

PLANNING COMMISSION



DATE: February 11, 2008

TO: Chairman and Members of the Planning Commission

FROM: Development Services Department/Planning Division

SUBJECT: **CONDITIONAL USE PERMIT (C-57-05) FOR THE CONSTRUCTION AND OPERATION OF A STAND-ALONE COMMUNICATION FACILITY CONSISTING OF 9 PANEL ANTENNAS AND A 240 SQUARE-FOOT EQUIPMENT ENCLOSURE LOCATED AT 4700 MESA DRIVE**

RECOMMENDATION

Staff recommends that the Planning Commission by motion:

- (1) Confirm issuance of a Class 3, Categorical Exemption "New Construction or Conversion of Small Structures"; and,
- (2) Adopt Planning Commission Resolution No. 2008-P06 approving Conditional Use Permit C-57-05 with findings and conditions of approval attached herein.

PROJECT DESCRIPTION AND BACKGROUND

Site Review: The subject site is a 14.24-acre lot situated within the Rancho del Oro Planned Development (PD-1) Professional Commercial District. The surrounding land use is primarily residential and part of the Rancho del Oro Specific Plan. Residential land uses are found to the north, south, east, and west of the project site.

Background: Lighthouse Christian Church, 4700 Mesa Drive, is the principal land use at this site. The subordinate land use is communication facilities, which are operated by Cingular ACUP-10-05 and Verizon ACUP-2-04. Cingular and Verizon have located their antennas within the existing building facade.

Project Description: The application consists of a conditional use permit.

Conditional Use Permit C-57-05 represents a request for the following: To permit a stand-alone communication facility pursuant to Section 3025(D)(3) of the Oceanside Zoning Ordinance.

Sprint is proposing to construct, operate, and maintain a stand-alone communication facility consisting of a total of 9 panel antennas. Three antennas will be mounted on one of

three 30-foot tall light standards. The light standards will be located within the westerly off-street parking lot of the Lighthouse Christian Church. The light standard design is typical of Lighthouse Christian Church's parking lot light standards.

The associated equipment shelter will be located along the periphery of the parking lot and adjacent to the church's sanctuary. Dimensionally the proposed equipment shelter is 12-foot tall by 20-foot long by 12 feet-wide. AC units will be sheltered under a 5.75-foot by 12-foot structure. The proposed equipment will be enclosed on all four sides and the top.

Lighthouse Christian Church currently is required by condition to landscape areas adjacent to the parking lot. Supplemental to these requirements, this conditional use permit includes conditions to plant shrubs and ground cover (for example, *Carissa*, *Detes*, *Lavender*, *Lantana*, *Ivy*) in areas adjacent to the equipment shelter. *Ficus repens*, vines, will be encouraged to cover the equipment shelter. The applicant is required to plant two 24-inch box *Cupaniopsis anacardioides* within twelve feet of the equipment shelter.

The project is subject to the following Ordinances, City policies, and the State of California Government Code:

1. General Plan
2. Zoning Ordinance
3. The Rancho del Oro Specific Plan
4. State of California Government Code 65850

ANALYSIS

KEY PLANNING ISSUES

1. General Plan conformance

The General Plan Land Use Map designation on the subject property is Rancho del Oro Specific Plan (S-1-84). The proposed project is consistent with this designation and the goals and objectives of the City's General Plan as follows:

Land Use Element II. Community Development

Goal 2.726: Communication Systems

Objective: To provide for the efficient and aesthetic functioning of communication systems within the City.

Policies:

- A. The City shall encourage planning for the future communication system needs of individual land developments or uses and the City in general.
- B. Communication facilities shall be required to conform visually to surrounding land uses and/or natural features.

- C. The City shall require the consolidation and joint-use of communication facilities and structures whenever possible.

The proposal is a stand-alone communication facility. Co-use is not proposed and due to the nature of the disguise, C-57-05 is specifically conditioned to not allow future co-users. It is noteworthy that the site already includes two other communication services. Both are designed as co-user communication facilities. Cingular and Verizon have mounted antennas behind the existing building's facade. These antennas are not visible.

The proposed stand-alone communication facility visually conforms to the surrounding area because the antennas are mounted to light standards that are designed to match other light standards located within the Lighthouse Christian Church's parking lot.

2. Zoning Ordinance Compliance

The land use, communication facilities, is subject to Section 3025.D *Communication facilities* of the Zoning Ordinance and Section 3005 *Nonresidential accessory structures*.

Article 30, Section 3025, A(3): This section of the Zoning Ordinance regulates the siting of communication facilities so as to comply with the limitations, constraints and policies set forth in relevant federal and state wireless telecommunication laws. The proposed project has been designed and further conditioned to comply with relevant federal and state laws.

