a subdued transition from the natural environment, the applicant is proposing to finish the structure in neutral earth-toned color palettes and would integrate ample landscape buffer areas.

**2. Zoning Compliance**

This project is located within the Ocean Ranch Industrial Master Development Plan area and as designed, complies with the requirements of the Master Plan. The following table summarizes proposed and applicable development standards for the project site:

	MINIMUM REQUIRED (per Ocean Ranch Industrial Master Plan)	PROPOSED
LOT SIZE	20,000 sq ft	615,938 sq ft (14.14 ac)
LOT COVERAGE	50% (max)	35.8%
FRONT YARD	25 foot min. parking setback 33 foot min. building setback	~36 feet to parking ~111 feet to building
REAR YARD	5 foot min. building setback	41 feet, 9 inch min.
PARKING	512 spaces	575 spaces
BUILDING HEIGHT	80 foot max.	33 foot max.

The proposed project meets all applicable requirements of the Ocean Ranch Industrial Master Development Plan as denoted above, and would exceed the required number of parking spaces required for the 12 proposed buildings. No variances or modifications to the Master Development Plan are required as part of the proposed project.

**3. Land Use Compatibility with surrounding developments**

LOCATION	GENERAL PLAN	ZONING	LAND USE
Subject Property:	LI (Light Industrial)	IL (Limited Industrial) subject to Ocean Ranch Master Plan	Light Industrial
North:	LI	IL (Ocean Ranch) RM-B (Medium Density Residential)	Open Space easement St. Cloud residential condos
East:	LI S-1-84 (RDO)	IL (Ocean Ranch) PD-1 (PCBP Master Development Plan)	Vacant land (future light industrial)
South:	LI	IL (Ocean Ranch)	Genentech
West:	LI	IL (Ocean Ranch)	Coca-Cola plant

The proposed Industrial Development has been determined to be acceptable with the surrounding undeveloped area and Master Plan vision for the area; as well as, with the respective General Plan and Zoning Ordinance designations. Staff has concluded that the design of Windstar Ocean Ranch, with the type of improvements proposed, would not result in any serious public safety or health issues in relation to the proximity of the site to other types of uses in the area surrounding the project site.

**4. Compliance with the Subdivision Ordinance**

The proposed project is subject to the Subdivision Map Act and the Oceanside Subdivision Ordinance. The Tentative Parcel Map has been prepared in a manner acceptable to the Engineering Department.

**DISCUSSION**

*Issue: Project Compatibility with the Existing Developed and Undeveloped Areas:* The proposed industrial development would be consistent with, and compatible to, the Light Industrial type developments in the surrounding area and would provide for industrial

type uses that are important to the City's future economic base and diversity of job opportunities close to residential developments. Access is available to the site, and site design has incorporated adjacent environmental sensitivities as part of each lot and the larger project layout.

*Recommendation:* Staff finds that the overall design of the project is consistent with the existing developed and undeveloped areas, and no known opposition to the project has been noted. Staff supports the project as submitted by the applicant, subject to conditions of approval contained within the draft resolution.

## **ENVIRONMENTAL DETERMINATION**

Pursuant to the California Environmental Quality Act of 1970 (CEQA), and State Guidelines thereto; a Mitigated Negative Declaration (MND) was prepared for the Ocean Ranch initial Tentative Map and Development Plan that created the Ocean Ranch Master Development Plan, and in accordance with CEQA guidelines section 15162, the proposed project to construct 12 industrial buildings on a 14.14-acre site will not result in substantial changes in the original project, will not involve substantial changes to the circumstances for which the project was originally undertaken, and no new information of substantial importance not known at the time of the initial CEQA review has been identified; therefore, the City serving as the lead agency has determined that further environmental review is not required at this time.

## **PUBLIC NOTIFICATION**

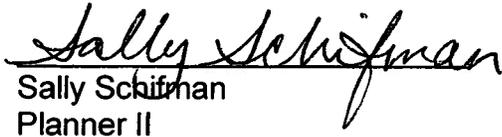
Legal notice was published in the North County Times and notices were sent to property owners and occupants of record within a 1500-foot radius of the project site, individuals/organizations requesting notification, any other interested parties, the applicant, and their representatives. As of September 26, no communication supporting or opposing the project has been received.

## **SUMMARY**

In summary, staff believes that the proposed Tentative Parcel Map and Development Plan are consistent with the requirements of the Ocean Ranch Industrial Master Development Plan, Zoning Ordinance, and the Land Use Policies outlined in the General Plan. The project meets or exceeds all development standards, and has been determined to be compatible with the surrounding environment and the architectural style is appropriate for projects within the Ocean Ranch and surrounding Rancho Del Oro areas. As such, staff recommends that the Planning Commission approve the project. The Commission's action should be:

- Move to approve Tentative Parcel Map (P-4-08) and Development Plan (D-5-08) by adopting Planning Commission Resolution No. 2008-P61 as attached.

PREPARED BY:

  
Sally Schiffman  
Planner II

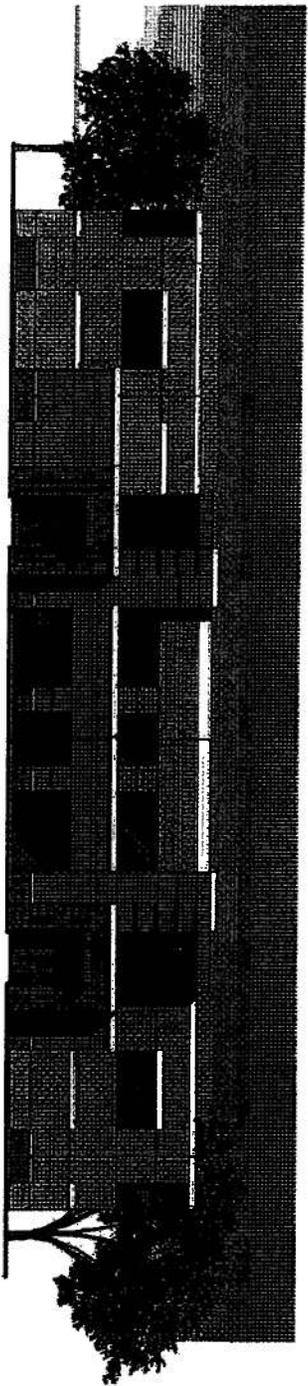
SUBMITTED BY:

  
Jerry Hittleman  
City Planner

JH/SS/fil

Attachments:

1. Tentative Parcel Map, Development Plan, and Conceptual Landscape Plan
2. Planning Commission Resolution No. 2008-P61
3. Planning Commission Resolution No. 1999-P56



# WINDSTAR OCEAN RANCH CORPORATE CENTER

AUG 27 2008

Planning Department

### Project Directory

Project Name	Address	City/County	Project Status
Windstar Ocean Ranch Corporate Center	1700 E. Valley Plaza Blvd 1st Floor, CA 92610 San Diego, CA 92108	San Diego, CA	Phase 1C - 10/1/08
Landmark Anaheim	1500 E. Katella Ave Anaheim, CA 92805	Anaheim, CA	Phase 1 - 10/1/08
Project 1	1500 E. Katella Ave Anaheim, CA 92805	Anaheim, CA	Phase 1 - 10/1/08
Project 2	1500 E. Katella Ave Anaheim, CA 92805	Anaheim, CA	Phase 1 - 10/1/08
Project 3	1500 E. Katella Ave Anaheim, CA 92805	Anaheim, CA	Phase 1 - 10/1/08
Project 4	1500 E. Katella Ave Anaheim, CA 92805	Anaheim, CA	Phase 1 - 10/1/08
Project 5	1500 E. Katella Ave Anaheim, CA 92805	Anaheim, CA	Phase 1 - 10/1/08
Project 6	1500 E. Katella Ave Anaheim, CA 92805	Anaheim, CA	Phase 1 - 10/1/08
Project 7	1500 E. Katella Ave Anaheim, CA 92805	Anaheim, CA	Phase 1 - 10/1/08
Project 8	1500 E. Katella Ave Anaheim, CA 92805	Anaheim, CA	Phase 1 - 10/1/08
Project 9	1500 E. Katella Ave Anaheim, CA 92805	Anaheim, CA	Phase 1 - 10/1/08
Project 10	1500 E. Katella Ave Anaheim, CA 92805	Anaheim, CA	Phase 1 - 10/1/08

### Project Data

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Project 10	1500 E. Katella Ave Anaheim, CA 92805	Anaheim, CA	Phase 1 - 10/1/08

### Legal description

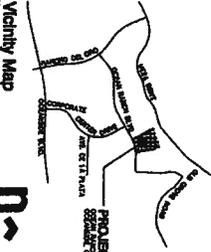
Lot 9 of Ocean Ranch Phase 2B, in the City of Oceanside, County of San Diego, State of California, according to Map (Contract No. 14132, filed in the Office of the County Registrar, County of San Diego, on June 20, 2004 as Instrument No. 2704-090345

### APN

06-07127

### Ocean Ranch Development Phasing

THIS PROJECT IS A PART OF OCEAN RANCH PHASE 2-C



### Sheet Index

Sheet No.	Sheet Title
1	Site Plan
2	Site Plan
3	Site Plan
4	Site Plan
5	Site Plan
6	Site Plan
7	Site Plan
8	Site Plan
9	Site Plan
10	Site Plan
11	Site Plan
12	Site Plan
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Building No.	Building Area	First Floor	Mezzanine	Total	Zone	Occupancy	Construction Type	Fire Sprinklers	Fire Alarm	Smoke Detector	Handicap Accessible
BUILDING 1	1,400 SF	1,400 SF	0 SF	1,400 SF	R, F, I, S-1	Office	Yes	Yes	Yes	Yes	Yes
BUILDING 2	1,400 SF	1,400 SF	0 SF	1,400 SF	R, F, I, S-1	Office	Yes	Yes	Yes	Yes	Yes
BUILDING 3	1,400 SF	1,400 SF	0 SF	1,400 SF	R, F, I, S-1	Office	Yes	Yes	Yes	Yes	Yes
BUILDING 4	1,400 SF	1,400 SF	0 SF	1,400 SF	R, F, I, S-1	Office	Yes	Yes	Yes	Yes	Yes
BUILDING 5	1,400 SF	1,400 SF	0 SF	1,400 SF	R, F, I, S-1	Office	Yes	Yes	Yes	Yes	Yes
BUILDING 6	1,400 SF	1,400 SF	0 SF	1,400 SF	R, F, I, S-1	Office	Yes	Yes	Yes	Yes	Yes
BUILDING 7	1,400 SF	1,400 SF	0 SF	1,400 SF	R, F, I, S-1	Office	Yes	Yes	Yes	Yes	Yes
BUILDING 8	1,400 SF	1,400 SF	0 SF	1,400 SF	R, F, I, S-1	Office	Yes	Yes	Yes	Yes	Yes
BUILDING 9	1,400 SF	1,400 SF	0 SF	1,400 SF	R, F, I, S-1	Office	Yes	Yes	Yes	Yes	Yes
BUILDING 10	1,400 SF	1,400 SF	0 SF	1,400 SF	R, F, I, S-1	Office	Yes	Yes	Yes	Yes	Yes
BUILDING 11	1,400 SF	1,400 SF	0 SF	1,400 SF	R, F, I, S-1	Office	Yes	Yes	Yes	Yes	Yes
BUILDING 12	1,400 SF	1,400 SF	0 SF	1,400 SF	R, F, I, S-1	Office	Yes	Yes	Yes	Yes	Yes

SmithConsultingArchitects

WINDSTAR OCEAN RANCH CORPORATE CENTER

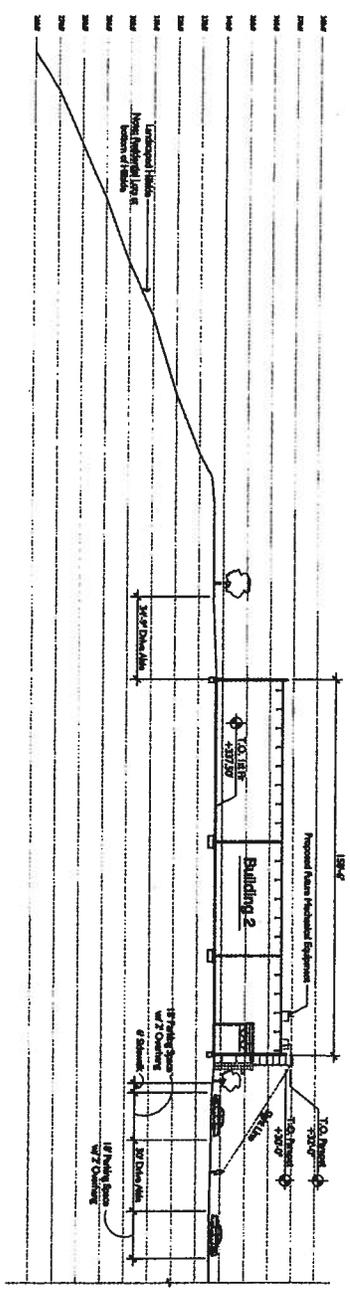
OCEANSIDE, CALIFORNIA

Revision Table

Revision No.	Description	Date
1	Initial Design	08/20/08
2	Final Design	08/20/08
3	Final Design	08/20/08
4	Final Design	08/20/08
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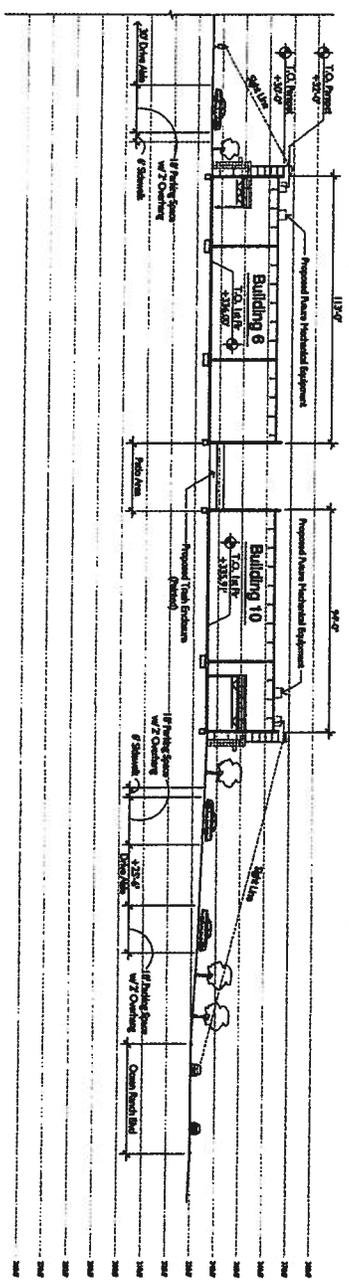
TS





SITE SECTION

1/4" = 1'



SITE SECTION

1/4" = 1'

**Smith Consulting Architects**

75-400 Paul Hickey Blvd  
 Suite 201  
 San Diego, CA 92111  
 (619) 271-1277  
 (619) 239-3889 Fax

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 San Diego, CA 92130  
 (619) 775-0777 Fax

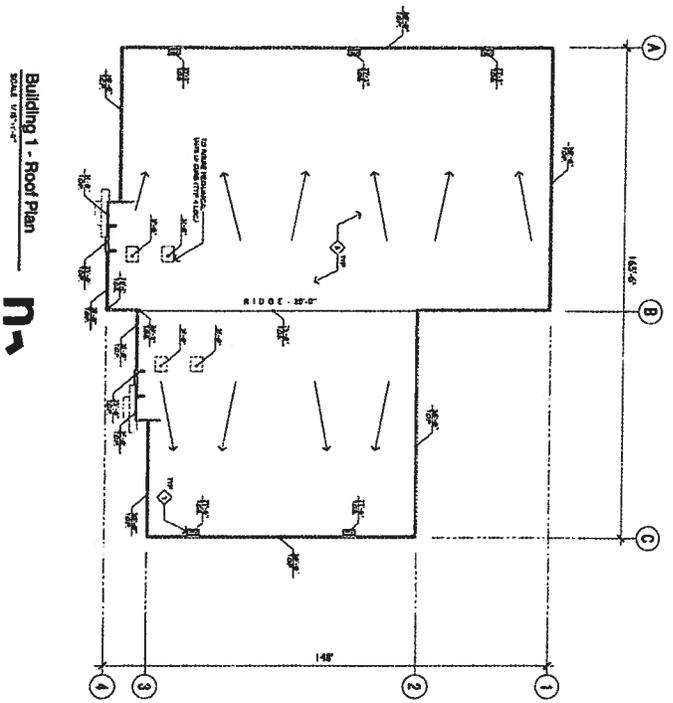
**WINDSTAR OCEAN RANCH CORPORATE CENTER**

LOT 19

OCEANSIDE, CALIFORNIA

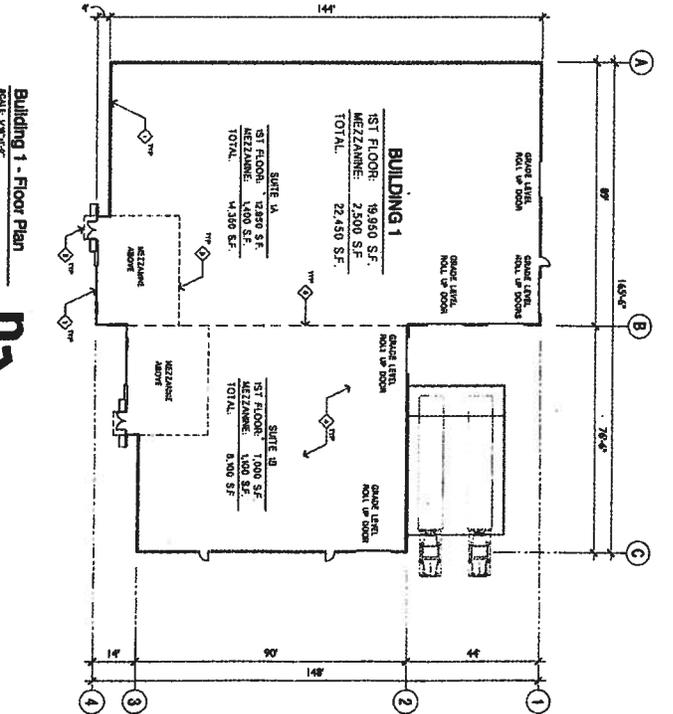
Revision	Date	By	Check

Project: Windstar  
 Drawing No: A1.1  
 Date: 08.25.08

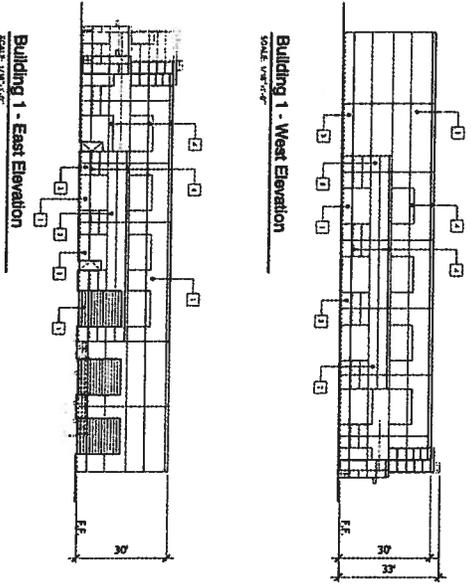


**Building 1 - Roof Plan**  
SCALE: 1/8" = 1'-0"

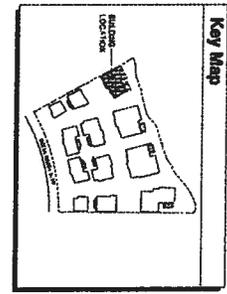
- Key Notes**
- 1. CONCERN CLIMATE - HAZARD
  - 2. 1" x 4" NAIL SPACING (LOCAL PERMITS)
  - 3. LINE OF DETAILING POINT
  - 4. MECHANICAL, ELEC & PLUMBING
  - 5. LINE OF WEATHER JAMB
  - 6. PERIMETER, EXTERIOR FINISH WALL
  - 7. ROOF DRAINAGE AND DRAINAGE SYSTEM
  - 8. CHECK LOCAL PERMITS AND REGULATIONS FOR WEATHER-RESISTANT CLIMATE
- NOTE:**  
EXTENSION ROOF MOUNTED EQUIPMENT SHALL BE INSTALLED AT LEAST 18" ABOVE ANY GROUND LEVEL AT A DISTANCE CLOSER THAN 300 FEET FROM THE CLOSEST BUILDING WALL IN ANY LOT. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. ALL ROOF MOUNTED EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH BUILDING DEPARTMENT POLICY 86-2.



