



DATE: November 19, 2007

TO: Chairman and Members of the Planning Commission

FROM: Development Services Department/Planning Division

SUBJECT: **CONSIDERATION OF A TENTATIVE SUBDIVISION MAP (T-15-05), DEVELOPMENT PLAN (D-35-05), AND CONDITIONAL USE PERMIT (C-59-05) FOR A SEVEN-LOT SUBDIVISION AND DEVELOPMENT OF SINGLE-FAMILY DETACHED RESIDENCES AT 683 THUNDERBIRD DRIVE. THE PROJECT SITE IS ZONED RS (SINGLE-FAMILY RESIDENTIAL) AND IS SITUATED WITHIN THE SAN LUIS REY NEIGHBORHOOD. - THUNDERBIRD ROAD SUBDIVISION - APPLICANT: THUNDERBIRD 683 LP**

RECOMMENDATION

Staff recommends that the Planning Commission by motion:

1. Adopt the Mitigated Negative Declaration for the Thunderbird Road Subdivision, in light of the whole record that the project will not have a significant effect on the environment, and that the Mitigated Negative Declaration reflects the independent judgment of the Planning Commission; and
2. Adopt Planning Commission Resolution 2007-P58 approving Tentative Map (T-15-05), Development Plan (D-35-05), and Conditional Use Permit (C-59-05) with findings and conditions of approval attached herein.

PROJECT DESCRIPTION AND BACKGROUND

Background: The 1.61-acre lot is originally part of a much larger parcel granted to William E. Libby in February, 1881 by the United States government. Presently, the site is located in the 600 block of Thunderbird Drive and surrounded by the Douglas Park Unit 1 Subdivision.

The site includes an existing two-story, traditional style house with symmetrical facade. The western side of the building, constructed in 1934, sits over the remnants of an 1885 fired brick structure. Family members have stated that the fired bricks were purchased from the Mission San Luis Rey at a cost of 1¢ each. The original structure was used to seasonally house workers involved with agricultural and ranching activities. In 1934, Aristides Edward Stokes and Emma Libby Stokes moved into the subject property and converted the agricultural housing into a single-family home for themselves and their five children. While the Stokes and Libby families have a rich local history, the structure is not associated with a historic person or a historic event. The design and style of construction is not considered significant by the National Register criterion.

The site includes mature arbor, including: four avocado trees, three jacarandas, one olive in poor condition, four Italian cypress, and two palms.

Many of the surrounding Douglas Park lots are graded to a lower elevation than the subject site. The project site's topography includes a small ridge that runs east and west and it has a highpoint elevation near the center of the property of 69 feet. Therefore, the ground slopes down towards the perimeters to the north, south and west. The slope varies from 1 to 7 percent. The surrounding Douglas Park lot elevations range between 61.4 and 63.9 feet. Rear yards of lower lots typically include raised beds contiguous with their rear property line.

Site Review: The project site has a Land Use designation of Single-Family Detached (SFD-R) and is situated within the Single-Family Residential Zoning District (RS).

Project Description: The project application is comprised of three components, a tentative subdivision map, development plan, and conditional use permit, as follows:

Tentative Subdivision Map No. T-15-05 represents the following:

- (a) To permit the division of 1.61 acres of land into seven parcels pursuant to Section 301 of the Oceanside Subdivision Ordinance.

Development Plan No. D-35-05 represents the following:

- (a) To permit the construction of seven single-family homes pursuant to Section 1050 of the Oceanside Zoning Ordinance. The applicant's proposal includes two floor plans, as summarized below in Table 1.

Table 1. Proposed floor plan summary

Plan Number	No. of Units	Floor Area	No. of Bedrooms	Garage	Stories
A	3	3,087 SF	5 bed	three car	2
B	4	3,061 SF	5 bed	three car	2

The architectural style is similar to Prairie and the details are applied to all sides of the structure. Details include low-pitched hipped roof forms, stucco and shingle siding, stone veneers, windows with mutins, shutters, and decorative entry porches.

Conditional Use Permit No. C-59-05 represents the following:

- (a) To permit residential densities above the base density of the Single-Family Residential District standard of 3.5 dwelling units per gross acre. The applicant proposes 4.35 dwelling units per gross acre.

The applicant proposes a seven-lot subdivision of an existing 1.61-acre site. The existing single-family home and accessory structures will be demolished. The construction of seven new single-family homes on a private cul-de-sac is proposed.

Access to the site is from Thunderbird Road. The junction of the proposed private cul-de-sac and Thunderbird will included enhanced landscaping. All of the proposed residential units will face the cul-de-sac and not Thunderbird Road.

The proposed homes are two-story and having three-car garages. The front yards will be landscaped and in some instances the required street trees will be situated within the front yard (rather than the parkway) due to site constraints related to utility locations.

ANALYSIS

The project is subject to the following ordinances and City policies:

1. General Plan Land Use Element
2. Zoning Ordinance
3. Subdivision Ordinance
4. California Environmental Quality Act (CEQA)

KEY PLANNING ISSUES

1. General Plan Conformance

A. Land Use Element I. Community Enhancement

Goal The consistent, significant, long term preservation and improvement of the environment, values, aesthetics, character and image of Oceanside as a safe, attractive, desirable and well-balanced community.

Objective 1.2 Site Design: To provide high-quality site design, all proposed land development projects shall take advantage of natural or manmade environments to maximize energy conservation, natural air circulation, public safety, visual aesthetics, private and common open spaces, privacy, and land use compatibility.

Objective 1.22 Landscaping: The enhancement of community and neighborhood identity through landscaping requirements that frame and soften the built environment consistent with water and energy conservation.

Policies:

- A. Existing mature trees shall be retained wherever possible.
- B. Mature trees removed for development shall be mitigated by replacement with an appropriate type, size, and number of trees.
- C. Drought-tolerant materials, including native California plant species, shall be encouraged as a landscape type.

The application proposes on-site mitigation for the loss of existing mature trees (approximately 226 caliper inches of existing tree stock). Tree mitigation shall be on-site. The proposed water laterals may reduce the number of trees planted adjacent to the street; therefore, required street trees shall be spot located in the front yards of each lot. Drought-tolerant and native California plant species are proposed (including, *Rhus lancea*, *Agave parryi*, *Dodonaea viscosa*, *Lantana montevidensis*, *Salvia clevelandii*, and *Zauschneria californica*. Further, turf areas may not exceed 35% of the front yards. Front yard planting will include 15-gallon trees, eighteen shrubs, ground cover or shredded bark mulch.

Objective 1.24 Topographic Resources: To ensure that development preserves and enhances the unique beauty and character of the City's natural topographic features and does not contribute to slope instability, flooding, or erosion hazards to life and property.

Policies:

C. Grading permits shall not be issued until all appropriate discretionary actions by the City and other responsible agencies approving the development have been granted.

I. The structural quality of the soil and geologic conditions shall be incorporated into the site design and determine the method and type of construction. Slope stability shall be ensured during and after construction.

M. The amount of impervious surfacing shall be limited and shall be designed to support the natural drainage system.

P. Site disturbance shall be limited to the minimum area necessary as construction proceeds.

Q. Groundcover shall be re-established as early as possible as construction proceeds.

R. Topsoil from excavated areas shall be stockpiled for reuse on the site where appropriate.

The preliminary grading plan and the tentative subdivision map integrate with the existing topographic features of the surrounding area by proposing perimeter retaining walls situated along the rear of lots 1 - 6. Four-foot tall retaining walls are proposed along the site's boundary. The eastern boundary is characterized by two retaining walls with a proposed concrete swale between the two walls. The existing residential developments adjacent to the project site are characterized by raised flowerbeds along the rear property line; this existing characteristic provides a visual buffer to the proposed walls. The four-foot retaining walls are further softened by the planting of trees along the project's periphery.

The project requires 1,300 cubic yards of cut; 2,500 cubic yards of fill; and 1,200 cubic yards imported to the site.

A geotechnical investigation has been completed. The site is considered suitable for the proposed seven lot development.

A Storm Water Management Plan has been reviewed and approved by the City Engineer. The Storm Water Management Plan does adequately meet the storm water requirements of the City of Oceanside. Potential hazards of erosion and sedimentation have been avoided through incorporating Best Management Practices and the design of a suitable site drainage system. Best Management Practices include site design (drainage and detention basin), source controls (homeowner outreach and storm drain signage), and treatment control (san media filters).

The project is specifically conditioned to limit site disturbances to a minimum; to re-establish groundcover as early as possible; and to stockpile topsoil from areas for reuse on the site.

1.3 Special Management Areas:

Objective: To provide special management of sensitive historical, cultural, recreational, and environmental areas and areas with unique planning considerations within the City.

1.33 Historic Areas and Sites:

Policy A: The City shall utilize adopted criteria, such as the "Mission San Luis Rey Historic Area Development Program and Design Guidelines," to preserve and further enhance designated historic or cultural resources.

The existing structures have been evaluated by staff, ASM Affiliates, and Ruth Alter of Archaeos. The structure has been significantly altered and is not considered architecturally significant. The property and structure have not been associated with a specific historic event. While the property has been owned by early members of the Libby family -- who helped to pioneer the San Luis Rey Valley -- none of the property owners directly associated with the project site have historic standing. The existing property and structure have not been found to be a local historic resource despite its age and familial association with the Libby family.

B. Land Use Element II. Community Development

Goal: The continual long term enhancement of the community through the development and use of land which is appropriate and orderly with respect to type, location, timing, and intensity.

Objective 2.0 Subdivision of Land or Real Property: To create legal divisions of land or real property that shall provide long-term enhancement for the community.

Policies:

A. No proposed division of land or real property shall be created which fails to implement the General Plan, City policies and ordinances, or development standards.

B. Any City action creating a legal division of land or real property shall identify and consider adjacent and surrounding land uses and land divisions to assure compatibility and proper integration.

C. A subdivision of land or real property must provide adequate on-site improvements consistent with the general plan, including street design, drainage and sanitary facilities, and easements.

D. A subdivision of land or real property must include provisions for off-site improvements or the payment of fees for off-site improvements consistent with the General Plan, including temporary and permanent school facilities, road and bridge improvements, parks, and sewers.

E. A subdivision of land or real property must be designed to accommodate, protect, and preserve environmentally sensitive areas identified in the General Plan.

The proposal satisfies implementation of local standards and regulations. The General Plan Land Use Map designation on the subject property is Single Family Detached (SFD-R). The proposed project is consistent with this designation and compatible with surrounding Single-Family Residential land use. Table 2 provides comparisons with adjacent lots.

Table 2. Land Use compatibility with surrounding developments

Location	General Plan	Zoning	Land Use
Subject Property:	SFD-R	RS	Residential
North of the site	SFD-R	RS	Residential
East of the site	SFD-R	RS	Residential
South of the site	SFD-R	RS	Residential
West of the site	SFD-R	RS	Residential

Adjoining and nearby subdivisions (Foxwood approved in 1987 and Douglas Park approved in 1978) are characterized as described in Table 3.

Table 3. Comparative development patterns

Characteristic	Foxwood	Douglas Park	Proposed
Dwelling units per gross acre	4.34	3.85	4.96
Average lot area	7,500 SF	7,500 SF	6,895 SF
Lots with 3-car garages	75%	88%	100%
Two-story homes	82%	82%	100%
Side/rear match front elevations	100%	100%	100%
HOA prohibits RV storage on-site	yes	yes	not a condition of approval
Year built	1990	1981	

The Thunderbird Road Subdivision is similar to the existing development pattern of the surrounding area. Architectural enhancements are applied to all building elevations. The proposal exceeds the required two-car garage requirements. The average lot size is negligibly (8%) smaller than the surrounding area. The proposed elevations are two-story, which is typical for in this neighborhood.

The proposed on-site facilities and drainage are adequate. Off-site improvements and the payment of fees are identified in the proposed resolution.

Objective 2.02 Residential Subdivision: To assure residential subdivisions of land shall be of sufficient size, dimensions, and topography to promote overall community enhancement, and the aesthetic and efficient functioning of the particular residential unit.

Policies:

- A. Individual residential parcels shall provide building pad areas of sufficient size and dimensions to accommodate an aesthetically pleasing and efficient dwelling unit.
- B. Individual residential parcels shall be organized or laid out in a fashion that promotes functional and aesthetically pleasing neighborhoods.
- C. Individual residential parcels shall provide building pad areas that are reflective of the minimum lot area established for the area.
- D. Individual residential parcels that have large unusable areas shall be discouraged.

To promote overall community enhancement, the applicant proposes constructing seven single-family detached homes and subdividing the land to create gross lot sizes between 0.16 and 0.19-acres. The design is a cul-de-sac development and the proposal is similar to subdivisions within the San Luis Rey Neighborhood. While the proposal locates building footprints along one or more required yard areas, the overall site design does afford useable yard areas. The proposal includes larger side yards. The recommended conditions of approval include a requirement to disclose to home buyers that the rear yards are limited (Condition 91).

Objective 2.3 Residential Development: To direct and encourage the proper type, location, timing, and design of housing to benefit the community consistent with the enhancement and establishment of neighborhoods and a well balanced and organized City.

2.32 Potential Range of Residential Densities Policy B: Residential projects that possess an excellence of design features shall be granted the ability to achieve densities above the base density. Project characteristics that exceed standards established by City policy and those established by existing or approved developments in the surrounding area will be favorably considered in the review of acceptable density within the range. Such characteristics include, but are not limited to the following:

- 1) Infrastructure improvements beyond what is necessary to serve the project and its population.
- 2) Lot standards (i.e. lot area, width, depth, etc.) which exceed the minimum standards established by City policy.
- 3) Development standards (i.e. parking, setbacks, lot coverage, etc.) which exceed the standards established by City policy.
- 4) Superior architectural design and materials.
- 5) Superior landscape/hardscape design and materials.
- 6) Superior recreation facilities or other amenities.
- 7) Superior private and/or semi-private open space areas.
- 8) Floor areas that exceed the norm established by existing or approved development in the surrounding area.
- 9) Consolidation of existing legal lots to provide unified site design.
- 10) Initiation of residential development in areas where nonconforming commercial or industrial uses are still predominant.
- 11) Participation in the City's Redevelopment, Housing, or Historical Preservation programs.
- 12) Innovative design and/or construction methods that further the goals of the General Plan.

The effectiveness of such design features and characteristics in contributing to the overall quality of a project shall be used to establish the density above base density. No one factor shall be considered sufficient to permit a project to achieve the maximum potential density of a residential land use designation.

The applicant proposes a density of 4.35 dwelling units per gross acre, which exceeds the base density but not the maximum potential density within the RS District of 5.9 dwelling units per gross acre. The proposed unit type, single unit-conventional (SU-C), is consistent with the Single Family Detached land use designation.

The proposed lot area exceeds the minimum requirement (6,000 square feet). The proposed net lot area ranges between a minimum of 6,979 and a maximum of 8,648 square-feet. The proposed lot coverage is below the maximum 45% allowed. Proposed lot coverage ranges between 19% and 26% of the lot area. The proposed three-car garages exceed zoning requirements and contribute to improved site design. Landscape materials, by condition, shall be drought tolerant and be California native species. The proposal includes paving the driveways with decorative material.

The proposed subdivision will contribute to the overall vitality of residential areas in Oceanside, and more particularly to the San Luis Rey Neighborhood. This proposal to subdivide a 1.61-acre site into seven residential lots will continue an appropriate and orderly community enhancement with respect to SU-C developments within the San Luis Rey Neighborhood.

2. Zoning Compliance

This project is located in the Single-Family Residential District (RS). The proposal complies with the requirements of this district. Table 4 summarizes the proposed and applicable residential development standards for the project site.

Table 4. Residential Development Standards Section 1050

	Required	Proposed
Minimum lot area	6,000	6,979 SF to 8,648 SF
Minimum lot width	65 feet	varies see note 1.
Parking spaces	two-car garage	three-car garages
Front yard	20 feet	20 feet
Corner side yard (Lot 1)	10 feet	10 feet
Interior yard	7.5 feet	7.5 feet
Rear yard	15 feet	15 feet
Maximum height	36 feet (see #d below)	24.25 to 24.75 feet
Maximum coverage	45% of the lot	19% to 26% of the lot

Note 1. Pursuant to Section 1050, the minimum lot width is 65 with an exception for lots located on a cul-de-sac. Lots on a cul-de-sac are subject to Section 1050(Z), wherein the minimum lot width is 40 feet of frontage. Lot widths range between 40-feet along the cul-de-sac and 68.8-feet of frontage.

The structural siting reduces opportunities for rear yard structures (balconies, patio covers), but the interior floor plan is designed to create access to one of the side yards. Typically each of the proposed lots has one generously sized side yard area.

3. Subdivision Ordinance Compliance

The proposed project is subject to the Subdivision Map Act and the Oceanside Subdivision Ordinance (Article IV Tentative subdivision maps - five or more parcels). Pursuant to Section 401 of the Subdivision Ordinance, this proposed Tentative Subdivision Map has been prepared in a manner acceptable to the Engineering Department.

4. California Environmental Quality Act Compliance

This project has been evaluated by the City Planner in accordance with Section 21080(c) of the California Environmental Quality Act (CEQA).

A cultural resources survey has been prepared for the site. The shell scatters and modern ceramics noted during the archaeological pedestrian survey are not indicative of subsurface deposits. Because the integrity and informational content of the shell scatter appears associated with the fill soils that have been used to construct the dirt driveway that surrounds the main structures and not related to any buried deposits, the diffuse scatters are deemed insignificant under the criteria of the California Register. ASM Affiliates do not recommend further investigations and find that mitigation measures are not necessary. There are specific conditions recommended by staff that address the possibility of finding human remains or tools used by native peoples during grading or construction activities.

On September 21, 2007, the City Planner determined that the project as proposed will not have a potentially significant adverse effect on the environment and issued a Mitigated Negative Declaration. The basis for the determination is the Initial Study prepared pursuant to Section 15063 of CEQA Guidelines. There are six environmental factors potentially affected by this proposal: aesthetics, biological resources, cultural resources, water, noise, and geological. A summary of the mitigation measures, the Mitigated Negative Declaration, and Initial Study are attached herein.

DISCUSSION

Issue: The proposed residences will be situated along three of the required yards (front, side, and rear).

Recommendation: The interior floor plan is designed to encourage access to one of the side yard areas. The adjoining side yard area is generously sized and suitable as a private yard. The juxtaposition of yard areas and structure is atypical, but may not prevent good-neighborly relationships. This design does allow for outdoor activities within private side yard areas.

Issue: The location of water laterals may require atypical locations for the required street trees and or front yard trees.

Recommendation: The site design includes water easements and the location of water laterals within the front yards of most of the lots. The recommended conditions of approval address the conflict between the location proposed water easements and the planting of trees by recommending that the required street trees, front yard trees, and other on-site trees be located to the satisfaction of the City Engineer. Some of the lots will have both the required street tree and required front yard tree planted between the street and the front of the house, but outside of a water easement and possibly more than 20-feet from the front property line.

Issue: Retaining walls on lots 3, 4, and 5 may visually impact the existing residences that adjoin this proposed development.

Recommendation: The applicant has reduced the overall height of the retaining walls from six feet to four feet. The presence of the approximately four-foot tall retaining walls will be softened by the planting of 15-gallon and or 24-inch box *Arbutus unedo*, Strawberry trees, along the length of the existing rear property line. These trees are proposed as on-site mitigation for the loss of existing trees.

ENVIRONMENTAL DETERMINATION

Staff has reviewed the environmental assessment and determined that no significant impacts are anticipated as a result of the proposed project that could not be mitigated to a level of insignificance with proper design. Subsequently, a Mitigated Negative Declaration was prepared pursuant to the provisions of the California Environmental Quality Act.

The Planning Division advertised that a draft Mitigated Negative Declaration would be posted for twenty (20) days with the Office of the San Diego County Clerk commencing on September 21, 2007 and ending on October 11, 2007. Comments were received via e-mail from Diane Nygaard and forwarded to the applicant.

Prior to any action on November 19, 2007, it is necessary for the Planning Commission to review and act on the Mitigated Negative Declaration. Staff, in its initial study of the project, is recommending that the Mitigated Negative Declaration be approved with the attached findings and mitigation measures.

PUBLIC NOTIFICATION

A legal notice was published in the North County Times on Friday, November 9, 2007, and notices were sent to property owners of record within a 300-foot radius of the subject property, individuals and or organizations requesting notification, the applicant, and other interested parties. As of Tuesday, November 13, 2007, no communication supporting or opposing the request had been received.

SUMMARY

The proposed Tentative Subdivision Map (T-15-05), Development Plan (D-35-05), and Conditional Use Permit (C-59-05) are consistent with the requirements of the Zoning Ordinance and the land use policies of the General Plan. The project meets or exceeds all applicable development standards. The project is compatible in terms of residential product type and density with the surrounding neighborhood. As such, staff recommends that the Planning Commission approve the project based on the findings and subject to the conditions contained in the attached Resolution. Staff recommends that the Planning Commission:

- Move to approve Tentative Subdivision Map (T-15-05), Development Plan (D-35-05) and Conditional Use Permit (C-59-09) and adopt Planning Commission Resolution 2007-P58 as attached.