Article 30, Section 3005. The maximum height for nonresidential accessory structures is 12-feet. As such, the equipment shelter is designed to comply with this height requirement.

3. Rancho del Oro Specific Plan

The Retail Commercial Centers in the Rancho del Oro Specific Plan area are zoned Planned Development (PD-1). The zoning provisions which apply to the commercial sites, including 4700 Mesa Drive, are those of the Planned Commercial (PC) zone of the Zoning Ordinance in effect as of December, 1985. The specific plan identifies 202.A-1 *Religious Activities*, like the Lighthouse Christian Church, as requiring a conditional use permit. The Planning Commission approved C-50-00 by Resolution 2001-P18 and then subsequently approved a revision to C-50-00 by Resolution 2003-P44.

The City Planner has previously approved co-user communication facilities at this site (ACUP-10-05 and ACUP-2-04). The 1985 Zoning Ordinance and the adopted Specific Plan did not anticipate the 1996 regulations related to communication facilities. The proposed stand-alone communication facility has been determined to conform to the Rancho del Oro Specific Plan and the Rancho del Oro Commercial Master Development Plan.

4. State of California Government Code 65850

California State Government Code 65850.6(b) states that a city shall not unreasonably limit the duration of any permit for a stand-alone communication facility. Limits of less than 10 years are presumed to be unreasonable absent public safety reasons or substantial land use reasons. The proposed site has been given a 10-year limit with conditions that assure the City of Oceanside has the ability to request technology and aesthetic analyses of the site if they are found to be necessary.

DISCUSSION

Issue: Lighthouse Christian Church has yet to construct all aspects of their original approval, including the sanctuary and secondary parking lot.

Recommendation: This stand-alone communication facility is proposed to be situated in a parking lot adjacent to the sanctuary. The associated equipment shelter is proposed to be located directly adjacent to the sanctuary. Since the parking lot and sanctuary have yet to be constructed, the conditions recommended by staff include phasing the construction of the communication facility with the construction of the parking lot and sanctuary.

Issue: The conditional use permit expires in forty-eight months unless implemented in accordance with the policies of the Zoning Ordinance.

Recommendation: Lighthouse Christian Church has not proceeded with the construction of the parking lot or the sanctuary. In response to the site specific conditions, staff recommends that the applicant have forty-eight months to implement conditional use permit C-57-05. Typically conditions provide twenty-four months to implement a project.

Issue: The stand-alone communication facility must be disguised as appropriate for the project site.

Recommendation: The applicant proposes to disguise the stand-alone communication facility as a one of many other parking lot standards. This disguise should be effective. Due to the site's elevation vis-à-vis the street, the light standards may not be visible from College Boulevard.

The Section 3025.D.4.F states that an approved facility shall address the appearance of the entire site and shall upgrade or repair physical features as a means of minimizing view impacts to the community. Much of the subject site is already subject to landscaping requirements. The applicant has proposed landscape improvements near the associated equipment shelter. Landscaping will include a minimum of two trees, a variety of shrubs, and a vine. These improvements will positively contribute to minimizing the visual impact of the stand-alone communication facility.

ENVIRONMENTAL DETERMINATION

The proposed project is categorically exempt pursuant to Article 19 Categorical Exemptions, Section 15303 New Construction or Conversion of Small Structures, of the California Environmental Quality Act.

PUBLIC NOTIFICATION

Legal notice was published in the North County Times and notices were sent to property owners of record within a 300-foot radius of the subject property, individuals and or organizations requesting notification, applicant and other interested parties. As of February 4, 2007, no communication supporting or opposing the request has been received.

SUMMARY

The proposed Conditional Use Permit, as conditioned, is consistent with the requirements of the Zoning Ordinance, the Rancho del Oro Specific Plan, and the land use policies of the General Plan. The project has been conditioned to meet or exceed all applicable development standards. As such, staff recommends that the Planning Commission approve the project based on the findings and subject to the conditions contained in the attached resolution. Staff recommends that the Planning Commission:

- Adopt Planning Commission Resolution No. 2008-P06 approving Conditional Use Permit C-57-05 with findings and conditions of approval attached herein.