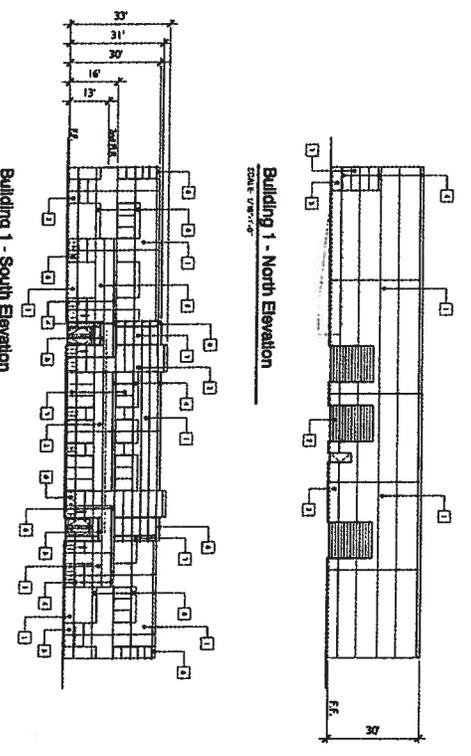
**Building 1 - Floor Plan**  
SCALE: 1/8" = 1'-0"



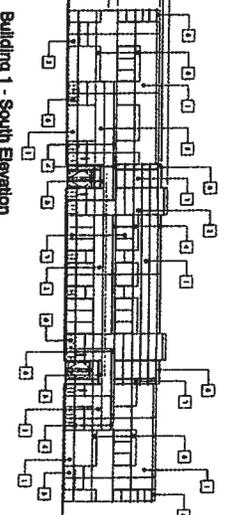
**Building 1 - West Elevation**  
SCALE: 1/8" = 1'-0"



- Finish Legend**
- 1. PAINT FINISH (COLOR TO BE DETERMINED BY OWNER)
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  - 9. PAINT FINISH (COLOR TO BE DETERMINED BY OWNER)
  - 10. PAINT FINISH (COLOR TO BE DETERMINED BY OWNER)



**Building 1 - North Elevation**  
SCALE: 1/8" = 1'-0"



**Building 1 - South Elevation**  
SCALE: 1/8" = 1'-0"

**Smith Consulting Architects**

7800 Foothill Blvd  
Suite 201  
Rancho Dominguez, CA 92211  
(951) 771-1177  
(951) 581-1881 Fax

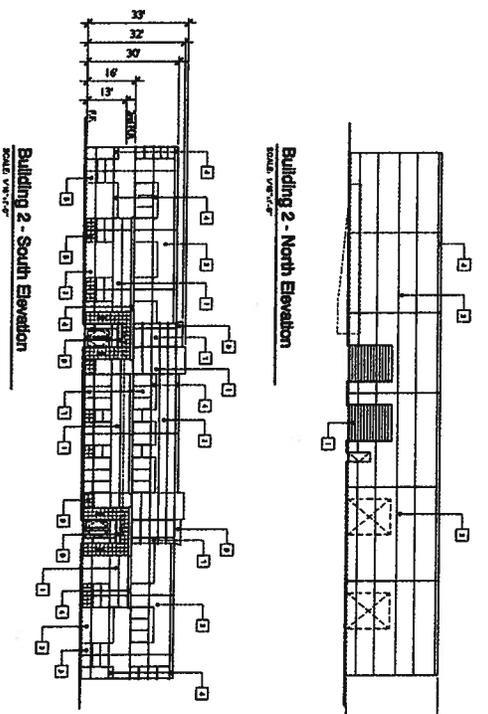
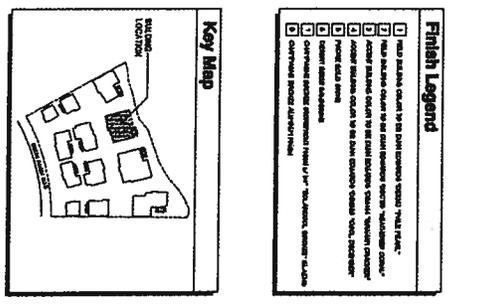
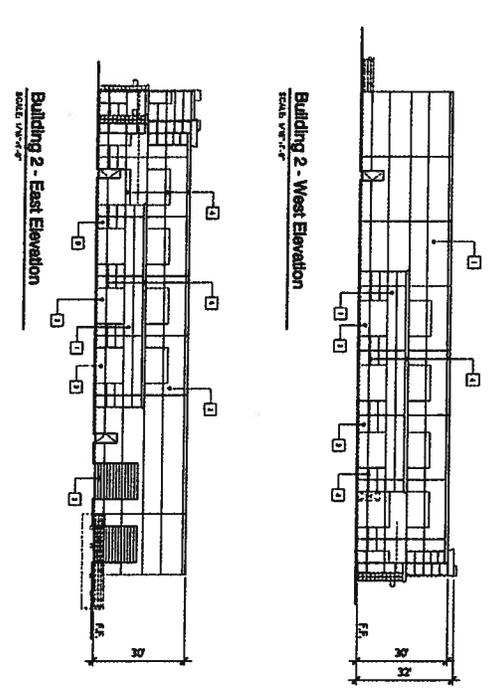
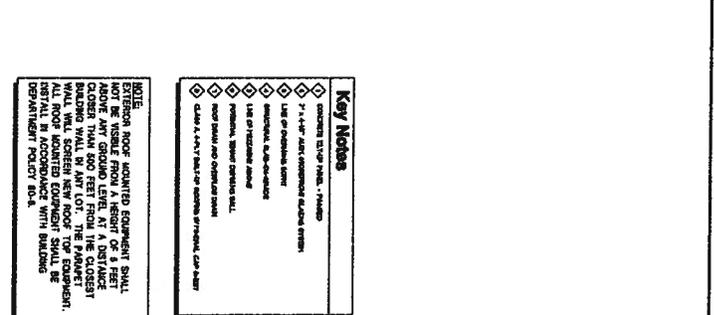
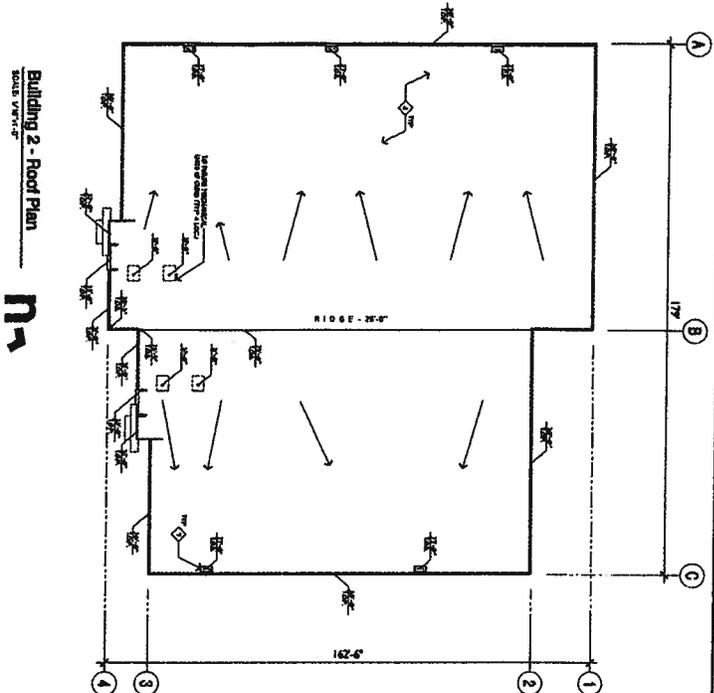
1228 S Camino Blvd  
Suite 201  
San Diego, CA 92108  
(619) 735-0777  
(619) 735-0777 Fax

**WINDSTAR OCEAN RANCH CORPORATE CENTER**

LOT 19  
OCEANSIDE, CALIFORNIA

Project Name	Windstar Ocean Ranch Corporate Center	Client	Windstar Ocean Ranch
Architect	Smith Consulting Architects	Contractor	Windstar Ocean Ranch
Design Date	04/20/04	Scale	AS
Drawn By	EC	Checked By	EC
Job Number	07142		

**A2**



**Smith Consulting Architects**

74000 Road Middle Bend  
Suite 201  
Frisco, TX 75034  
(972) 251-1889 Fax

12223 El Comiso Blvd  
Suite 202  
San Diego, CA 92130  
(619) 793-8777  
(619) 793-8778 Fax

**WINDSTAR OCEAN RANCH CORPORATE CENTER**  
LOT 19

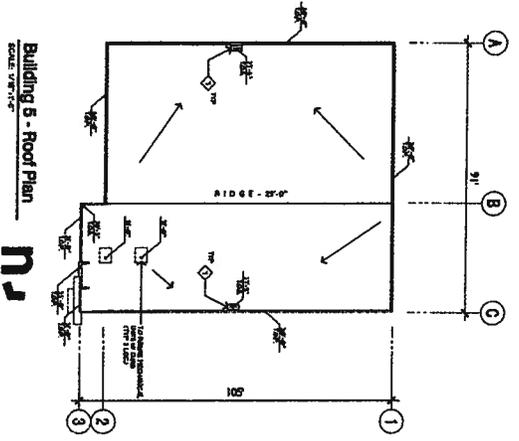
OCEANSIDE, CALIFORNIA

Project Name	Windstar Ocean Ranch Corporate Center
Client Name	Windstar Ocean Ranch
Architect	Smith Consulting Architects
Design/Development	Smith Consulting Architects
Site Plan	Smith Consulting Architects
Permitting	Smith Consulting Architects
Construction	Smith Consulting Architects
Drawn By	AC
Checked By	AC
Date	04/20/08
Scale	AS
Project Number	07163

**A3**





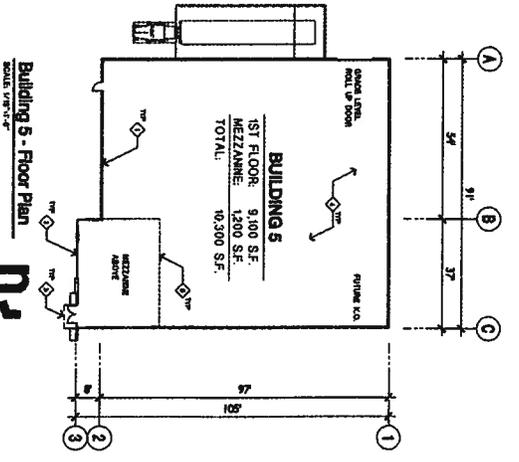


**Building 5 - Roof Plan**  
SCALE: 1/8" = 1'-0"

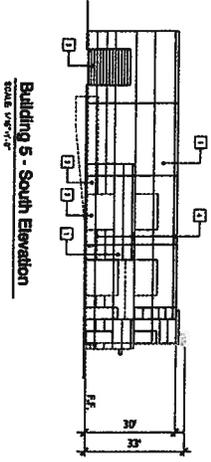
**Key Notes**

- ◇ CONCRETE 11.75" THICK - FINISHED
- ◇ 7" x 14" J-BOYS (CONCRETE) @ 24" ON CENTER
- ◇ LATH OR POLYSTYRENE INSULATION
- ◇ INSULATION @ 4" ON CENTER
- ◇ LATH @ FINISHED GRADE
- ◇ FINISH: WHITE PORTLAND CEMENT PLASTER
- ◇ ROOF DRAINAGE AND PAVEMENT SYSTEM
- ◇ SEE PLAN 4.000 FOR ROOF DRAINAGE SYSTEM, SEE PLAN 4.001

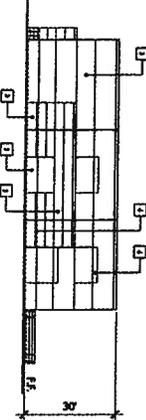
**NOTE:**  
 STEEP ROOF MOUNTED EQUIPMENT SHALL BE INSTALLED AT LEAST 10 FEET ABOVE ANY GROUND LEVEL AT A DISTANCE GREATER THAN 500 FEET FROM THE CLOSEST BUILDING WALL IN ANY LOT. THE RAISED BUILDING WALL IN ACCORDANCE WITH BUILDING DEPARTMENT POLICY 85-K.



**Building 5 - Floor Plan**  
SCALE: 1/8" = 1'-0"



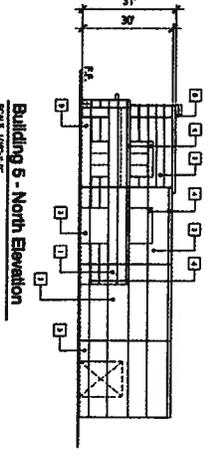
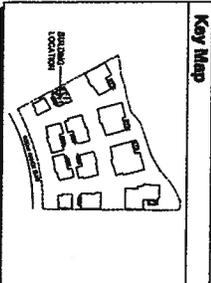
**Building 5 - South Elevation**  
SCALE: 1/8" = 1'-0"



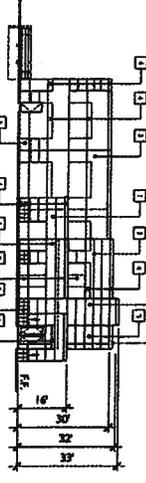
**Building 5 - West Elevation**  
SCALE: 1/8" = 1'-0"

**Finish Legend**

- 12" x 24" POLYSTYRENE INSULATION (4" THICK)
- 7" x 14" J-BOYS (CONCRETE) @ 24" ON CENTER
- LATH OR POLYSTYRENE INSULATION
- INSULATION @ 4" ON CENTER
- LATH @ FINISHED GRADE
- FINISH: WHITE PORTLAND CEMENT PLASTER
- ROOF DRAINAGE AND PAVEMENT SYSTEM
- SEE PLAN 4.000 FOR ROOF DRAINAGE SYSTEM, SEE PLAN 4.001



**Building 5 - North Elevation**  
SCALE: 1/8" = 1'-0"



**Building 5 - East Elevation**  
SCALE: 1/8" = 1'-0"

**Smith Consulting Architects**

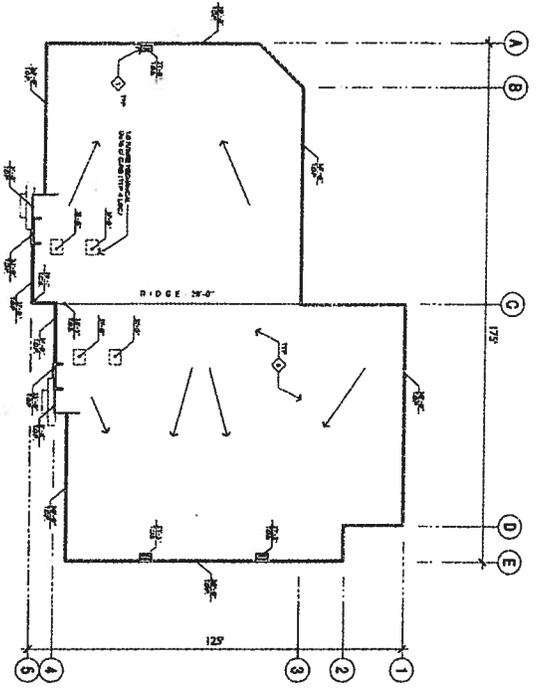
7500 First Working Road  
 Suite 201  
 Foothill Ranch, CA 92701  
 (949) 797-1177  
 (949) 387-1887 fax

12209 El Camino Blvd  
 San Diego, CA 92130  
 (619) 775-4777  
 (619) 793-0877 fax

**WINDSTAR OCEAN RANCH CORPORATE CENTER**

LOT 19  
 OCEANSIDE, CALIFORNIA

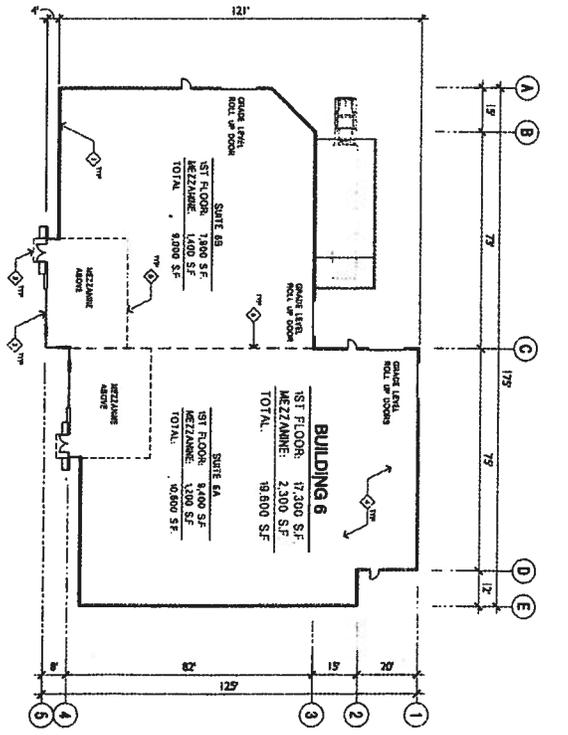
Project Name	Windstar Ocean Ranch Corporate Center	Client	Windstar Ocean Ranch
Architect	Smith Consulting Architects	Contract No.	04/20/06
Project No.	04/20/06	Drawn By	CR
Revision No.	01	Checked By	CR
Scale	AS SHOWN	Date	04/20/06
Sheet No.	A6	Total Sheets	07/03



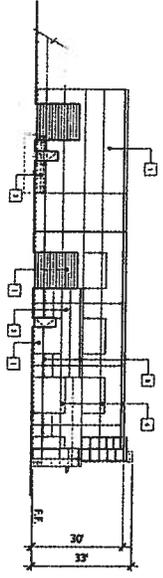
Building 6 - Roof Plan  
SCALE: 1/8"=1'-0"

- Key Notes**
- 1. ROOF MOUNTED EQUIPMENT SHALL NOT BE INSTALLED ABOVE A HEIGHT OF 15 FEET ABOVE ANY GROUND LEVEL AT A DISTANCE GREATER THAN 500 FEET FROM THE CLOSEST WALL THAT SCREENS THE ROOF TOP EQUIPMENT. ALL ROOF MOUNTED EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH DOWLING DESIGNATION PDS01-004.
  - 2. 1/2" x 1/2" x 1/2" ALUMINUM SLABING FRAMES
  - 3. 1/2" x 1/2" x 1/2" ALUMINUM SLABING FRAMES
  - 4. 1/2" x 1/2" x 1/2" ALUMINUM SLABING FRAMES
  - 5. 1/2" x 1/2" x 1/2" ALUMINUM SLABING FRAMES
  - 6. 1/2" x 1/2" x 1/2" ALUMINUM SLABING FRAMES
  - 7. 1/2" x 1/2" x 1/2" ALUMINUM SLABING FRAMES
  - 8. 1/2" x 1/2" x 1/2" ALUMINUM SLABING FRAMES
  - 9. 1/2" x 1/2" x 1/2" ALUMINUM SLABING FRAMES
  - 10. 1/2" x 1/2" x 1/2" ALUMINUM SLABING FRAMES

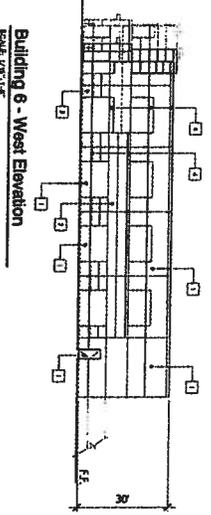
**NOTE:** ROOF MOUNTED EQUIPMENT SHALL NOT BE INSTALLED ABOVE A HEIGHT OF 15 FEET ABOVE ANY GROUND LEVEL AT A DISTANCE GREATER THAN 500 FEET FROM THE CLOSEST WALL THAT SCREENS THE ROOF TOP EQUIPMENT. ALL ROOF MOUNTED EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH DOWLING DESIGNATION PDS01-004.