PREPARED BY:

SUBMITTED BY:



Juliana von Hacht
Associate Planner



Jerry Hittleman
City Planner

JH/jh/fil

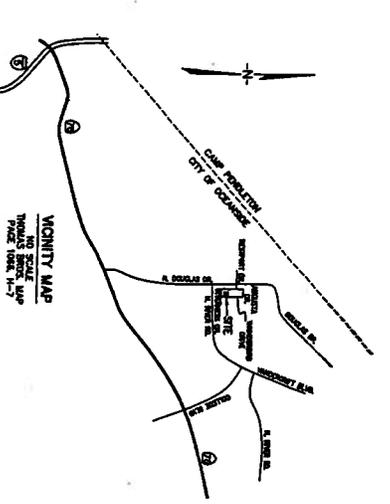
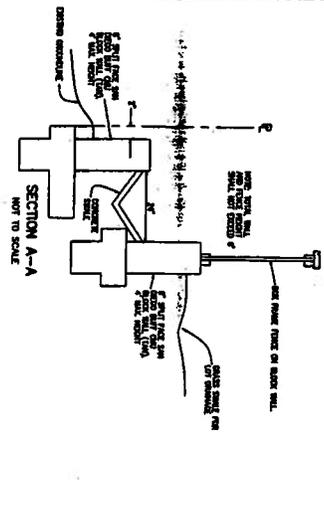
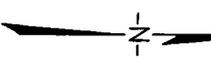
Attachments:

1. Plans (Tentative Subdivision Map, Development Plans, Conceptual Landscape
2. Planning Commission Resolution No. 2007-P58
3. Mitigated Negative Declaration, List of Mitigation Measures, Initial Study

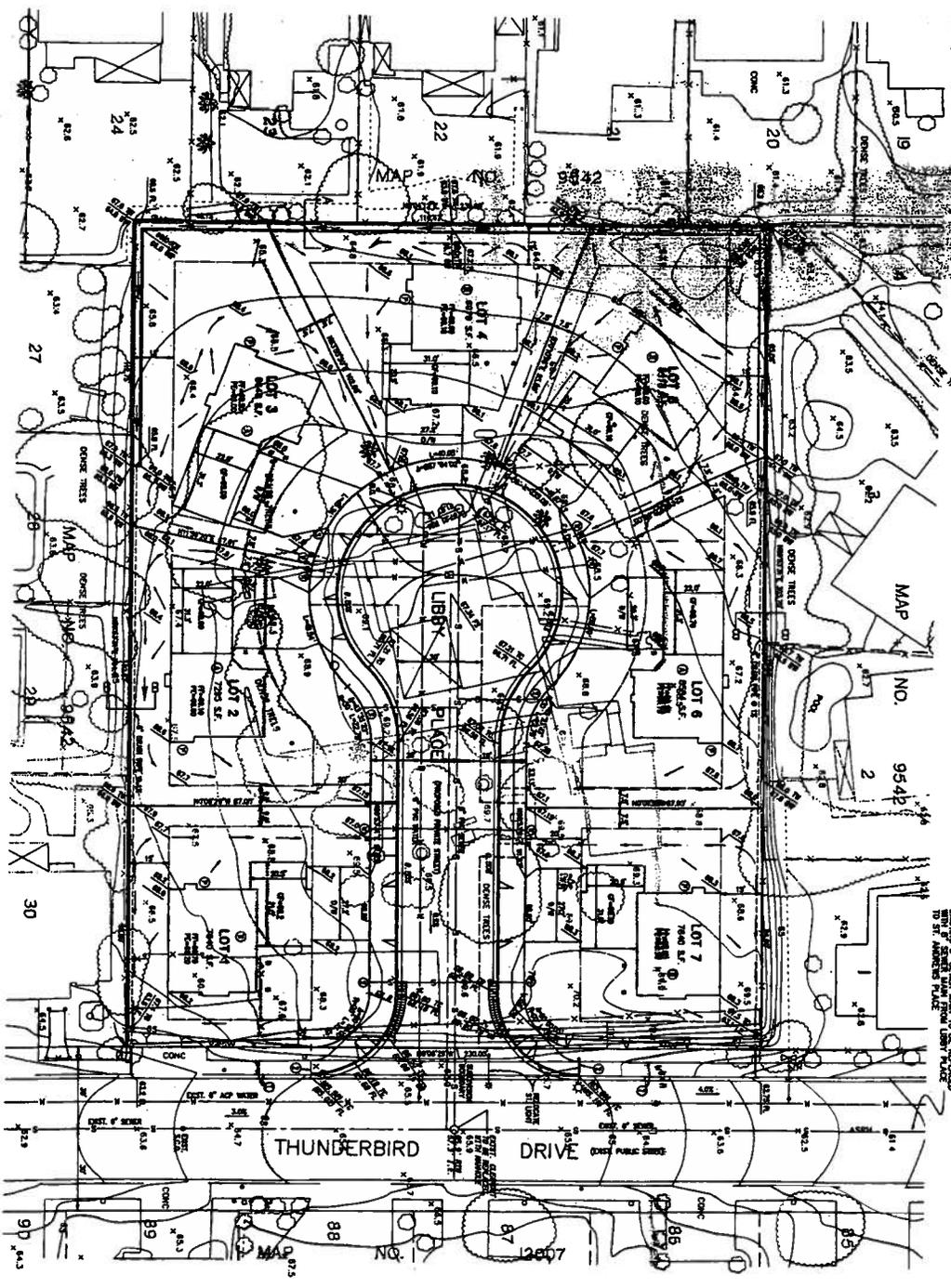
SCALE IN FEET
SCALE 1"=20'

LEGEND

- 1. STREET GRADE
- 2. CONTOUR
- 3. DIRECTION OF SHEET FLOW
- 4. GRADES AND SLOPE
- 5. CONCRETE DRAINAGE OTION
- 6. STREET LIGHT
- 7. STRENGTHENED FILTER
- 8. PROPOSED SEWER LATERAL
- 9. HOOPER PLAIN "4"
- 10. HOOPER PLAIN "6"
- 11. PAVED ACCESS
- 12. EXISTING CURB, GUTTER & SIDEWALK
- 13. JOH. EXISTING CURB, GUTTER & SIDEWALK



ALTERNATIVE MAP NO. T-15-05
CITY OF OCEANSIDE
PRELIMINARY GRADING AND DRAINAGE PLAN



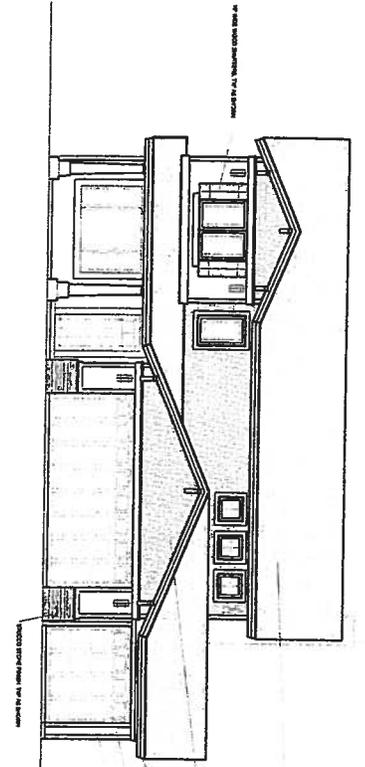
BUILDING COVERAGE	
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LOT 4	1,142
LOT 5	1,142
LOT 6	1,142
LOT 7	1,142
LOT 8	1,142
LOT 9	1,142
LOT 10	1,142

REFERENCE DRAWINGS	
STREET IMPROVEMENT PLANS	R-3487
UTILITIES PLANS	R-3504, R-4874

EASEMENTS	
8	PROPOSED MUSIC UTILITY EASEMENT

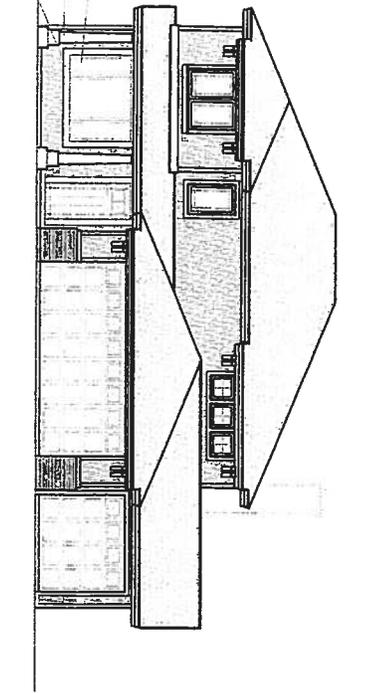
EXISTING & SEWER MAIN TO BE REPLACED TO ST. NUMBERED PLACE

VICINITY MAP
THUNDERBIRD DRIVE MAP
PAGE 1008, N-7

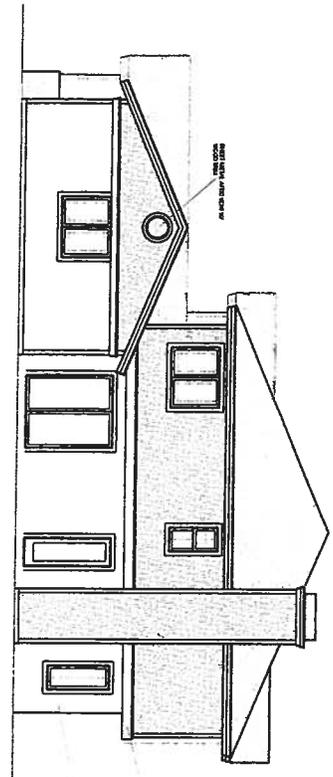


FRONT EXTERIOR ELEVATION - #1

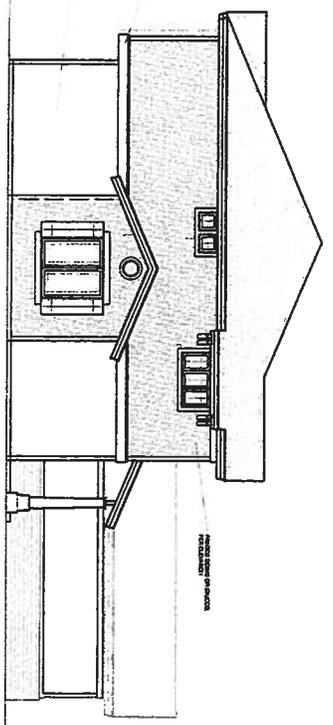
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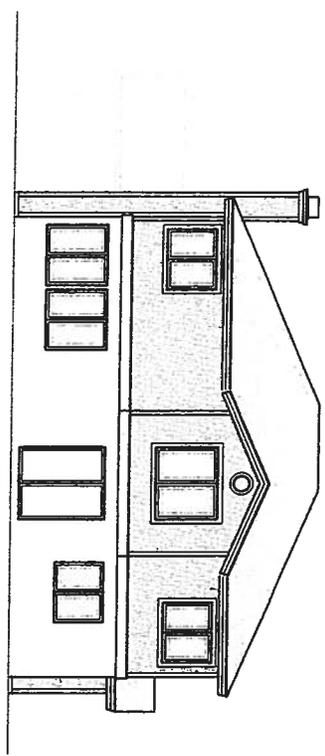
FRONT EXTERIOR ELEVATION - #2



SIDE EXTERIOR ELEVATION

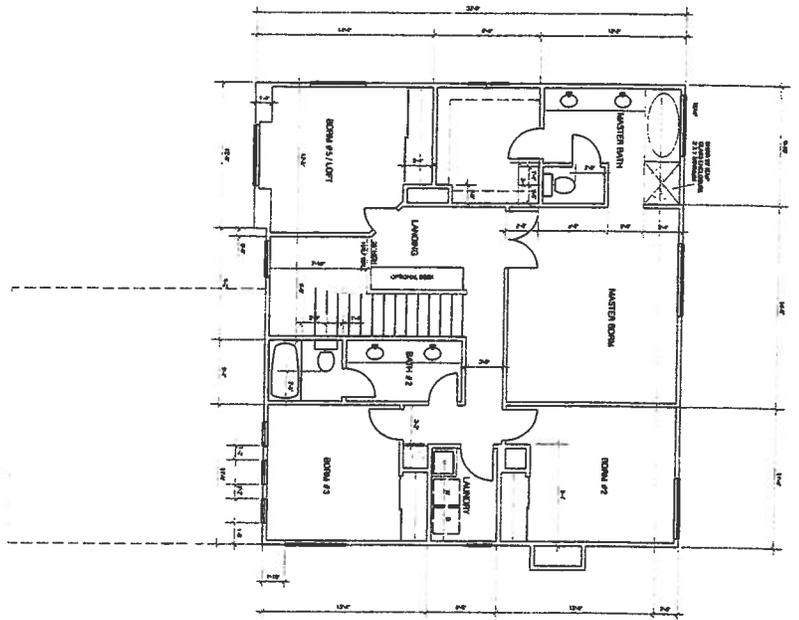


SIDE EXTERIOR ELEVATION



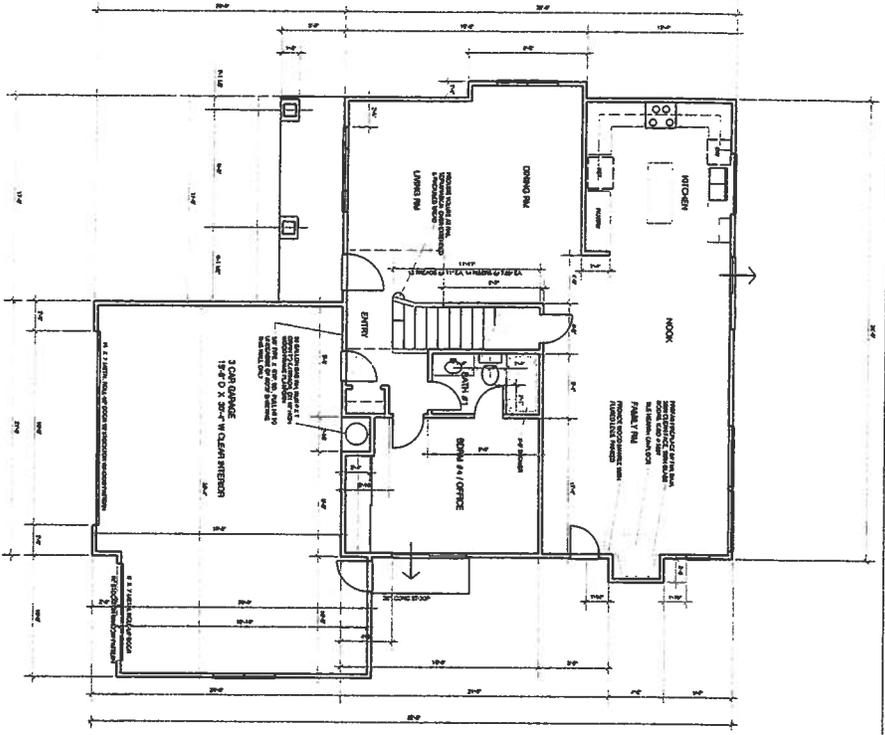
REAR EXTERIOR ELEVATION

RECEIVED
 APR 17 2007
 Planning Department



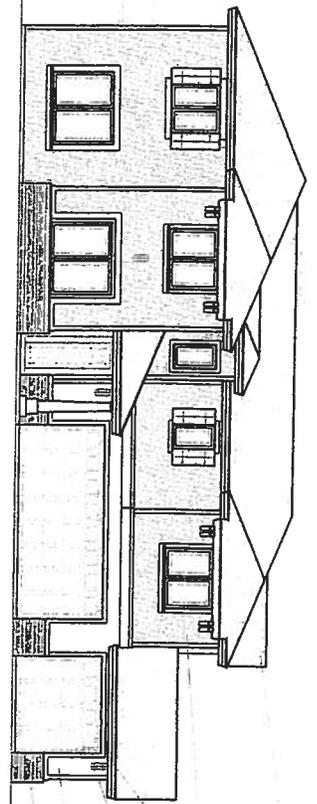
SECOND FLOOR PLAN

RESIDENCE 1,200 S.F.

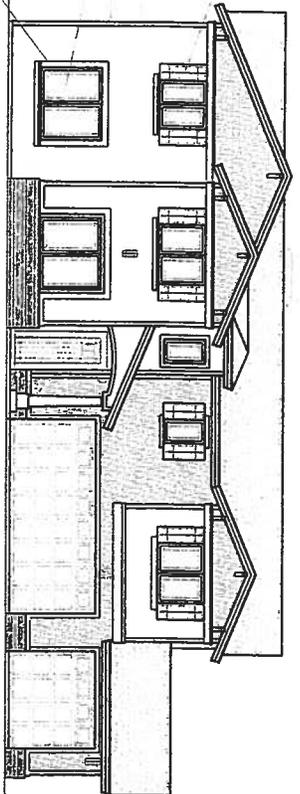


FIRST FLOOR PLAN

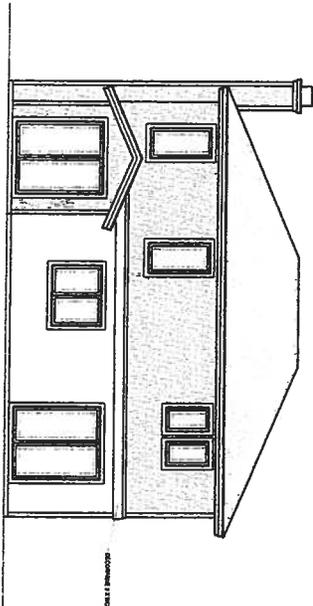
RESIDENCE 1,200 S.F. - FIRST FLOOR
 RESIDENCE 1,200 S.F. - SECOND FLOOR
 RESIDENCE 2,400 S.F. - TOTAL
 GARAGE 225 S.F.



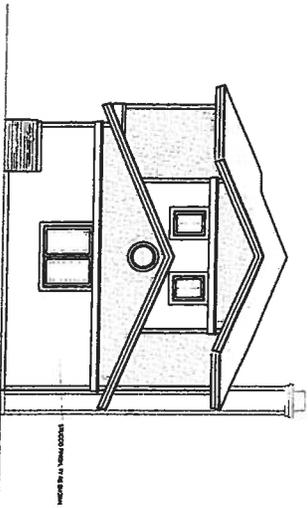
FRONT EXTERIOR ELEVATION - # 1



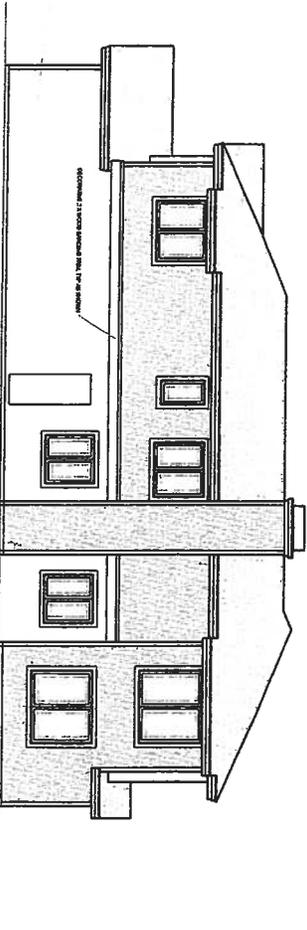
FRONT EXTERIOR ELEVATION - # 2



SIDE EXTERIOR ELEVATION



SIDE EXTERIOR ELEVATION

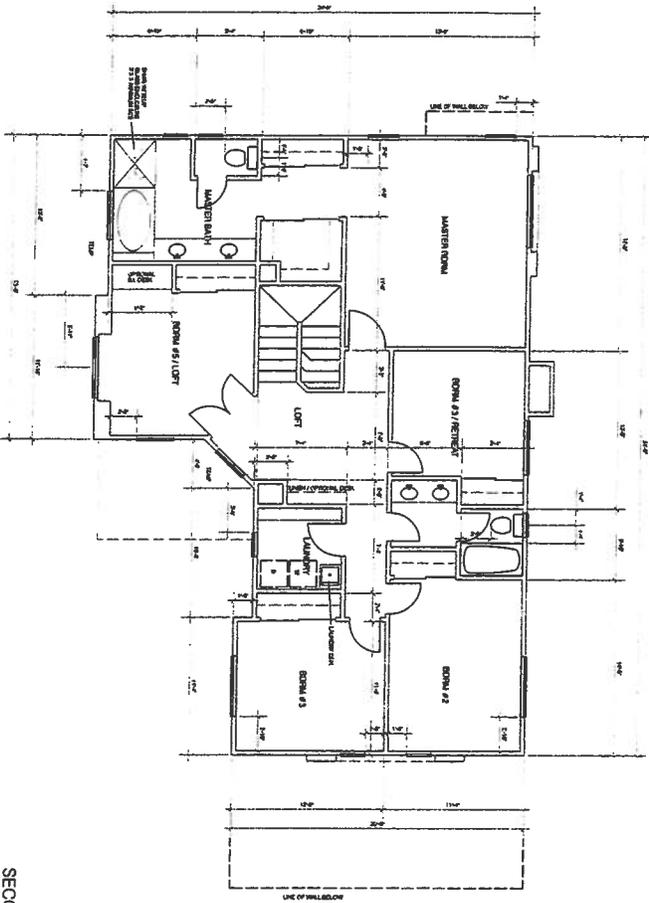


REAR EXTERIOR ELEVATION

EXTERIOR ELEVATIONS
PLAN A

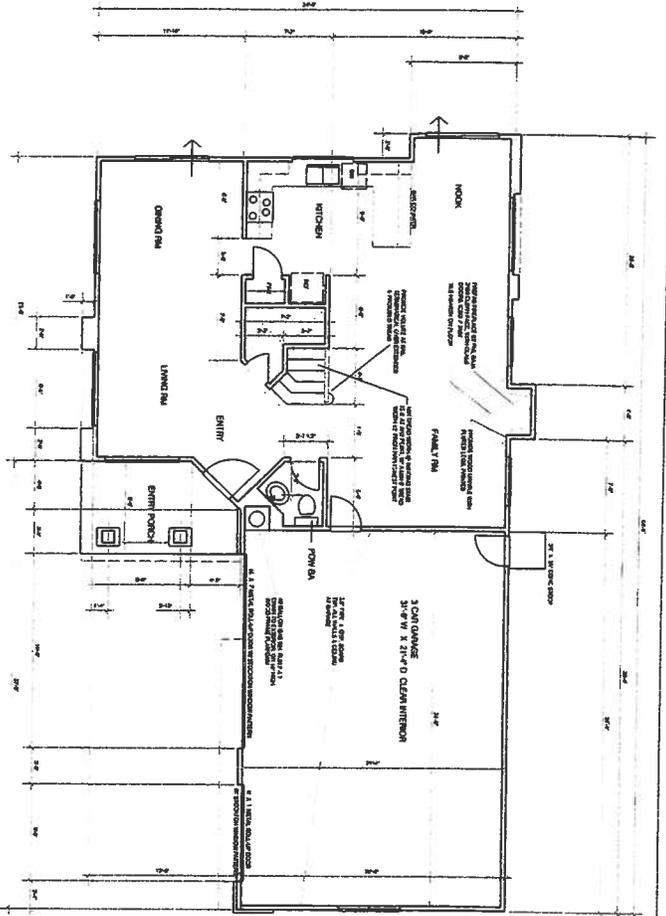
THUNDERBIRD

JAF
J.A. FERRIN & ASSOCIATES
CUSTOM HOME DESIGN & CONSTRUCTION
3222 VENDOR PLACE, ESCOBEDO, CALIF. 92825
714.439.8864



SECOND FLOOR PLAN

RESIDENCE 1201 S.F.