PREPARED BY:

SUBMITTED BY:



Juliana von Hacht
Associate Planner

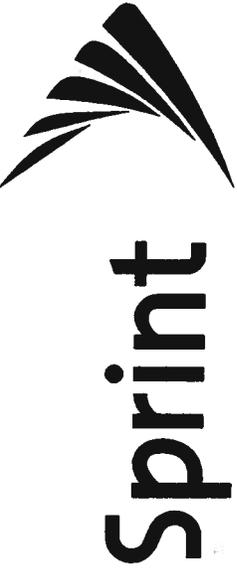


Jerry Hittleman
City Planner

JH/JvH/vnm

Attachments:

1. Site Plan and Elevations
2. Planning Commission Resolution No. 2008-P06



Together with NEXTEL

LIGHTHOUSE CHRISTIAN CHURCH SD54XC896E / CA7473 4700 MESA DRIVE OCEANSIDE, CA. 92056

APPLICATION NUMBER:
C-67-05

APPROVING	SIGNATURE	DATE
SPRINT		
SPRINT SITE ACQ. REP.		
SPRINT CONST. REP.		
ZONING		
C.A.		

APPROVAL SIGNATURE BLOCK

VICINITY MAP

DIRECTIONS FROM SPRINT REGIONAL OFFICE IN SAN DIEGO:
Take I-15 north to Highway 78 East. Exit 1045B and take left turn right on Mesa Drive. Site is located on the north/south corner.

DRIVING DIRECTIONS

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF THE INSTALLATION AND OPERATION OF A WIRELESS TELECOMMUNICATIONS FACILITY. THE FACILITY WILL BE A WIRELESS TELECOMMUNICATIONS FACILITY. THE FACILITY WILL BE A WIRELESS TELECOMMUNICATIONS FACILITY. THE FACILITY WILL BE A WIRELESS TELECOMMUNICATIONS FACILITY.

PROJECT SUMMARY

APPLICANT/LESSEE:
SPRINT WIRELESS, INC.
11000 SANDHILL DRIVE, SUITE 100
SAN MARCOS, CA 92069
PHONE: (951) 623-5223

PROPERTY INFORMATION:
OWNER: LANTANA CRESTAL
ADDRESS: 4700 MESA DRIVE
OCEANSIDE, CA. 92056
CONTRACT: (951) 442-3716

ZONING CONSULTANT:
SAC WIRELESS, INC.
11000 SANDHILL DRIVE, SUITE 100
SAN MARCOS, CA 92069
PHONE: (951) 442-3716

PROPERTY INFORMATION:
OWNER: LANTANA CRESTAL
ADDRESS: 4700 MESA DRIVE
OCEANSIDE, CA. 92056
CONTRACT: (951) 442-3716

AREA OF CONSTRUCTION: 280 SF

NO. STORES: 1

PROPOSED OCCUPANCY TYPE: TELECOMMUNICATIONS FACILITY

PROPOSED CONSTRUCTION TYPE: PERMITS

A.P.N.: 161-311-18

HAZARDOUS MATERIALS: NO HAZARDOUS MATERIALS ARE ON SITE FOR ACCESS BUT REQUIRED.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE EXAMINED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODES, THE CALIFORNIA ELECTRICAL CODES, THE CALIFORNIA MECHANICAL CODES, THE CALIFORNIA PLUMBING CODES, THE CALIFORNIA FIRE SAFETY CODES, THE CALIFORNIA LANDMARKS AND HISTORIC PRESERVATION ACT, THE CALIFORNIA HISTORIC PRESERVATION ACT, THE CALIFORNIA HISTORIC PRESERVATION ACT, THE CALIFORNIA HISTORIC PRESERVATION ACT.