Building 6 - Floor Plan  
SCALE: 1/8"=1'-0"

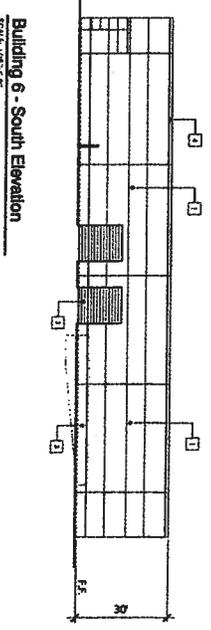
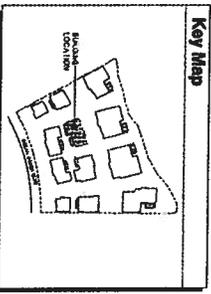


Building 6 - East Elevation  
SCALE: 1/8"=1'-0"

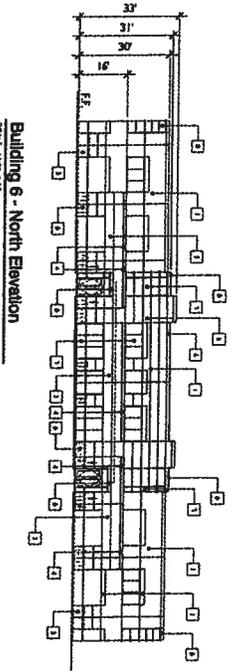


Building 6 - West Elevation  
SCALE: 1/8"=1'-0"

- Finish Legend**
- 1. FLOOR FINISH
  - 2. WALL FINISH
  - 3. CEILING FINISH
  - 4. ROOF FINISH
  - 5. EXTERIOR FINISH
  - 6. INTERIOR FINISH
  - 7. MEZZANINE FINISH
  - 8. STAIR FINISH
  - 9. ELEVATOR FINISH
  - 10. CORE FINISH



Building 6 - South Elevation  
SCALE: 1/8"=1'-0"



Building 6 - North Elevation  
SCALE: 1/8"=1'-0"

**SmithConsultingArchitects**

79400 Road Meeting Blvd  
Suite 201  
San Diego, CA 92121  
(619) 591-1200  
(619) 591-1201 Fax

12200 B. Green Rd  
Suite 200  
San Diego, CA 92116  
(619) 771-0777  
(619) 771-0787 Fax

**WINDSTAR OCEAN RANCH CORPORATE CENTER**

LOT 19  
OCEANSIDE, CALIFORNIA

Project Name	Windstar Ocean Ranch Corporate Center	Client Name	Windstar Ocean Ranch
Project No.	08-25-08	Client No.	08-25-08
Design No.	08-25-08	Client No.	08-25-08
Design No.	08-25-08	Client No.	08-25-08
Design No.	08-25-08	Client No.	08-25-08

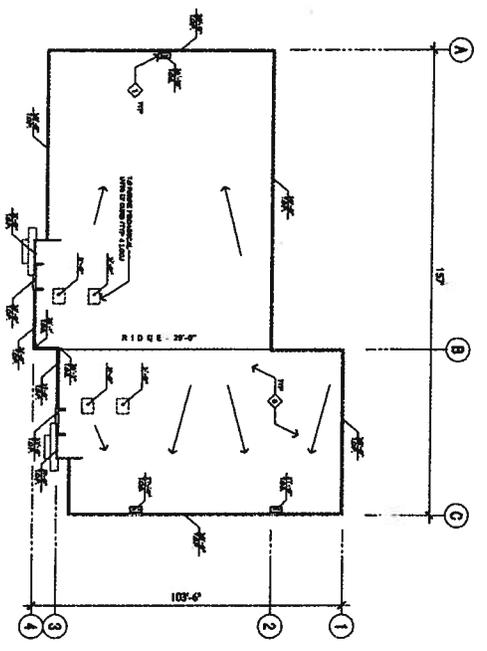
**A7**





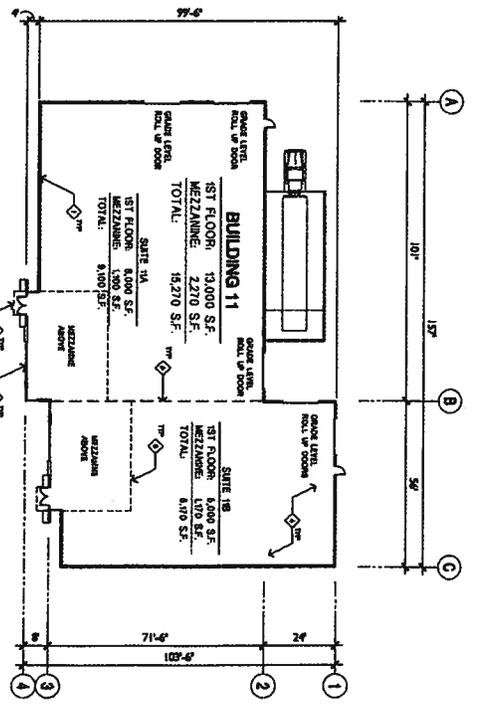




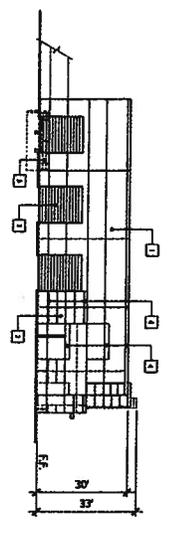


**Building 11 - Roof Plan**  
SCALE: VERTICAL

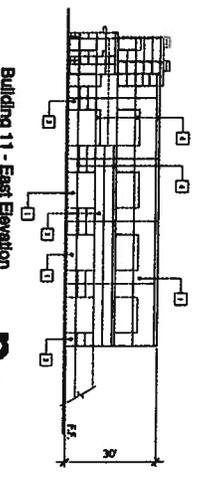
- Key Notes**
- ◆ Reduced 1/2" of Panel - 1/2" Rise
  - ◆ 2" x 4" RAIL SUPPORTS SHALL BE INSTALLED
  - ◆ USE AN APPROXIMATE
  - ◆ PERMANENT SUB-FLOORING
  - ◆ USE OF FLOORING ABOVE
  - ◆ PROVIDE SLOPE DIRECTION
  - ◆ ROOF DRAINAGE AND OVERFLOW SHALL
  - ◆ BE AS SHOWN AND SHALL BE IN ACCORDANCE WITH THE
  - ◆ CLIENT'S RAINFALL RATE OF 3.0 INCHES PER YEAR. USE ASSET
- NOTE:**  
EXTENSION ROOF MOUNTED EQUIPMENT SHALL NOT BE VISIBLE FROM A HEIGHT OF 6 FEET ABOVE ANY GROUND LEVEL. IN A DISTANCE OF 100 FEET FROM THE BUILDING, THE EQUIPMENT SHALL BE SCREENED BY A WALL. THE EQUIPMENT WALL SHALL SCREEN NEW ROOF TOP EQUIPMENT FROM ANY GROUND LEVEL. THE EQUIPMENT WALL SHALL BE IN ACCORDANCE WITH THE DEPARTMENT POLICY 80-4.



**Building 11 - Floor Plan**  
SCALE: VERTICAL

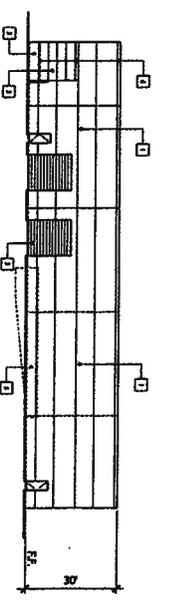
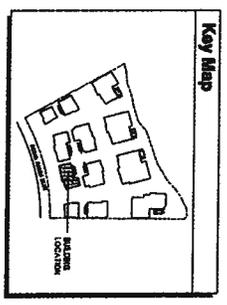


**Building 11 - West Elevation**  
SCALE: VERTICAL

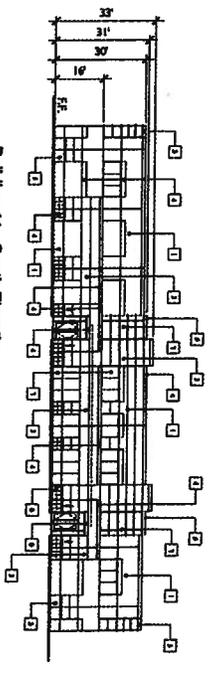


**Building 11 - East Elevation**  
SCALE: VERTICAL

- Finish Legend**
- 1. Walls: Painted concrete or precast concrete panels, 1/2" thick.
  - 2. Ceilings: Acoustic ceiling tiles on steel suspension system, suspended 1" above finished floor.
  - 3. Floors: Polished concrete or 1/2" thick concrete on 4" thick concrete slab.
  - 4. Windows: Aluminum window frames with 1" thick glass, double-glazing.
  - 5. Doors: Aluminum door frames with 1/2" thick glass, double-glazing.
  - 6. Stairs: Polished concrete.
  - 7. Mechanical: As shown.



**Building 11 - North Elevation**  
SCALE: VERTICAL



**Building 11 - South Elevation**  
SCALE: VERTICAL

**SmithConsultingArchitects**  
12228 B Comala Rd  
Suite 200  
San Diego, CA 92130  
(619) 771-1177  
(619) 220-3887 Fax

**WINDSTAR OCEAN RANCH CORPORATE CENTER**  
LOT 19  
OCEANSIDE, CALIFORNIA

**Revision Table**

Revision	Date	By	Check
1	04/20/08	EC	EC
2		EC	EC
3		EC	EC

Job Number: 07103  
Sheet Number: A112

















1 PLANNING COMMISSION  
2 RESOLUTION NO. 2008-P61

3 A RESOLUTION OF THE PLANNING COMMISSION OF THE  
4 CITY OF OCEANSIDE, CALIFORNIA APPROVING A  
5 TENTATIVE PARCEL MAP AND DEVELOPMENT PLAN ON  
6 CERTAIN REAL PROPERTY IN THE CITY OF OCEANSIDE

---

6 APPLICATION NO: P-4-08, D-5-08

7 APPLICANT: CREA/Windstar Ocean Ranch, LLC

8 LOCATION: Lot 19 of the Ocean Ranch Corporate Center; east of Rancho Del Oro  
Road and north of Ocean Ranch Boulevard

---

9 THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES  
10 RESOLVE AS FOLLOWS:

11 WHEREAS, there was filed with this Commission a verified petition on the forms  
12 prescribed by the Commission requesting a Tentative Parcel Map and Development Plan under the  
13 provisions of Articles 13 and 43 of the Zoning Ordinance of the City of Oceanside to permit the  
14 following:

15 twelve (12) industrial buildings totaling 224,900 square feet on 13 newly created lots;  
16 on certain real property described in the project description.

17 WHEREAS, the Planning Commission, after giving the required notice, did on the 6<sup>h</sup> day  
18 of October, 2008 conduct a duly advertised public hearing as prescribed by law to consider said  
19 application.

20 WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State  
21 Guidelines thereto; a Mitigated Negative Declaration (MND) was prepared for the Ocean Ranch  
22 Initial Tentative Map and Development Plan that created the Ocean Ranch Master Development  
23 Plan, and in accordance with CEQA guidelines Section 15162 the proposed project to construct  
24 12 industrial buildings on a 14.14-acre lot will not result in substantial changes in the original  
25 project, will not involve substantial changes to the circumstances for which the project was  
26 originally undertaken, and no new information of substantial importance not known at the time of  
27 the initial CEQA review has been identified; therefore, it has been determined that further  
environmental review is not required at this time.

28 WHEREAS, there is hereby imposed on the subject development projects certain fees,  
29 dedications, reservations and other exactions pursuant to state law and city ordinance;

1 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the  
 2 project is subject to certain fees, dedications, reservations and other exactions as provided below:

3 <u>Description</u>	4 <u>Authority for Imposition</u>	5 <u>Current Estimate Fee or</u>
		6 <u>Calculation Formula</u>
7 Drainage Fee	8 Ordinance No. 85-23 9 Resolution No. 06-R0334-1	10 Depends on area (range is 11 \$2,843-\$15,964 per acre)
12 Public Facility Fee	13 Ordinance No. 91-09 14 Resolution No. 06-R0334-1	15 \$0.713 per square foot or \$713 16 per thousand square feet for non- 17 residential uses
18 School Facilities 19 Mitigation Fee	20 Ordinance No. 91-34	21 \$.42 per square foot non- 22 residential for Oceanside
23 Traffic Signal Fee	24 Ordinance No. 87-19 25 Resolution No. 06-R0334-1	26 \$15.71 per vehicle trip
27 Thoroughfare Fee 28 (For commercial and 29 industrial please note the 75 percent discount)	30 Ordinance No. 83-01 31 Resolution No. 06-R0334-1	32 \$255 per vehicle trip (based on 33 SANDAG trip generation table 34 available from staff and from 35 SANDAG)
36 Water System Buy-in Fees	37 Oceanside City Code 38 §37.56.1 39 Resolution No. 87-96 40 Ordinance No. 05-OR 0611-1	41 Fee based on water meter size. 42 Non-residential is \$4,495 for a 43 3/4" meter.
44 Wastewater System Buy-in 45 Fees	46 Oceanside City Code § 47 29.11.1 48 Resolution No. 87-97 49 Ordinance No. 05-OR 0610-1	50 Based on capacity or water meter 51 size. 52 Non-residential is \$6,035 for a 53 3/4" meter.
54 San Diego County Water 55 Authority Capacity Fees	56 SDCWA Ordinance No. 57 2005-03	58 Based on meter size. 59 Non-residential is \$4,492 for a 60 3/4" meter.

61 WHEREAS, the current fees referenced above are merely fee amount estimates of the  
 62 impact fees that would be required if due and payable under currently applicable ordinances and  
 63 resolutions, presume the accuracy of relevant project information provided by the applicant, and  
 64 are not necessarily the fee amount that will be owing when such fee becomes due and payable;

65 WHEREAS, unless otherwise provided by this resolution, all impact fees shall be  
 66 calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside

1 City Code and the City expressly reserves the right to amend the fees and fee calculations  
2 consistent with applicable law;

3 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,  
4 dedication, reservation or other exaction to the extent permitted and as authorized by law;

5 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that  
6 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction  
7 described in this resolution begins on the effective date of this resolution and any such protest must  
8 be in a manner that complies with Section 66020;

9 WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes  
10 effective 10 days from its adoption in the absence of the filing of an appeal or call for review;

11 WHEREAS, studies and investigations made by this Commission and in its behalf reveal  
12 the following facts:

13 FINDINGS:

14 For the Tentative Parcel Map:

- 15 1. The proposed subdivision creates parcels that are in accordance with the requirements of  
16 the Ocean Ranch Community Master Development Plan Planning and Design  
17 Guidelines and the Limited Industrial (IL) zoning designation and the policies set forth  
18 in Section 2.12 of the General Plan.
- 19 2. The 14.14-acre site has been found to be physically suitable to allow for the  
20 development of 12 industrial buildings on 13 individual lots.
- 21 3. The subdivision will not cause substantial environmental damage or substantially and  
22 avoidably injure fish or wildlife or their habitat and in accordance with CEQA  
23 guidelines Section 15162 the proposed project to construct 12 industrial buildings on a  
24 14.14-acre lot will not result in substantial changes in the original project, will not  
25 involve substantial changes to the circumstances for which the project was originally  
26 undertaken, and no new information of substantial importance not known at the time of  
27 the initial CEQA review has been identified; therefore, it has been determined that  
28 further environmental review is not required at this time.
- 29 4. The subdivision and the construction of twelve industrial units will not conflict with  
easements, acquired by the public at large, for access through or use of, property within  
the proposed subdivision.

1 5. The Parcel Map complies with all other applicable ordinances, regulations, and  
2 guidelines of the City of Oceanside.

3 For the Development Plan:

4 1. The site plan and physical design of the project is consistent with the Zoning Ordinance  
5 and the underlying Limited Industrial (IL) zone and the Ocean Ranch Community  
6 Master Development Plan Planning and Design Guidelines established on September 13,  
7 1999 because the project as designed meets or exceeds the development standards  
8 established within those documents.

9 2. The Development Plan is consistent with the General Plan of the City because the entire  
10 Ocean Ranch Community Master Development Plan area was originally designed to  
11 accommodate light industrial uses and the proposal to develop Lot 19 with 12 light  
12 industrial buildings is consistent with the overall Master Plan envisioned for the area.

13 3. The project site can be adequately served by existing public facilities, services, and  
14 utilities because the original Development Plan for Ocean Ranch created the necessary  
15 infrastructure and only on-site extensions are required.

16 4. The project, as proposed, is compatible with the existing and potential development on  
17 adjoining properties and in the surrounding neighborhood because existing, suitable  
18 buffer areas between properties, along with the property location within an existing  
19 industrial business park, will ensure compatibility with similar uses in the area.

20 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby  
21 approve Tentative Parcel Map (P-4-08) and Development Plan (D-5-08) subject to the following  
22 conditions:

23 Building:

24 1. Applicable Building Codes and Ordinances shall be based on the date of submittal for  
25 Building Division plan check.

26 2. The granting of approval under this action shall in no way relieve the applicant/project  
27 from compliance with all State and Local building codes.

28 3. Site development, parking, access into buildings and building interiors shall comply with  
29 the State's Disabled Accessibility Regulations.

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4. The building plans for this project are required by State law to be prepared by a licensed architect or engineer and must be in compliance with this requirement prior to submittal for building plan review.
  5. All electrical, communication, CATV, etc. service lines within the exterior lines of the property shall be underground.
  6. All outdoor lighting must comply with Chapter 39 of the City Code (Light Pollution Ordinance). Where color rendition is important, high-pressure sodium, metal halide or other such lights may be utilized and shall be shown on building and electrical plans.
  7. Compliance with the Federal Clean Water Act (BMP's) must be demonstrated on the plans.
  8. The developer shall monitor, supervise and control all building construction and supporting activities so as to prevent these activities from causing a public nuisance, including, but not limited to, strict adherence to the following:
    - a) Building construction work hours shall be limited to between 7:00 a.m. and 6:00 p.m. Monday through Friday, and on Saturday from 7:00 a.m. to 6:00 p.m. for work that is not inherently noise-producing. Examples of work not permitted on Saturday are concrete and grout pours, roof nailing and activities of similar noise-producing nature. No work shall be permitted on Sundays and Federal Holidays (New Year's Day, Memorial Day, July 4th, Labor Day, Thanksgiving Day, Christmas Day) except as allowed for emergency work under the provisions of the Oceanside City Code Chapter 38 (Noise Ordinance).
    - b) The construction site shall be kept reasonably free of construction debris as specified in Section 13.17 of the Oceanside City Code. Storage of debris in approved solid waste containers shall be considered compliance with this requirement. Small amounts of construction debris may be stored on-site in a neat, safe manner for short periods of time pending disposal.
  9. Separate/unique addresses will/may be required to facilitate utility releases. Verification that the addresses have been properly assigned by the City's Planning Division must accompany the Building Permit application.

- 1 10. A complete Soils Report, Structural Calculations, & Energy Calculations documentation  
2 will be required at time of plans submittal to the Building Division for plan check.
- 3 11. Retaining walls that will be installed as a part of this design must be designed per the  
4 Soils report for the whole project.
- 5 12. Setbacks and Type of Construction must comply with the 2007 California Building  
6 Code. Exterior openings less than five feet from the property line must be protected per  
7 table 704.8 of the CBC. Exterior walls less than five feet to the property line must be  
8 rated per Table 602 of the CBC.
- 9 13. Tenant Improvements or other construction to the existing building requires permits  
10 (including all required Inspections and approvals, and Issuance of Certificate of  
11 Occupancy) from the Building Division.