FIRST FLOOR PLAN

RESIDENCE 691 S.F. - FIRST FLOOR
 RESIDENCE 1201 S.F. - SECOND FLOOR
 RESIDENCE 1201 S.F. - TOTAL
 GARAGE 691 S.F.

1 PLANNING COMMISSION
2 RESOLUTION NO. 2007-P58

3 A RESOLUTION OF THE PLANNING COMMISSION OF THE
4 CITY OF OCEANSIDE, CALIFORNIA APPROVING A
5 TENTATIVE SUBDIVISION MAP, DEVELOPMENT PLAN
6 AND CONDITIONAL USE PERMIT ON CERTAIN REAL
PROPERTY IN THE CITY OF OCEANSIDE

7 APPLICATION NO: T-15-05, D-35-05, C-59-05
8 APPLICANT: Thunderbird 683 LP
9 LOCATION: 683 Thunderbird Drive

10 THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES
11 RESOLVE AS FOLLOWS:

12 WHEREAS, there was filed with this Commission a verified petition on the forms
13 prescribed by the Commission requesting a tentative subdivision map, development plan, and
14 conditional use permit under the provisions of Articles 10, 30, 40, 41, and 43 of the Zoning
15 Ordinance of the City of Oceanside and Articles III and IV of the Subdivision Ordinance of the
City of Oceanside to permit the following:

16 the demolition of existing structures, a seven-lot subdivision, construction of seven single-
17 family detached homes, and permitting a residential density above the base density of 3.5
18 dwellings per gross acre;

19 on certain real property described in the project description.

20 WHEREAS, the Planning Commission, after giving the required notice, did on the 19th
21 day of November, 2007 conduct a duly advertised public hearing as prescribed by law to consider
22 said application.

23 WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State
24 Guidelines thereto; a Mitigated Negative Declaration has been prepared stating that if the
25 mitigation measures are met there will not be an adverse impact upon the environment;

26 WHEREAS, there is hereby imposed on the subject development project certain fees,
27 dedications, reservations and other exactions pursuant to state law and city ordinance;

28 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the
29 project is subject to certain fees, dedications, reservations and other exactions as provided below:

<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
Parkland Dedication/Fee	Ordinance No. 91-10 Resolution No. 06-R0334-1	\$3,503 per unit
Drainage Fee	Ordinance No. 85-23 Resolution No. 06-R0334-1	Depends on area (range is \$2,843-\$15,964 per acre)
Public Facility Fee	Ordinance No. 91-09 Resolution No. 06-R0334-1	\$2,072 per unit for residential
School Facilities Mitigation Fee	Ordinance No. 91-34	\$2.63 per square foot residential
Traffic Signal Fee	Ordinance No. 87-19 Resolution No. 06-R0334-1	\$15.71 per vehicle trip
Thoroughfare Fee (For commercial and industrial please note the .75 per cent discount)	Ordinance No. 83-01 Resolution No. 06-R0334-1	\$255 per vehicle trip (based on SANDAG trip generation table available from staff and from SANDAG)
Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 05-OR 0611-1	Fee based on water meter size. Residential is typically \$3,746 per unit.
Wastewater System Buy-in fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 05-OR 0610-1	Based on capacity or water meter size. Residential is typically \$4,587 per unit.
San Diego County Water Authority Capacity Fees	SDCWA Ordinance No. 2005-03	Based on meter size. Residential is typically \$4,154 per unit.
Inclusionary housing in lieu fees—Residential only.	Chapter 14-C of the City Code	\$1,000 per development project + \$100 per unit plus \$10,275 per unit

WHEREAS, the current fees referenced above are merely fee amount estimates of the impact fees that would be required if due and payable under currently applicable ordinances and resolutions, presume the accuracy of relevant project information provided by the applicant, and are not necessarily the fee amount that will be owing when such fee becomes due and payable;

1 WHEREAS, unless otherwise provided by this resolution, all impact fees shall be
2 calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside
3 City Code and the City expressly reserves the right to amend the fees and fee calculations
4 consistent with applicable law;

5 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,
6 dedication, reservation or other exaction to the extent permitted and as authorized by law;

7 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that
8 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction
9 described in this resolution begins on the effective date of this resolution and any such protest must
10 be in a manner that complies with Section 66020;

11 WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes
12 effective 10 days from its adoption in the absence of the filing of an appeal or call for review;

13 WHEREAS, the Mitigated Negative Declaration together with any comments received,
14 and Mitigation and Monitoring and Reporting Program (MMRP) incorporated into the
15 conditions of approval for the project, were presented to the Planning Commission, and the
16 Planning Commission reviewed and considered the information contained in these documents
17 prior to making a decision on the project.

18 WHEREAS, the Mitigated Negative Declaration and Mitigation and Monitoring and
19 Reporting Program (MMRP) have been determined to be accurate and adequate documents,
20 which reflect the independent judgment and analysis of the Planning Commission. On the
21 basis of the entire record before it, the Planning Commission finds that there is no substantial
22 evidence that the project, with implementation of the mitigation measures proposed, will have a
23 significant impact on the environment.

24 WHEREAS, the documents or other material which constitute the record of proceedings
25 upon which the decision is based will be maintained by the City of Oceanside Planning
26 Department, 300 North Coast Highway, Oceanside, California 92054.

27 WHEREAS, studies and investigations made by this Commission and in its behalf reveal
28 the following facts:
29

1 FINDINGS:

2 For the Tentative Subdivision Map T-15-05:

- 3 1. The Tentative Subdivision Map is consistent with the Community Enhancement
4 Sections 1.2, 1.22, 1.24, 1.3, and 1.33 of the Land Use Element of the General Plan and
5 it is consistent with the Community Development Sections 2.0, 2.02, 2.3, and 2.32 of the
6 Land Use Element of the General Plan.
- 7 2. The 1.61-acre site has been found to be physically suitable for residential development.
- 8 3. A residential density of 4.35 dwelling units per gross acre is suitable for the site.
- 9 4. The seven-lot subdivision and the cul-de-sac design will not cause substantial
10 environmental damage or substantially and avoidably injure fish or wildlife or their
11 habitat.
- 12 5. The seven-lot subdivision and the construction of seven detached residential units will
13 not conflict with easements, acquired by the public at large, for access through or use of,
14 property within the proposed subdivision.
- 15 6. The Tentative Map complies with all other applicable ordinances, regulations, and
16 guidelines of the City of Oceanside.

17 For the Development Plan D-35-05:

- 18 1. The site plan and physical design of the project is consistent with the purposes of the
19 Zoning Ordinance, including Articles 10, 22, 30, and 43.
- 20 2. The Development Plan conforms to the General Plan of the City of Oceanside, including
21 the goals and objectives of Community Development Sections 2.0, 2.02, 2.3, and 2.32
22 the Land Use Element of the General Plan.
- 23 3. The area covered by the Development Plan can be adequately, reasonably and
24 conveniently served by existing and planned public services, utilities, and public
25 facilities.
- 26 4. The seven detached residential units are compatible with the existing and potential
27 development on adjoining properties and the surrounding San Luis Rey Neighborhood.
- 28
- 29

1 For the Conditional Use Permit C-44-04:

- 2 1. A residential density of 4.35 dwelling units per gross acre, on land located in the RS
3 District, is in accord with the objectives of Article 10 of the Zoning Ordinance and the
4 purposes of the Single-Family Residential District.
- 5 2. The 1.61-acre of land located in the RS District and the proposed single-family
6 residential land use is consistent with the General Plan; the location and land use will not
7 be detrimental to the public health, safety, or welfare of persons residing or working in
8 or adjacent to the neighborhood of such use; and the location and land use will not be
9 detrimental to properties or improvements in the vicinity or to the general welfare of the
10 city.
- 11 3. The residential density will comply with the provisions of the Zoning Ordinance of the
12 City of Oceanside, including Section 1020 and any specific condition required for a
13 density of 4.35 dwelling units per gross acre in the Single-Family Residential District.

14 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby
15 approve the Mitigated Negative Declaration and adopt the mitigation measures provided therein,
16 and approve Tentative Parcel Map (T-15-05), Development Plan (D-35-05), and Conditional Use
17 Permit (C-59-05) subject to the following conditions:

18 **Building:**

- 19 1. Applicable Building Codes and Ordinances shall be based on the date of submittal for
20 Building Division plan check. (Currently the 2001 California Code of Regulations and
21 2004 California Electrical Code).
- 22 2. The granting of approval under this action shall in no way relieve the applicant/project
23 from compliance with all State and Local building codes.
- 24 3. The building plans for this project are required by State law to be prepared by a licensed
25 architect or engineer and must be in compliance with this requirement prior to submittal
26 for building plan review.
- 27 4. All electrical, communication, CATV, etc. service lines within the exterior lines of the
28 property shall be underground (City Code Sec. 6.30).
- 29

- 1 5. Compliance with the Federal Clean Water Act (BMP's) must be demonstrated on the
2 plans.
- 3 6. The developer shall monitor, supervise and control all building construction and
4 supporting activities so as to prevent these activities from causing a public nuisance,
5 including, but not limited to, strict adherence to the following:
- 6 a) Building construction work hours shall be limited to between 7:00 a.m. and 6:00
7 p.m. Monday through Friday, and on Saturday from 7:00 a.m. to 6:00 p.m. for
8 work that is not inherently noise-producing. Examples of work not permitted on
9 Saturday are concrete and grout pours, roof nailing and activities of similar noise-
10 producing nature. No work shall be permitted on Sundays and Federal Holidays
11 (New Year's Day, Memorial Day, July 4th, Labor Day, Thanksgiving Day, and
12 Christmas Day) except as allowed for emergency work under the provisions of
13 the Oceanside City Code Chapter 38 (Noise Ordinance).
- 14 b) The construction site shall be kept reasonably free of construction debris as
15 specified in Section 13.17 of the Oceanside City Code. Storage of debris in
16 approved solid waste containers shall be considered compliance with this
17 requirement. Small Amounts of construction debris may be stored on-site in a
18 neat, safe manner for short periods of time pending disposal.
- 19 7. Separate/unique addresses will/may be required to facilitate utility releases. Verification
20 that the addresses have been properly assigned by the City's Planning Division must
21 accompany the Building Permit application.
- 22 8. A complete Soils Report, Structural Calculations, & Energy Calculations/documentation
23 will be required at time of plans submittal to the Building Division for plan check.
- 24 9. A Building Permit will be required for the demolition of any existing structures. Plans
25 for the permit must clearly show that all utilities (electric, gas, water, & sewer) are
26 properly terminated and capped in accordance with the requirements of the utility service
27 provider. All underground septic or water storage tanks must be removed or filled in
28 accordance with the Uniform Plumbing Code and/or the City's Grading Ordinance.
29

1 10. Construction plans submitted to the Building Division after January 1, 2008 shall meet
2 all requirements of the newly adopted ICC codes.

3 **Fire Prevention:**

4 11. Smoke detectors are required, and detector locations must be indicated on the plans.
5

6 12. The size of fire hydrant outlets shall be 2 ½ "X 4".

7 13. The fire hydrants shall be installed and tested prior to placing any combustible materials
8 on the job site.

9 14. Detailed plans of underground fire service mains shall be submitted to the Oceanside
10 Fire Department for approval prior to installation.

11 15. Blue hydrant identification markers shall be placed as per Oceanside's Engineers Design
12 and Processing Manual Standard Drawing No. M-13.

13 16. All weather access roads shall be installed and made serviceable prior to and maintained
14 during time of construction.

15 17. Apparatus access roads shall have a minimum unobstructed width of 28 feet. A
16 minimum vertical clearance of 14 feet shall be provided for the apparatus access roads.

17 18. The Fire Department access roadway shall be provided with adequate turning radius for
18 Fire Department apparatus a 50-foot outside and 30-foot inside radius.

19 19. Fire Department emergency access shall not exceed 15 percent grade.
20

21 20. Cul-de-sacs shall be shown on the site plan with a 40 foot radius minimum.
22

23 21. All streets less than 32 feet wide shall be posted "NO PARKING FIRE LANE" per
24 Vehicle Code Section 22500.1 and in accordance with the Fire Department Standard
25 Guidelines for Emergency Access.

26 22. In accordance with the California Fire Code Sec. 901.4.4, approved address for
27 commercial, industrial, and residential occupancies shall be placed on the structure in
28 such a position as to be plainly visible and legible from the street or roadway fronting the
29 property. Numbers shall be contrasting with their background.

- 1 23. Single-family dwellings require 4 inch address numbers.
- 2 24. Plans shall be submitted to the Fire Prevention Bureau for plan check review and
- 3 approval prior to the issuance of building permits.
- 4
- 5 25. Buildings shall meet Oceanside Fire Department's current codes at the time of building
- 6 permit application.

7 **Engineering Landscape:**

- 8 26. Landscape plans, meeting the criteria of the City's Landscape Guidelines or City
- 9 Engineer criteria, Water Conservation Ordinance No. 91-15 and Zoning Ordinance
- 10 including the maintenance of such landscaping, shall be approved by the City Engineer
- 11 prior to the issuance of building permits. Landscaping shall not be installed until bonds
- 12 have been posted, fees paid, and plans signed for final approval. The following special
- 13 landscaping requirements shall be met:
- 14 27. Landscape plans shall comply with the City of Oceanside Guidelines and Specifications
- 15 for Landscape Developments 1985, addenda 1997, Water Conservation Ordinance No.
- 16 91-15, SWMP, Zoning Ordinance and current Street Tree Memorandum. The landscape
- 17 plans shall match all plans affiliated with the project. Street trees shall be a minimum of
- 18 2" caliper, located 30'-0" center, meeting the City of Oceanside spacing requirements.
- 19 28. Obtain approval from the Planning Division for walls, fences and gates. The
- 20 combination wall condition on the east side of the property adjacent to the neighboring
- 21 property shall meet the approval of the City Planner. Irrigated landscaping shall be
- 22 located within property lines on the proposed project site and be assessable for
- 23 maintenance by the owner or homeowners association.
- 24 29. Utility easements, storm drain, sewer easements and sightline requirements shall be field
- 25 verified by a Landscape Architect of work and planting of all species located to meet the
- 26 satisfaction of the City Engineer. The trees provided for the site shall consist of native,
- 27 naturalized, transitional and surrounding historical tree species. Trees shall be relocated
- 28 if necessary; not omitted from the approved conceptual landscape plan. Invasive species
- 29 of any kind shall be omitted from the landscape plan.

1 30. Turf shall not exceed 35 percent of the front yard. Front yards shall consist of the
2 following minimum: one 15-gallon tree, 18 shrubs, ground cover or shredded bark
3 mulch to cover bare areas.

4 31. An irrigation system shall be provided for all landscaped areas. Irrigation system shall be
5 in compliance with Engineering, Water and Landscape ordinances, manuals and policies.

6 32. All landscaping, fences, walls, etc. on the site, in medians in the public right-of-way and
7 in any adjoining public parkways shall be permanently maintained by the owner, his
8 assigns or any successors-in-interest in the property. The maintenance program shall
9 include normal care and irrigation of the landscaping; repair and replacement of plant
10 materials; irrigation systems as necessary; and general cleanup of the landscaped and
11 open areas, parking lots and walkways, walls, fences, etc. Failure to maintain
12 landscaping shall result in the City taking all appropriate enforcement actions by all
13 acceptable means including but not limited to citations and/or actual work with costs
14 charged to or recorded against the owner. This condition shall be recorded with the
15 covenant required by this resolution.

16 **Engineering:**

17 33. For the demolition of existing structures or surface improvements demolition permit(s)
18 shall be secured. Grading plans shall be submitted and erosion control plans be
19 approved by the City Engineer prior to the issuance of a demolition permit. No
20 demolition shall be permitted without an approved erosion control plan.

21 34. Vehicular access rights to Thunderbird Street shall be relinquished to the City from all
22 abutting lots.

23 35. All right-of-way alignments, street dedications, exact geometrics and widths shall be
24 dedicated and improved as required by the City Engineer.

25 36. Design and construction of all improvements shall be in accordance with standard plans,
26 specifications of the City of Oceanside and subject to approval by the City Engineer.

27 37. The developer shall provide public street dedication as required to serve the property.
28
29

1 38. The approval of the tentative map shall not mean that closure, vacation, or abandonment
2 of any public street, right-of-way, easement, or facility is granted or guaranteed to the
3 developer/subdivider. The developer/subdivider is responsible for applying for all
4 closures, vacations, and abandonments as necessary. The application(s) shall be
5 reviewed and approved or rejected by the City of Oceanside under separate process(es)
6 per codes, ordinances, and policies in effect at the time of the application. The City of
7 Oceanside retains its full legislative discretion to consider any application to vacate a
8 public street or right-of-way.

9 39. Prior to approval of the final map or issuance of a building permit (whichever occurs
10 first), all improvement requirements shall be covered by a subdivision or a development
11 agreement and secured with sufficient improvement securities or bonds guaranteeing
12 performance and payment for labor and materials, setting of monuments, and warranty
13 against defective materials and workmanship.

14 40. Prior to issuance of a building permit all improvement requirements shall be covered by
15 a development agreement and secured with sufficient improvement securities or bonds
16 guaranteeing performance and payment for labor and materials, setting of monuments,
17 and warranty against defective materials and workmanship.

18 41. The tract shall be recorded as one. The tract may be developed in phases. A
19 construction-phasing plan for the construction of on-site public and private
20 improvements shall be reviewed and approved by the City Engineer prior to the
21 recordation of the final map. Prior to the issuance of any building permits all off-site
22 improvements including landscaping, frontage improvements shall be under construction
23 to the satisfaction of the City Engineer. Prior to issuance of any certificates of
24 occupancy the City Engineer shall require the dedication and construction of necessary
25 utilities, streets and other improvements outside the area of any particular final map, if
26 such is needed for circulation, parking, access or for the welfare or safety of future
27 occupants of the development.

28 42. Prior to the issuance of any grading, improvement or building permits for a model
29 complex, a construction-phasing plan for the entire project shall be reviewed and

1 approved by the City Planner, City Engineer, and Building Official. All improvements
2 shall be under construction to the satisfaction of the City Engineer prior to the issuance
3 of any building permits. All public and private improvements including landscaping and
4 offsite streets or arterials that are found to be required to serve the model complex shall
5 be completed prior to the issuance of any certificates of occupancy.

6 43. Where off-site improvements, including but not limited to slopes, public utility facilities,
7 and drainage facilities, are to be constructed, the subdivider/developer shall, at his own
8 expense, obtain all necessary easements or other interests in real property and shall
9 dedicate the same to the City of Oceanside as required. The subdivider/developer shall
10 provide documentary proof satisfactory to the City of Oceanside that such easements or
11 other interest in real property have been obtained prior to the approval of the final map
12 or issuance of any building permit for the development. Additionally, the City of
13 Oceanside, may at its sole discretion, require that the subdivider/developer obtain at his
14 sole expense a title policy insuring the necessary title for the easement or other interest in
15 real property to have vested with the City of Oceanside or the subdivider/developer, as
16 applicable.

17 44. Pursuant to the State Map Act, improvements shall be required at the time of
18 development. A covenant, reviewed and approved by the City Attorney, shall be
19 recorded attesting to these improvement conditions and a certificate setting forth the
20 recordation shall be placed on the map.

21 45. Prior to the issuance of a grading permit, the developer shall notify and host a
22 neighborhood meeting with all of the area residents located within 300 feet of the project
23 site, and residents of property along any residential streets to be used as a "haul route", to
24 inform them of the grading and construction schedule, haul routes, and to answer
25 questions.

26 46. The developer shall monitor, supervise and control all construction and construction-
27 supportive activities, so as to prevent these activities from causing a public nuisance,
28 including but not limited to, insuring strict adherence to the following:
29

- 1 a) Dirt, debris and other construction material shall not be deposited on any public
2 street or within the City's stormwater conveyance system.
- 3 b) All grading and related site preparation and construction activities shall be
4 limited to the hours of 7:00 a.m. to 6:00 p.m., Monday through Friday. No
5 engineering related construction activities shall be conducted on Saturdays,
6 Sundays or legal holidays unless written permission is granted by the City
7 Engineer with specific limitations to the working hours and types of permitted
8 operations. All on-site construction staging areas shall be as far as possible
9 (minimum 100 feet) from any existing residential development. Because
10 construction noise may still be intrusive in the evening or on holidays, the City of
11 Oceanside Noise Ordinance also prohibits "any disturbing excessive or offensive
12 noise which causes discomfort or annoyance to reasonable persons of normal
13 sensitivity."
- 14 c) The construction site shall accommodate the parking of all motor vehicles used
15 by persons working at or providing deliveries to the site.
- 16 d) A haul route shall be obtained at least 7 days prior the start of hauling operations
17 and must be approved by the City Engineer. Hauling operations shall be 8:00 AM
18 to 3:30 PM unless approved otherwise.

19 47. A traffic control plan shall be prepared according to the City traffic control guidelines
20 and be submitted to and approved by the City Engineer prior to the start of work within
21 open City rights-of-way. Traffic control during construction of streets that have been
22 opened to public traffic shall be in accordance with construction signing, marking and
23 other protection as required by the Caltrans Traffic Manual and City Traffic Control
24 Guidelines. Traffic control plans shall be in effect from 8:00 a.m. to 3:30 p.m. unless
25 approved otherwise.