SURVEYOR:
CALIFORNIA SURVEYING
11000 SANDHILL DRIVE, SUITE 100
SAN MARCOS, CA 92069
PHONE: (951) 442-3716

CIVIL ENGINEER:
SAC WIRELESS, INC.
11000 SANDHILL DRIVE, SUITE 100
SAN MARCOS, CA 92069
PHONE: (951) 442-3716

STRUCTURAL ENGINEER:
SAC WIRELESS, INC.
11000 SANDHILL DRIVE, SUITE 100
SAN MARCOS, CA 92069
PHONE: (951) 442-3716

ELECTRICAL ENGINEER:
SAC WIRELESS, INC.
11000 SANDHILL DRIVE, SUITE 100
SAN MARCOS, CA 92069
PHONE: (951) 442-3716

UTILITY CONSULTANT:
SAC WIRELESS, INC.
11000 SANDHILL DRIVE, SUITE 100
SAN MARCOS, CA 92069
PHONE: (951) 442-3716

PROJECT TEAM

RECEIVED
NOV 07 2006
Planning Department

REV	DESCRIPTION
T1	TITLE SHEET
LS1	TOPOGRAPHIC SURVEY
A1	SITE PLAN
A2	ENLARGED SITE PLAN
A3	ENLARGED SITE PLAN & JUNCTION LAYOUT
A4	ENLARGED SITE PLAN
A5	WEST & NORTH ELEVATIONS
A6	EAST & SOUTH ELEVATIONS
A7	EQUIPMENT ELEVATIONS & DETAILS
A8	LANDSCAPE PLAN
1	LANDSCAPE IMPROVEMENT PLAN (BY MESA LANDSCAPE ARCHITECTS DRAWING NO. 18471)
2	LANDSCAPE CONSTRUCTION PLAN
3	LANDSCAPE CONSTRUCTION DETAILS
4	LANDSCAPE IRRIGATION PLAN
5	LANDSCAPE IRRIGATION LEGEND
6	LANDSCAPE IRRIGATION DETAILS
7	LANDSCAPE PLANTING PLAN
8	LANDSCAPE PLANTING DETAILS & NOTES

SHEET INDEX

ISSUED FOR: ZONING

Sprint
Together with NEXTEL
2550 CAMINO DEL RIO NORTH, SUITE 100
SAN DIEGO, CA 92108

PROJECT INFORMATION:
LIGHTHOUSE CHRISTIAN CHURCH
SD54XC896E / CA7473
4700 MESA DRIVE
OCEANSIDE, CA 92056
CITY OF OCEANSIDE
CURRENT ISSUE DATE:

10/27/06

ISSUED FOR: ZONING

REV.	DATE	ISSUED FOR:
0	06/29/06	ISSUED FOR: ZONING
1	06/07/06	ISSUED FOR: ZONING
2	02/07/06	ISSUED FOR: ZONING
3	02/07/06	ISSUED FOR: ZONING
4	02/17/06	MARKET COMMENTS
5	02/17/06	MARKET COMMENTS
6	02/17/06	MARKET COMMENTS

CONSULTANT:
SAC Wireless, Inc.
11000 SANDHILL DRIVE, SUITE 100
SAN MARCOS, CA 92069
PHONE: (951) 442-3716

DRAWN BY: RC
WT
WT
WT

DESIGNER: RC
WT
WT

TITLE SHEET

SHEET NUMBER: T1
REVISION: 5
SCALE: AS SHOWN



PROJECT INFORMATION:
LIGHTHOUSE CHRISTIAN CHURCH
 SD54XC896-E / CA7473
 4700 MESA DRIVE
 OCEANSIDE, CA 92056
 CITY OF OCEANSIDE
 CURRENT ISSUE DATE:
 10/27/06

ISSUED FOR:
ZONING

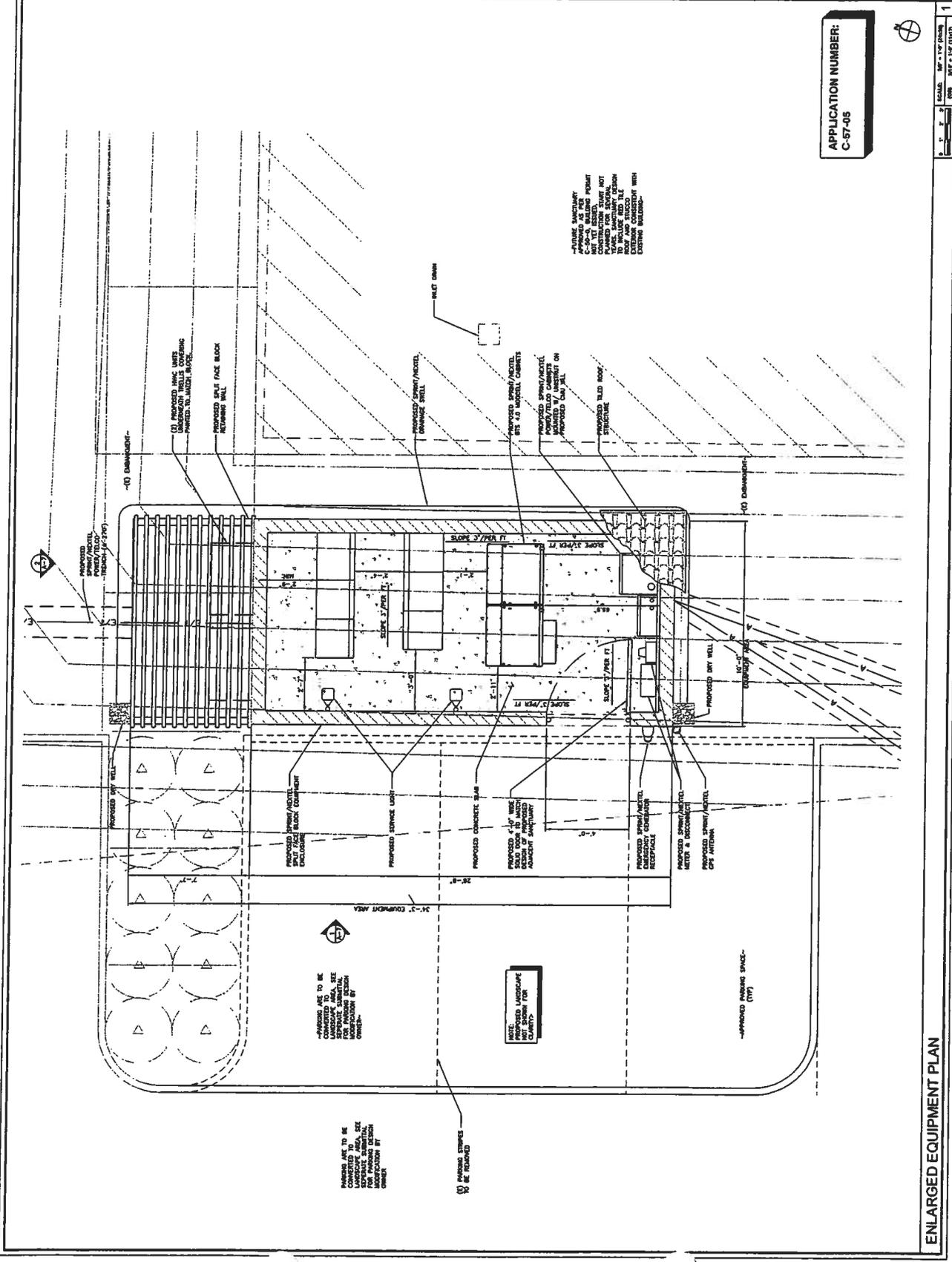
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5	10/27/06	100% ZONING
4	03/17/06	MARKET COMMENTS
3	02/09/06	100% ZONING
2	09/27/05	ISSUED FOR 100% ZONING
1	09/09/05	ISSUED FOR 100% ZONING
0	09/29/05	ISSUED FOR 100% ZONING