12 **Engineering:**

- 13 14. Vehicular access shall only be at the locations shown on the Tentative Parcel Map and  
14 Development Plan approved by the Planning Commission.
- 15 15. All right-of-way alignments, street dedications, exact geometrics and widths shall be  
16 dedicated and improved as required by the City Engineer.
- 17 16. Design and construction of all improvements shall be in accordance with standard plans,  
18 specifications of the City of Oceanside and subject to approval by the City Engineer.
- 19 17. Prior to issuance of a building permit, a phasing plan for the construction of public and  
20 private improvements, including landscaping, shall be approved by the City Engineer.
- 21 18. The approval of the Tentative Parcel Map shall not mean that closure, vacation, or  
22 abandonment of any public street, right-of-way, easement, or facility is granted or  
23 guaranteed to the Developer/Owner. The developer/owner is responsible for applying for  
24 all closures, vacations, and abandonments as necessary. The application(s) shall be  
25 reviewed and approved or rejected by the City of Oceanside under separate process(es) per  
26 codes, ordinances, and policies in effect at the time of the application.
- 27 19. Prior to approval of the Tentative Parcel Map or any increment, all improvement  
28 requirements, within such increment or outside of it if required by the City Engineer, shall  
29 be covered by a subdivision agreement and secured with sufficient improvement securities  
or bonds guaranteeing performance and payment for labor and materials, setting of  
monuments, and warranty against defective materials and workmanship.

1 20. Where proposed off-site improvements, including but not limited to slopes, public utility  
2 facilities, and drainage facilities, are to be constructed, the developer/owner shall, at his  
3 own expense, obtain all necessary easements or other interests in real property and shall  
4 dedicate the same to the City of Oceanside as required. The applicant shall provide  
5 documentary proof satisfactory to the City of Oceanside that such easements or other  
6 interest in real property have been obtained prior to issuance building permit for the  
7 development. Additionally, the City of Oceanside, may at its sole discretion, require that  
8 the applicant obtain at his sole expense a title policy insuring the necessary title for the  
9 easement or other interest in real property to have vested with the City of Oceanside or the  
10 applicant, as applicable.

11 21. Pursuant to the State Map Act, improvements shall be required at the time of development.  
12 A covenant, reviewed and approved by the City Attorney, shall be recorded attesting to  
13 these improvement conditions and a certificate setting forth the recordation shall be placed  
14 on the map.

15 22. Prior to the issuance of a grading permit, the developer shall notify and host a  
16 neighborhood meeting with all of the area residents located within 300 feet of the project  
17 site, and residents of property along any residential streets to be used as a "haul route", to  
18 inform them of the grading and construction schedule, haul routes, and to answer questions.

19 23. The developer shall monitor, supervise and control all construction and construction-  
20 supportive activities, so as to prevent these activities from causing a public nuisance,  
21 including but not limited to, insuring strict adherence to the following:

22 a) Dirt, debris and other construction material shall not be deposited on any public  
23 street or within the City's stormwater conveyance system.

24 b) All grading and related site preparation and construction activities shall be limited  
25 to the hours of 7:00 a.m. to 6:00 p.m., Monday through Friday. No engineering  
26 related construction activities shall be conducted on Saturdays, Sundays or legal  
27 holidays, unless written permission is granted by the City Engineer with specific  
28 limitations to the working hours and types of permitted operations. All on-site  
29 construction staging areas shall be as far as possible (minimum 100 feet) from any  
existing residential development. Because construction noise may still be intrusive  
in the evening or on holidays, the City of Oceanside Noise Ordinance also prohibits

1 "any disturbing, excessive, or offensive noise which causes discomfort or  
2 annoyance to reasonable persons of normal sensitivity."

3 c) The construction site shall accommodate the parking of all motor vehicles used by  
4 persons working at or providing deliveries to the site.

5 d) A haul route shall be obtained at least 7 days prior the start of hauling operations  
6 and must be approved by the City Engineer. Hauling operations shall be 8:00 a.m.  
7 to 3:30 p.m. unless approved otherwise.

8 24. It is the responsibility of the owner/developer to evaluate and determine that all soil  
9 imported as part of this development is free of hazardous and/or contaminated material as  
10 defined by the City and the County of San Diego Department of Environmental Health.  
11 Exported or imported soils shall be properly screened, tested, and documented regarding  
12 hazardous contamination.

13 25. A traffic control plan shall be prepared according to the City traffic control guidelines and  
14 be submitted to and approved by the City Engineer prior to the start of work within open  
15 City rights-of-way. Traffic control during construction of streets that have been opened to  
16 public traffic shall be in accordance with construction signing, marking and other  
17 protection as required by the Caltrans Traffic Manual and City Traffic Control Guidelines.  
18 Traffic control plans shall be in effect from 8:00 a.m. to 3:30 p.m. unless approved  
19 otherwise.

20 26. Approval of this development project is conditioned upon payment of all applicable impact  
21 fees and connection fees in the manner provided in Chapter 32B of the Oceanside City  
22 Code. All traffic signal fees and contributions, highway thoroughfare fees, park fees,  
23 reimbursements, and other applicable charges, fees and deposits shall be paid prior to  
24 recordation of the map or the issuance of any building permits, in accordance with City  
25 Ordinances and policies. The developer/owner shall also be required to join into,  
26 contribute, or participate in any improvement, lighting, or other special district affecting or  
27 affected by this project. Approval of the Tentative Parcel Map shall constitute the  
28 developer's approval of such payments, and his agreement to pay for any other similar  
29 assessments or charges in effect when any increment is submitted for parcel map or  
30 building permit approval, and to join, contribute, and/or participate in such districts.

31 27. Sidewalk improvements shall comply with ADA requirements.

- 1 28. Sight distance requirements at the project driveways shall conform to the corner sight  
2 distance criteria as provided by SDRSD DS-20A and/or DS-20B.
- 3 29. The developer/owner shall pay all applicable fees, energy charges, and/or assessments  
4 associated with City-owned (LS-2 rate schedule) streetlights and shall also agree to the  
5 formulation of, or the annexation to, any appropriate street lighting district.
- 6 30. Pavement sections for all streets, alleys, driveways and parking areas shall be based upon  
7 approved soil tests and traffic indices. The pavement design is to be prepared by the  
8 developer's/owner's soil engineer and must be approved by the City Engineer, prior to  
9 paving.
- 10 31. Any existing broken pavement, concrete curb, gutter or sidewalk or any damaged during  
11 construction of the project, shall be repaired or replaced as directed by the City Engineer.
- 12 32. The developer/owner shall comply with all the provisions of the City's cable television  
13 ordinances including those relating to notification as required by the City Engineer.
- 14 33. Grading and drainage facilities shall be designed and installed to adequately accommodate  
15 the local storm water runoff and shall be in accordance with the City's Engineers Manual  
16 and as directed by the City Engineer.
- 17 34. The developer/owner shall obtain any necessary permits and clearances from all public  
18 agencies having jurisdiction over the project due to its type, size, or location, including, but  
19 not limited to, the U. S. Army Corps of Engineers, California Department of Fish & Game,  
20 U. S. Fish and Wildlife Service, San Diego Regional Water Quality Control Board  
21 (including NPDES), and/or San Diego County Health Department prior to the issuance of  
22 grading permits.
- 23 35. Prior to any grading of any part of the tract or project, a comprehensive soils and geologic  
24 investigation shall be conducted of the soils, slopes, and formations in the project. All  
25 necessary measures shall be taken and implemented to assure slope stability, erosion  
26 control, and soil integrity. No grading shall occur until a detailed grading plan, to be  
27 prepared in accordance with the Grading Ordinance and Zoning Ordinance, is approved by  
28 the City Engineer.
- 29 36. This project shall provide year-round erosion control including measures for the site  
required for the phasing of grading. Prior to the issuance of grading permit, an erosion

1 control plan, designed for all proposed stages of construction, shall be reviewed, secured by  
2 the applicant with cash securities, and approved by the City Engineer.

3 37. A precise grading plan shall be prepared, reviewed, secured and approved prior to the  
4 issuance of any building permits. The plan shall reflect all pavement, flatwork, landscaped  
5 areas, special surfaces, curbs, gutters, medians, striping, and signage, footprints of all  
6 structures, walls, drainage devices and utility services. Parking lot striping and any on-site  
7 traffic calming devices shall be shown on all Precise Grading and Private Improvement  
8 Plans.

9 38. Landscaping plans, including plans for the construction of walls, fences or other structures  
10 at or near intersections, must conform to intersection sight distance requirements. Landscape  
11 and irrigation plans for disturbed areas must be submitted to the City Engineer  
12 prior to the issuance of a preliminary grading permit and approved by the City Engineer  
13 prior to the issuance of occupancy permits. Frontage and median landscaping shall be  
14 installed prior to the issuance of any certificates of occupancy. Any project fences, sound  
15 or privacy walls, and monument entry walls/signs shall be shown on, bonded for, and built  
16 from the landscape plans. These features shall also be shown on the precise grading plans  
17 for purposes of location only. Plantable, segmental walls shall be designed, reviewed, and  
18 constructed by the grading plans, and landscaped/irrigated through project landscape plans.  
19 All plans must be approved by the City Engineer and a pre-construction meeting held, prior  
20 to the start of any improvements.

21 39. Open space areas and down-sloped areas visible from a collector-level or above roadway  
22 and not readily maintained by the property owner, shall be maintained by a management  
23 association that will insure installation and maintenance of landscaping in perpetuity.  
24 These areas shall be indicated on the Tentative Parcel Map and reserved for the association.  
25 Future buyers shall be made aware of any estimated monthly costs. The disclosure,  
26 together with the CC&R's, shall be submitted to the City Engineer for review prior to the  
27 recordation of the Tentative Parcel Map.

28 40. The drainage design on the Development Plan is conceptual only. The final design shall be  
29 based upon a hydrologic/hydraulic study to be approved by the City Engineer during final  
engineering. All drainage picked up in an underground system shall remain underground  
until it is discharged into an approved channel, or as otherwise approved by the City

1 Engineer. All public storm drains shall be shown on City standard plan and profile sheets.  
2 All storm drain easements shall be dedicated where required. The applicant shall be  
3 responsible for obtaining any off-site easements for storm drainage facilities.

4 41. Storm drain facilities shall be designed and located such that the inside travel lanes on  
5 streets with Collector or above design criteria shall be passable during conditions of a 100-  
6 year frequency storm.

7 42. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and disposed  
8 of in accordance with all state and federal requirements, prior to stormwater discharge  
9 either off-site or into the City drainage system.

10 43. Unless an appropriate barrier is approved on a landscape plan, a minimum 42-inch high  
11 barrier, approved by the City Engineer, shall be provided at the top of all slopes whose  
12 height exceeds 20 feet or where the slope exceeds 4 feet and is adjacent to an arterial street  
13 or state highway.

14 44. The development shall comply with all applicable regulations established by the United  
15 States Environmental Protection Agency (USEPA) as set forth in the National Pollutant  
16 Discharge Elimination System (NPDES) permit requirements for urban runoff and  
17 stormwater discharge and any regulations adopted by the City pursuant to the NPDES  
18 regulations or requirements. Further, the developer/owner may be required to file a Notice  
19 of Intent with the State Water Resources Control Board to obtain coverage under the  
20 NPDES General Permit for Storm Water Discharges Associated with Construction Activity  
21 and may be required to implement a Storm Water Pollution Prevention Plan (SWPPP)  
22 concurrent with the commencement of grading activities. SWPPPs include both  
23 construction and post construction pollution prevention and pollution control measures and  
24 identify funding mechanisms for post construction control measures. The developer/owner  
25 shall comply with all the provisions of the Clean Water Program during and after all phases  
26 of the development process, including but not limited to: mass grading, rough grading,  
27 construction of streets, and landscaping improvements. The developer/owner shall design  
28 the Project's storm drains and other drainage facilities to include Best Management  
29 Practices to minimize non-point source pollution, satisfactory to the City Engineer.

45. Upon acceptance of any fee waiver or reduction by the developer/owner, the entire project  
will be subject to prevailing wage requirements as specified by Labor Code section 1720(b)

- 1 (4). The developer/owner shall agree to execute a form acknowledging the prevailing wage  
2 requirements prior to the granting of any fee reductions or waivers.
- 3 46. The project requires the submission and approval of a Storm Water Mitigation Plan  
4 (SWMP). The developer/owner shall prepare and submit an Operations & Maintenance  
5 (O&M) Plan to the City Engineer with the first submittal of engineering plans. The O&M  
6 Plan shall be prepared by the developer's/owner's Civil Engineer. It shall be directly based  
7 on the project's SWMP previously approved by the City Engineer. At a minimum, the  
8 O&M Plan shall include: the designated responsible parties to manage the stormwater  
9 BMP(s), employee's training program and duties, operating schedule, maintenance  
10 frequency, routine service schedule, specific maintenance activities, copies of resource  
11 agency permits, cost estimate for implementation of the O&M Plan and any other  
12 necessary elements.
- 13 47. The developer/owner shall enter into a City Standard Stormwater Facilities Maintenance  
14 Agreement with the City obliging the project proponent to maintain, repair and replace the  
15 Storm Water Best Management Practices (BMPs) identified in the project's approved  
16 SWMP, as detailed in the O&M Plan into perpetuity. The Agreement shall be approved by  
17 the City Attorney prior to issuance of any precise grading permit and shall be recorded at  
18 the County Recorder's Office prior to issuance of any building permit. Security in the form  
19 of cash or an irrevocable, City-Standard Letter of Credit shall be required prior to issuance  
20 of a precise grading permit. The amount of the security shall be equal to 10 years of  
21 maintenance costs, as identified by the O&M Plan, but not to exceed a total of \$25,000.  
22 The applicant's Civil Engineer shall prepare the O&M cost estimate.
- 23 48. At a minimum, maintenance agreements shall require the staff training, inspection and  
24 maintenance of all BMPs on an annual basis. The developer/owner shall complete and  
25 maintain O&M forms to document all maintenance activities. Parties responsible for the  
26 O&M plan shall retain records at the subject property for at least five years. These  
27 documents shall be made available to the City for inspection upon request at any time.
- 28 49. The Agreement shall include a copy of executed on-site and off-site access easements  
29 necessary for the operation and maintenance of BMPs that shall be binding on the land  
throughout the life of the project to the benefit of the party responsible for the O&M of

1 BMPs, satisfactory to the City Engineer. The agreement shall also include a copy of the  
2 O&M Plan approved by the City Engineer.

3 50. The BMPs described in the project's approved SWMP shall not be altered in any way  
4 without either a Substantial Conformity issued and approved by the City Planner or a  
5 Revision to the Development Plan approved by the project's final approving authority  
6 (Planning Commission/City Council) at a public hearing. The determination of which  
7 action is required for changes to a project's approved SWMP shall be made by the City  
8 Planner.

9 51. The developer/owner shall provide a copy of the cover page of the approved SWMP with  
10 the first engineering submittal package. The SWMP shall be prepared by the applicant's  
11 Civil Engineer. All Stormwater documents shall be in compliance with the latest edition of  
12 submission requirements.

13 52. In the event that the conceptual plan does not match the conditions of approval, the  
14 resolution of approval shall govern.

15 53. Landscape plans shall meet the criteria of the City of Oceanside Landscape Guidelines and  
16 Specifications for Landscape Development (latest revision), Water Conservation Ordinance  
17 No. 91-15, Engineering criteria, City code and ordinances, including the maintenance of  
18 such landscaping, and shall be reviewed and approved by the City Engineer prior to the  
19 issuance of building permits. Landscaping shall not be installed until bonds have been  
20 posted, fees paid, and plans signed for final approval. The following landscaping  
21 requirements shall be required prior to plan approval and certificate of occupancy:

- 22 a) Final landscape plans shall accurately show placement of all plant material such as,  
23 but not limited to, trees, shrubs, and groundcovers.
- 24 b) The Landscape Architect shall be aware of all utilities and electrical lines, in  
25 addition to all utility, sewers, and storm drain easements. Planting locations shall  
26 be placed accordingly to meet City of Oceanside requirements.
- 27 c) All required landscape areas shall be maintained by owner. The landscape areas  
28 shall be maintained per City of Oceanside requirements.
- 29 d) Proposed landscape species shall be native or naturalized to fit the site and meet  
climate changes indicative to their planting location. The selection of plant material  
shall also be based on cultural, aesthetic, and maintenance considerations. In

1 addition, proposed landscape species shall be low water users, as well as meet all  
2 Fire Department requirements.

- 3 e) All planting areas shall be prepared with appropriate soil amendments, fertilizers,  
4 and appropriate supplements based upon a soils report from an agricultural  
5 suitability soil sample taken from the site.
- 6 f) Ground covers or bark mulch shall fill in between the shrubs to shield the soil from  
7 the sun, evapotranspiration and run-off. All the flower and shrub beds shall be  
8 mulched to a three-inch depth to help conserve water, lower the soil temperature,  
9 and reduce weed growth.
- 10 g) The shrubs shall be allowed to grow in their natural forms. All landscape  
11 improvements shall follow the City of Oceanside Guidelines.
- 12 h) Root barriers shall be installed adjacent to all paving surfaces, where a paving  
13 surface is located within six feet of a trees trunk. Root barriers shall extend five  
14 feet in each direction from the centerline of the trunk, for a total distance of 10 feet.  
15 Root barriers shall be 24 inches in depth. Installing a root barrier around the tree's  
16 root ball shall be prohibited.
- 17 i) For the planting and placement of trees and their distances from hardscape and  
18 other utilities/structures, the landscape plans shall follow the City of Oceanside's  
19 current Tree Planting Distances and Spacing Standards.
- 20 j) An automatic irrigation system shall be installed to provide coverage for all  
21 planting areas shown on the plan. Low precipitation equipment shall provide  
22 sufficient water for plant growth with a minimum water loss due to water run-off.
- 23 k) Irrigation systems shall use high quality, automatic control valves, controllers and  
24 other necessary irrigation equipment. All components shall be of non-corrosive  
25 material. All drip systems shall be adequately filtered and regulated per the  
26 manufacturer's recommended design parameters.
- 27 l) All irrigation improvements shall follow the City of Oceanside Guidelines and  
28 Water Conservation Ordinance.
- 29 m) The landscape plans shall be in conformance with all plans affiliated with the  
project.

- 1 n) Landscape plans shall comply with biological mitigation and/or Geotechnical  
2 reports, as required, and shall match the grading and improvement plans, comply  
3 with SWMP BMPs, and meet the satisfaction of the City Engineer.
- 4 o) Existing landscaping on and adjacent to the site shall be protected in place and  
5 supplemented or replaced to meet the satisfaction of the City Engineer.

6 54. All landscaping, fences, walls, etc. on the site, in medians within the public right-of-way  
7 and within any adjoining public parkways shall be permanently maintained by the owner,  
8 his assigns or any successors-in-interest in the property. Failure to maintain landscaping  
9 shall result in the City taking all appropriate enforcement actions including, but not limited  
10 to, citations. This maintenance program condition shall be recorded with a covenant as  
11 required by this resolution. The maintenance program shall include maintenance  
12 regulations for:

- 13 a) Normal care and irrigation of the landscaping.  
14 b) Repair and replacement of plant materials.  
15 c) Irrigation systems, as necessary.  
16 d) General cleanup of the landscaped and open areas.  
17 e) Parking lots and walkways, walls, fences, etc.

18 55. In the event that the Conceptual Landscape Plan does not match the conditions of approval,  
19 the resolution of approval shall govern.

20 **Fire:**

- 21 56. A copy of as-built plans shall be submitted to the Fire Department on a CD for all  
22 projects on the job site.
- 23 57. Fire Department requirements shall be placed on all final plans in the notes section.
- 24 58. A minimum fire flow of 3,000 gallons per minute shall be provided.
- 25 59. Fire hydrants shall be installed and tested prior to placing any combustible materials on  
26 the job site.
- 27 60. Detailed plans of underground fire service mains shall be submitted to the Oceanside  
28 Fire Department for approval prior to installation.
- 29 61. Blue hydrant identification markers shall be placed as per Oceanside's Engineers Design  
and Processing Manual Standard Drawing No. M-13.