26 48. Approval of this development project is conditioned upon payment of all applicable
27 impact fees and connection fees in the manner provided in chapter 32B of the Oceanside
28 City Code. All drainage fees, traffic signal fees and contributions, highway thoroughfare
29 fees, park fees, reimbursements, and other applicable charges, fees and deposits shall be

1 paid prior to recordation of the map or the issuance of any building permits, in
2 accordance with City Ordinances and policies. The subdivider/developer shall also be
3 required to join into, contribute, or participate in any improvement, lighting, or other
4 special district affecting or affected by this project. Approval of the tentative map shall
5 constitute the developer's approval of such payments, and his agreement to pay for any
6 other similar assessments or charges in effect when any increment is submitted for final
7 map or building permit approval, and to join, contribute, and/or participate in such
8 districts.

- 9 49. All streets shall be improved with curbs and gutters.
- 10 50. All streets shall provide a minimum of 10 feet parkway between the face of curb and the
11 right-of-way line. Sidewalk improvements shall comply with ADA requirements.
- 12 51. Sight distance requirements at the project driveway or street shall conform to the corner
13 sight distance criteria as provided by the California Department of Transportation
14 Highway Design Manual.
- 15 52. Streetlights shall be maintained and installed on all streets per City Standards. The
16 system shall provide uniform lighting, and be secured prior to occupancy. The developer
17 shall pay all applicable fees, energy charges, and/or assessments associated with City-
18 owned (LS-2 rate schedule) streetlights and shall also agree to the formulation of, or the
19 annexation to, any appropriate street lighting district.
- 20 53. Libby Place is proposed as a private street and shall be maintained by an association.
21 The pavement sections, traffic indices, alignments, and all geometrics shall meet public
22 street standards.
- 23 54. Prior to approval of the grading plans or the Final Map (whichever occurs earlier), the
24 developer/subdivider shall contract with a geotechnical engineering firm to perform a
25 field investigation of the existing pavement on all streets adjacent to the project
26 boundary. The limits of the study shall be half-street plus 12 feet along the project's
27 frontage. The field investigation shall include a minimum of one pavement boring per
28 every 50 linear feet of street frontage. Should the existing AC thickness be determined
29 to be less than three inches or without underlying Class II base material, the

1 developer/subdivider shall remove and reconstruct the pavement section as determined
2 by the pavement analysis submittal process detailed in Item No. 2 below.

3 55. Upon review of the pavement investigation, the City Engineer shall determine whether
4 the developer/subdivider shall: 1) Repair all failed pavement sections, header cut and
5 grind per the direction of the City Engineer, and construct a two-inch thick rubberized
6 AC overlay; or 2) Perform R-value testing and submit a study that determines if the
7 existing pavement meets current City standards/traffic indices. Should the study
8 conclude that the pavement does not meet current requirements, rehabilitation/mitigation
9 recommendations shall be provided in a pavement analysis report, and the
10 developer/subdivider shall reconstruct the pavement per these recommendations, subject
11 to approval by the City Engineer.

12 56. Streets shall be improved as required the City Engineer.

13 57. Pavement sections for all streets, alleys, driveways and parking areas shall be based upon
14 approved soil tests and traffic indices. The pavement design is to be prepared by the
15 developer's/subdivider's soil engineer and must be approved by the City Engineer, prior
16 to paving.

17 58. Any existing broken pavement, concrete curb, gutter or sidewalk or any damaged during
18 construction of the project, shall be repaired or replaced as directed by the City Engineer.

19 59. All existing overhead utility lines within the subdivision/development and/or within any
20 full width street or right-of-way abutting a new subdivision/development, and all new
21 extension services for the development of the project, including but not limited to,
22 electrical, cable and telephone, shall be placed underground per Section 901.G. of the
23 Subdivision Ordinance (R91-166) and as required by the City Engineer and current City
24 policy.

25 60. The developer shall comply with all the provisions of the City's cable television
26 ordinances including those relating to notification as required by the City Engineer.
27
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- 1 61. Grading and drainage facilities shall be designed and installed to adequately
2 accommodate the local storm water runoff and shall be in accordance with the City's
3 Engineers Manual and as directed by the City Engineer.
- 4 62. The developer shall obtain any necessary permits and clearances from all public agencies
5 having jurisdiction over the project due to its type, size, or location, including but not
6 limited to the U. S. Army Corps of Engineers, California Department of Fish & Game,
7 U. S. Fish and Wildlife Service and/or San Diego Regional Water Quality Control Board
8 (including NPDES), San Diego County Health Department, prior to the issuance of
9 grading permits.
- 10 63. Prior to any grading of any part of the tract or project, a comprehensive soils and
11 geologic investigation shall be conducted of the soils, slopes, and formations in the
12 project. All necessary measures shall be taken and implemented to assure slope stability,
13 erosion control, and soil integrity. No grading shall occur until a detailed grading plan, to
14 be prepared in accordance with the Grading Ordinance and Zoning Ordinance, is
15 approved by the City Engineer.
- 16 64. This project shall provide year-round erosion control including measures for the site
17 required for the phasing of grading. Prior to the issuance of grading permit, an erosion
18 control plan, designed for all proposed stages of construction, shall be reviewed, secured
19 by the developer with cash securities and approved by the City Engineer.
- 20 65. A precise grading and private improvement plan shall be prepared, reviewed, secured
21 and approved prior to the issuance of any building permits. The plan shall reflect all
22 pavement, flatwork, landscaped areas, special surfaces, curbs, gutters, striping, signage,
23 footprints of all structures, walls, drainage devices and utility services.
- 24 66. Landscaping plans, including plans for the construction of walls, fences or other
25 structures at or near intersections, must conform to intersection sight distance
26 requirements. Landscape and irrigation plans for disturbed areas must be submitted to
27 the City Engineer prior to the issuance of a preliminary grading permit and approved by
28 the City Engineer prior to the issuance of occupancy permits. Frontage landscaping shall
29 be installed prior to the issuance of any certificates of occupancy. Any project fences,

1 sound or privacy walls and monument entry walls/signs shall be shown on, bonded for
2 and built from the landscape plans. These features shall also be shown on the precise
3 grading plans for purposes of location only. Plantable, segmental walls shall be
4 designed, reviewed and constructed by the grading plans and landscaped/irrigated
5 through project landscape plans. All plans must be approved by the City Engineer and a
6 pre-construction meeting held, prior to the start of any improvements.

7 67. Open space areas and down-sloped areas visible from a collector-level or above roadway
8 and not readily maintained by the property owner, shall be maintained by a homeowners'
9 association that will insure installation and maintenance of landscaping in perpetuity.
10 These areas shall be indicated on the final map and reserved for an association.

11 68. Future buyers shall be made aware of any estimated monthly costs. The disclosure,
12 together with the CC&R's, shall be submitted to the City Engineer for review prior to the
13 recordation of final map.

14 69. The drainage design on the tentative map is conceptual only. The final design shall be
15 based upon a hydrologic/hydraulic study to be approved by the City Engineer during
16 final engineering. All drainage picked up in an underground system shall remain
17 underground until it is discharged into an approved channel, or as otherwise approved by
18 the City Engineer. All public storm drains shall be shown on City standard plan and
19 profile sheets. All storm drain easements shall be dedicated where required. The
20 developer shall be responsible for obtaining any off-site easements for storm drainage
21 facilities.

22 70. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and
23 disposed of in accordance with all state and federal requirements, prior to stormwater
24 discharge either off-site or into the City drainage system.

25 71. The development shall comply with all applicable regulations established by the United
26 States Environmental Protection Agency (USEPA) as set forth in the National Pollutant
27 Discharge Elimination System (NPDES) permit requirements for urban runoff and
28 stormwater discharge and any regulations adopted by the City pursuant to the NPDES
29 regulations or requirements. Further, the developer may be required to file a Notice of

1 Intent with the State Water Resources Control Board to obtain coverage under the
2 NPDES. General Permit for Storm Water Discharges Associated with Construction
3 Activity and may be required to implement a Storm Water Pollution Prevention Plan
4 (SWPPP) concurrent with the commencement of grading activities. SWPPPs include
5 both construction and post construction pollution prevention and pollution control
6 measures and identify funding mechanisms for post construction control measures. The
7 developer shall comply with all the provisions of the Clean Water Program during and
8 after all phases of the development process, including but not limited to: mass grading,
9 rough grading, construction of street and landscaping improvements, and construction of
10 dwelling units. The developer shall design the Project's storm drains and other drainage
11 facilities to include Best Management Practices to minimize non-point source pollution,
12 satisfactory to the City Engineer.

13 72. Upon acceptance of any fee waiver or reduction by the developer/subdivider, the entire
14 project will be subject to prevailing wage requirements as specified by Labor Code
15 section 1720(b)(4). The developer/subdivider shall agree to execute a form
16 acknowledging the prevailing wage requirements prior to the granting of any fee
17 reductions or waivers.

18 73. The developer shall prepare an Operations & Maintenance (O&M) Plan and submit it to
19 the City Engineer with the first submittal of engineering plans. The O&M Plan shall be
20 prepared by the developer's Civil Engineer. It shall be directly based on the project's
21 Storm Water Mitigation Plan (SWMP) previously approved by the project's approving
22 authority (Planning Commission/City Council). At a minimum the O&M Plan shall
23 include the designated responsible parties to manage the storm water BMP(s),
24 employee's training program and duties, operating schedule, maintenance frequency,
25 routine service schedule, specific maintenance activities, copies of resource agency
26 permits, cost estimate for implementation of the O&M Plan and any other necessary
27 elements.

28 74. The developer shall enter into a City-Standard Stormwater Facilities Maintenance
29 Agreement with the City obliging the project proponent to maintain, repair and replace

1 the Storm Water Best Management Practices (BMPs) identified in the project's approved
2 Storm Water Mitigation Plan (SWMP), as detailed in the O&M Plan into perpetuity.
3 The Agreement shall be approved by the City Attorney prior to issuance of any precise
4 grading permit and shall be recorded at the County Recorder's Office prior to issuance of
5 any building permit. Security in the form of cash (or certificate of deposit payable to the
6 City) or an irrevocable, City-Standard Letter of Credit shall be required prior to issuance
7 of a precise grading permit. The amount of the security shall be equal to 10 years of
8 maintenance costs, as identified by the O&M Plan. The developer's Civil Engineer shall
9 prepare the O&M cost estimate.

10 75. At a minimum, maintenance agreements shall require the staff training, inspection and
11 maintenance of all BMPs on an annual basis. The project proponent shall complete and
12 maintain O&M forms to document all maintenance activities. Parties responsible for the
13 O&M plan shall retain records at the subject property for at least 5 years. These
14 documents shall be made available to the City for inspection upon request at any time.

15 76. The Agreement shall include a copy of executed on-site and off-site access easements
16 necessary for the operation and maintenance of BMPs that shall be binding on the land
17 throughout the life of the project to the benefit of the party responsible for the O&M of
18 BMPs, until such time that the storm water BMP requiring access is replaced,
19 satisfactory to the City Engineer. The agreement shall also include a copy of the O&M
20 Plan approved by the City Engineer.

21 77. The BMPs described in the project's approved Storm Water Mitigation Plan (SWMP)
22 shall not be altered in any way, shape or form without formal approval by either an
23 Administrative Substantial Conformance issued by the Planning Division or the project's
24 final approving authority (Planning Commission/City Council) at a public hearing. The
25 determination of whatever action is required for changes to a project's approved SWMP
26 shall be made by the Development Services Department/Planning Division.
27
28
29

1 **Planning:**

2 78. This Tentative Subdivision Map (T-15-05), Development Plan (D-35-05) and
3 Conditional Use Permit (C-59-05) approvals shall lapse two years after the effective date
4 of approval.

5 a) Unless a grading permit has been issued and grading has been substantially
6 completed and or a building permit has been issued, and construction diligently
7 pursued; or an occupancy permit has been issued; or

8 b) Unless a time extension is granted by the Planning Commission.

9 c) The Development Plan (D-35-05) shall be effective for an additional 24 months
10 from the date of recordation of the Final Map.
11

12 79. This Development Plan (D-35-05) and Conditional Use Permit (C-59-05) approve only
13 seven single-family homes as shown on the plans and exhibits presented to the Planning
14 Commission for review and approval. No deviation from these approved plans and
15 exhibits shall occur without Planning Division approval. Substantial deviations shall
16 require a revision to the D-35-05 and C-59-05 or a new Development Plan and
17 Conditional Use Permit.

18 80. A covenant or other recordable document approved by the City Attorney shall be
19 prepared by the property owner and recorded prior to the approval of the Final Map. The
20 covenant shall provide that the property is subject to this resolution, and shall generally
21 list the conditions of approval.

22 81. Prior to the transfer of ownership and or operation of the site the owner shall provide a
23 written copy of the applications, staff report and resolutions for the project to the new
24 owner and or operator. This notification's provision shall run with the life of the project
25 and shall be recorded as a covenant on the property.

26 82. Failure to meet any conditions of approval for this development shall constitute a
27 violation of the Tentative Subdivision Map, Development Plan and Conditional Use
28 Permit.
29

1 83. Unless expressly waived, all current zoning standards and City ordinances and policies
2 in effect at the time building permits are issued are required to be met by this project.
3 The approval of this project constitutes the property owner's and developer's agreement
4 with all statements in the Description and Justification, and other materials and
5 information submitted with this application, unless specifically waived by an adopted
6 condition of approval.

7 84. The street name for the cul-de-sac shall be approved by the Development Services
8 Department/Planning Division prior to the approval of the Final Map.

9 85. The developer is prohibited from entering into any agreement with a cable television
10 franchisee of the City, which gives such franchisee exclusive rights to install, operate,
11 and or maintain its cable television system in the development.

12 86. This project is subject to the provisions of Chapter 14C of the City Code regarding
13 Inclusionary Housing.

14 87. This project shall comply with all provisions of the City's Affirmative Fair Housing
15 Marketing Agreement policy. Such agreement shall be submitted to and approved by the
16 Housing and Neighborhood Services Director prior to the recordation of a Final Map or
17 the issuance of a building permit for the project, whichever comes first.

18 88. Future residential units shall meet the following development standards: minimum unit
19 sizes range from 2,393 to a maximum of 2,429 square feet; 2 stories; 5 bedrooms with
20 three-car garages; setbacks include 20-foot required front yards, 7.5-foot required side
21 yards, 10-foot required corner side yards, and 15-foot required back yards; 36-foot
22 maximum residential structural height; 45 percent maximum lot coverage.

23 89. The proposed residential unit mix and size shall be as follows:
24
25

Plan Type	Bedrooms	Baths	Garage	Units
3,087 SF total	5 bed	3 bath	3 car	3
3,061 SF total	5 bed	3 bath	3 car	4

1 90. The property owner, permittee or any successor-in-interest shall defend, indemnify and
2 old harmless the City of Oceanside, its agents, officers or employees from any claim,
3 action or proceeding against the City, its agents, officers, or employees to attack, set
4 aside, void or annul an approval of the City, concerning Tentative Subdivision Map (T-
5 15-05), Development Plan (D-35-05) and Conditional Use Permit (C-59-05). The City
6 will promptly notify the property owner of any such claim, action or proceeding against
7 the city and will cooperate fully in the defense. If the City fails to promptly notify the
8 applicant of any such claim action or proceeding or fails to cooperate fully in the
9 defense, the applicant shall not, thereafter, be responsible to defend, indemnify or hold
10 harmless the City.

11 91. The property owner shall disclose yard requirements to the buyer of each lot. Lots 1, 2,
12 3, 4, 6, and 7 have proposed locating the structures in close proximity to required yards
13 and therefore, reduce the potential (or eliminate the opportunity) for nonresidential
14 accessory structures (e.g. patio covers) in some of the side and or rear yards.

15 92. The side and rear facades of the proposed structures shall have the same architectural
16 details as the front of the structures.

17 **Environmental Mitigation Monitoring Measures**

18 93. A licensed arborist will document the type, circumference, and dripline of existing tress
19 with a trunk diameter of 10-inches or more, measured 24 inches above existing grade.
20 Any recommendation to remove a tree due to structure and or disease shall be supported
21 by a report from a licensed arborist. In addition, the licensed arborist shall also make
22 recommendations on methods of grading when said proposed grading occurs within 20-
23 feet of the dripline of any saved tree. Each inch of tree caliper removed from the site
24 shall be replaced on-site in accordance with the Development Services
25 Department/Engineering Division tree caliper replacement schedule.

26 94. If the remains are determined to be prehistoric, the Coroner will notify the Native
27 American Heritage Commission (NAHC) which will determine and notify a Most Likely
28 Descendant (MLD). With the permission of the landowner or their authorized
29 representative, the MLD may inspect the site of the discovery, and shall complete the

1 inspection within 24 hours of notification by the NAHC. The MLD will have the
2 opportunity to make recommendations to the NAHC on the disposition of the remains.

3 95. In the event any subsurface archaeological resources are encountered during grading or
4 construction activities, such activities in the locality of the find shall be halted
5 immediately. An archaeologist, certified by the Society of Professional Archaeologists
6 (SOPA), shall be brought in to determine the significance of the archaeological resource
7 and implement appropriate mitigations prior to recommending earthwork.

8 96. If archaeological materials are encountered, their importance must be evaluated to assess
9 the significance of impacts. If significant cultural resources are encountered, mitigation
10 would be accomplished through documentation and excavation of features, cataloging
11 and analysis of cultural material collected, and preparation of a report detailing the
12 methods and results of the monitoring/data recovery program.

13 97. Prior to the issuance of Building Permits, the applicant shall demonstrate adherence with
14 the current UBC design criteria relative to seismic events.

15 98. Prior to the issuance of Building Permits, the applicant shall demonstrate conformance
16 with standard engineering practices and design criteria known to reduce the effects of
17 seismic ground shaking to less than significant levels (Construction Testing &
18 Engineering, Inc.: Geotechnical Investigation dated 10-21-2005).

19 99. Prior to the issuance of grading permits, the applicant shall submit plans that
20 demonstrate to the satisfaction of the City Engineer that site stabilization and soil
21 compaction requirements required by project geotechnical investigation have been
22 addressed. Prior to the issuance of Building Permits, the applicant shall submit plans
23 that comply with the most recent UBC and the City's Seismic Hazard Mitigation
24 Ordinance and reduce seismic impacts to less than significant levels (Construction
25 Testing & Engineering, Inc.: Geotechnical Investigation dated 10-21-2005).

26 100. An erosion and sediment control plan shall be prepared and submitted for review and
27 approval prior to issuance of grading permit. The plan shall outline methods that shall
28 be implemented to control erosion from graded or cleared portions of the site, including
29 but not limited to straw bales, sandbags, soil binders, diversion fences, desilting basins,

1 etc. The Plan shall be prepared in accordance with the City's grading ordinance, the
2 City's water quality ordinance, the latest NPDES Permit and to the satisfaction of the
3 City Water Quality Engineer (Spear & Associates, Inc.: Storm Water Management Plan).

4 101. Prior to issuance of grading plans, the applicant shall demonstrate compliance with the
5 Storm Water Management Plan (SWMP).

6 102. Noise sources associated with construction, repairs, remodeling, or the grading of any
7 real property, shall not be exempt from the provisions of the City's noise code.
8 Construction is prohibited at any time on Sunday or a Federal holiday.

9 103. Equipment will use available noise suppression devices and properly maintained
10 mufflers. Construction noise will be reduced by using quiet or "new technology",
11 equipment, particularly the quieting of exhaust noises by use of improved mufflers
12 where feasible. All internal combustion engines used at the project site will be equipped
13 with the type of muffler recommended by the vehicle manufacturer. In addition, all
14 equipment will be maintained in good mechanical condition so as to minimize noise
15 created by faulty or poorly maintained engine, drive-train and other components.

16 104. During all site preparation, grading and construction, contractors shall minimize the
17 staging of construction equipment and unnecessary idling of equipment in the vicinity of
18 residential land uses.

19 105. The equipment staging area will be situated so as to provide the greatest distance
20 separation between construction-related noise sources and noise-sensitive receptors
21 nearest the project site during all project construction.

22 106. Temporary walls, barriers, and or enclosures will be erected around stationary
23 construction equipment when such equipment will be operated for an extended period of
24 time and where there are noise sensitive receptors substantially affected. Noise barriers
25 and enclosures will consist of absorptive material in order to prevent impacts upon other
26 land uses due to noise reflection. In addition, complete enclosure structures will close or
27 secure any openings where pipes, hoses or cables penetrate the enclosure structure.
28
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1 107. Notification will be given to residences within 91 meters (300 feet) of planned
2 construction activities 30 days prior to commencement of demolition activity, and will
3 include a brief description of the project, the overall duration of the various construction
4 stages, noise abatement measures that will taken, and the name and phone number of the
5 construction site supervisor or their designee to report any violation of a noise or
6 mitigation standard.

7 **Water Utilities:**

8 108. The developer will be responsible for developing all water and sewer utilities necessary
9 to develop the property. Any relocation of water and/or sewer utilities is the
10 responsibility of the developer and shall be done by an approved licensed contractor at
11 the developer's expense.

12 109. The property owner will maintain private water and wastewater utilities located on
13 private property.

14 110. Water services and sewer laterals constructed in existing right-of-way locations are to be
15 constructed by approved and licensed contractors at developer's expense.

16 111. All Water and Wastewater construction shall conform to the most recent edition of the
17 Water, Sewer, and Reclaimed Water Design and Construction Manual or as approved by
18 the Water Utilities Director.

19 112. The following conditions shall be met prior to the approval of engineering design plans:
20 All public water and/or sewer facilities not located within the public right-of-way shall
21 be provided with easements sized according to the Water, Sewer, and Reclaimed Water
22 Design and Construction Manual. Easements shall be constructed for all weather access.

23 113. The following conditions shall be met prior to the approval of engineering design plans:
24 No trees, structures or building overhang shall be located within any water or wastewater
25 utility easement. Trees may be spot located with the approval of the landscape inspector
26 and in consultation with the Water Utilities Department.

27 114. The following condition shall be met prior to the approval of engineering design plans:
28 All lots with a finish pad elevation located below the elevation of the next upstream
29

1 manhole cover of the public sewer shall be protected from backflow of sewage by
2 installing and maintaining an approved type backwater valve, per the Uniform Plumbing
3 Code (UPC).