- 1 62. All weather access roads shall be installed and made serviceable prior to and maintained  
2 during time of construction.
- 3 63. Apparatus access roads shall have a minimum unobstructed width of 28 feet. A  
4 minimum vertical clearance of 14 feet shall be provided for the apparatus access roads.
- 5 64. The Fire Department access roadway shall be provided with adequate turning radius of  
6 50 feet outside and 30 feet inside for Fire Department apparatus.
- 7 65. A "Knox" key storage box shall be provided for all new construction. For buildings,  
8 other than high-rise, a minimum of three complete sets of keys shall be provided. Keys  
9 shall be provided for all exterior entry doors, fire protection equipment control rooms,  
10 mechanical and electrical rooms, elevator controls and equipment spaces, etc. For high-  
11 rise buildings, six complete sets are required.
- 12 66. Fire extinguishers are required and shall be included on the plans submitted for plan  
13 check.
- 14 67. An approved fire sprinkler system must be installed throughout the building. The  
15 system shall be designed per N.F.P.A. 13, and U.B.C. Standard 9-1. The sprinkler  
16 system shall require 24-hour supervision.
- 17 68. The Fire Department connection shall not be affixed to the building. The Fire  
18 Department connection must be located at least 40 feet away form the building, within  
19 40 feet of a fire hydrant, and on the address side of the building, unless otherwise  
20 determined by the Fire Department. The hydrant shall be located on the same side of the  
21 street as the Fire Department connection.
- 22 69. In accordance with the California Fire Code Sec. 901.4.4, approved addresses for  
23 commercial and industrial occupancies shall be placed on the structure in such a position  
24 as to be plainly visible and legible from the street or roadway fronting the property.  
25 Numbers shall be contrast with their background.
- 26 70. Industrial buildings require 12-inch address numbers.
- 27 71. Plans shall be submitted to the Fire Prevention Bureau for plan check review and  
28 approval prior to the issuance of building permits.
- 29 72. Buildings shall meet Oceanside Fire Department current codes at the time of building  
permit application.

1 **Planning:**

2 73. This Tentative Parcel Map and Development Plan shall expire 24 months from the date of  
3 adoption, unless implemented pursuant to the City of Oceanside Zoning Ordinance or  
4 unless a time extension is granted by the Planning Commission.

5 74. This Tentative Parcel Map (P-4-08) approves only 13 lots as depicted on the plans and  
6 exhibits presented to the Planning Commission for review and approval. No deviation  
7 from these approved plans and exhibits shall occur without City Planner or Planning  
8 Commission approval. Substantial deviations shall require a revision to the Tentative  
9 Parcel Map or a new Tentative Parcel Map.

10 75. This Development Plan (D-5-08) approves only 12 industrial buildings totaling 224,900  
11 square feet as depicted on the plans and exhibits presented to the Planning Commission for  
12 review and approval. No deviation from these approved plans and exhibits shall occur  
13 without City Planner or Planning Commission approval. Substantial deviations shall  
14 require a revision to the Development Plan or a new Development Plan.

15 76. The applicant, permittee or any successor-in-interest shall defend, indemnify and hold  
16 harmless the City of Oceanside, its agents, officers or employees from any claim, action or  
17 proceeding against the City, its agents, officers, or employees to attack, set aside, void or  
18 annul an approval of the City, concerning Development Plan D-8-07. The City will  
19 promptly notify the applicant of any such claim, action or proceeding against the City  
20 and will cooperate fully in the defense. If the City fails to promptly notify the applicant  
21 of any such claim action or proceeding or fails to cooperate fully in the defense, the  
22 applicant shall not, thereafter, be responsible to defend, indemnify or hold harmless the  
23 City.

24 77. All mechanical rooftop and ground equipment shall be screened from public view as  
25 required by the Zoning Ordinance. The roof jacks, mechanical equipment, screen and  
26 vents shall be painted with non-reflective paint to match the roof. This information shall be  
27 shown on the building plans.

28 78. A letter of clearance from the affected school district in which the property is located  
29 shall be provided as required by City policy at the time building permits are issued.

1 79. All trash enclosures must be provided as required by Chapter 13 of the City Code and shall  
2 include additional space for storage and collection of recyclable materials per City  
3 standards:

- 4 a) The enclosures must be built in a flat, accessible location as determined by the City  
5 Engineer.
- 6 b) The enclosures shall meet City standards including being constructed of concrete  
7 block, reinforced with rebar and filled with cement.
- 8 c) A concrete slab must be poured with a berm on the inside of the enclosure to  
9 prevent the bin(s) from striking the block walls. The slab must extend out of the  
10 enclosure for the bin(s) to roll out onto.
- 11 d) Steel posts must be set in front of the enclosure with solid metal gates.
- 12 e) All driveways and service access areas must be designed to sustain the weight of a  
13 50,000-pound service vehicle.
- 14 f) Trash enclosures and driveways and service access areas shall be shown on both the  
15 improvement and landscape plans submitted to the City Engineer. The  
16 specifications shall be reviewed and approved by the City Engineer.
- 17 g) The City's waste disposal contractor is required to access private property to service  
18 the trash enclosures, a service agreement must be signed by the property owner and  
19 shall remain in effect for the life of the project.
- 20 h) All trash enclosures shall be designed to provide user access without the use and  
21 opening of the service doors for the bins.
- 22 i) Trash enclosures shall have design features such as materials and trim similar to  
23 that of the rest of the project. This design shall be shown on the landscape plans  
24 and shall be approved by the City Planner.

25 80. A covenant or other recordable document approved by the City Attorney shall be prepared  
26 by the developer and recorded prior to issuance of building permits. The covenant shall  
27 provide that the property is subject to this resolution, and shall generally list the conditions  
28 of approval.

29 81. Prior to the issuance of building permits, compliance with the applicable provisions of the  
City's anti-graffiti (Ordinance No. 93-19/Section 20.25 of the City Code) shall be reviewed  
and approved by the Planning Division. These requirements, including the obligation to

1 remove or cover with matching paint all graffiti within 24 hours, shall be noted on the  
2 Landscape Plan and shall be recorded in the form of a covenant affecting the subject  
3 property.

4 82. Prior to the transfer of ownership and/or operation of the site the owner shall provide a  
5 written copy of the applications, staff report and resolutions for the project to the new  
6 owner and or operator. This notification's provision shall run with the life of the project  
7 and shall be recorded as a covenant on the property.

8 83. Failure to meet any conditions of approval for this development shall constitute a violation  
9 of the Tentative Parcel Map and Development Plan.

10 84. Unless expressly waived, all current zoning standards and City ordinances and policies in  
11 effect at the time building permits are issued are required to be met by this project. The  
12 approval of this project constitutes the applicant's agreement with all statements in the  
13 Description and Justification Plan and other materials and information submitted with this  
14 application, unless specifically waived by an adopted condition of approval.

15 85. Elevations, siding materials, colors, roofing materials and floor plans shall be  
16 substantially the same as those approved by the Planning Commission. These shall be  
17 shown on plans submitted to the Building Division and Planning Division for plan check  
18 prior to issuance of any building permit.

19 86. The applicant, tenants, or successors in interest shall comply with the City's business  
20 license requirements as necessary.

21 87. An association or management entity shall be formed and Covenants, Conditions and  
22 Restrictions (C.C. & R's) shall provide for the maintenance of all common open space,  
23 medians and commonly owned fences and walls and adjacent parkways. The maintenance  
24 shall include normal care and irrigation of landscaping, repair and replacement of plant  
25 material and irrigation systems as necessary; and general cleanup of the landscaped and  
26 open area and walkways. The C.C. & R's shall be subject to the review and approval of the  
27 City Attorney prior to the approval of the final map. The C.C. & R's are required to be  
28 recorded prior to or concurrently with the Tentative Parcel Map. Any amendments to the  
29 C.C. & R's in which the association relinquishes responsibility for the maintenance of any  
common open space shall not be permitted without the specific approval of the City of

1 Oceanside. Such a clause shall be a part of the C.C. & R's. The C.C. & R's shall also  
2 contain provisions for the following:

- 3 a) Provisions for the maintenance of all common open-space and open-space  
4 easements on private lots, including provisions establishing mechanisms to ensure  
5 adequate and continued monetary funding for such maintenance by the property  
6 association.
- 7 b) Provisions that restrict any private use of open space easement areas. Restrictions  
8 shall include, but are not limited to, removing retaining walls, installing structures  
9 such as trellises, retaining walls and other hardscape and any individual landscape  
10 improvements.
- 11 c) Provisions prohibiting the property owners association from relinquishing its  
12 obligation to maintain the common open space and open space easement areas  
13 without prior consent of the City of Oceanside.
- 14 d) Provisions for restricting and ensuring that the light industrial buildings do not  
15 transition into more intense type uses that require greater numbers of parking  
16 spaces and generate higher traffic volumes to the surrounding roadways beyond  
17 what was originally calculated for the original Ocean Ranch Community Master  
18 Development Plan applications (T-1-99/D-7-99). Allocated daily trips for Windstar  
19 Ocean Ranch Lot 19 shall not to exceed 1,659.27 ADT's.

19 **Water Utilities:**

- 20 88. The developer will be responsible for developing all water and sewer utilities necessary  
21 to develop the property. Any relocation of water and/or sewer utilities is the  
22 responsibility of the developer and shall be done by an approved licensed contractor at  
23 the developer's expense.
- 24 89. The property owner will maintain private water and wastewater utilities located on  
25 private property.
- 26 90. Water services and sewer laterals constructed in existing right-of-way locations are to be  
27 constructed by approved and licensed contractors at developer's expense.
- 28 91. All Water and Wastewater construction shall conform to the most recent edition of the  
29 Water, Sewer, and Reclaimed Water Design and Construction Manual or as approved by  
the Water Utilities Director.

- 1 92. Prior to the approval of engineering design plans, all public water and/or sewer facilities  
2 not located within the public right-of-way shall be provided with easements sized  
3 according to the Water, Sewer, and Reclaimed Water Design and Construction Manual.  
4 Easements shall be constructed for all weather access.
- 5 93. Prior to the approval of engineering design plans, the existing sewer stub and water  
6 service stub shall be abandoned in accordance with the Water, Sewer and Reclaimed  
7 Water Design and Construction Manual.
- 8 94. No trees, structures or building overhang shall be located within any Water or Wastewater  
9 utility easement.
- 10 95. All lots with a finish pad elevation located below the elevation of the next upstream  
11 manhole cover of the public sewer shall be protected from backflow of sewage by  
12 installing and maintaining an approved type backwater valve, per the Uniform Plumbing  
13 Code.
- 14 96. Prior to the approval of engineering design plans, the developer shall construct a public  
15 reclamation water system that will serve each lot and or parcels that are located in the  
16 proposed project in accordance with the City of Oceanside Ordinance No. 91-15. The  
17 proposed reclamation water system shall be located in the public right-of-way or in a  
18 public utility easement.
- 19 97. Prior to the approval of engineering design plans, a separate irrigation meter and approved  
20 backflow prevention device is required and shall be displayed on the plans.
- 21 98. Prior to the approval of engineering design plans, an Inspection Manhole, described by the  
22 Water, Sewer, and Reclaimed Water Design and Construction Manual, shall be installed in  
23 each building sewer lateral and the location shall be called out on the approved  
24 Improvement Plans.
- 25 99. If a restaurant or food service tenant occupies the property; a Grease, Oil, and Sand  
26 Interceptor shall be installed in each building sewer in an appropriate location and shall  
27 be maintained by the property Owner, in accordance with City of Oceanside Ordinance  
28 07-0R0021-1. The location shall be called out on the approved building plans.

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1 100. Prior to building permit issuance, Water and Wastewater Buy-in fees and the San Diego  
2 County Water Authority Fees shall be paid to the City and collected by the Water Utilities  
3 Department.

4 PASSED AND ADOPTED Resolution No. 2008-P61 on October 6, 2008 by the  
5 following vote, to wit:

6 AYES:

7 NAYS:

8 ABSENT:

9 ABSTAIN:

10 ATTEST:

11  
12 \_\_\_\_\_  
13 Claudia Troisi, Chairperson  
14 Oceanside Planning Commission

15 ATTEST:

16 \_\_\_\_\_  
17 Jerry Hittleman, Secretary

18 I, JERRY HITTLEMAN, Secretary of the Oceanside Planning Commission, hereby certify that  
19 this is a true and correct copy of Resolution No. 2008-P61.

20 Dated: October 6, 2008  
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**PLANNING COMMISSION  
RESOLUTION NO. 99- P56**

**A RESOLUTION OF THE PLANNING COMMISSION OF  
THE CITY OF OCEANSIDE, CALIFORNIA APPROVING A  
TENTATIVE MAP AND DEVELOPMENT PLAN, ON  
CERTAIN REAL PROPERTY IN THE CITY OF OCEANSIDE**

**APPLICATION NO'S: T-1-99, D-7-99  
APPLICANT: Ocean Ranch  
LOCATION: North side of Oceanside Boulevard, south of Mesa Drive,  
west of the Rancho Del Oro Technology Park**

**THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES  
RESOLVE AS FOLLOWS:**

**WHEREAS, there was filed with this Commission a verified petition on the  
forms prescribed by the Commission requesting a Tentative Map and Development  
Plan under the provisions of Articles 13 and 43 of the Zoning Ordinance of the City  
of Oceanside to permit the following:**

**a Master Development Plan Text for a 393-acre industrial project;  
on certain real property described in the project description.**

**WHEREAS, the Planning Commission, after giving the required notice, did on  
the 13th day of September, 1999 conduct a duly advertised public hearing as  
prescribed by law to consider said application.**

**WHEREAS, pursuant to the California Environmental Quality Act of 1970, and  
State Guidelines thereto a Mitigated Negative Declaration stating that if the  
mitigation measures are applied there will not be a significant adverse impact upon  
the environment.**

**WHEREAS, there is hereby imposed on the subject development project  
certain fees, dedications, reservations and other exactions pursuant to state law and  
city ordinance;**

**WHEREAS, pursuant to Govt. Code §66020(d)(1), NOTICE IS HEREBY GIVEN  
that the project is subject to certain fees, dedications, reservations and other  
exactions as provided below:**

1	<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
2			
3	Drainage Fee	Ordinance No. 85-23 Resolution No. 89-231	Calculated by drainage basin. Drainage2A: \$9,575X108.36 (acres) Drainage 2B \$8,024X284.64 (acres)
4			
5			
6			
7			
8	Public Facility Fee	Ordinance No. 91-09 Resolution No. R91-39	\$.441 per square foot or \$441 per thousand square feet for commercial and industrial
9			
10			
11	School Facilities Mitigation Fee	Ordinance No. 91-34	\$.31 per square foot (non-residential)
12			
13	Traffic Signal Fee	Ordinance No. 87-19	\$7.80 per trip
14	Thoroughfare and Bridge Fee	Ordinance No. 83-01	\$177 per trip
15			
16	Water Connection Fees	Oceanside City Code §37.56.1 Resolution No. 87-96	Fee based on water meter size (These fees are under consideration to be increased.)
17			
18			
19	Sewer Connection Fees	Oceanside City Code § 29.11.1 Resolution No. 87-97	Based on equivalent dwelling units (edu) (These fees are under consideration to be increased.)
20			
21			
22			
23	San Diego County Water Authority Capacity Fees	SDCWA Ordinance No. 99-2	As of Sept. 20, 1999, a 2" meter is \$9,729
24			

25 WHEREAS, the current fees referenced above are merely fee amount  
 26 estimates of the impact fees that would be required if due and payable under  
 27 currently applicable ordinances and resolutions, presume the accuracy of relevant  
 28 project information provided by the applicant, and are not necessarily the fee amount  
 29 that will be owing when such fee becomes due and payable;

1           WHEREAS, unless otherwise provided by this resolution, all impact fees shall  
2 be calculated and collected at the time and in the manner provided in Chapter 32B of  
3 the Oceanside City Code and the City expressly reserves the right to amend the fees  
4 and fee calculations consistent with applicable law;

5           WHEREAS, the City expressly reserves the right to establish, modify or adjust  
6 any fee, dedication, reservation or other exaction to the extent permitted and as  
7 authorized by law;

8           WHEREAS, pursuant to Gov. Code §66020(d)(1), NOTICE IS FURTHER  
9 GIVEN that the 90-day period to protest the imposition of any fee, dedication,  
10 reservation, or other exaction described in this resolution begins on the effective  
11 date of this resolution and any such protest must be in a manner that complies with  
12 Section 66020;

13           WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution  
14 becomes effective 10 days from its adoption in the absence of the filing of an appeal  
15 or call for review;

16           WHEREAS, studies and investigations made by this Commission and in its  
17 behalf reveal the following facts:

18 FINDINGS:

19 For the Tentative Map:

- 20 1. That the proposed map is consistent with the General Plan of the City or any  
21 applicable specific plan or other applicable ordinance.
- 22 -- The industrial map is consistent with the industrial Land Use  
23 designation. The portion that is in Rancho Del Oro is in conformance  
24 with the size of parcels in that project.
- 25 2. That the site is physically suitable for the type of development.
- 26 -- The site is of gently rolling hills with few environmental constraints and  
27 is located in the center of the city with adequate access and facilities  
28 and is most appropriate for light industrial development.
- 29 3. That the design of the subdivision or the proposed improvements will not  
cause substantial environmental damage or substantially and avoidable injure  
fish or wildlife or their habitat.

1 -- Mitigation measures are attached as a result of the environmental  
2 review process to protect fish, wildlife and habitat areas.

3 4. That the design of the subdivision or the type of improvements will not  
4 conflict with easements, acquired by the public at large, for access through  
5 the use of property within the proposed subdivision.

6 -- All such public easements are protected by this project.

7 For the Development Plan:

8 1. That the site plan and physical design of the project as proposed is consistent  
9 with the purposes of the Zoning Ordinance.

10 -- The site plan and design indicate a high quality industrial park which is  
11 consistent with both the City's IL (Light Industrial) Zone and the  
12 Rancho Del Oro Industrial Master Plan.

13 2. That the Development Plan as proposed conforms to the General Plan of the  
14 City.

15 -- The Development Plan Text proposes development standards that are  
16 more restrictive than the City's Light Industrial General Plan category  
17 and consistent with or more restrictive than the Rancho Del Oro  
Industrial Master Plan.

18 3. That the area covered by the Development Plan can be adequately, reasonably  
19 and conveniently served by existing and planned public services, utilities and  
20 public facilities.

21 -- The Public Services have been planned and/or are available in the area.  
22 Extensions to provide service on the site will be constructed by the  
development.

23 4. That the project as proposed is compatible with existing and potential  
24 development on adjoining properties or in the surrounding neighborhood.

25 -- The landscaping and site design requirements will provide for a visual  
26 buffer to the north and appropriate transition with the Rancho Del Oro  
27 Technology Park to the south and east of the site. Further the master  
28 plan standards ensure appropriate development will occur adjacent to  
the El Corazon site to the west.

29

1  
2 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does  
3 hereby APPROVE the Mitigated Negative Declaration and adopt the mitigation  
4 measures provided therein, and APPROVE Tentative Map (T-1-99) and Development  
Plan (D-7-99), subject to the following conditions:

5 Building:

- 6 1. Applicable Building Codes and Ordinances shall be based on the date of  
7 submittal for Building Department plan check.
- 8 2. The granting of approval under this action shall in no way relieve the  
9 applicant/project from compliance with all State and local building codes.
- 10 3. Site development, parking, access into buildings and building interiors shall  
11 comply with C.C.R. Title 24, Part 2 (Disabled Access - Nonresidential  
12 buildings - D.S.A.).
- 13 4. Any application for a Building Permit in this project will not be accepted until  
14 plans indicate that they have been prepared by a licensed design professional  
15 (Architect or Engineer). The design professional's name, address, phone  
16 number, State license number and expiration date shall be printed in the title  
17 block of the plans.
- 18 5. All electrical, communication, CATV, etc. service lines, within the exterior  
19 lines of the property shall be underground (City Code Sec. 6.30).
- 20 6. All outdoor lighting shall meet Chapter 39 of the City Code (Light Pollution  
21 Ordinance) and shall be shielded appropriately. Where color rendition is  
22 important high-pressure sodium, metal halide or other such lights may be  
utilized and shall be shown on final building and electrical plans. In addition,  
all lighting showcasing building architecture shall be shown on the above  
noted plans.