4 115. The following conditions shall be met prior to the approval of engineering design plans:
5 The developer shall construct a public reclamation water system that will serve each lot
6 and or parcels that are located in the proposed project in accordance with the City of
7 Oceanside Ordinance No. 91-15. The proposed reclamation water system shall be
8 located in the public right-of-way or in a public utility easement.

9 116. The following condition shall be met prior to building permit issuance: Water and
10 Wastewater Buy-in fees and the San Diego County Water Authority Fees are to be paid
11 to the City and collected by the Water Utilities Department at the time of Building
12 Permit issuance.

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1 117. The following condition shall be met prior to occupancy: All new development of
2 single-family and multi-family residential units shall include hot water pipe insulation
3 and installation of a hot water recirculation device or design to provide hot water to the
4 tap within 15 seconds in accordance with City of Oceanside Ordinance No. 02-OR126-1.

5 PASSED AND ADOPTED Resolution No. 2007-P58 on November 19, 2007 by the
6 following vote, to wit:

7 AYES:

8 NAYS:

9 ABSENT:

10 ABSTAIN:

11
12 _____
13 Dennis Martinek, Chairman
14 Oceanside Planning Commission

15 ATTEST:

16 _____
17 Jerry Hittleman, Secretary

18 I, JERRY HITTLEMAN, Secretary of the Oceanside Planning Commission, hereby certify that
19 this is a true and correct copy of Resolution No. 2007-P58.

20
21 Dated: November 19, 2007



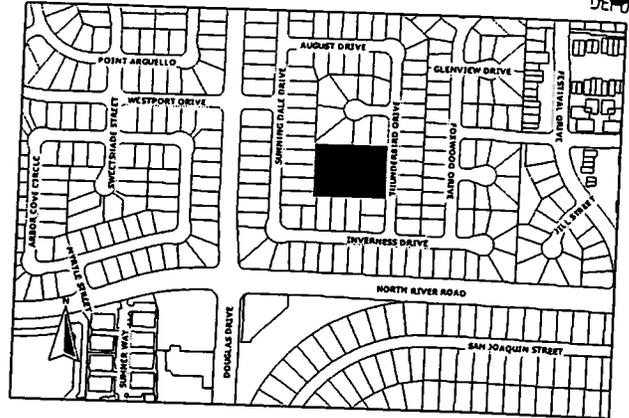
FILED
Gregory J. Smith, Recorder/County Clerk

NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION
City of Oceanside

SEP 19 2007

BY D. Fickess

Subject: T-15-05, D-35-05, C-59-05
Thunderbird Road
Subdivision: a proposed 7-Lot residential subdivision of a 1.6-acre lot located 683 Thunderbird Drive (Assessor Parcel Number: 157-520-64-00)



NOTICE IS HEREBY GIVEN that the City of Oceanside has prepared and intends to adopt a Mitigated Negative Declaration in connection with the subject project. The Mitigated Negative Declaration identifies potential effects with respect to aesthetics, biological resources, cultural resources, geological, water, and noise. The Mitigated Negative Declaration also includes proposed mitigation measures that will ensure that the proposed project will not result in any significant, adverse effects on the environment. The City's decision to prepare a Mitigated Negative Declaration should not be construed as a recommendation of either approval or denial of this project.

PROJECT DESCRIPTION: This project is a 7 lot subdivision with a cul-de-sac on an existing 1.6 acre lot in the RS District (Single-family Residential District).

PUBLIC REVIEW PERIOD: the public review period is from Friday, September 21, 2007 to Thursday, October 11, 2007.

PROJECT MANAGER: Juliana von Hacht, Associate Planner; phone: (760) 435-3520; Fax number: (760) 754-2958; mailing address: Planning Division, 300 N. Coast Hwy., Oceanside, CA 92054.

NOTICE IS FURTHER GIVEN that the City invites members of the general public to review and comment on this environmental documentation. Written comments may be mailed or faxed to the Juliana von Hacht. Copies of the Mitigated Negative Declaration and supporting documents are available for public review and inspection at the Planning Division located in City Hall at, 300 N. Coast Hwy., Oceanside, CA 92054. The City's Planning Commission will conduct a public hearing at a future date to be determined. You will receive a separate public notice for those hearings. If you challenge this project in court, you may be limited to raising only those issues you or someone else raised during the public review period on the proposed Mitigated Negative Declaration (MND) or at the future public hearings.


By order of Jerry Hittleman, City Planner

FILED IN THE OFFICE OF THE COUNTY CLERK
San Diego County on SEP 19 2007
Posted SEP 19 2007 Removed _____
Returned to agency on _____
Deputy D. Fickess



The following are mitigation measures proposed for T-15-05, D-35-05, and C-59-05 Thunderbird Road Subdivision.

AES-01 A licensed arborist will document the type, circumference, and dripline of existing tress with a trunk diameter of 10-inches or more, measured 24 inches above existing grade.

Any recommendation to remove a tree due to structure and or disease shall be supported by a report from a licensed arborist. In addition, the licensed arborist shall also make recommendations on methods of grading when said proposed grading occurs within 20-feet of the dripline of any saved tree. Each inch of tree caliper removed from the site shall be replaced on-site in accordance with the Engineering Department tree caliper replacement schedule.

- BIO-01** A licensed arborist will document the type, circumference, and dripline of existing tress with a trunk diameter of 10-inches or more, measured 24 inches above existing grade. Any recommendation to remove a tree due to structure and or disease shall be supported by a report from a licensed arborist. In addition, the licensed arborist shall also make recommendations on methods of grading when said proposed grading occurs within 20-feet of the dripline of any saved tree. Each inch of tree caliper removed from the site shall be replaced on-site in accordance with the Engineering Department tree caliper replacement schedule.
- CR-1** If the remains are determined to be prehistoric, the Coroner will notify the Native American Heritage Commission (NAHC) which will determine and notify a Most Likely Descendant (MLD). With the permission of the landowner or their authorized representative, the MLD may inspect the site of the discovery, and shall complete the inspection within 24 of notification by the NAHC. The MLD will have the opportunity to make recommendations to the NAHC on the disposition of the remains.
- CR-2** In the event any subsurface archaeological resources are encountered during grading or construction activities, such activities in the locality of the find shall be halted immediately. An archaeologist, certified by the Society of Professional Archaeologists (SOPA), shall be brought in to determine the significance of the archaeological resource and implement appropriate mitigations prior to recommending earthwork.
- CR-3** If archaeological materials are encountered, their importance must be evaluated to assess the significance of impacts. If significant cultural resources are encountered, mitigation would be accomplished through documentation and excavation of features, cataloging and analysis of cultural material collected, and preparation of a report detailing the methods and results of the monitoring/data recovery program.
- GEO-1** Adherence with the current UBC design criteria relative to seismic events would reduce impacts to less than significant levels.
- GEO-2** Conformance with standard engineering practices and design criteria would reduce the effects of seismic ground shaking to less than significant levels (Construction Testing & Engineering, Inc.: Geotechnical Investigation dated 10-21-2005).
- GEO-3** Site stabilization and soil compaction requirements required by project geotechnical investigation and design parameters established by the most recent UBC and the City's Seismic Hazard Mitigation Ordinance would reduce any potential impacts to less than significant levels (Construction Testing & Engineering, Inc.: Geotechnical Investigation dated 10-21-2005).
- GEO-4** An erosion and sediment control plan shall be prepared and submitted for review and approval prior to issuance of grading permit. The plan shall outline methods that shall be implemented to control erosion from graded or cleared portions of the site, including but not limited to straw bales, sandbags, soil binders, diversion fences, desilting basins, etc. The Plan shall be prepared in accordance with the City's grading ordinance, the City's water quality ordinance, the latest NPDES Permit and to the

- N-4** The equipment staging area will be situated so as to provide the greatest distance separation between construction-related noise sources and noise-sensitive receptors nearest the project site during all project construction.
- N-5** Temporary walls, barriers, and or enclosures will be erected around stationary construction equipment when such equipment will be operated for an extended period of time and where there are noise sensitive receptors substantially affected. Noise barriers and enclosures will consist of absorptive material in order to prevent impacts upon other land uses due to noise reflection. In addition, complete enclosure structures will close or secure any openings where pipes, hoses or cables penetrate the enclosure structure.
- N-6** Notification will be given to residences within 91 meters (300 feet) of planned construction activities thirty (30) days prior to commencement of demolition activity, and will include a brief description of the project, the overall duration of the various construction stages, noise abatement measures that will be taken, and the name and phone number of the construction site supervisor or their designee to report any violation of a noise or mitigation standard.
- N-7** Noise sources associated with construction, repairs, remodeling, or the grading of any real property, shall not be exempt from the provisions of the City's noise code if conducted from 7:00 a.m. to 6:00 p.m. on Monday through Friday, or from 8:30 a.m. to 4:30 p.m. on Saturday. Construction is prohibited at any time on Sunday or a Federal holiday.
- N-8** Equipment will use available noise suppression devices and properly maintained mufflers. Construction noise will be reduced by using quiet or "new technology", equipment, particularly the quieting of exhaust noises by use of improved mufflers where feasible. All internal combustion engines used at the project site will be equipped with the type of muffler recommended by the vehicle manufacturer. In addition, all equipment will be maintained in good mechanical condition so as to minimize noise created by faulty or poorly maintained engine, drive-train and other components.
- N-9** During all site preparation, grading and construction, contractors shall minimize the staging of construction equipment and unnecessary idling of equipment in the vicinity of residential land uses.
- N-10** The equipment staging area will be situated so as to provide the greatest distance separation between construction-related noise sources and noise-sensitive receptors nearest the project site during all project construction.
- N-11** Temporary walls, barriers, and or enclosures will be erected around stationary construction equipment when such equipment will be operated for an extended period of time and where there are noise sensitive receptors substantially affected. Noise barriers and enclosures will consist of absorptive material in order to prevent impacts upon other land uses due to noise reflection. In addition, complete enclosure structures will close or secure any openings where pipes, hoses or cables penetrate the enclosure structure.
- N-12** Notification will be given to residences within 91 meters (300 feet) of planned construction activities thirty (30) days prior to commencement of demolition activity, and will include a brief description of the project, the overall duration of the various construction stages, noise abatement measures that will be taken, and the name and phone number of the construction site supervisor or his designee to report any violation of a noise or mitigation standard.



INITIAL STUDY City of Oceanside California

1. **PROJECT:** T-15-05, D-35-05, C-59-05 Thunderbird Road Subdivision
2. **LEAD AGENCY:** City of Oceanside
3. **CONTACT PERSON & PHONE:** Juliana von Hacht (760) 435-3520
4. **PROJECT LOCATION:** 683 Thunderbird Drive, Oceanside, California
5. **APPLICANT:** Thunderbird 683, L.P.
6. **GENERAL PLAN DESIGNATION:** Single-family Residential (SFD-R)
7. **ZONING:** Single-family Residential District (RS)
8. **PROJECT DESCRIPTION:** 7-lot residential subdivision
9. **SURROUNDING LAND USE(S) & PROJECT SETTING:** Single-family
10. **OTHER REQUIRED AGENCY APPROVALS:** None
11. **PREVIOUS ENVIRONMENTAL DOCUMENTATION:** None
12. **CONSULTATION:**

Archaeos: Historical Architectural Building Assessment dated 9-8-2005
ASM Affiliates, Inc.: Cultural Resource Survey dated 12-2006
Construction Testing & Engineering, Inc.: Geotechnical Investigation dated 10-21-05
Spear & Associates, Inc.: Storm Water Management Plan dated 6-8-2007
Harvey-Meyerhoff Consulting Group: Traffic Consultation
E. Robert Bichowsky: Tree Survey dated 10-27-2006
Darsono Design Associates, Inc.: Landscape Concept plan
Harvey-Meyerhoff Consulting Group: Environmental Consultants
Institute of Traffic Engineers: Trip Generation Manual, 7th edition.
City of Oceanside Noise Ordinance
U.S. Environmental Protection Agency: Clean Water Act
Regional Water Quality Control Board (RWQCB)
City of Oceanside General Plan
California Geological Survey
State Health and Safety Code Section 7050.5
California Environmental Quality Act (CEQA): Guidelines, Appendix G
Clean Water Act Section 404
Biological Resources Report
San Diego Air Pollution Control Board (SDAPCB) and Regional Air Quality Strategy (RAQS)
South Coast Air Quality Management District (SCAQMD) –CEQA Air Quality Handbook
City of Oceanside Zoning Ordinance
Preliminary Hazardous Materials Assessment
Public Resources Code: Section 5097.93

California Government Code: Section 65962.5

13. SUMMARY OF ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED: The project would not affect any environmental factors resulting in a Potentially Significant Impact or a Potentially Significant Impact Unless Mitigated.

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> Aesthetics | <input type="checkbox"/> Agricultural | <input type="checkbox"/> Air Quality |
| <input checked="" type="checkbox"/> Biological Resources | <input checked="" type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Geological |
| <input type="checkbox"/> Hazards | <input checked="" type="checkbox"/> Water | <input type="checkbox"/> Land Use & Planning |
| <input type="checkbox"/> Mineral Resources | <input checked="" type="checkbox"/> Noise | <input type="checkbox"/> Population & Housing |
| <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Utilities Systems | | |

14. ENVIRONMENTAL CHECKLIST

This section analyzes the potential environmental impacts which may result from the proposed project. For the evaluation of potential impacts, the questions in the Initial Study Checklist (Section 2) are stated and answers are provided according to the analysis undertaken as part of the Initial Study. The analysis considers the project's short-term impacts (construction-related), and its operational or day-to-day impacts. For each question, there are four possible responses. They include:

1. No Impact. Future development arising from the project's implementation will not have any measurable environmental impact on the environment and no additional analysis is required.
2. Less Than Significant Impact. The development associated with project implementation will have the potential to impact the environment; these impacts, however, will be less than the levels or thresholds that are considered significant and no additional analysis is required.
3. Potentially Significant Unless Mitigated. The development will have the potential to generate impacts which may be considered as a significant effect on the environment, although mitigation measures or changes to the project's physical or operational characteristics can reduce these impacts to levels that are less than significant.
4. Potentially Significant Impact. Future implementation will have impacts that are considered significant, and additional analysis is required to identify mitigation measures that could reduce these impacts to less than significant levels.

	Potentially Significant	Potentially Significant Unless Mit.	Less than Significant	No Impact
14.1 AESTHETICS. Would the project:				
a. Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Substantially damage scenic resources, including, but not limited to trees, rock outcroppings, and historic building along a State-designated scenic highway?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Substantially degrade the existing visual character or quality of the site and its surroundings?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- a) *Have a substantial adverse effect on a scenic vista? **No Impact.*** Short-term construction-related aesthetic impacts would consist primarily of grading activities, the presence of construction equipment, and additional signage and warning markers on roadways. No valuable aesthetic resources would be destroyed as a result of construction-related activities. These short-term impacts are temporary and would cease upon project completion.

Physical design attributes of the project will minimize aesthetic impacts. These design attributes include the incorporation of landscape screening to substantially minimize visual impacts to surrounding areas. Landscape screening includes, but is not limited to, trees and natural vegetation, and the general enhancement of the site's aesthetics by using color selections for building materials that are compatible with the surrounding environment. Landscaping treatments are anticipated to include species similar to those surrounding the existing project site.

The proposed project design features and landscape screening would result in the project having no significant aesthetic impacts.

- b) *Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway? **Potentially Significant Unless Mitigated.*** Scenic resources, including rock outcroppings or historic buildings are not present on-site. Existing trees to be removed requiring mitigation will be mitigated on-site. In addition, the project site is not situated within a state scenic highway (Harvey-Meyerhoff Consulting Group: traffic consultation, E. Robert Bichowsky: Tree Survey dated 10-27-2006 and Darsono Design Associates, Inc.: landscape concept plan)

Mitigation Measures:

AES-01 A licensed arborist will document the type, circumference, and dripline of existing trees with a trunk diameter of 10-inches or more, measured 24 inches above existing grade. Any recommendation to remove a tree due to structure and or disease, shall be supported by a report from a licensed arborist. In addition, the licensed arborist shall also make recommendations on methods of grading when said proposed grading occurs within 20-feet of the dripline of any saved tree. Each inch of tree caliper removed from the site shall be replaced on-site in accordance with the Engineering Department tree caliper replacement schedule.

- c) *Substantially degrade the existing visual character or quality of the site and its surroundings?* **No Impact.** The project will not degrade the existing visual character or quality of the site and its surroundings due to the lack of existing scenic resources. The existing trees of significance requiring mitigation will be mitigated on-site together with additional trees as required by City Development standards (E. Robert Bichowsky: Tree Survey dated 10-27-2006 and Darsono Design Associates, Inc.: landscape concept plan).
- d) *Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?* **No Impact.** The proposed project would create no new significant source of lighting. Oceanside Zoning Ordinance requires lighting be shield luminaries with glare control to prevent light spillover onto adjacent areas.

	Potentially Significant Impact	Potentially Significant Unless Mit.	Less than Significant Impact	No Impact
14.2 AGRICULTURAL RESOURCES. Would the project:				
a. Convert Prime Farmland, Unique Farmland, Farmland of Statewide Importance as depicted on maps prepared pursuant to the Farmland Mapping and Monitoring Program of the CA. Resources Agency?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict with existing zoning for agricultural use, or a Williamson Act Contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- a) *Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? **No Impact.*** Designated land uses within the project area do not include agricultural uses and project implementation would not result in conversion of existing farmland to non-agricultural uses. Therefore, the project does not affect an agricultural resource area and thus does not impact designated Prime Farmland, Unique Farmland, or Farmland of Statewide Importance.
- b) *Conflict with existing zoning for agricultural use, or a Williamson Act contract? **No Impact.*** The proposed project is located in an area zoned for low-density residential uses; agricultural designations do not occur within the project area and no Williamson Act contracts apply. Therefore, implementation of the project would not result in any conflicts with existing zoning for agricultural use or a Williamson Act Contract. No impacts are anticipated in this regard.
- c) *Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use? **No Impact.*** The proposed project area is not located within an agricultural area. No impacts are anticipated in this regard.

	Potentially Significant Impact	Potentially Significant Unless Mit.	Less than Significant Impact	No Impact
14.3 AIR QUALITY. Would the project:				
a. Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Violate an air quality standard or contribute to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under the applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- a) *Conflict with or obstruct implementation of the applicable air quality plan? **Less than Significant Impact.***
 The project site is located within the San Diego Air Basin (SDAB), which is governed by the San Diego Air Pollution Control Board (SDAPCB). A consistency determination is important in local agency project review by comparing local planning projects to the Regional Air Quality Strategy (RAQS) in several ways. It fulfills the California Environmental Quality Act (CEQA) goal of fully informing local agency decision makers of the environmental costs of the project under consideration at a stage early enough to ensure that air quality concerns are addressed. Only new or amended General Plan elements, Specific Plans and significantly unique projects need to go under a consistency review due to the RAQS being based on projections from local General Plans. Therefore, projects that are consistent with the local General Plan and do not create significant air quality impacts are considered consistent with the air quality-related regional plan. The proposed project is consistent with the goals of the City of Oceanside General Plan and would not produce long-term significant quantities of criteria pollutants or violate ambient air quality standards. The proposed project is considered to be consistent with the RAQS and a more detailed consistency analysis is not warranted.
- b) *Violate any air quality standard or contribute substantially to an existing or projected air quality violation? **Less than Significant Impact.*** The South Coast Air Quality Management District (SCAQMD) CEQA Air Quality Handbook contains screening tables to provide guidance to local governments regarding the various types/amounts of land uses which may exceed state or federal air quality standards and would, therefore, result in potentially significant air quality impacts. Two different screening significance thresholds are provided and include: 1) Construction thresholds; and 2) operation thresholds. The construction and operations significance thresholds, as applicable to the proposed project, are discussed below. If the use proposes development in excess of the screening threshold, a significant air quality impact may occur and additional analysis is warranted to fully assess the significance of impacts.

CONSTRUCTION EMISSIONS

Short-term minor impacts associated with the construction phases may result in local nuisances associated with increased dust/particulate levels. Construction activities would result in criteria pollutant emissions from stationary and mobile equipment, including material delivery trucks and worker vehicles to and from the project site. This would be a temporary construction impact, which would exist on a short-term basis during construction and would cease upon completion of construction. Adherence to standard

dust control procedures would reduce potential construction-related air quality impacts to less than significant levels. Temporary construction related air quality impacts would include:

- Particulate (fugitive dust and PM₁₀) emissions from clearing and grading activities on-site;
- Off-site air pollutant emissions at the power plant(s) serving the site, while temporary power lines are needed to operate construction equipment and provide lighting;
- Exhaust emissions and potential odors from the construction equipment used on-site as well as the vehicles used to transport materials to and from the site; and
- Exhaust emissions from the motor vehicles of the construction crew.

Construction emissions (PM₁₀, ROG, CO and NO_x) are estimated for the following types of emissions:

- Site grading equipment exhaust and fugitive dust;
- Demolition;
- Asphalt paving;
- Stationary equipment; and
- Mobile equipment

Due to the relatively limited scale of construction required for the proposed project, construction related emissions will not exceed SDAPCB threshold criteria for significant air quality impacts (refer to Table 1 & Table 2 below).

Table 1 SDAPCD Construction Emission Thresholds

Pollutant	Construction Emissions Threshold	
	Quarterly	Daily
Reactive Organic Compounds	2.5 tons	75 pounds
Nitrogen Oxides	2.5 tons	100 pounds
Carbon Monoxide	24.75 tons	550 pounds
Fine Particulate Matter	6.75 tons	150 pounds

Table 2 Daily Construction Emissions

Pollutant	Total Project Emissions (lbs/day)	SCAQMD Thresholds (lbs/day)	Threshold Exceeded? Yes/No
Carbon Monoxide (CO)	14	550	No
Reactive Organic Gases (ROG)	5	75	No
Nitrogen Oxides (NO _x)	28	100	No
Fine Particulate Matter (PM ₁₀)	<1	150	No

- Emissions calculated using the URBEMIS2007 Computer Model.
- Calculations include emissions from numerous sources including: site grading, construction worker trips, stationary equipment, diesel mobile equipment, truck trips, and asphalt off gassing.
- Refer to Appendix A, *AIR QUALITY DATA*, for assumptions used in this analysis.