23 Engineering:

- 24 7. Vehicular access rights to Oceanside Boulevard and Ranch Del Oro shall be  
25 relinquished to the City from all abutting lots. Except for approved driveway  
26 openings, vehicular access rights to all other streets shall be relinquished from  
27 all abutting lots.
- 28 8. All street dedications, right-of-way alignments, widths, and exact geometrics  
29 shall be dedicated and improved as required by the City Engineer. The exact  
alignment, width and design of all median islands, turning lanes, travel lanes,  
driveways, striping, and all other traffic control devices and measures,

1 including turnouts, bike lanes, and width/length transitions, shall be approved  
2 by the City Engineer at the time of final design.

3 9. Prior to approval of the final map or any increment, all improvement  
4 requirements, within such increment or outside of it if required by the City  
5 Engineer, shall be covered by a subdivision agreement and secured with  
6 sufficient improvement securities or bonds guaranteeing performance and  
7 payment for labor and materials, setting of monuments, and warranty against  
8 defective materials and workmanship.

9 10. The tract may be developed in phases. A construction-phasing plan for the  
10 construction of all on-site and off-site public and private improvements shall  
11 be reviewed and approved by the City Engineer prior to the recordation of the  
12 final map.

13 11. Multiple final maps may be filed prior to the expiration of the tentative map.

14 12. The City Engineer shall require the dedication and construction of necessary  
15 utilities, streets and other improvements outside the area of any particular  
16 final map, if such is needed for circulation, parking, access or for the welfare  
17 or safety of future occupants of the development. The boundaries of any  
18 multiple final map increment shall be subject to the approval of the City  
19 Engineer.

20 13. Where proposed off-site improvements, including but not limited to slopes,  
21 public utility facilities, and drainage facilities, are to be constructed, the  
22 applicant shall, at his own expense, obtain all necessary easements or other  
23 interests in real property and shall dedicate the same to the City as required.  
24 The applicant shall provide documentary proof satisfactory to the City that  
25 such easements or other interest in real property have been obtained prior to  
26 the approval of the final map. Additionally, the City, may at its sole  
27 discretion, require that the applicant obtain at his sole expense a title policy  
28 insuring the necessary title for the easement or other interest in real property  
29 to have vested with the City of Oceanside or the applicant, as applicable.

14. Pursuant to the State Map Act, improvements shall be required at the time of  
development. A covenant, reviewed and approved by the City Attorney,  
shall be recorded attesting to these improvement conditions and a certificate  
setting forth the recordation shall be placed on the map.

15. The developer shall provide public street dedication as required to serve the  
property.

16. Open space areas and down slope areas visible from a collector-level or above  
roadway, shall either be maintained by the property owner, homeowners'

1 association or other method that will insure installation and maintenance of  
2 landscaping in perpetuity. These areas shall be indicated on the final map and  
3 either reserved for an association or other means, as applicable. If these  
4 areas are association-maintained, then the maintenance responsibilities shall  
5 be set forth in the recorded CC&R's. In either case, future buyers shall be  
6 made aware of any estimated monthly costs. The disclosure, together with  
the CC&R's, shall be submitted to the City Engineer for review prior to the  
recordation of final map.

7 17. The developer shall monitor, supervise and control all construction and  
8 construction-supportive activities, so as to prevent these activities from  
9 causing a public nuisance, including but not limited to, insuring strict  
adherence to the following:

- 10 a) Removal of dirt, debris and other construction material deposited on  
11 any public street no later than the end of each working day.
- 12 b) All building and construction operations, activities and deliveries shall  
13 be restricted to Monday through Friday, from 7:00 A.M. to 6:00 P.M.,  
14 unless otherwise extended by the City.
- 15 c) The construction site shall accommodate the parking of all motor  
16 vehicles used by persons working at or providing deliveries to the site.

17 Violation of any condition, restriction or prohibition set forth in this resolution  
18 shall subject the development plan to further review by the Planning  
19 Commission. This review may include revocation of the development plan,  
20 imposition of additional conditions and any other remedial action authorized by  
law.

21 18. All traffic signal contributions, highway thoroughfare fees, park fees,  
22 reimbursements, and other applicable charges, fees and deposits shall be paid  
23 prior to the issuing of any building permits, in accordance with City  
24 Ordinances and policies. The subdivider shall also be required to join into,  
25 contribute, or participate in any improvement, lighting, or other special district  
26 affecting or affected by this project. Approval of the tentative map shall  
27 constitute the developer's approval of such payments, and his agreement to  
28 pay for any other similar assessments or charges in effect when any  
29 increment is submitted for final map or building permit approval, and to join,  
contribute, and/or participate in such districts.

19. The developer shall pay traffic signal fees as required by the City's Traffic  
Signal Fee Ordinance, thoroughfare fees as required by the City's  
Thoroughfare Fee Ordinance, and drainage fees as required by the City's  
Drainage Fee Ordinance.

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- 2 20. Design and construction of all improvements shall be in accordance with
- 3 standard plans, specifications of the City of Oceanside and subject to
- 4 approval by the City Engineer.
- 5 21. Prior to City Council's approval of the first final map, a phasing plan for the
- 6 construction of public and private improvements shall be reviewed and
- 7 approved by the City Engineer.
- 8 22. All streets shall be improved with concrete curbs and gutters, street lights, 5
- 9 foot wide sidewalks and pavement, providing a parkway width of at least 10
- 10 feet, except where turnouts are provided and unless altered by the City
- 11 Engineer.
- 12 23. Curb return radii shall be 35 feet at the intersections of Oceanside Boulevard
- 13 and Via Rancho Road, Via Rancho Road and Avenida De La Plata, Ocean
- 14 Ranch Road and Rancho Del Oro Road, Ocean Ranch Road and Via Rancho
- 15 Road, Ocean Ranch Road and Old Grove Road. All other curb return radii in
- 16 the project shall be a minimum of 25 feet.
- 17 24. Curb radii at cul-de-sac turnarounds shall be at least 40 feet with minimum
- 18 50-foot radii at right-of-way lines.
- 19 25. Pavement sections for all streets, alleys, driveways and parking areas shall be
- 20 based upon approved soil tests and traffic indices. The pavement design is
- 21 to be prepared by the subdivider's soil engineer and must be approved by the
- 22 City Engineer, prior to paving.
- 23 26. Raised landscaped concrete medians on shall be constructed as determined by
- 24 the City Engineer. A raised landscaped concrete median shall be constructed
- 25 on Oceanside Boulevard.
- 26 27. All streets shall be improved with street name signs and traffic control
- 27 devices, as directed by the City Engineer.
- 28 28. Sight distance requirements at all street intersections shall conform to the
- 29 intersection sight distance criteria as provided by the California Department of
- Transportation Highway Design Manual.
- 29 29. Traffic control during the construction of streets, which have been opened to
- public travel, shall be in accordance with construction signing, marking and
- other protection as required by the CalTrans Traffic Manual. Traffic control
- during construction adjacent to or within all public streets must also meet
- CalTrans standards.

- 1 30. A traffic control plan shall be submitted to and approved by the City Engineer  
2 prior to the start of work within open City rights-of-way.
- 3 31. Any broken pavement, concrete curb, gutter or sidewalk or any damaged  
4 during construction of the project, shall be repaired or replaced as directed by  
5 the City Engineer.
- 6 32. Bus turnouts and shelters shall be constructed on Oceanside Boulevard, Via  
7 Rancho Road, Rancho Del Oro Road, and Ocean Ranch Road in accordance  
8 with the City Engineer and North County Transit District requirements.  
9 Additional right-of-way may be required to accommodate the required  
10 turnouts.
- 11 33. The entire project shall be served with a complete water system adequate  
12 enough for fire protection (including hydrants), domestic supply and  
13 landscaping. The main lines shall be City-owned and appropriate easements  
14 shall be provided. The sewer system to serve the tract shall be designed and  
15 constructed to City standards. All other utilities to serve the project, including  
16 electrical, telephone, and cable TV, shall be constructed underground.
- 17 34. All connections to existing City water mains are to be made with new  
18 materials. New materials include the replacement and/or upgrade of all  
19 existing fittings with new tees or new crosses, as applicable, and the  
20 installation of a new valve on each branch.
- 21 35. All existing overhead utility lines either transversing the project or immediately  
22 adjacent thereto, and all new extension services for the development of the  
23 project, including but not limited to, electrical, cable and telephone, shall be  
24 constructed underground in accordance with the City Subdivision Ordinance.
- 25 36. Streetlights shall be installed on all streets in the project. The system shall be  
26 designed and secured prior to the recordation of a final map. The subdivider  
27 shall pay all applicable fees, energy charges, and/or assessments associated  
28 with City-owned (LS-2 rate schedule) street lights and shall also agree to be  
29 included in the Citywide street lighting district.
37. The developer shall comply with all the provisions of the City's cable  
television ordinances including those relating to notification as required by the  
City Engineer.
38. The developer shall install 3 inch PVC conduit, together with interconnect  
conduit and pull-boxes at 200 feet intervals for future signal interconnect  
cable along Oceanside Boulevard and Rancho del Oro Road.

- 1 39. On-site grading design and construction shall be in accordance with the City's  
2 current Grading Ordinance.
- 3 40. Grading and drainage facilities shall be designed to adequately accommodate  
4 the local storm water runoff and shall be in accordance with the City's  
5 Engineers Manual and as directed by the City Engineer.
- 6 41. The applicant shall obtain any necessary permits and clearances from the U.  
7 S. Army Corps of Engineers, California Department of Fish & Game, U. S. Fish  
8 and Wildlife Service and/or San Diego Regional Water Quality Control Board  
9 (including NPDES), San Diego County Health Department, prior to the  
10 issuance of applicable grading permits.
- 11 42. Prior to any grading of any part of the tract or project, a comprehensive soils  
12 and geologic investigation shall be conducted of the soils, slopes, and  
13 formations in the project. All necessary measures shall be taken and  
14 implemented to assure slope stability, erosion control, and soil integrity. No  
15 grading shall occur until a detailed grading plan, to be prepared in accordance  
16 with the Grading Ordinance and Zoning Ordinance, is approved by the City  
17 Engineer.
- 18 43. The applicant shall implement adequate erosion control measures for the site  
19 at the completion of each phase of grading. This shall include, at a minimum,  
20 either jute matting, an organic soil binder with a non-irrigated hydro-seed mix  
21 or final landscaping with irrigation on all disturbed areas, as directed by the  
22 City Engineer.
- 23 44. This project shall provide year-round erosion control. Prior to the issuance of  
24 grading permit, an erosion control plan, designed for all proposed stages of  
25 construction, shall be reviewed, secured by the applicant with cash securities  
26 and approved by the City Engineer.
- 27 45. A Precise Grading and Private Improvement Plan shall be prepared, reviewed,  
28 secured and approved prior to the issuance of any building permits. The plan  
29 shall reflect all pavement, flatwork, landscaped areas, special surfaces, curbs,  
gutters, medians, striping, signage, footprints of all structures, walls, drainage  
devices and utility services. Parking lot striping shall be shown on all Precise  
Grading and Private Improvement Plans.
46. Landscaping plans, including plans for the construction of walls, fences or  
other structures at or near intersections, must conform to intersection sight  
distance requirements. Landscape and irrigation plans for disturbed areas  
must be submitted to the City Engineer prior to the issuance of a preliminary  
grading permit and approved by the City Engineer prior to the issuance of  
building permits. Project fences, sound or privacy walls and monument entry

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walls/signs shall be designed, reviewed and constructed by the landscape plans and shown for location only on grading plans. Retaining walls that are plantable or segmental walls shall be designed, reviewed and constructed by the grading plans. The landscape requirements shall be shown on the project landscape plans. All plans must be approved by the City Engineer and a pre-construction meeting held, prior to the start of any improvements.

- 47. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and disposed of in accordance with all state and federal requirements, prior to stormwater discharge either off-site or into the City drainage system.
- 48. Development shall be in accordance with City Floodplain Management Regulations, City Stormwater Management and Discharge Regulations.
- 49. All storm drain systems shall be designed and installed to the satisfaction of the City Engineer. All public storm drains shall be shown on City standard plan and profile sheets. All storm drain easements shall be dedicated where required. The applicant shall be responsible for obtaining any off-site easements for storm drainage facilities.
- 50. Storm drain facilities shall be designed and located such that the inside travel lanes on Oceanside Boulevard and Rancho Del Oro Road shall be passable during conditions of a 100-year frequency storm.
- 51. All drainage picked up in an underground system shall remain underground until it is discharged into an approved channel, or as otherwise approved by the City Engineer.
- 52. The drainage design on the tentative map is conceptual only. The final design shall be based upon a hydrologic/hydraulic study to be approved by the City Engineer during final engineering plan review.
- 53. A minimum forty-two-inch high black vinyl clad chain link fence or equivalent barrier, approved by the City Engineer, shall be provided at the top of all slopes whose height exceeds twenty feet or where the slope exceeds four feet and is adjacent to a major street or state highway.
- 54. A sidewalk shall be installed from Rancho Del Oro Road to Avenida Del Oro along the north side of Oceanside Boulevard. The portion of this sidewalk that is off-site shall be constructed in order to meet the requirements of the Federal ADA Program.
- 55. The applicant shall dedicate a roadway alignment easterly of Corporate Center Drive for possible future connection to Unit 2 of the Rancho Del Oro Technology Park prior to or concurrently with any development activity in

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Phase 4 (Lots 19,20 and 21 of the Tentative Map). If required by the City Engineer and the Planning Director, the applicant shall also prepare all necessary environmental studies and analysis to evaluate the possible future connection of Corporate Center Drive easterly through Unit 2 of the Rancho Del Oro Technology Park to a connection with Avenida de Oro and Old Grove Road.

56. Based upon the traffic study for Ocean Ranch, the following improvements are necessary to mitigate the project impacts. Additional right-of-way may need to be acquired by the developer to enable improvements:

The following traffic improvements shall be designed and secured with the first final map for the project and shall be under construction concurrent with any construction related to Phase 1 Final Map of the project and shall be completed prior to occupancy of any units within Phase 1 Final Map of the project.

INTERSECTION IMPROVEMENTS:

Avenida De La Plata/Avenida Del Oro

57. Modify traffic signal equipment, underground cable and wiring to provide for fully 8-phase operation with exclusive left-turn phasing.

Avenida De La Plata/Corporate Centre

58. Intersection to be improved to provide for a 12-foot wide westbound right turn lane and stop control for the westbound direction.

Oceanside Boulevard/Corporate Centre

59. Construct new north-leg of intersection to provide the following and construct a new traffic signal, underground conduit, cables and wires and provide new interconnect Passer II-90 timing plans and input data for AM, Midday, PM, and Off-peak periods for Oceanside Boulevard system. Provide new 3-inch - interconnect conduit and 12 pair communication cable between Oceanside Boulevard and Ocean Ranch Road on Corporate Centre:

Southbound: 2-12-foot wide left-turn lanes with 165 feet of storage length.  
1-12-foot wide right-turn lane with 300 feet of storage length.  
1-5-foot wide bicycle lane.

Northbound: 2-12-foot wide lanes from Oceanside Boulevard to Avenida De La Plata  
1-5-foot wide bicycle lane.

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**ROAD SEGMENTS:**

**Corporate Centre – Oceanside Boulevard to the final map for Phase 1 boundary**

60. Construct new Corporate Centre to Industrial Collector Street standards per the RDO Specific Plan.

The following traffic improvements shall be designed and secured with the second final map for the project and shall be under construction concurrent with the final map for Phase 2 of the project and shall be completed prior to occupancy of any units within the final map for Phase 2 of the project.

**INTERSECTION IMPROVEMENTS:**

**Oceanside Boulevard/College Boulevard**

61. Widen northbound College Boulevard approach to provide for 3<sup>rd</sup> through lane, 12 feet wide, starting at Olive Drive.

62. Widen southbound College Boulevard to provide for 3<sup>rd</sup> through lane, 12 feet wide, from Avenida De La Plata to Olive Drive. Widening to accommodate one 12-foot through lane, plus one 12-foot right turn lane and one 8-foot bike lane.

63. Widen eastbound Oceanside Boulevard to provide for 3<sup>rd</sup> through lane, 12 feet wide, starting from 300 feet west of College Boulevard. Widening to accommodate existing exclusive right-turn lane.

64. Modify all traffic signal equipment and necessary underground conduit, cables and wiring. Provide revised timing plans and new Passer II-90 computer model runs for each system along Oceanside Boulevard and along College Boulevard including all intersections in its system for AM, Midday, PM, and Off-peak periods.

**ROAD SEGMENTS:**

**College Boulevard – Olive Drive to Thunder Drive**

65. Widen roadway by 12 feet to provide for one additional lane southbound between Olive Drive to Thunder Drive and provide for bus turnouts at existing bus stops.

1 Corporate Centre – Oceanside Boulevard to Ocean Ranch Road

2 66. Construct new Corporate Centre to Industrial Collector Street standards per  
3 the RDO Specific Plan.

4 **The following traffic improvements shall be designed and secured with the**  
5 **third final map for the project and shall be under construction concurrent with**  
6 **any construction of the final map for Phase 3 of the project and shall be**  
7 **completed prior to occupancy of any units within the final map for Phase 3 of**  
8 **the project.**

8 INTERSECTION IMPROVEMENTS:

9 Oceanside Boulevard/El Camino Real

10  
11 67. Widen northbound El Camino Real to provide for 3<sup>rd</sup> through lane, 12 feet  
12 wide, starting at railroad tracks and ending north of Oceanside Boulevard at  
13 the top of grade. Widening to accommodate existing exclusive right-turn  
14 lane. Overlap of northbound right turn phase is not permitted due to  
15 proximity of Fire Station driveway and lack of sight distance to driveway.

16 68. Widen eastbound and westbound Oceanside Boulevard to provide for an  
17 additional 12-foot left turn lane.

18 69. Modify all traffic signal equipment and necessary underground conduit,  
19 cables and wiring. Provide revised timing plans and new Passer II-90  
20 computer model runs for each system along Oceanside Boulevard and along  
21 El Camino Real including all intersections in its system for AM, Midday, PM,  
22 and Off-peak periods.

21 Vista Way/El Camino Real

22 70. Provide for northbound overlap right-turn phasing and all necessary wiring,  
23 equipment and signal timing plans.

24 Rancho Del Oro/Oceanside Boulevard

25 71. Modify traffic signal equipment, underground conduit, cables and wires and  
26 provide new interconnect Passer II-90 timing plans and input data for AM,  
27 Midday, PM, and Off-peak periods. Provide new 3-inch - interconnect conduit  
28 and 12 pair communication cable between Oceanside Boulevard and Mesa  
29 Drive.

72. Widen Oceanside Boulevard and Construct 2-12-foot wide eastbound left-  
turn lanes with 300 feet of storage length.

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73. Construct north leg to provide the following:

Southbound: 2-12-foot wide through lanes.

1-12-foot wide right-turn lane with 300 feet of storage length.

2-12-foot wide left-turn lanes with 200 feet of storage length/4' median.

1-5-foot wide bicycle lane adjacent to the right-turn lane.

Northbound: 2-12-foot wide through-lanes from Oceanside Boulevard to Mesa Drive.

1-8-foot wide bicycle lane from Oceanside Boulevard to Mesa Drive.

Widen south leg to provide for adequate lane alignments

Rancho Del Oro Drive/Ocean Ranch Road

74. Construct new intersection to provide the following and construct a new traffic signal, underground conduit, cables and wires and provide new interconnect Passer II-90 timing plans and input data for AM, Midday, PM, and Off-peak periods for Rancho Del Oro system. Provide new 3-inch - interconnect conduit and 12 pair communication cable between Oceanside Boulevard and Mesa Drive on Rancho Del Oro Drive:

Southbound: 2-12-foot wide left-turn lanes with 276 feet of storage length.