Based on this analysis, the project construction will not exceed Regional Air Quality Strategy thresholds and therefore, will not violate State or Federal air quality standards or contribute to an existing air quality violation in the air basin as only minor amounts of earth movement is proposed. However, in order to further reduce construction equipment operational emissions, all vehicles and construction equipment would be required to be equipped with state-mandated emission control devices. Therefore, project implementation would not result in locally elevated levels of regulated air emissions in close proximity to sensitive receptors.

LONG-TERM OPERATIONAL EMISSIONS

Long-term air quality impacts consist of mobile source emissions generated from project-related traffic and stationary source emissions (generated directly from on-site activities and from the electricity and natural gas consumed). Following construction, the proposed project would generate stationary emissions or vehicular trips. Therefore, long-term emissions are not anticipated.

Due to the nature of the project, project-generated emissions from both construction activities and operations would not result in significant air quality impacts on a local or regional basis since State or Federal air quality thresholds or standards would not be exceeded.

- c) *Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)? **Less than Significant Impact.*** The project construction will not exceed Regional Air Quality Strategy thresholds and therefore, will not violate State or Federal air quality standards or contribute to an existing air quality violation in the air basin as only minor amounts of earth movement is proposed. However, in order to further reduce construction equipment operational emissions, all vehicles and construction equipment would be required to be equipped with state-mandated emission control devices; therefore, project implementation would not result in locally elevated levels of regulated air emissions in close proximity to sensitive receptors.
- d) *Expose sensitive receptors to substantial pollutant concentrations? **Less than Significant Impact.*** Sensitive populations (i.e., children, senior citizens and acutely or chronically ill people) are more susceptible to the effects of air pollution than are the general population. Land uses considered sensitive receptors typically include residences, schools, playgrounds, childcare centers, hospitals, convalescent homes, and retirement homes. The only sensitive receptors in proximity to the project site are residences. Although construction and operation of the project would increase vehicle trips on area roadways and result in associated air pollutants, these increases would not significantly contribute to pollution levels.
- e) *Create objectionable odors affecting a substantial number of people? **Less than Significant Impact.*** The proposed project would not create objectionable odors affecting a substantial number of people.

	Potentially Significant Impact	Potentially Significant Unless Mit.	Less than Significant Impact	No Impact
14.4 BIOLOGICAL RESOURCES. Would the project:				
a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or the USFWS?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game (DFG) or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Conflict with any local policies or ordinances protecting biological resources, such as tree preservation policy/ordinance?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- a) *Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or the U.S. Fish and Wildlife Service?* **No Impact.** The area of project impact will essentially be that area previously disturbed by previous site construction. There are no native vegetation or habitat existing within the project impact area; therefore, the proposed project would not have an adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service.
- b) *Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game (DFG) or U.S. Fish and Wildlife Service?* **No Impact.** According to the Biological Resources Report the site does not contain any federal or State jurisdictional areas. The proposed project would have no substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service. The project site is void of riparian corridors and sensitive habitat. Thus, no impacts to riparian habitat or sensitive natural communities are anticipated.
- c) *Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?* **No Impact.** No wetlands, as defined by Section 404 of the

Clean Water Act, exist or have been identified on-site or immediately adjoining the site. Thus, the project would not result in impacts to wetlands

- d) *Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?* **No Impact.** Project implementation would not interfere with the movement of any native resident or migratory fish or wildlife species, with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites, as none exist within the project area.
- e) *Conflict with any local policies or ordinances protecting biological resources, such as tree preservation policy/ordinance?* **Potentially Significant Unless Mitigated.** The project site is surrounded by developed suburban or urban land uses and ornamental vegetation. Any trees removed during construction will be mitigated per City requirements. The project will mitigate loss by tree removal with on-site mitigation (E. Robert Bichowsky: Tree Survey dated 10-27-2006 and Darsono Design Associates, Inc.: Landscape Concept Plan).

Mitigation Measures:

BIO-01 A licensed arborist will document the type, circumference, and dripline of existing trees with a trunk diameter of 10-inches or more, measured 24 inches above existing grade. Any recommendation to remove a tree due to structure and or disease, shall be supported by a report from a licensed arborist. In addition, the licensed arborist shall also make recommendations on methods of grading when said proposed grading occurs within 20-feet of the dripline of any saved tree. Each inch of tree caliper removed from the site shall be replaced on-site in accordance with the Engineering Department tree caliper replacement schedule.

- f) *Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?* **No Impact.** The project area is not situated in the Multiple Habitat Conservation Plan (MHCP).

	Potentially Significant Impact	Potentially Significant Unless Mit.	Less than Significant Impact	No Impact
14.5 CULTURAL RESOURCES. Would the project:				
a. Cause a substantial adverse change in the significance of a historical resource as defined in ' 15064.5 of CEQA?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Cause a substantial adverse change in the significance of an archaeological resource pursuant to ' 15064.5 of CEQA?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- a) *Cause a substantial adverse change in the significance of a historical resource as defined in ' 15064.5 of CEQA? **Less than Significant Impact.*** The existing project area has been completely disturbed. Based on Appendix G of the California Environmental Quality Act (CEQA) Guidelines, and the policies and regulations of the City of Oceanside, the project site and surrounding area are not designated as archaeological or historically sensitive areas.

A Cultural Resource Survey by ASM Affiliates, Inc. of Carlsbad, California and a historical building assessment by Archaeos of San Diego, California found that the proposed development would not result in significant impacts (Archaeos: Historical Architectural Building Assessment dated 9-8-2005 and ASM Affiliates, Inc.: Cultural Resource Survey dated December 2006).

- b) *Cause a substantial adverse change in the significance of an archaeological resource pursuant to ' 15064.5 of CEQA? **Less than Significant Impact.*** The existing project area has been completely disturbed. Based on Appendix G of the State CEQA Guidelines, and the policies and regulations of the City of Oceanside, the project site and surrounding area are not designated as archaeological or historically sensitive areas.

A Cultural Resource Survey by ASM Affiliates, Inc. of Carlsbad, California and a historical building assessment by Archaeos of San Diego, California found that the proposed development would not result in significant impacts (Archaeos: Historical Architectural Building Assessment dated 9-8-2005 and ASM Affiliates, Inc.: Cultural Resource Survey dated December 2006).

- c) *Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature? **Less than Significant Impact.*** Due to the project site's location and the extensive disturbance which has occurred on the property, there is no potential for sub-surface resources.

- d) *Disturb any human remains, including those interred outside of formal cemeteries? **Potentially Significant Unless Mitigated.*** There are no known grave sites within the project limits. Therefore, the disturbance of human remains is not anticipated. However, in the unlikely event that human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made a determination of origin and disposition pursuant to Public Resources Code Section 5097.98. The County Coroner must be notified of any human remains find immediately.

Mitigation Measures:

- CR-1** If the remains are determined to be prehistoric, the Coroner will notify the Native American Heritage Commission (NAHC) which will determine and notify a Most Likely Descendant (MLD). With the permission of the landowner or their authorized representative, the MLD may inspect the site of the discovery, and shall complete the inspection within 24 of notification by the NAHC. The MLD will have the opportunity to make recommendations to the NAHC on the disposition of the remains.
- CR-2** In the event any subsurface archaeological resources are encountered during grading or construction activities, such activities in the locality of the find shall be halted immediately. An archaeologist, certified by the Society of Professional Archaeologists (SOPA), shall be brought in to determine the significance of the archaeological resource and implement appropriate mitigations prior to recommending earthwork.
- CR-3** If archaeological materials are encountered, their importance must be evaluated to assess the significance of impacts. If significant cultural resources are encountered, mitigation would be accomplished through documentation and excavation of features, cataloging and analysis of cultural material collected, and preparation of a report detailing the methods and results of the monitoring/data recovery program.

	Potentially Significant Impact	Potentially Significant Unless Mit.	Less than Significant Impact	No Impact
14.6 GEOLOGY AND SOILS. Would the project:				
a. Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving (i.) rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist, or based on other substantial evidence of a known fault (Refer to DM&G Pub. 42)?; or, (ii) strong seismic ground shaking?; or, (iii) seismic-related ground failure, including liquefaction?; or, (iv) landslides?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on-site or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Be located on expansive soil, as defined in Table 18- 1-B of the 1994 UBC, creating substantial risks to life or property?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

a) *Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:*

1) *Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42. **Potentially Significant Unless Mitigated.*** The project site is located within the seismically active southern California region and would likely be subjected to ground shaking, thus exposing proposed water transmission and storage facilities to seismic hazards. No known active seismic faults traverse the City of Oceanside. Impacts are not anticipated to be significant (Construction Testing & Engineering, Inc.: Geotechnical Investigation dated 10-21-2005).

Mitigation measure:

GEO-1 Adherence with the current UBC design criteria relative to seismic events would reduce impacts to less than significant levels.

2) *Strong seismic ground shaking? **Less Than Significant Impact.*** Southern California is a seismically active region likely to experience, on average, one earthquake of Magnitude 7.0, and ten (10) earthquakes of Magnitude 6.0 over a period of 10 years. Active faults are those faults that are considered likely to undergo renewed movement within a period of concern to humans. These include faults that are currently slipping, those that display earthquake activity, and those that have historical surface rupture. The California Geological Survey (CGS) defines active faults as those which have had surface displacement within Holocene times (about the last 11,000 years). Such displacement can be recognized by the existence of sharp cliffs in young alluvium, un-weathered terraces, and

offset modern stream courses. Potentially active faults are those believed to have generated earthquakes during the Quaternary period, but prior to Holocene times.

There are several active and potentially active fault zones that could affect the project site. The faults within these zones include the Newport-Inglewood, Whittier, San Andreas, San Jacinto, Malibu-Coast-Raymond, Palos Verdes, San Gabriel, and Sierra Madre-Santa Susana-Cucamonga faults. The proposed project would be required to be in conformance with the Uniform Building Code (UBC), the City's Seismic Hazard Mitigation Ordinance, and other applicable standards. Conformance with standard engineering practices and design criteria would reduce the effects of seismic ground shaking to less than significant levels (Construction Testing & Engineering, Inc.: Geotechnical Investigation dated 10-21-2005).

Mitigation measure:

GEO-2 Conformance with standard engineering practices and design criteria would reduce the effects of seismic ground shaking to less than significant levels (Construction Testing & Engineering, Inc.: Geotechnical Investigation dated 10-21-2005).

- 3) *Seismic-related ground failure, including liquefaction? **Less Than Significant Impact.*** Liquefaction is the loss of strength of cohesionless soils when the pore water pressure in the soil becomes equal to the confining pressure. Liquefaction generally occurs as a "quicksand" type of ground failure caused by strong ground shaking. The primary factors influencing liquefaction potentially include groundwater, soil type, relative density of the sandy soils, confining pressure, and the intensity and duration of ground shaking. According to the *City of Oceanside General Plan*, dated June 2002, the project area is not susceptible to liquefaction hazards.
- 4) *Landslides? **Potentially Significant Unless Mitigated.*** Landslides are mass movements of the ground that include rock falls, relatively shallow slumping and sliding of soil, and deeper rotational or transitional movement of soil or rock. However, according to the *City of Oceanside General Plan*, the project site is not located within a known or highly suspected landslide area. Further, site stabilization and soil compaction requirements required by project geotechnical investigation and design parameters established by the most recent UBC and the City's Seismic Hazard Mitigation Ordinance would reduce any potential impacts to less than significant levels (Construction Testing & Engineering, Inc.: Geotechnical Investigation dated 10-21-2005).

Mitigation measure:

GEO-3 Site stabilization and soil compaction requirements required by project geotechnical investigation and design parameters established by the most recent UBC and the City's Seismic Hazard Mitigation Ordinance would reduce any potential impacts to less than significant levels (Construction Testing & Engineering, Inc.: Geotechnical Investigation dated 10-21-2005).

- b) *Result in substantial soil erosion or the loss of topsoil? **Potentially Significant Unless Mitigated.*** Grading and trenching during the construction phase of the project would displace soils and temporarily increase the potential for soils to be subject to wind and water erosion. The contractor will be required to comply with standard engineering practices for erosion control and a qualified soils engineer will monitor soil compaction during construction. Implementation of the following mitigation measures would reduce potential soil erosion impacts to less than significant levels (Construction Testing & Engineering, Inc.: Geotechnical Investigation dated 10-21-2005 and Spear & Associates, Inc.: Storm Water Management Plan dated 6-8-2007).

Mitigation Measure:

GEO-4 An erosion and sediment control plan shall be prepared and submitted for review and approval prior to issuance of grading permit. The plan shall outline methods that shall be implemented to control erosion from graded or cleared portions of the site, including but not limited to straw bales, sandbags, soil binders, diversion fences, desilting basins, etc. The Plan shall be prepared in accordance with the City's grading ordinance, the City's water quality ordinance, the latest NPDES Permit and to the satisfaction of the City Water Quality Engineer (Spear & Associates, Inc.: Storm Water Management Plan dated 6-8-2007).

- c) *Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse? **Potentially Significant Unless Mitigated.*** No water extractions or similar practices are anticipated to be necessary that are typically associated with project-related subsidence effects. In addition, surface material which would be disrupted/displaced would be balanced and re-compacted on-site during project construction. Adherence to standard engineering practices would result in less than significant impacts related to subsidence of the land.
- d) *Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1997), creating substantial risks to life or property? **Potentially Significant Unless Mitigated.*** The dominant soil association in the project area is the SANDS soil association characterized as Alluvial Deposits. Further, adherence to standard engineering practices contained within the most recent UBC will reduce any potential impacts to less than significant levels.

Mitigation measure:

GEO-5 Adherence to standard engineering practices contained within the most recent UBC will reduce any potential impacts to less than significant levels.

- e) *Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater? **No Impact.*** The proposed project does not include the implementation of septic tanks or alternative wastewater disposal systems.

	Potentially Significant Impact	Potentially Significant Unless Mit.	Less than Significant Impact	No Impact
14.7 HAZARDS AND HAZARDOUS MATERIALS. Would the project:				
a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Create a significant hazard to the public or the environment through reasonably foreseeable conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h. Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- a) *Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials? **No Impact.*** The proposed project would not involve the routine transport, use, or disposal of hazardous materials, and would not result in such impact.
- b) *Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? **Less Than Significant Impact.*** The proposed project is not anticipated to result in a release of hazardous materials into the environment. However, during the short-term period of project construction, there is the possibility of accidental release of hazardous substances such as spilling of hydraulic fluid or diesel fuel associated with construction equipment maintenance. The level of risk associated with the accidental release of these hazardous substances is not considered significant due to the small volume and low concentration of hazardous materials. The contractor will be required to use standard construction controls and safety procedures which would avoid and minimize the potential for accidental release of such substances into the environment.
- c) *Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? **No Impact.*** No existing or proposed school facilities are located within a one-quarter mile radius of the project site.

- d) *Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? **No Impact.*** According to the *Preliminary Hazardous Materials Assessment*, the proposed project site is not included on a list of sites containing hazardous materials, and would not result in a significant hazard to the public or to the environment.
- e) *For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area? **No Impact.*** The proposed project site is not located within an airport land use plan or within two miles of a public airport and would not result in a safety hazard for people residing or working in the project area.
- f) *For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area? **No Impact.*** The proposed project site is not located within the vicinity of a private airstrip and would not result in a safety hazard for people residing or working in the project area.
- g) *Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? **No Impact.*** The proposed project would have no impacts on emergency response plans or emergency evacuation plans. No revisions to adopted emergency plans would be required as a result of the proposed project.
- h) *Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands? **No Impact.*** The project would not expose people or structures to a significant risk of wildland fires because the project site does not adjoin Oceanside Fire Department designated wildland areas.

	Potentially Significant Impact	Potentially Significant Unless Mit.	Less than Significant Impact	No Impact
14.8 HYDROLOGY AND WATER QUALITY. Would the project:				
a. Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Substantially alter the existing drainage pattern of the site or area including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Place housing within a 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h. Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
j. Inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
k. Result in an increase in pollutant discharges to receiving waters considering water quality parameters such as temperature, dissolved oxygen, turbidity and other typical stormwater pollutants (e.g. heavy metals, pathogens, petroleum derivatives, synthetic organics, sediment, nutrients, oxygen-demanding substances, and trash)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
l. Result in significant alternation of receiving water quality during or following construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
m. Could the proposed project result in increased erosion downstream?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
n. Result in increased impervious surfaces and associated increased runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Potentially Significant Unless Mit.	Less than Significant Impact	No Impact
o. Create a significant adverse environmental impact to drainage patterns due to changes in runoff flow rates or volumes?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
p. Tributary to an already impaired water body, as listed on the Clean Water Act Section 303(d) list? If so, can it result in an increase in any pollutant for which the water body is already impaired?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
q. Tributary to other environmentally sensitive areas? If so, can it exacerbate already existing sensitive conditions?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
r. Have a potentially significant environmental impact on surface water quality to either marine, fresh, or wetland waters?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
s. Have a potentially significant adverse impact on groundwater quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
t. Cause or contribute to an exceedance of applicable surface or groundwater receiving water quality objectives or degradation of beneficial uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
u. Impact aquatic, wetland, or riparian habitat?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
v. Potentially impact stormwater runoff from construction or post construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
w. Result in a potential for discharge of stormwater pollutants from areas of material storage, vehicle or equipment fueling, vehicle or equipment maintenance (including washing), waste handling, hazardous materials handling or storage, delivery areas, loading docks or other outdoor work areas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
x. Result in the potential for discharge of stormwater to affect the beneficial uses of the receiving waters?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
y. Create the potential for significant changes in the flow velocity or volume of stormwater runoff to cause environmental harm?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
z. Create significant increases in erosion of the project site or surrounding areas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- a) *Violate any water quality standards or waste discharge requirements? **Potentially Significant Unless Mitigated.*** Construction of the proposed project may require temporary construction dewatering for flushing of the pipeline with water to clean the pipes prior to placing the facilities in service. If drainage is necessary, the contractor will be required to obtain and comply with the requirements of a groundwater dewatering discharge permit and/or wastewater permit as required by the Regional Water Quality Control Board (RWQCB). Compliance with applicable RWQCB permit requirements would result in less than significant impacts to water quality.

Additional impacts related to water quality would range over three different phases of project implementation: 1) during the earthwork and construction phase, when the potential for erosion, siltation and sedimentation into on-site drainages would be the greatest; 2) following construction, prior to the establishment of ground cover, when the erosion potential may remain relatively high; and 3) following completion of the project, when impacts related to sedimentation would decrease markedly, but those associated with site runoff would increase.

Compliance with the statewide National Pollutant Discharge Elimination System (NPDES) General Permit for Storm Water Discharges Associated with Construction Activity would prevent stormwater pollution from impacting waters of the U.S. in the vicinity of the project site. Implementation of the mitigation measures identified below would reduce potential water quality impacts to less than significant levels.

Mitigation Measures:

- WQ-1** An erosion and sediment control plan shall be prepared and submitted for review and approval prior to issuance of grading permit. The plan shall outline methods that shall be implemented to control erosion from graded or cleared portions of the site, including but not limited to straw bales, sandbags, soil binders, diversion fences, desilting basins, etc. The Plan shall be prepared in accordance with the City's grading ordinance, the City's water quality ordinance, the latest NPDES Permit and to the satisfaction of the City Water Quality Engineer (Spear & Associates, Inc.: Storm Water Management Plan dated 6-8-2007).
- WQ-2** The Storm Water Management Plan (SWMP) shall emphasize structural and non-structural Best Management Practices (BMPs) in compliance with NPDES Program requirements. Specific measures shall include:
- Siltation of drainage devices shall be handled through a maintenance program to remove silt/dirt from channels and parking areas;
 - Surplus or waste material from construction shall not be placed in drainage ways or within the 100-year floodplain of surface waters;
 - All loose piles of soil, silt, clay, sand, debris, or other earthen materials shall be protected in a reasonable manner to eliminate any discharge to waters of the State;
 - During construction, temporary gravel dikes shall be used as necessary to prevent discharge of earthen materials from the site during periods of precipitation or runoff;
 - Stabilizing agents such as straw, wood chips and/or soil sealant/dust palative shall be used during the interim period after grading in order to strengthen exposed soil until permanent solutions are implemented;
 - Revegetated areas shall be continually maintained in order to assure adequate growth and root development (Spear & Associates, Inc.: Storm Water Management plan dated 6-8-2007).
- b) *Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)? **Less Than Significant Impact.*** The project would not have the potential to substantially deplete groundwater supplies or interfere with groundwater recharge. Potential dewatering activities associated with construction would be short-term in nature, and would not substantially affect the groundwater table. The project would not have the capacity to increase the amount of water consumed regionally through increased withdrawals from groundwater sources. No significant impacts are anticipated to occur.
- c) *Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of stream or river, in a manner which would result in substantial erosion or siltation on- or off-site? **Less Than Significant Impact.*** Alteration of absorption rates is not considered significant, due to a less

than significant replacement ratio of vacant land with impermeable surfaces. No significant changes in drainage patterns associated with the proposed project are anticipated to occur.

- d) *Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site? **Less Than Significant Impact.*** Alteration of absorption rates is not considered significant, due to a less than significant replacement ratio of vacant land with impermeable surfaces. No significant changes in drainage patterns associated with the proposed project are anticipated to occur.
- e) *Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff? **Less Than Significant Impact.*** Construction of proposed improvements may result in minor changes in the amount of runoff due to an increase in the amount of impermeable surface area within the project site. Surface runoff velocities, volumes and peak flow rates would have a minor increase due to impervious surfaces. However, due to limited area of open space which would be converted to impermeable surfaces, the proposed project would not have the capacity to create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of water.
- f) *Otherwise substantially degrade water quality? **Less Than Significant Impact.*** Discharge from the proposed project through stormwater facilities would consist of non-point sources. Stormwater quality is generally affected by the length of time since the last rainfall, rainfall intensity, urban uses of the area, and the quantity of transported sediment. Typical urban water quality pollutants usually result from motor vehicle operations, oil and grease residues, fertilizer/pesticide uses, and careless material storage and handling. Majority of pollutant loads are usually washed away during the first flush of the storm occurring after the dry-season period. However, due to the nature of the proposed project, as a small residential development, project impacts in this regard are not considered to be significant.
- g) *Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? **No Impact.*** The proposed project area is not located within a 100-year flood hazard area. Therefore, no flood related impacts would occur.
- h) *Place within a 100-year flood hazard area structures which would impede or redirect flood flows? **No Impact.*** The project site is not located within a 100-year flood hazard area. Alteration of absorption rates is not considered significant, due to a less than significant replacement ratio of vacant land with impermeable surfaces. No significant changes in drainage patterns associated with the proposed project are anticipated to occur.
- i) *Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam? **Potentially Significant Unless Mitigated.*** The project does not propose any new housing or building structures within the 100-year flood plain. However, under Section 4.6, *Geology and Soils*) the project area could be subject to ground shaking from various earthquakes due to its proximity to the various fault zones.

Mitigation measure:

WQ-3 Adherence with the current UBC design criteria relative to seismic events would reduce impacts to less than significant levels.

- j) *Inundation by seiche, tsunami, or mudflow? **No Impact.*** There are no anticipated impacts to the proposed project from seiche, tsunami or mudflow, as no topographical features or water bodies capable of producing such events occur within the project site vicinity.

- k) *Result in an increase in pollutant discharges to receiving waters? Consider water quality parameters such as temperature, dissolved oxygen, turbidity and other typical stormwater pollutants (e.g. heavy metals, pathogens, petroleum derivatives, synthetic organics, sediment, nutrients, oxygen-demanding substances, and trash)?* **No Impact.** During construction, erosion control will be provided on-site to protect water quality. Post construction is not anticipated to result in any water quality impacts due to the installation of stormwater filtration and treatment control BMP's. (Spear & Associates, Inc.: Storm Water Management Plan dated 6-8-2007).
- l) *Result in significant alternation of receiving water quality during or following construction?* **No Impact.** During construction, erosion control will be provided on-site to protect water quality. Post construction is not anticipated to result in any water quality impacts. (Spear & Associates, Inc.: Storm Water Management Plan dated 6-8-2007).
- m) *Could the proposed project result in increased erosion downstream?* **No Impact.** Given the project's limited size and limited impervious surface, the project would produce a relatively low volume of stormwater runoff that would not result in increased downstream erosion (Spear & Associates, Inc.: Storm Water Management Plan dated 6-8-2007).
- n) *Result in increased impervious surfaces and associated increased runoff?* **Less Than Significant Impact.** The increase in impervious surface and associated runoff is below the significance threshold established by the City for determining a significant impact.
- o) *Create a significant adverse environmental impact to drainage patterns due to changes in runoff flow rates or volumes?* **No Impact.** The project does not include mass site grading or substantial changes in project site drainage that would alter drainage patterns, or increase runoff flow rates or volumes.
- p) *Tributary to an already impaired water body, as listed on the Clean Water Act Section 303(d) list? If so, can it result in an increase in any pollutant for which the water body is already impaired?* **No Impact.** The project site does not adjoin or discharge directly into a Federally-listed water body.
- q) *Tributary to other environmentally sensitive areas? If so, can it exacerbate already existing sensitive conditions?* **No Impact.** The project site does not adjoin or discharge directly into a Federally-listed water body.
- r) *Have a potentially significant environmental impact on surface water quality to either marine, fresh, or wetland waters?* **No Impact.** The project would not discharge directly into surface waters nor involve characteristics that would result in pollutant discharges into such waters including pesticides, herbicides, fertilizers and similar chemicals.
- s) *Have a potentially significant adverse impact on groundwater quality?* **No Impact.** The project site does not involve excavation, drilling, or cuts that could intercept or affect groundwater, and does not involve sub-surface fuel tanks or similar features that could affect groundwater.
- t) *Cause or contribute to an exceedance of applicable surface or groundwater receiving water quality objectives or degradation of beneficial uses?* **No Impact.** The proposed project will not result in any violation of applicable water quality standards established by the Clean Water Act and implemented by the San Diego Regional Water Quality Control Board (RWQCB) through the regional National Pollution Discharge Elimination System (NPDES) permit.
- u) *Impact aquatic, wetland, or riparian habitat?* **No Impact.** The proposed project will not result in any violation of applicable water quality standards established by the Clean Water Act and implemented by the San Diego Regional Water Quality Control Board (RWQCB) through the regional National Pollution Discharge Elimination System (NPDES) permit.

- v) *Potentially impact stormwater runoff from construction or post construction? **No Impact.*** The site has been designed to manage impacts of stormwater runoff from both construction and post construction conditions through the use of Site Design, Source Control and Treatment Control BMP's.(Spear & Associates, Inc. storm water management plan dated 6-8-2007).
- w) *Result in a potential for discharge of stormwater pollutants from areas of material storage, vehicle or equipment fueling, vehicle or equipment maintenance (including washing), waste handling, hazardous materials handling or storage, delivery areas, loading docks or other outdoor work areas? **No Impact*** Through the extensive use of construction BMP's no discharge of storm water pollutants is anticipated.(Spear & Associates, Inc.: Storm Water Management Plan dated 6-8-2007).
- x) *Result in the potential for discharge of stormwater to affect the beneficial uses of the receiving waters? **No Impact.*** The proposed project will not result in any violation of applicable water quality standards established by the Clean Water Act and implemented by the San Diego Regional Water Quality Control Board (RWQCB) through the regional National Pollution Discharge Elimination System (NPDES) permit.
- y) *Create the potential for significant changes in the flow velocity or volume of stormwater runoff to cause environmental harm? **No Impact.*** The project will neither increase the volume nor the velocity of storm water flows, nor indirectly contribute to such impacts as a result of project implementation (Spear & Associates, Inc.: Storm Water Management Plan dated 6-8-2007).
- z) *Create significant increases in erosion of the project site or surrounding areas? **No Impact.*** The site has been designed to use BMP's to minimize storm water concentration and flow rates to negate the potential for erosion both on and off site. (Spear & Associates, Inc.: Storm Water Management Plan dated 6-8-2007).

	Potentially Significant Impact	Potentially Significant Unless Mit.	Less than Significant Impact	No Impact
14.9 LAND USE AND PLANNING. Would the project:				
a. Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the General Plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Conflict with any applicable habitat conservation plan or natural community conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- a) *Physically divide an established community?* **No Impact.** The proposed project will not have an impact on the physical arrangement of an established community. The proposed site is surrounded by an established community. The proposed project is an infill subdivision that conforms to surrounding established development.
- b) *Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?* **No Impact.** The proposed project is consistent with the General Plan Land Use Element's designation for the project site and with the Official Zoning Map designation of the property. Also the site is not within any coastal zone or covered by any coastal program. The project has been designed to meet or exceed the City of Oceanside minimum requirements for applicable development standards under the general plan and site zoning. Therefore, no impacts would occur in this regard.
- c) *Conflict with any applicable habitat conservation plan or natural community conservation plan?* **No Impact.** The project area is not situated in the Multiple Habitat Conservation Plan (MHCP). The project site has no natural habitat due to previous development.

	Potentially Significant Impact	Potentially Significant Unless Mit.	Less than Significant Impact	No Impact
14.10 MINERAL RESOURCES. Would the project:				
a. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- a) *Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state? **No Impact.*** The City's General Plan and Zoning Ordinance would not permit any mineral extraction on or within the vicinity of the project site. Therefore, the project would have no impact.
- b) *Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan? **No Impact.*** The City's General Plan and Zoning Ordinance would not permit any mineral extraction on or within the vicinity of the project site. Therefore, the project would have no impact.

	Potentially Significant Impact	Potentially Significant Unless Mit.	Less than Significant Impact	No Impact
14.11 NOISE. Would the project:				
a. Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- a) *Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?* **Potentially Significant Unless Mitigated.** The proposed project would create a short-term impact in terms of construction noise. Noise generated by construction and demolition equipment, including trucks, backhoes and other equipment, may temporarily impact nearby sensitive receptors. Construction noise is estimated to be approximately 92 dBA at 50 feet from the source. Pursuant to the City’s Noise Ordinance standards, construction activities would be limited to daytime hours for the duration of construction. Also, all vehicles and equipment will use available noise suppression devices and be equipped with mufflers during construction activities. Due to the restricted hours, equipment restrictions, and relatively short period of construction, noise resulting from construction and demolition related activities is not considered a significant impact.

Mitigation Measures:

- N-1** Noise sources associated with construction, repairs, remodeling, or the grading of any real property, shall not be exempt from the provisions of the City’s noise code if conducted from 7:00 a.m. to 6:00 p.m. on Monday through Friday, or from 8:30 a.m. to 4:30 p.m. on Saturday. Construction is prohibited at any time on Sunday or a Federal holiday.
- N-2** Equipment will use available noise suppression devices and properly maintained mufflers. Construction noise will be reduced by using quiet or “new technology”, equipment, particularly the quieting of exhaust noises by use of improved mufflers where feasible. All internal combustion engines used at the project site will be equipped with the type of muffler recommended by the vehicle manufacturer. In addition, all equipment will be maintained in good mechanical condition so as to minimize noise created by faulty or poorly maintained engine, drive-train and other components.

- N-3** During all site preparation, grading and construction, contractors shall minimize the staging of construction equipment and unnecessary idling of equipment in the vicinity of residential land uses.
- N-4** The equipment staging area will be situated so as to provide the greatest distance separation between construction-related noise sources and noise-sensitive receptors nearest the project site during all project construction.
- N-5** Temporary walls, barriers, and or enclosures will be erected around stationary construction equipment when such equipment will be operated for an extended period of time and where there are noise sensitive receptors substantially affected. Noise barriers and enclosures will consist of absorptive material in order to prevent impacts upon other land uses due to noise reflection. In addition, complete enclosure structures will close or secure any openings where pipes, hoses or cables penetrate the enclosure structure.
- N-6** Notification will be given to residences within 91 meters (300 feet) of planned construction activities thirty (30) days prior to commencement of demolition activity, and will include a brief description of the project, the overall duration of the various construction stages, noise abatement measures that will taken, and the name and phone number of the construction site supervisor or their designee to report any violation of a noise or mitigation standard.
- b) *Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels? **Less Than Significant Impact.*** The amounts of construction and demolition required for the proposed facility is not anticipated to generate excessive groundborne vibrations or noise levels. Additionally, this project is not anticipated to include pile driving activities, therefore, ground borne vibration is not expected to occur. Due to the temporary nature of construction activities, impacts in this regard are considered to be less than significant.
- c) *A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project? **No Impact.*** Due to the nature and scope of the proposed project a permanent increase in the ambient noise level in the project vicinity would not occur.
- d) *A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project? **Potentially Significant Unless Mitigated.*** The implementation of the proposed project may result in short-term increased noise levels within the project vicinity due to construction activities. This temporary condition would cease upon project completion and is subject to the City's noise mitigation guidelines.

Mitigation Measures:

- N-7** Noise sources associated with construction, repairs, remodeling, or the grading of any real property, shall not be exempt from the provisions of the City's noise code if conducted from 7:00 a.m. to 6:00 p.m. on Monday through Friday, or from 8:30 a.m. to 4:30 p.m. on Saturday. Construction is prohibited at any time on Sunday or a Federal holiday.
- N-8** Equipment will use available noise suppression devices and properly maintained mufflers. Construction noise will be reduced by using quiet or "new technology", equipment, particularly the quieting of exhaust noises by use of improved mufflers where feasible. All internal combustion engines used at the project site will be equipped with the type of muffler recommended by the vehicle manufacturer. In addition, all equipment will be maintained in good mechanical condition so as to minimize noise created by faulty or poorly maintained engine, drive-train and other components.

- N-9** During all site preparation, grading and construction, contractors shall minimize the staging of construction equipment and unnecessary idling of equipment in the vicinity of residential land uses.
- N-10** The equipment staging area will be situated so as to provide the greatest distance separation between construction-related noise sources and noise-sensitive receptors nearest the project site during all project construction.
- N-11** Temporary walls, barriers, and or enclosures will be erected around stationary construction equipment when such equipment will be operated for an extended period of time and where there are noise sensitive receptors substantially affected. Noise barriers and enclosures will consist of absorptive material in order to prevent impacts upon other land uses due to noise reflection. In addition, complete enclosure structures will close or secure any openings where pipes, hoses or cables penetrate the enclosure structure.
- N-12** Notification will be given to residences within 91 meters (300 feet) of planned construction activities thirty (30) days prior to commencement of demolition activity, and will include a brief description of the project, the overall duration of the various construction stages, noise abatement measures that will taken, and the name and phone number of the construction site supervisor or his designee to report any violation of a noise or mitigation standard.
- e) *For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels? **No Impact.*** The proposed project is not located within two miles of a public airport or public use airport.
- f) *For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels? **No Impact.*** The proposed project site is not located within the vicinity of a private airstrip and would not expose people residing or working in the project area to excessive noise levels.

	Potentially Significant Impact	Potentially Significant Unless Mit.	Less than Significant Impact	No Impact
14.12 POPULATION & HOUSING. Would the project:				
a. Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

a) *Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?* **Less Than Significant Impact.** The proposed project would not induce growth through the extension or expansion of major capital infrastructure. No impacts to population and housing beyond those identified within the *City's General Plan* would occur.

b) *Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?* **No Impact.** The proposed project creates more housing units than are being removed, and therefore would not necessitate the construction of replacement housing elsewhere.

c) *Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?* **No Impact.** The proposed project creates more housing units than are being removed, and therefore would not necessitate the construction of replacement housing elsewhere.

	Potentially Significant Impact	Potentially Significant Unless Mit.	Less than Significant Impact	No Impact
14.13 PUBLIC SERVICES. Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:				
Fire Protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Police Protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

*Fire protection? **No Impact.*** Proposed project implementation would not result in substantial adverse physical impacts associated with the provision of new or physically altered fire protection facilities.

*Police protection? **No Impact.*** There are no significant impacts related to police protection or service anticipated with implementation of the proposed project.

*Schools? **No Impact.*** Implementation of the proposed project would not result in the need for the construction of additional school facilities. Therefore, no impacts in this regard will occur.

*Parks? **No Impact.*** Implementation of the proposed project will not affect any existing park facilities nor increase the demand for additional recreational facilities. Therefore, no impacts to parks are anticipated as a result of this project.

*Other public facilities? **No Impact.*** No significant impacts to other public facilities are anticipated to occur with project implementation.

	Potentially Significant Impact	Potentially Significant Unless Mit.	Less than Significant Impact	No Impact
14.14 RECREATION. Would the project:				
a. Would the project increase the use of existing neighborhood and regional parks or other recreational facilities, such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Does the project include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- a) *Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? **No Impact.*** Implementation of the proposed project will not generate an increase in demand on existing public or private parks or other recreational facilities that would either result in or increase physical deterioration of the facility.
- b) *Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment? **No Impact.*** Implementation of the proposed project does not include recreational facilities.

	Potentially Significant Impact	Potentially Significant Unless Mit.	Less than Significant Impact	No Impact
14.15 TRANSPORTATION/TRAFFIC. Would the project:				
a. Cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system (i.e., result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Exceed, either individually or cumulatively, a level of service standard established by the county congestion/management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Result in inadequate parking capacity?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

a) *Cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system (i.e., result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?* **Less Than Significant Impact.** The trip generation estimate for the proposed project was developed using the Institute of Traffic Engineers, Trip Generation Manual, 7th Edition. Table 3 below displays daily, as well as AM and PM peak hour trip generation for the seven units proposed as part of the project (Source: Institute of Traffic Engineers, Trip Generation Manual, 7th Edition).

Table 3. Single-family residential land use trip generation rates

Land Use	Units	Daily Trip Rate	AM Peak		PM Peak	
			In	Out	In	Out
Single Family Residential	Dwelling Units	9.57 per Dwelling Unit	.19	.56	.64	.37

b) *Exceed either individually or cumulatively, a level of service standard established by the county congestion management agency for designated roads or highways?* **Less Than Significant Impact.** The trip generation estimate for the proposed project was developed using the Institute of Traffic Engineers, Trip Generation Manual, 7th Edition. Table 4 below displays daily, as well as AM and PM peak hour trip generation for the seven units proposed as part of the project. The proposed project will not contribute more than 50 peak hour trips on a State Route, (SR-76 or SR-78), a Congestion Management Plan (CMP) freeway impact analysis was not conducted (Source: Institute of Traffic Engineers, Trip Generation

Manual, 7th Edition).

Table 4. Project trip generation analysis

Land Use	Units	Daily Trip Rate	Daily Trips	AM Peak		PM Peak	
				In	Out	In	Out
Single Family Residential	7 Dwelling Units	9.57 per Dwelling Unit	67	1.4	3.9	4.9	2.6

- c) *Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks? **No Impact.*** The proposed project involves the development of a seven-unit residential subdivision project and does not involve an airport, airplanes or other air traffic. Implementation of the proposed project would not affect existing air traffic travel patterns, air traffic levels or airport facilities (Spear & Associates, Inc.: Storm Water Management Plan dated 6-8-2007).
- d) *Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? **No Impact.*** The project does not propose to modify existing roadway configurations adjacent to or in the vicinity of the site with the exception of a new private street (cul-de-sac) that would serve the subdivision. Implementation of the proposed project does not involve any potentially dangerous traffic or transportation hazards nor does it propose any incompatible uses that could affect existing traffic or circulation in the project areas.
- e) *Result in inadequate emergency access? **No Impact.*** Site access to the proposed project would be provided from a new private roadway (cul-de-sac) that would connect to Thunderbird Drive which would provide adequate emergency access to the project site. Implementation of the proposed project would not affect existing emergency access points.
- f) *Result in inadequate parking capacity? **No Impact.*** The project proposes a total of seven single family houses on seven lots. Parking for each of the homes would be provided onsite with three-car garages. As a result, no adverse impacts on parking supply are expected.
- g) *Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)? **No Impact.*** The proposed project does not contain any elements involving or affecting alternative transportation plans including bus turnouts or provision of bicycle racks. Implementation of the proposed project would not conflict with adopted plans, policies or programs supporting alternative modes of transportation.

	Potentially Significant Impact	Potentially Significant Unless Mit.	Less than Significant Impact	No Impact
14.16 UTILITIES AND SERVICE SYSTEMS. Would the project:				
a. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the projects projected demand in addition to the providers existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Be served by a landfill with sufficient permitted capacity to accommodate the projects solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- a) *Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board? **No Impact.*** Improvements associated with the proposed project would not exceed wastewater treatment requirements of the Regional Water Quality Control Board (RWQCB) due to the small scale of development proposed. Adequate facilities exist to accommodate the proposed project.
- b) *Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? **No Impact.*** Due to the small scope of the proposed project, the construction of new or the expansion of existing facilities is not anticipated. Improvements associated with the proposed project would not exceed wastewater treatment requirements of the Regional Water Quality Control Board (RWQCB). (Adequate facilities exist to accommodate the proposed project.)
- c) *Require or result in the construction of new stormwater drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? **No Impact.*** The slight increase of storm water flows do not warrant the construction of additional storm water drainage facilities or the expansion of existing off site drainage facilities (Spear & Associates, Inc.: Storm Water Management Plan dated 6-8-2007).
- d) *Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed? **No Impact.*** The small scope of the project will not require any additional or expanded entitlements. Sufficient water supplies are available to serve the project.
- e) *Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing*

*commitments? **No Impact.*** Improvements associated with the proposed project would not exceed wastewater treatment requirements of the Regional Water Quality Control Board (RWQCB).

- f) *Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs? **Less Than Significant Impact.*** The demolition and removal of existing improvements would generate a minor increase in solid waste. Post construction residential activities will result in only a nominal amount of solid waste.
- g) *Comply with federal, state, and local statutes and regulations related to solid waste? **No Impact.*** The demolition and removal of existing improvements would generate a minor increase in solid waste. Post construction residential activities will result in only a nominal amount of solid waste.

	Potentially Significant Impact	Potentially Significant Unless Mit.	Less than Significant Impact	No Impact
14.17 MANDATORY FINDINGS OF SIGNIFICANCE. Would the project:				
a. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to decrease below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Does the project have the potential to achieve short-term, to the disadvantage of long-term, environmental goals?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Does the project have impacts which are individually limited, but cumulatively considerable (Cumulatively considerable means the projects incremental effects are considerable when compared to the past, present, and future effects of other projects)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Does the project have environmental effects which will have substantial adverse effects on human beings, directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- a) *Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to decrease below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of major periods of California history or prehistory?* **No Impact.** The project site has been completely disturbed by previous development. There are no waterways nor plant or animal communities. The proposed project is an infill development surrounded on all sides by established residential communities. There is no habitat or corridors for travel for endangered species in the immediate area. The existing residence (to be removed) has been determined to have no important historical significance (Archaeos: Historical Architectural Building Assessment dated 9-8-2005 and ASM Affiliates, Inc.: Cultural Resource Survey dated 12-2006).
- b) *Does the project have the potential to achieve short-term, to the disadvantage of long-term, environmental goals?* **No impact.** The project is residential in nature and small in scope thereby not adversely affecting short-term or long-term environmental goals.
- c) *Does the project have impacts which are individually limited, but cumulatively considerable (Cumulatively considerable means the projects incremental effects are considerable when compared to the past, present, and future effects of other projects)?* **No Impact.** The Project is a small infill development within a large established residential community. The project is residential in nature and small in scope thereby not adversely affecting short-term or long-term environmental goals.
- d) *Does the project have environmental effects which will have substantial adverse effects on human beings, directly or indirectly?* **No Impact.** The proposed project, being residential in nature, is designed to minimize adverse environmental effects on human beings, either directly or indirectly.

15. **PREPARATION.** The initial study for the subject project was prepared by:



Ray Spear, Spear and Associates, Inc.