2-12-foot wide through lanes from Oceanside Blvd to Mesa Drive.

1-8-foot wide bicycle lane.

Northbound: 2-12-foot wide through lanes from Oceanside Boulevard to Mesa Drive.

1-12-foot wide right-turn lane with 500 feet of storage length.

1-5-foot wide bicycle lane adjacent to right-turn lane.

Westbound: 2-12-foot wide left-turn lanes with 550 feet of storage length.

1-12-foot wide right-turn lane with 522 feet of storage length.

1-5-foot wide bicycle lane.

Vista Way/Rancho Del Oro Drive

75. Widen Vista Way to provide for additional 12-foot wide eastbound left-turn lane with 200 feet of storage length. Modify traffic signal equipment, underground conduit, cables and wires.

1 **ROAD SEGMENTS:**

2 **Rancho Del Oro Drive – Oceanside Boulevard to Mesa Drive**

3  
4 76. Construct new Rancho Del Oro Drive to a full-width 4-lane Major Arterial at  
5 100' right-of-way and 80' curb-to-curb within the project and construct 1-  
6 12-foot lane each direction with 8-foot bicycle lane for off-site  
improvements between Oceanside Boulevard and Mesa Drive.

7 **The following traffic improvements shall be designed and secured with the**  
8 **fourth final map for the project and shall be under construction concurrent**  
9 **with any construction of the final map for Phase 4 of the project and shall be**  
10 **completed prior to occupancy of any units within the final map for Phase 4 of**  
11 **the project.**

11 **INTERSECTION IMPROVEMENTS:**

12 **College Boulevard/Old Grove Road**

13  
14 77. Install 3-inch- interconnect conduit and 12 pair communication cable on Old  
15 Grove Road between Mesa Drive and College Boulevard along with Passer II-90  
coordinated timing plans for AM, Midday, PM and Off-peak periods:

- 16 a) Widen northbound College Boulevard to provide for 2-12-foot wide,  
17 left-turn lanes, with 285 feet of storage per lane.
- 18 b) Construct new west leg of intersection to provide for 1-12-foot wide  
19 eastbound left-turn lane with 260 feet of storage length, 1-12-foot  
20 wide eastbound through-lane and 1-12-foot wide eastbound right-turn  
lane with 300 feet of storage length.

21 **Old Grove Road/Ocean Ranch Road**

22  
23 78. Construct new intersection to provide for the following including new traffic  
24 signal, 3-inch- interconnect conduit and 12 pair communication cable on Old  
25 Grove Road between Mesa Drive and College Boulevard along with Passer II-90  
coordinated timing plans for AM, Midday, PM and Off-peak periods:

26 Northbound: 2-12-foot wide left turn lanes, with 290' storage length  
27 2-12-foot wide through lanes with 300' storage length  
28 1-5-foot wide bicycle lane

29 Southbound: 1-12-foot wide right-turn lane, starting at south of Mesa Drive  
2-12-foot wide through lanes, starting at Mesa Drive to 300 ft.  
south of Ocean Ranch Road.

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Eastbound: 2-12-foot wide left-turn lanes, with 320' storage length  
1-12-foot wide right-turn lane, with 300' storage length and to  
provide overlap phase.

Old Grove Road/Mesa Drive

79. Construct new south-leg of intersection to provide the following and modify traffic signal equipment, underground conduit, cables and wires and provide new interconnect Passer II-90 timing plans and input data for AM, Midday, PM, and Off-peak periods. Provide new 3-inch - interconnect conduit and 12 pair communication cable between Mesa Drive and College Boulevard on Old Grove Road:

Southbound: 2-12-foot wide through lanes from Mesa Drive to Ocean Ranch Road.  
1-12-foot wide right-turn lane from Mesa Drive to Ocean Ranch Road.  
1-5-foot wide bicycle lane from Mesa Drive to Ocean Ranch Road.

Northbound: 2-12-foot wide left-turn lanes with 292 feet of storage length.  
2-12-foot wide through-lanes from Ocean Ranch Road to Mesa Drive.  
1-12-foot wide right-turn lane with 200 feet of storage length.  
1-5-foot wide bicycle lane from Ocean Ranch Road to Mesa Drive.

Mesa Drive/Project Driveway

80. Construct new south leg to provide the following and construct a new traffic signal, underground conduit, cables and wires and provide new interconnect Passer II-90 timing plans and input data for AM, Midday, PM, and Off-peak periods for Mesa Drive system. Provide new 3-inch - interconnect conduit and 12 pair communication cable between College Boulevard and Project Driveway:

Northbound: 1-12-foot wide left-turn lane and 1- 12-foot wide right-turn lane.

Westbound: 2-12-foot wide left-turn lanes with 150 feet of storage length.

Eastbound: 1-12-foot wide right-turn lane with 180 feet of storage length.

1 ROAD SEGMENTS:

2 College Boulevard – Old Grove Road to Olive Drive

3  
4 81. Widen southbound roadway between Olive Drive and Thunder by 12 feet to  
5 provide for one additional through lane each direction and provide bus  
6 turnouts at existing bus stops.

7 Old Grove Road – Mesa Drive to College Boulevard

8 82. Along project frontage, Old Grove Road shall be constructed to provide for  
9 full-improvements on one-half width plus 12 feet per the City's Secondary  
10 Arterial street design standards of 84' right-of-way and 64' curb-to-curb  
11 except at intersections where additional width is necessary for turn lanes.

12 Environmental Mitigation Measures

13 83. All newly graded or brushed areas, including the areas proposed for off-site  
14 grading shall be hydroseeded with a temporary, erosion control plant mix by  
15 October 15, or within 40 days from completion of grading activities.

16 84. Prior to the issuance of grading permits, an erosion control plan shall be  
17 developed and approved by the City Engineer and the Planning Director. A  
18 qualified landscape architect shall oversee the installation of erosion control  
19 measures in accordance with the approved erosion control plan.

20 85. Prior to the issuance of any future grading permit for individual sites, a  
21 detailed landscape plan shall be developed and approved by the City  
22 Engineer and the Planning Director. The applicant shall post a bond with the  
23 City of Oceanside to ensure implementation of the landscape plan. A  
24 qualified landscape architect shall oversee landscape installation in  
25 accordance with approved landscape plans.

26 86. Site improvement plans shall demonstrate compliance with the City of  
27 Oceanside Light Pollution Ordinance. At a minimum, the following  
28 standards shall be incorporated into the lighting plans:

- 29
- a) All exterior lighting shall emit less than 4,050 lumens per fixture;
  - b) Lighting for decorative purposes, including building façade and landscape lighting, shall be turned off between 10:00 p.m. and sunrise; and
  - c) All lighting, including parking areas, security lighting behind industrial buildings and loading docks, shall be directed and shielded.

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87. The City of Oceanside Engineering Department shall review the grading plans for tentative tract maps. All measures necessary to control short-term construction-related air quality impacts shall be made conditions of approval of the grading plan.
88. The City and the contractor shall develop a dust abatement and construction management plan.
89. All project contractors shall implement a program of construction dust control sufficient to meet the requirements of the San Diego Air Pollution Control District (APCD). The program shall include:
- a) Sufficient water shall be applied to all major soil disturbance areas to maintain adequate soil moisture in the upper soil stratum to prevent the formation of a visible dust clouds beyond the project boundary. Other equally effective dust control measures shall be used if drought conditions limit water availability.
  - b) Street sweeping shall be performed daily at the conclusion of each workday up to a distance of 250 feet in either direction of any construction site entrance from an publicly traveled roadway.
  - c) All trucks shall be washed off as they leave the site and any trucks hauling dirt away from the site shall be wet down or covered with a tarp.
  - d) Landscaping shall be established on graded areas within 90 days of the completion of grading, or hydroseed with a native plant mix as an interim ground cover, to minimize wind erosion. Irrigate as necessary to sustain ground cover.
  - e) All grading, excavation and travel on unpaved surfaces shall be terminated when hourly average wind speeds exceed 30 miles per hour. Wind speeds shall be monitored with an on-site wind sensor mounted in an unobstructed location.
90. All major construction contractors shall implement a traffic management program to reduce the number of employee or material delivery trips and to minimize conflict with regional transportation patterns.
91. The loss of 3.15 acres of California gnatcatcher occupied coastal scrub habitat (2.83 acres of coastal sage scrub, 0.32 acre of disturbed coastal sage scrub), in a non-core area (i.e. non-core biological area or non-core habitat preservation area), shall be mitigated at a 2:1 ratio (6.30 acres). This may

1 take the form of off-site purchase and dedication to open space of coastal  
2 sage scrub,, purchase of mitigation credits at a USFWS/CDFG-approved  
3 mitigation bank, on-site revegetation of coastal sage scrub, off-site  
4 revegetation or any combination thereof.

5 92. A Section 10a or Section 7 take permit must be obtained from the USFWS  
6 pursuant to the Endangered Species Act, or an incidental Take Permit issued  
7 by the City of Oceanside once the City's Subarea Plan is completed.

8 93. The loss of 1.74 acres of Valley needlegrass grassland shall be mitigated at  
9 a 1 to 1 ratio (1.74 acres). This may take the form of off-site purchase and  
10 dedication to open space of Valley needlegrass grassland, purchase of  
11 mitigation credits at an USFWS/CDFG-approved mitigation bank, on-site  
12 Valley needlegrass grassland revegetation, off-site revegetation or any  
13 combination thereof.

14 94. The loss of 0.42 acre of wetlands and waters of the U.S. (0.02 mulefat  
15 scrub and 0.40 acre of waters of the U.S.) shall be mitigated at a 3 to 1  
16 ratio adjacent to an existing revegetation area, the tributary to Loma Alta  
17 Creek, on-site or any combination thereof. This may take the form of  
18 revegetation and /or restoration of wetland habitat.

19 95. The project applicants shall be required to comply with appropriate seismic  
20 design criteria relative to ground shaking in accordance with the Uniform  
21 Building Code (UBC).

22 96. Should the east-west trending fault or the two northeasterly trending minor  
23 fault shear joints be encountered on-site during grading, they shall be  
24 evaluated to determine the extent of their activity level and their potential to  
25 impact on-site improvements.

26 97. Site grading and development shall be consistent with the recommendations  
27 in Sections 6.0 through 11.0 of the Preliminary Geotechnical Study.

28 98. Prior to the placement of compact fill, the landslides located at PSE-3 and  
29 TPSE-26 shall be removed.

99. Unless an acceptable alternative is approved by the City Engineer, a  
perimeter shear key shall be constructed along the northern perimeter  
daylight cut limit as shown on Plate 1 and depicted in cross sections O-O-  
foot, P-P-foot and Y-Y-foot on Plates 4 and 5 in the Preliminary Geotechnical  
Study.

- 1 100. A landslide shear key shall be constructed through the landslide at PSE-7 as  
2 shown on Plate 1 and depicted in cross-sections W-W-foot and X-X-foot on  
3 Plate 5 in the Preliminary Geotechnical Study.
- 4 101. Site grading shall comply with the remedial grading recommendations  
5 presented in Sections 6.1.2 and 6.2 of the Preliminary Geotechnical Study.
- 6 102. All cut slopes shall be evaluated during grading for adverse geologic  
7 conditions.
- 8 103. Unless an acceptable alternative is approved by the City Engineer,  
9 stabilization fills with back drains shall be installed for proposed cut slopes  
10 as shown on Plates 1 and 2 of the Preliminary Geotechnical Study.
- 11 104. Site grading and development shall comply with the stabilization fills  
12 recommendations in Section 9.1.1 of the Preliminary Geotechnical Study.
- 13 105. An Erosion Control Plan shall be developed by an expert, as recognized by  
14 the City of Oceanside, prior to the issuance of grading permits. Areas shall  
15 be hydroseeded with temporary erosion control plantings. All permanent  
16 manufactured slopes shall be landscaped and irrigated, as appropriate. All  
17 landscaping shall occur within 40 days of completion of grading activities.
- 18 106. The inherent characteristics of compressibility and shrinkage of the non-  
19 suitable materials shall be remediated by removal and recompaction, or by  
20 removal and placement in deeper fills.
- 21 107. Adherence to standard engineering practices and recommendations made in  
22 the Preliminary Geotechnical Study and Hydrology and Preliminary  
23 Hydraulics Study reports. These practices and recommendations shall be  
24 included in the grading plan, and include remedial grading, construction of  
25 stability fills, construction of buttress fills, slope lay back to a minimum or a  
26 defined inclination, and incorporation of existing structures and drainage  
27 requirements.
- 28 108. Prior to the issuance of any grading permits, a detailed erosion control plan  
29 shall be concurred with and approved by the City Engineer, in accordance  
with the City of Oceanside Grading Ordinance.
109. Prior to the issuance of grading permits, a Notice of Intent shall be  
submitted to the State Water Resources Control Board (SWRCB) and a  
Storm Water Pollution Prevention Plan (SWPPP) shall be developed and  
implemented on-site in compliance with the California General Construction  
Activity Storm Water Permit, as required by the National Pollutant Discharge  
Elimination System (NPDES) regulations.

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110. To protect water quality in Loma Alta Creek, the following mitigation measures shall be implemented:

- a) Material and waste Best Management Practices (BMPs) during site grading and construction shall be strictly enforced.
- b) A water quality management plan shall be prepared that addresses potential water pollutant issues for the proposed project site and related areas. The report shall be prepared prior to the issuance of any grading permits.
- c) Permanent structural BMPs, such as infiltration trenches, fossil filters and/or water separators, shall be installed and maintained at all on-site storm drain inlets.
- d) Non-structural post-construction BMPs, such as a public education program (providing signage at all drainage inlets prohibiting dumping of any kind) shall be implemented.

111. Storm drain improvements shall be installed in conformance with the Ocean Ranch Ultimate Condition Hydrology Map.

112. Curb opening sump inlets shall be installed to intercept drainage from the parking lot improvements, as shown on the Ocean Ranch Ultimate Conditions Hydrology Map.

113. Off-site storm drain improvements, including improvements to the existing culvert shall be installed in conformance with the Ocean Ranch Ultimate Condition Hydrology Map.

114. The City of Oceanside Noise Ordinance allows construction activities between the hours of 7:00 a.m. to 6:00 p.m., Monday through Friday, with construction allowed on Saturday with prior approval from the City Engineer. Because construction noise may still be intrusive in the evening or on holidays, the ordinance also prohibits "any disturbing, excessive or offensive noise which causes discomfort or annoyance to reasonable persons of normal sensibility."

115. All future grading and construction activities shall utilize the latest technology for quiet equipment. All on-site construction staging areas shall be as far as possible (minimum 300 feet) from the closest residences.

1 Fire:

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3 116. All open areas that are not identified for the protection of biological resources,  
4 shall be landscaped with approved fire retardant/anti-erosion type plants with  
an approved permanent irrigation system and maintenance program.

5 117. Fire flow shall be determined at the time of building application.

6 118. Fire hydrants shall be 2 ½" by 2 ½ by 4".

7  
8 119. Plans shall be submitted to the Fire Prevention Bureau

9 120. All existing fire hydrants within 400 feet of the project shall be shown on the  
10 any plot plan.

11 121. Fire hydrants are required on roads at a maximum of 300 feet between  
12 hydrants.

13 Planning:

14 122. This Tentative Map and Master Development Plan shall expire on September  
15 13, 2001, unless implemented or a time extension is granted by the Planning  
16 Commission.

17 123. All projects developed within this industrial park shall be developed using the  
18 criteria and requirements of the Ocean Ranch Industrial Park Master  
19 Development Plan text or the Rancho del Oro Industrial Park Master Plan as  
20 appropriate. Development Plans or Administrative Development Plans are  
required of each proposal in conformance with the City of Oceanside Zoning  
Ordinance.

21 124. This project shall establish the Ocean Ranch Association Board and  
22 Conditions, Covenants and Restrictions (CC&R's) shall be prepared. The  
23 CC&R's shall provide for the common use and maintenance of all common  
24 open space, medians and commonly owned fences and walls and adjacent  
25 parkways. Any necessary relationships with the Rancho Del Oro Association  
26 shall be addressed in the CC&R's. The maintenance shall include normal care  
27 and irrigation of landscaping, repair and replacement of plant material and  
28 irrigation systems as necessary; and general cleanup of the landscaped and  
29 open area, parking lots and walkways. The CC&R's shall include the  
requirements of the Ocean Ranch Master Development Plan Text. The  
CC&R's shall be subject to the review and approval of the City Attorney prior  
to the approval of the final map. The CC&R's are required to be recorded  
prior to or concurrently with the final map. Any amendments to the CC&R's  
in which a property owner relinquishes responsibility for the maintenance of

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any common open space shall not be permitted without the specific approval of the City Council of the City of Oceanside. Such a clause shall be a part of the CC&R's.

125. The Association (or the developer, prior to the creation of the Association) shall prepare a Management Plan. The Management Plan is subject to the review and approval of the Planning Director and the Police Chief prior to the occupancy of the project, and shall be recorded as CC&R's against the property. The Management Plan shall cover the following:

- a) Security - The Management Plan, at a minimum, shall address on-site management and security of the site.
- b) Maintenance - The Management Plan shall cover, but not be limited to anti-graffiti and site and exterior building, bus shelters, landscaping and overall site maintenance measures. The project association shall be responsible for trash abatement on the parcel, and shall keep the parcel free of litter, trash and other nuisances. Any graffiti within the industrial park shall be removed by the association management or its designed representative within 24 hours of occurrence.

126. A comprehensive sign package program shall be submitted to the Planning Department and approved prior to the issuance of sign permits. This may be required to be more restrictive than the Sign Ordinance or the Rancho Del Oro sign criteria.

127. A letter of clearance from the affected school district in which the property is located shall be provided as required by City policy at the time building permits are issued.

128. Public facilities fee shall be paid as required by City policy at the time building permits are issued.

129. Landscape plans, meeting the criteria of the City's Landscape Guidelines and Water Conservation Ordinance No. 91-15, including the maintenance of such landscaping, shall be reviewed and approved by the City Engineer and Planning Director prior to the issuance of building permits. Landscaping shall not be installed until bonds have been posted, fees paid, and plans signed for final approval. Landscape plans for the entirety of the Ocean Ranch association-maintained landscaping (common slopes, medians, parkways etc.) shall be submitted and approved prior to the approval of the first final map for the project. These plans shall reflect the theme and criteria of the Master Development Plan Planning and Design Guidelines and shall provide for enhanced transitional plantings between Rancho Del Oro and areas of Ocean Ranch in and adjacent to the Rancho Del Oro Technology Park. The portion

1 within the Rancho Del Oro technology Park shall meet the minimum  
2 requirements of Rancho Del Oro Master Landscape Plan. Final landscaping  
3 plans for each project development within Ocean Ranch shall be in harmony  
4 and conformance with the master approvals and are subject to City Engineer  
and Planning Director approval.

5 130. The developer shall be responsible for irrigating and landscaping all  
6 embankments within the project, and all slopes along major streets.

7 131. Trash enclosures must be provided as required by Chapter 13 of the City  
8 Code for each of the future developed site. These shall also include additional  
9 space for storage and collection of recyclable materials per City standards.  
10 The enclosure (or enclosures) must be built in a flat, accessible location as  
11 determined by the City Engineer. The enclosure (or enclosures) shall meet  
12 City standards including being constructed of concrete block, reinforced with  
13 Rebar and filled with cement. A concrete slab must be poured with a berm on  
14 the inside of the enclosure to prevent the bin(s) from striking the block walls.  
15 The slab must extend out of the enclosure for the bin(s) to roll out onto.  
16 Steel posts must be set in front of the enclosure with solid metal gates. All  
17 driveways and service access areas must be designed to sustain the weight of  
18 a 50,000-pound service vehicle. Trash enclosures and driveways and service  
19 access areas shall be shown on both the improvement and landscape plans  
20 submitted to the City Engineer. The specifications shall be reviewed and  
approved by the City Engineer. The City's waste disposal contractor is  
required to access private property to service the trash enclosures, a service  
agreement must be signed by the property owner and shall remain in effect  
for the life of the project. All trash enclosures shall be designed to provide  
user access without the use and opening of the service doors for the bins.  
This design shall be shown on the landscape plans and shall be approved by  
the Planning Director.