16. **DETERMINATION.** (To be completed by lead agency) Based on this initial evaluation:
- [] I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.
- [X] I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described herein have been included in this project. A **MITIGATED NEGATIVE DECLARATION** will be prepared.
- [] I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

17. **DE MINIMIS FEE DETERMINATION** (Chapter 1706, Statutes of 1990-AB 3158)

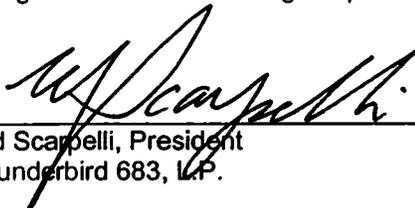
- [X] It is hereby found that this project involves no potential for any adverse effect, either individually or cumulatively, on wildlife resources and that a "Certificate of Fee Exemption" shall be prepared for this project.
- [] It is hereby found that this project could potentially impact wildlife, individually or cumulatively, and therefore fees shall be paid to the County Clerk in accordance with Section 711.4(d) of the Fish and Game Code.

18. **ENVIRONMENTAL DETERMINATION:** The initial study for this project has been reviewed and the environmental determination, contained in Section V. preceding, is hereby approved:

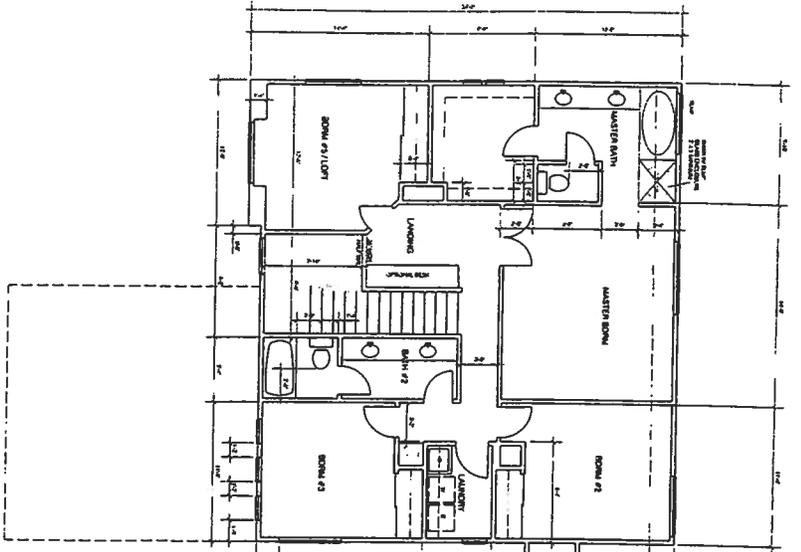


Jerry Hittelman, City Planner / Environmental Coordinator

19. **PROPERTY OWNER/APPLICANT CONCURRENCE:** : Section 15070(b)(1) of the California Environmental Quality Act (CEQA) Guidelines provides that Lead Agencies may issue a Mitigated Negative Declaration where *the initial study identifies potentially significant effects, but, revisions in the project plans or proposals made by, or agreed to by the applicant before a proposed mitigated negative declaration and initial study are released for public review would avoid the effects or mitigate the effects to a point where clearly no significant effects would occur.* The property owner/applicant signifies by their signature below their concurrence with all mitigation measures contained within this environmental document. However, the applicants concurrence with the Draft Mitigated Negative Declaration is not intended to restrict the legal rights of the applicant to seek potential revisions to the mitigation measures during the public review process.

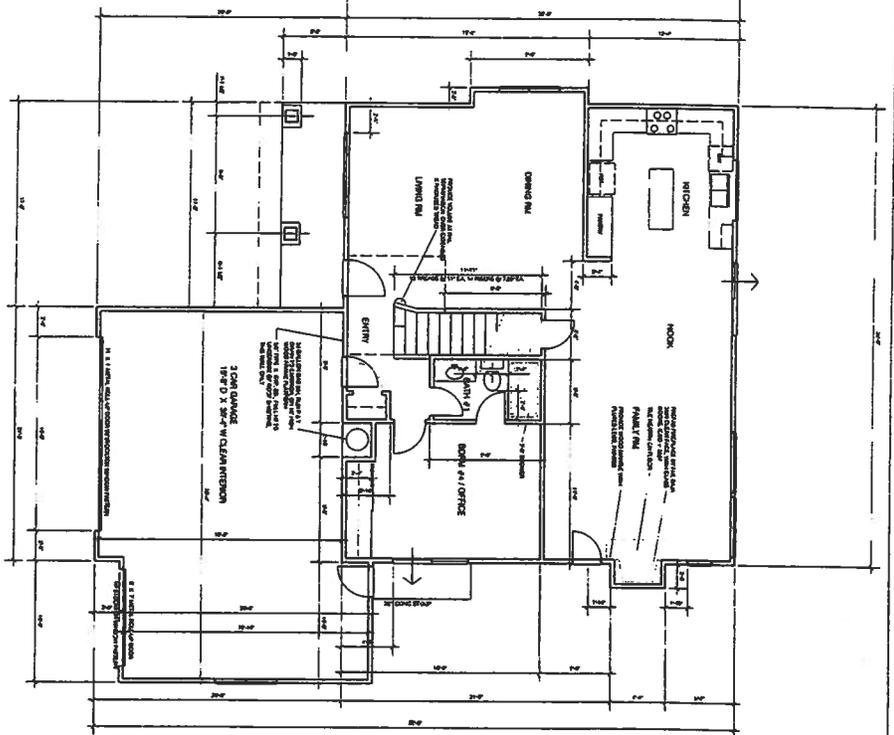


Ed Scarpelli, President
Thunderbird 683, LP.



SECOND FLOOR PLAN

RESIDENCE 1,200 S.F.



FIRST FLOOR PLAN

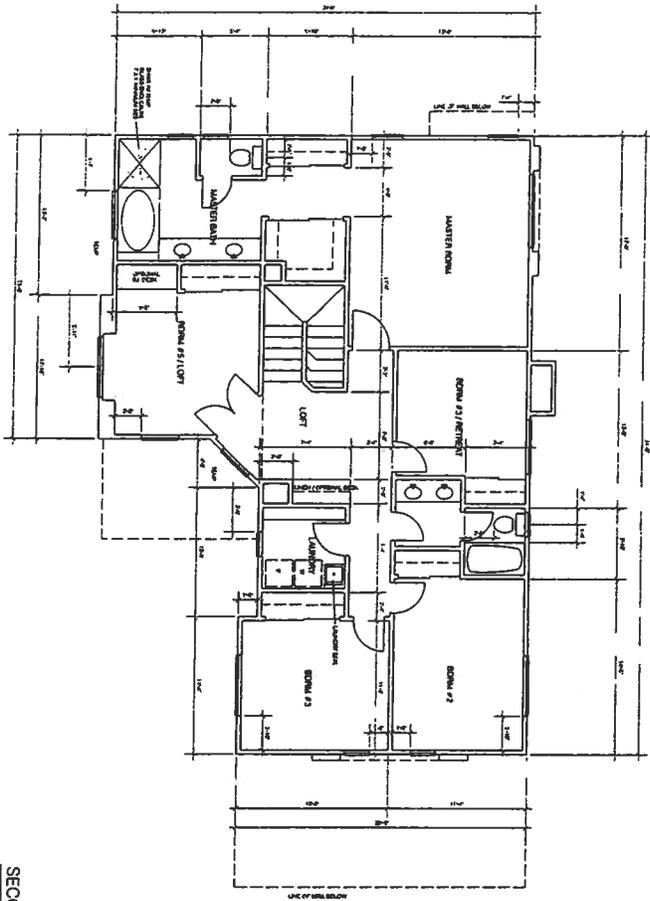
RESIDENCE 1,200 S.F. FIRST FLOOR
 RESIDENCE 1,000 S.F. - SECOND FLOOR
 RESIDENCE 2,200 S.F. - TOTAL
 CHANGE 420 S.F.

DATE	10/15/11
SCALE	1/4" = 1'-0"
DRAWN BY	JAF
CHECKED BY	JAF
PROJECT NO.	11000

FLOOR PLAN
 PLAN B

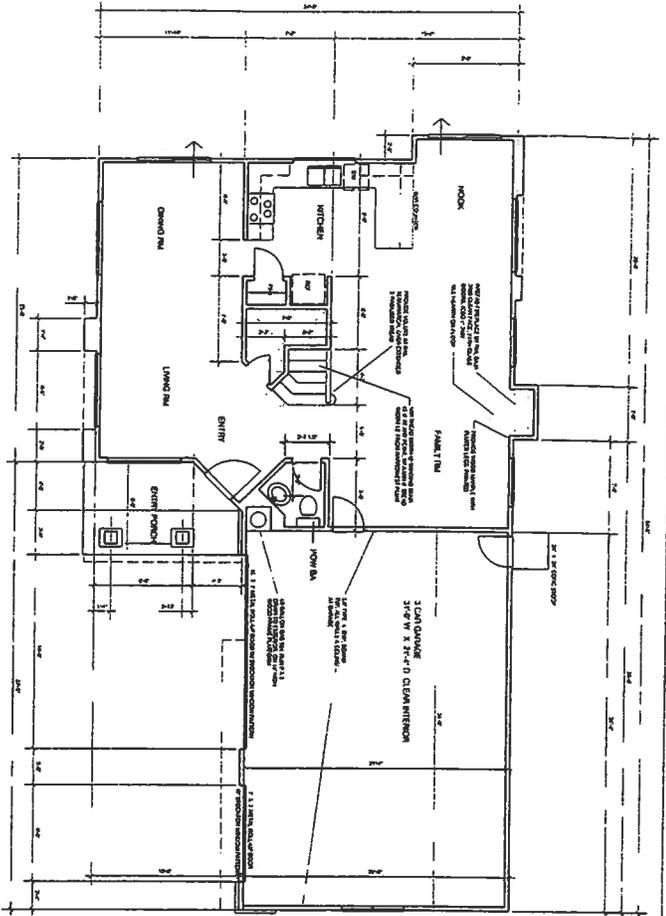
THUNDERBIRD

JAF
J. A. FERRIN & ASSOCIATES
 CUSTOM HOME DESIGN & CONSTRUCTION
 220 VENTNOR PLACE, TECHNOLOGY CAMP, 67000
 (714) 448-8888



SECOND FLOOR PLAN

RESIDENCE 1281 S.E.



FIRST FLOOR PLAN

RESIDENCE 888 S.E. FIRST FLA
 RESIDENCE 1281 S.E. - SECOND FLA
 RESIDENCE 1281 S.E. - TOTAL
 GARAGE 884 S.E.

Juliana Von Hacht

From: diane nygaard [dandd2@peoplepc.com]
Sent: Monday, October 01, 2007 1:23 PM
To: Juliana Von Hacht
Subject: Comments on MND- Thunderbird Road Subdivision

Follow Up Flag: Reply
Due By: Tuesday, October 02, 2007 8:00 AM
Flag Status: Yellow

Ms Von Hacht

The following are comments on the draft MND for the Thunderbird Road Subdivision project:

Biological resources

- item 14.4 f states " The project area is not situated in the Multiple Habitat Conservation Plan (MHCP)." This is not correct as the MHCP includes seven cities in north county, including all of Oceanside except for a very limited number of sites that are excluded. This project site is not excluded. The sentence should be deleted as incorrect.

Water Quality

- The project should specifically identify the existing and proposed site percentage of impervious, semi-pervious and pervious cover. This relates to adequacy of proposed BMP's and this can't really be fully assessed without this information. The site landscaping plans look like significant areas of paving are proposed.

- item 14.8 n and o are determined to have no impact, or a less than significant impact. While this appears to be the case for the project as designed, there is no assurance that this would be the case in the future unless some project conditions or mitigation measures are added. We have seen numerous developments where homeowners significantly change landscaping plans, resulting in increased site run-off and impervious cover. Since all of our local watersheds end with 303(d) listed impaired waterbodies we need to make sure that new projects do not keep adding to the cumulative impacts.

Please add a project condition/mitigation measure that addresses this long term issue. This could be a restriction in CC& R's about no increase of site impervious cover. This would need to establish a baseline and be included as part of regular HOA enforcement, subject to review by the city upon request.

Thank you for your consideration of these comments.

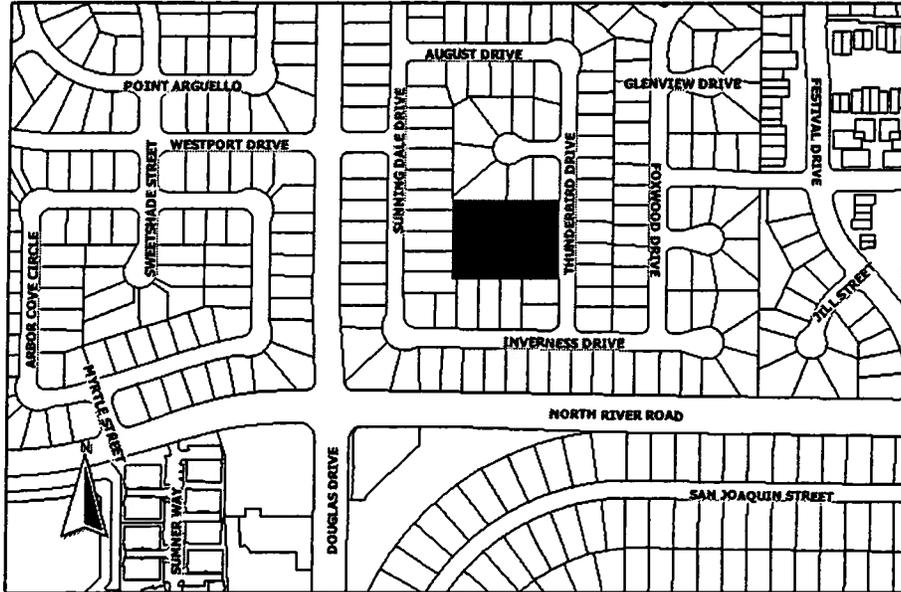
Diane Nygaard

Staff's response to Ms. Nygaard's October 1, 2007 comments are as follows:

1) The MHCP has not been locally adopted and that the draft Subarea Habitat Conservation Plan/Natural Communities Conservation Plan (SAP) dated December 2005 does not identify the site of the proposed project as located within a wildlife corridor. There are no sensitive species on the site; therefore, the recommended one-to-one replacement within the Off-Site II boundaries is not a requirement for this project.

2) The proposed development satisfies local SWMP requirements. The proposed lot coverage is well below the allowed maximum of 45% and that the project proposes locating a significant number of trees within the boundaries of the project area.

3) 14.8 n and o related to impervious surfaces, increase runoff, and impacts to drainage patterns due to changes in runoff flow rates or volumes. Drainage patterns have been reviewed by qualified storm water consultants and a hydrology and hydraulics report is on file. The SWMP includes source control measures, such as property owner education including the distribution of IPM educational materials to owners and tenants.



File Number: T-15-05, D-35-05, C-59-05

Applicant: Thunderbird 683 LLP

Description:

TENTATIVE SUBDIVISION MAP (T-15-05), DEVELOPMENT PLAN (D-35-05), and CONDITIONAL USE PERMIT (C-59-05) to subdivide a 1.6-acre site into 7 residential lots and construct 7 single-family detached homes on a lot located at 683 Thunderbird Drive. The project site is zoned RS (Single-Family Residential District) and is situated within the San Luis Rey Neighborhood. -- **THUNDERBIRD ROAD SUBDIVISION -- Thunderbird 683 LLP.**

Environmental Determination:

A Negative Declaration has been prepared stating that if the conditions of approval are implemented, there will not be a significant adverse impact upon the environment. Under the provisions of the California Environmental Quality Act, the Planning Commission will consider the Negative Declaration during its hearing on the project.

City of Oceanside, Planning Division
300 N. Coast Highway
Oceanside, CA 92054 (760) 435-3520

THUNDERBIRD ROAD SUBDIVISION

Application For Planning Commission Hearing

Planning Department (760) 435-3520
 OceanSide Civic Center
 300 North Coast Highway
 OceanSide, California 92054-2885

RECEIVED
 DEC 23 2005
 Planning Department

STAFF USE ONLY

ACCEPTED BY
 12/23/05 MRB

Please Print or Type All Information

PART I - APPLICANT INFORMATION

1. APPLICANT ED SCARPELLI
 FOR: THUNDERBIRD 683 L.P.
 2. STATUS OWNER/DEVELOPER
 3. ADDRESS 929 ORCHID WAY
 CARLSBAD, CA 92011-4830
 4. PHONE/FAX 760-438-0947
 760-438-1413
 5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing)
 RAY SPEAR, SPEAR & ASSOCIATES, INC.
 6. ADDRESS 475 PRODUCTION STREET
 SAN MARCOS, CA 92078
 7. PHONE/FAX 760-736-2040
 760-736-4866

HEARING
 GPA
 MASTER/SP.PLAN
 ZONE CH.
 TENT. MAP T-15-05
 PAR. MAP
 DEV. PL. D-38-05
 C.U.P. C-59-05
 VARIANCE
 COASTAL
 O.H.P.A.C.

PART II - PROPERTY DESCRIPTION

8. LOCATION 683 THUNDERBIRD DRIVE
 9. SIZE 1.61 ACRES
 10. GENERAL PLAN SFD
 11. ZONING RS
 12. LAND USE RESIDENTIAL
 13. ASSESSOR'S PARCEL NUMBER 157-520-64

PART III - PROJECT DESCRIPTION

14. GENERAL PROJECT DESCRIPTION
 PROPOSED 8 LOT RESIDENTIAL SUBDIVISION WITH CUL-DE-SAC STREET.
 REV-2/2/06, 5/8/06, 7/10/06, 8/16/06, 11/6/06
 15. PROPOSED GENERAL PLAN SFD
 16. PROPOSED ZONING RS
 17. PROPOSED LAND USE SAME
 18. NO. UNITS 8
 19. DENSITY 5 DU/AC.
 20. BUILDING SIZE 2,694 To 3,064 S.F.
 21. PARKING SPACES 4B
 22. % LANDSCAPE 8.0%
 23. % LOT COVERAGE 22.3%

PART IV - ATTACHMENTS Rev-4/17/07, 6/26/07

ALL APPLICATIONS

DEV. PLANS, C.U.P.s & TENT. MAPS

✓ 24. DESCRIPTION/JUSTIFICATION ✓ 25. LEGAL DESCRIPTION ✓ 30. FLOOR PLANS AND ELEVATIONS
 ✓ 26. 300-FT. RADIUS MAP ✓ 27. PROPERTY OWNERS' LIST ✓ 31. CONSTRUCTION SCHEDULE
 ✓ 28. ENVIRONMENTAL ASSESSMENT ✓ 29. PLOT PLANS ✓ 32. OTHER

PART V - SIGNATURES

THE APPLICANT OR HIS/HER REPRESENTATIVE MUST BE PRESENT AT THE HEARING. FAILURE TO BE PRESENT MAY RESULT IN DENIAL OF THE APPLICATION.

SIGNATURES OF ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).

33. APPLICANT OR REPRESENTATIVE (Print): ED SCARPELLI

34. DATE 12/22/05

Sign: *[Signature]*

37. OWNER (Print) THUNDERBIRD 683 L.P.
 38. DATE 12/22/05

I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

Sign: BY: WESTERN MUTUAL DEVELOPMENT CORPORATION, GEN. PART.

35. APPLICANT (Print): ED SCARPELLI

36. DATE 12/22/05

Sign: *[Signature]*

39. OWNER (Print): ED SCARPELLI, PRESIDENT

40. DATE 12/22/05
 Sign: *[Signature]*

RECEIVED

DEC 23 2005

Planning Department

[Handwritten initials]



J.A. FERRIN & ASSOCIATES

April 4, 2007

THUNDERBIRD ROAD 7 UNIT SUBDIVISION

ITEM NO 24 - DESCRIPTION AND JUSTIFICATION:

Description: This project is an 7 unit single family infill subdivision with a single cul-de-sac service street. The lots are approximately 7,600 sf., typical of the surrounding neighborhood.

2 floor plans are proposed;

Plan A: Approx. 2,393 sf, 2 story with 3 car garage

Plan B: Approx. 2,429 sf, 2 story with 3 car garage

The floor plans are specifically designed to incorporate and take advantage of the extensive side yards areas as the 'outside living area'. This design maximizes the ability of the homeowner to utilize the largest and most private areas of the lot for outdoor living.

The exterior elevations are designed in the eastern coastal style of architecture, with the use of design elements such as tapered wood columns, board & batt & shingle siding, stone accents, upgraded roll-up garage doors with windows, and many other components reminiscent of the style and period. To create a varied street scape the plans will receive multiple exterior elevation variations, including; significant bone structure modifications from plan to plan in addition to finish materials and color variations. Wood fencing connect the plans at the front and street side yards providing privacy and also a measure of cohesivness for the project as a whole.

The objective of this project is to create a small enclave of quality semi-custom homes with a unique design and appeal which will complement and enhance the existing surrounding neighborhoods. This project will benefit the surrounding neighborhoods and the City of Oceanside by increasing the value of homes and properties in its vicinity without deviating from the local use type, thereby maintaining neighborhood consistency. Our intent is to create a project that the developer, homeowner, and neighbors can be proud of and in a small way enhance the general ambiance of the City of Oceanside.

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CONDITIONAL USE PERMIT – SUPPORTING STATEMENTS:

- (a) The proposed location of the project is in accord with the objectives of the Ordinance in that this project is a small single family infill residential development, with homes and lot sizes similar to its surrounding neighborhood.
- (b) Given that the project is a small single family infill residential development, with homes and lot sizes similar to its surrounding neighborhood, the proposed location of the project and its operation and maintenance is consistent with the general plan and will not be detrimental to the public health, safety and welfare, nor will it be detrimental to the properties or improvements in the vicinity or to the general welfare of the City.
- (c) The proposed conditional use will comply with the provisions of the ordinance in that the use is a small single family infill residential development, with homes and lot sizes similar to its surrounding neighborhood and as such is in keeping with the general neighborhood standards.

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25. LEGAL DESCRIPTION

PARCEL 3 OF PARCEL MAP NO. 8979 IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 30, 1979.

30. CONSTRUCTION SCHEDULE

CONSTRUCTION TO BEGIN IN SPRING OF 2006 WITH COMPLETION IN SIX TO EIGHT MONTHS.

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