21 132. Prior to the transfer of ownership and/or operation of the site the owner shall  
22 provide a written copy of the applications, staff report and resolutions for the  
23 project to the new owner and or operator. This notification provision shall run  
with the life of the project.

24 133. Failure to meet any conditions of approval for this development shall  
25 constitute a violation of the Development Plan.

26 134. Unless expressly waived, all current zoning standards and City ordinances and  
27 policies in effect at the time building permits are issued are required to be met  
28 by this project. The approval of this project constitutes the applicant's  
29 agreement with all statements in the Description and Justification,  
Management Plan, Master Development Plan Text and other materials and

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information submitted with this application, unless specifically waived by an adopted condition of approval.

135. All street names shall be approved by the Planning Department prior to the approval of the final map for each phase of development.

136. This subdivision map is for sale or financing purposes only. No development rights except those approved with the Master Development Plan and the Master Development Plan Text are attached to these parcels. A note to this effect shall be recorded with, and referenced on the final map.

137. This Development Plan approves only the following: an industrial subdivision and Master Development Plan Text. Any substantial modification in the design or layout shall require a revision to the Development Plan and Master Development Plan Text or a new Development Plan and Master Development Plan Text.

Water Utilities:

138. The developer will be responsible for developing all water and sewer facilities necessary to this property. Any relocation of water and/or sewer lines is the responsibility of the developer.

139. The developer shall construct a public reclamation water system that will serve each parcel that is located in the proposed project, in accordance with City of Oceanside Ordinance No. 91-P15. The proposed reclamation water system shall be located in the public streets or in a public utility easement.

140. A separate water meter or separate water meters for irrigation purposes shall be installed for each site in the project.

141. All lots with a finish pad elevation located below the elevation of the next upstream manhole cover of the public sewer shall be protected from backflow of sewage by installing an approved type backwater valve, per Section 710 of the Uniform Plumbing Code.

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Community Services:

142. The City shall not, at the present or at any future time, assume the responsibility for the maintenance of any medians, landscaping, slopes, open space or common grounds for this project.

PASSED AND ADOPTED Resolution No. 99-P56 on September 13, 1999 by the following vote, to wit:

AYES: Barrante, Miller, Bockman, Schaffer, Akin, Hartley and Staehr

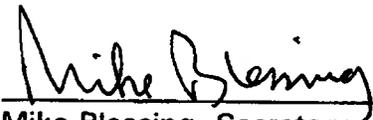
NAYS: None

ABSENT: None

ABSTAIN: None

  
George Barrante, Chairman  
Oceanside Planning Commission

ATTEST:

  
Mike Blessing, Secretary

I, MIKE BLESSING, Secretary of the Oceanside Planning Commission, hereby certify that this is a true and correct copy of Resolution No. 99-P56.

Dated: September 13, 1999

## Ocean Ranch - Legal Description

Being a subdivision of Parcels 1 through 4 of Parcel Map No. 16899 together with Lots 3.1 and 3.2 of Map No. 11410 including those portions of Via Rancho Road and Avenida de la Plata included within said maps described hereinbefore.



CITY OF OCEANSIDE  
PLANNING DEPARTMENT

# FINAL NEGATIVE DECLARATION

TO  OFFICE OF PLANNING AND RESEARCH  
1400 TENTH STREET, ROOM 121  
SACRAMENTO, CA 95814

RECORDER/COUNTY CLERK  
COUNTY OF SAN DIEGO  
P.O. BOX 1750  
SAN DIEGO, CA 92112-4147

PROJECT TITLE AND FILE NUMBER:  
**OCEAN RANCH PROJECT (D-7-99 AND T-1-99)**

PROJECT LOCATION:  
Between Mesa Drive on the north, Oceanside Boulevard on the south, the planned future extension of Rancho Del Oro Drive on the west and Rancho Del Oro Technology Park on the east.

PROJECT DESCRIPTION:  
The proposed project is a Master Tentative Map and Master Development Plan for industrial development on a 393-acre site.

**FINDING:** Pursuant to the provisions of Ordinance No. 88-31, pertaining to procedures and guidelines to implement the California Environmental Quality Act (Public Resources Code Section 21000 et. al.), the proposed project has been reviewed by the Environmental Review Committee established by ordinance to be responsible for evaluating the information. The Environmental Review Committee, after study of the facts and findings, has on April 12, 1999 determined that the project will not have a significant effect on the environment.

THE PROJECT WAS DETERMINED TO HAVE NO MAJOR SIGNIFICANT ADVERSE EFFECT UPON THE ENVIRONMENT.

THE PROJECT WAS DETERMINED TO HAVE NO MAJOR SIGNIFICANT ADVERSE EFFECTS UPON THE ENVIRONMENT PER COMPLIANCE WITH THE FOLLOWING CONDITIONS:

**See attached Initial Study**

Initial Study prepared by:  
Jerry Hittleman, Senior Planner

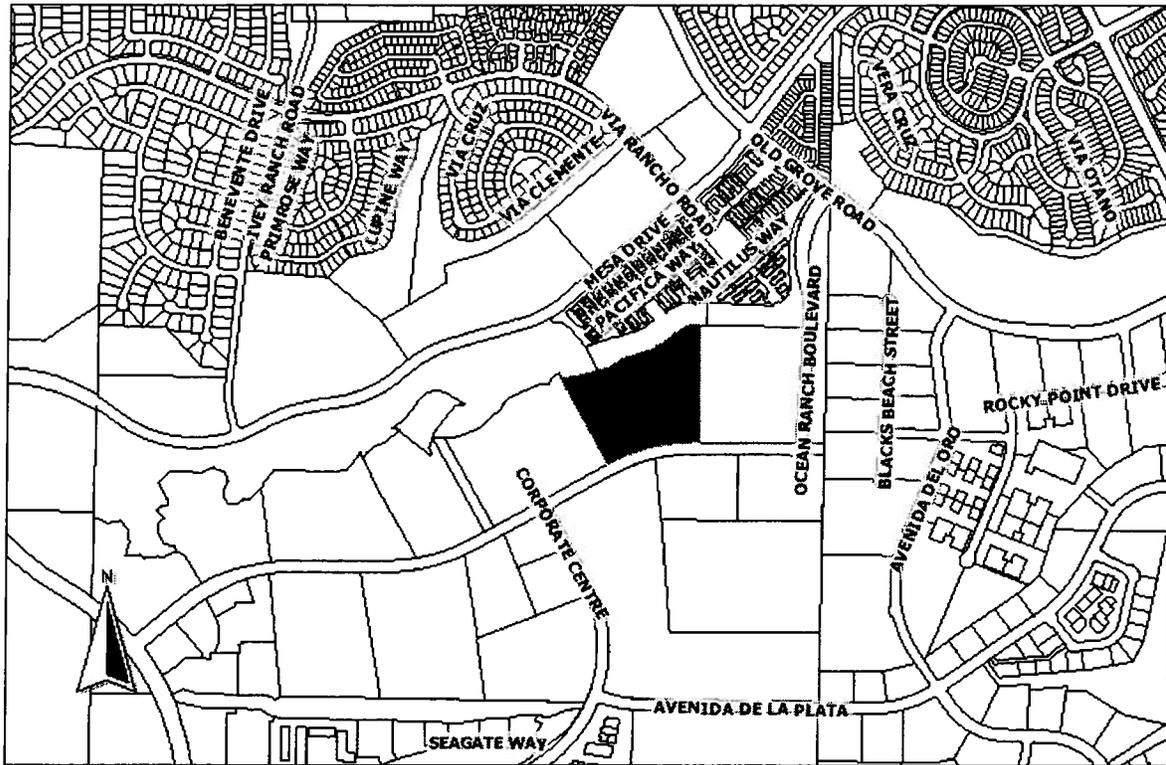
Contact Person:  
Betty Graff, Senior Planner

The Initial Study is available for public review and may be examined at:

City of Oceanside  
Planning Department  
300 N. Coast Highway  
Oceanside, CA 92054

  
SIGNATURE \_\_\_\_\_ DATE September 2, 1999  
for: Michael U. Blessing, Planning Director

CITY HALL, 300 N. COAST HIGHWAY, OCEANSIDE CA 92054, TELEPHONE (760) 966-4770, FAX (760) 966-4164



**File Number:** P-4-08, D-5-08

**Applicant:** CREA/Windstar Ocean Ranch, LLC

**Description:**

PARCEL MAP (P-4-08) and DEVELOPMENT PLAN (D-5-08) to allow for the construction of 12 industrial buildings on lot 19 of the Ocean Ranch Corporate Center. The Tentative Map would place each building on a single lot, with the parking lot and open space as one common lot. The proposed buildings would have a total square footage of 220,600 and would be located east of Rancho Del Oro Road and north of Ocean Ranch Boulevard. The project site is zoned IL (Limited Industrial) and is situated within the Ivey Ranch/Rancho Del Oro Neighborhood. – **WINDSTAR OCEAN RANCH LOT 19**

**Environmental Determination:**

A Mitigated Negative Declaration (MND) was prepared for the Ocean Ranch Initial Tentative Map and Development Plan that created the Ocean Ranch Master Development Plan, and the proposed project to construct 12 industrial buildings on a 14.23-acre lot is consistent with the extent of the initial CEQA review; therefore, further environmental review is not required at this time.

City of Oceanside, Planning Division  
300 N. Coast Highway  
Oceanside, CA 92054 (760) 435-3520



**Application for Public Hearing**

Community Development Department / Planning Division  
(760) 435-3520  
Oceanside Civic Center 300 North Coast Highway  
Oceanside, California 92054-2885

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JAN 23 2008  
Planning Department

**STAFF USE ONLY**

ACCEPTED

1/23/08

BY SN

Please Print or Type All Information

HEARING

**PART I - APPLICANT INFORMATION**

1. APPLICANT CREA/Windstar Ocean Ranch, LLC		2. STATUS Owner		GPA
3. ADDRESS 11149 N. Torrey Pines Rd., Su. 250 San Diego, CA 92037		4. CONTACT INFORMATION P: 858.587.2100 F: 858.587.9796 E: jditz@windstargroup.com		MASTER/SP.PLAN
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing) Smith Consulting Architects- V. Scott Cairns		6. ADDRESS 12220 El Camino Real, Su. 200 San Diego, CA 92130		ZONE CH.
7. CONTACT INFORMATION P: 858.783.4777 F: 858.783.4787 E: scottc@sca-ed.com		8. LOCATION Ocean Ranch Boulevard		TENT. MAP
9. SIZE 14.23 AC		10. GENERAL PLAN Light Industrial		PAR. MAP
11. ZONING Light Industrial (IL)		12. LAND USE Vacant Pre-Graded		DEV. PL.
13. ASSESSOR'S PARCEL NUMBER 160-67-27		14. GENERAL PROJECT DESCRIPTION Construction of twelve (12) concrete tilt-up shell industrial buildings totaling 220,000 square feet (including 20,000 square feet of mezzanine). The project site is on Lot 19 in the Ocean Ranch Corporate Center and is 14.23 acres. The site was previously graded as part of the Ocean Ranch Development. A Tentative Map is being filed to place each building on a single lot with the parking on one common lot. Eight (8) of the buildings will have an air-space condominium plan filed on them for future division.		C.U.P.
15. PROPOSED GENERAL PLAN No Change		16. PROPOSED ZONING No Change		VARIANCE
17. PROPOSED LAND USE Industrial		18. NO. UNITS 12		COASTAL
19. DENSITY NA		20. BUILDING SIZE 220,000 SF		O.N.P.A.C.
21. PARKING SPACES 577 spaces		22. % LANDSCAPE 15%		
23. % LDT COVERAGE or FAR 32.3% Coverage .36 FAR		24. DESCRIPTION/JUSTIFICATION		
25. LEGAL DESCRIPTION		26. TITLE REPORT		
27. NOTIFICATION MAP & LABELS		28. ENVIRONMENTAL INFO FORM		
29. FLOOR PLANS AND ELEVATIONS		30. CERTIFICATION OF POSTING		
31. OTHER (See attachment for required reports)		32. OTHER (See attachment for required reports)		

**PART II - PROPERTY DESCRIPTION**

8. LOCATION Ocean Ranch Boulevard		9. SIZE 14.23 AC	
10. GENERAL PLAN Light Industrial	11. ZONING Light Industrial (IL)	12. LAND USE Vacant Pre-Graded	13. ASSESSOR'S PARCEL NUMBER 160-67-27

**PART III - PROJECT DESCRIPTION**

REV - 5/5/07, 6/26/08

14. GENERAL PROJECT DESCRIPTION  
Construction of twelve (12) concrete tilt-up shell industrial buildings totaling 220,000 square feet (including 20,000 square feet of mezzanine). The project site is on Lot 19 in the Ocean Ranch Corporate Center and is 14.23 acres. The site was previously graded as part of the Ocean Ranch Development. A Tentative Map is being filed to place each building on a single lot with the parking on one common lot. Eight (8) of the buildings will have an air-space condominium plan filed on them for future division.

15. PROPOSED GENERAL PLAN No Change	16. PROPOSED ZONING No Change	17. PROPOSED LAND USE Industrial	18. NO. UNITS 12	19. DENSITY NA
20. BUILDING SIZE 220,000 SF	21. PARKING SPACES 577 spaces	22. % LANDSCAPE 15%	23. % LDT COVERAGE or FAR 32.3% Coverage .36 FAR	

**PART IV - ATTACHMENTS**

<input checked="" type="checkbox"/>	24. DESCRIPTION/JUSTIFICATION	25. LEGAL DESCRIPTION	26. TITLE REPORT
<input type="checkbox"/>	27. NOTIFICATION MAP & LABELS	28. ENVIRONMENTAL INFO FORM	29. PLOT PLANS
<input type="checkbox"/>	30. FLOOR PLANS AND ELEVATIONS	31. CERTIFICATION OF POSTING	32. OTHER (See attachment for required reports)

**PART V - SIGNATURES**

33. APPLICANT OR REPRESENTATIVE (Print): Bradley Crocker	34. DATE 12/10/07	SIGNATURES OF ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).	
Sign: <i>Bradley Crocker</i>	35. OWNER (Print) CREA/Windstar Ocean Ranch LLC	36. DATE 12/10/07	Sign: <i>Bradley Crocker</i>
I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.			

SALLY J.

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JAN 22 2008

Planning Department



**Application for Public Hearing**  
 Community Development Department / Planning Division  
 (760) 435-3520  
 Oceanside Civic Center 300 North Coast Highway  
 Oceanside, California 92054-2885

**STAFF USE ONLY**

ACCEPTED BY

RECEIVED  
 MAY 05 2008  
 Planning Department

Please Print or Type All Information

HEARING

**PART I – APPLICANT INFORMATION**

1. APPLICANT CREA/Windstar Ocean Ranch, LLC	2. STATUS Owner	4. P: 858.587.2100 F: 858.587.9796 E: jdiltz@windstargroup.com
3. ADDRESS 11149 N. Torrey Pines Rd., Su. 250 San Diego, CA 92037		
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing) Smith Consulting Architects- V. Scott Cairns		
6. ADDRESS 12220 El Camino Real, Su. 200 San Diego, CA 92130		7. P: 858.793.4777 F: 858.793.4787 E: scoffc@sca-sd.com

GPA
MASTER/SP.PLAN
ZONE CH.
TENT. MAP
PAR. MAP
DEV. PL.
C.U.P.
VARIANCE
COASTAL
O.H.P.A.C.

**PART II – PROPERTY DESCRIPTION**

8. LOCATION Ocean Ranch Boulevard			9. SIZE
10. GENERAL PLAN Light Industrial	11. ZONING Light Industrial (IL)	12. LAND USE Vacant Pre-Graded	13. ASSESSOR'S PARCEL NUMBER 160-571-27

**PART III – PROJECT DESCRIPTION**

14. GENERAL PROJECT DESCRIPTION  
 Construction of twelve (12) concrete tilt-up shell industrial buildings totaling 220,600 square feet (including 20,000 square feet of mezzanine). The project site is on Lot 19 in the Ocean Ranch Corporate Center and is 14.14 acres. The site was previously graded as part of the Ocean Ranch Development. A Tentative Map is being filed to place each building on a single lot with the parking on one common lot. Eight (8) of the buildings will have an air-space condominium plan filed on them for future division.

15. PROPOSED GENERAL PLAN No Change	16. PROPOSED ZONING No Change	17. PROPOSED LAND USE Industrial	18. NO. UNITS 12	19. DENSITY NA
20. BUILDING SIZE 220,600 SF	21. PARKING SPACES 577 spaces	22. % LANDSCAPE 15%	23. % LOT COVERAGE or FAR 32.3% Coverage .36 FAR	

**PART IV – ATTACHMENTS**

24. DESCRIPTION/JUSTIFICATION	25. LEGAL DESCRIPTION	26. TITLE REPORT
27. NOTIFICATION MAP & LABELS	28. ENVIRONMENTAL INFO FORM	29. PLOT PLANS
30. FLOOR PLANS AND ELEVATIONS	31. CERTIFICATION OF POSTING	32. OTHER (See attachment for required reports)

**PART V – SIGNATURES**

33. APPLICANT OR REPRESENTATIVE (Print): V. Scott Cairns	34. DATE 5/5/08	SIGNATURES OF ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).
Sign: <i>V. Scott Cairns</i>		

35. OWNER (Print) Jeffrey Diltz	36. DATE 5/5/08
Sign: <i>Jeffrey Diltz</i>	

I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

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MAY 05 2008  
Planning Department

**Project Description/Justification**  
**WINDSTAR – Lot 19 Ocean Ranch**  
SCA No: 07163.S Revised 5/5/08

This high quality industrial development will consist of twelve (12), concrete tilt-up buildings, ranging in size from 7,000 to 33,950 square feet, with flexibility for a range of tenants. The buildings are at a total of 220,600 square feet, including approximately 1,000 square feet of mezzanine floor area in each building. The uses are anticipated to be light industrial with approximately 20% office support area. The project is on the 14.14 acres of Lot 19 of Ocean Ranch Corporate Center. There will be 577 on-grade parking spaces and a combination of grade level and dock high roll-up doors for truck access. 15% of the site will be landscaped with emphasis at the multiple building entries to reinforce the building architecture.

One of the main objectives in our site plan design was to conceal the trucking activities as much as possible. What this does is turn all the building entrances to face onto the main access drives and makes it very difficult to create a plaza. Our goal, from a design concept standpoint, is to create a separate identity for each building entry, because of the potential for individual ownership. This is accomplished by providing enhanced washed finish concrete with a sawcut score pattern at each entry. Further emphasis is provided at each entry by providing special color landscaping that draws your attention to the high end detailing we have provided at the architecture of the building entries, including the use of sandstone. A series of sidewalks tie all of the buildings together and connect all of the entries and patios. Because of the unique shape of the lot all of the buildings have varying landscaping planting areas surrounding them to soften the vertical wall surfaces. All of these design elements are in conformance to the Ocean Ranch Development Design Guideline Criteria.

From a mapping standpoint, a Tentative Parcel Map is filled along with our application. A property line has been established several feet outside the perimeter of each of the twelve (12) buildings creating a "postage stamp" size parcel for each building. A thirteenth parcel has been created to cover all of the common area drives, landscaping and parking. CC & R's will be written to cover the operation and use of all the common area space. Additionally, in Buildings 1, 2, 3, 4, 6, 7, 10 and 11 an industrial air-space condominium plan will be filed to further allow those buildings to be sold as two separate units.

This high quality development within the Ocean Ranch Community will continue to support the industrial development that enriches the employment base, reduces automobile trip distance and provides employment for the surrounding communities. This development will help bring to realization the continued development of the master planned Ocean Ranch Corporate Center.

**LEGAL DESCRIPTION**

**EXHIBIT "A"**

LOTS 19 AND 20 OF OCEAN RANCH - PHASE 2B, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED AS MAP NO. 14832, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 160-571-27, 28