PLANS PREPARED BY:
SAC Wireless, Inc.
 11300 SERRANO VALLEY RD., SUITE 230
 SAN DIEGO, CA 92121
 TEL (619) 594-8800
 FAX (619) 592-0184

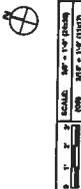
CONSULTANT:
 DRAWN BY: RC WT
 CHECKED BY: APJ
 PERMITSURE:

SHEET TITLE:
ENLARGED EQUIPMENT PLAN

SHEET NUMBER: REVISION:
A3 5
 S0042089E



APPLICATION NUMBER:
C-57-05



ENLARGED EQUIPMENT PLAN

SCALE: 1/8" = 1'-0" (PLAN)
 1/4" = 1'-0" (ELEV)
 1" = 1'-0" (SECTION)

PAVING ARE TO BE CONVEYED TO THE CITY OF OCEANSIDE FOR SEPARATE SUBMITTAL AND APPROVAL BY THE CITY ENGINEER.

(1) PAVING STRIPS TO BE REMOVED

NOTE: PROPOSED LANDSCAPE QUANTITY FOR

PAVING ARE TO BE CONVEYED TO THE CITY OF OCEANSIDE FOR SEPARATE SUBMITTAL AND APPROVAL BY THE CITY ENGINEER.

APPROVED PAVING SPACE (10)



Together with NEXTEL
 2450 CAMINO DEL RIO MONTE, SUITE 100
 SAN LEANDRO, CA 92376

PROJECT INFORMATION:
LIGHTHOUSE CHRISTIAN CHURCH
 SD54XC896-E / CA7473
 4700 MESA DRIVE
 OCEANSIDE, CA 92056
 CITY OF OCEANSIDE

CURRENT ISSUE DATE:
10/27/06

ISSUED FOR:
ZONING

REV. DATE: ISSUED FOR:

5	10/27/06	100% ZONING	REV
4	03/17/06	MARKET CENTER	OC
3	02/07/06	ISSUED FOR 100% ZONING	OC
2	01/27/06	ISSUED FOR 100% ZONING	OC
1	01/27/06	ISSUED FOR 100% ZONING	OC
0	01/27/06	ISSUED FOR 100% ZONING	OC

PLANS PREPARED BY:

 11300 SERRANO VALLEY RD. SUITE 230
 SAN DIEGO, CA 92111
 PH: (619) 552-0198
 FAX: (619) 552-0198

CONSULTANT:

DESIGN BY: CHM. / AP /

DRAWN BY: RC WT WT

LICENSE:

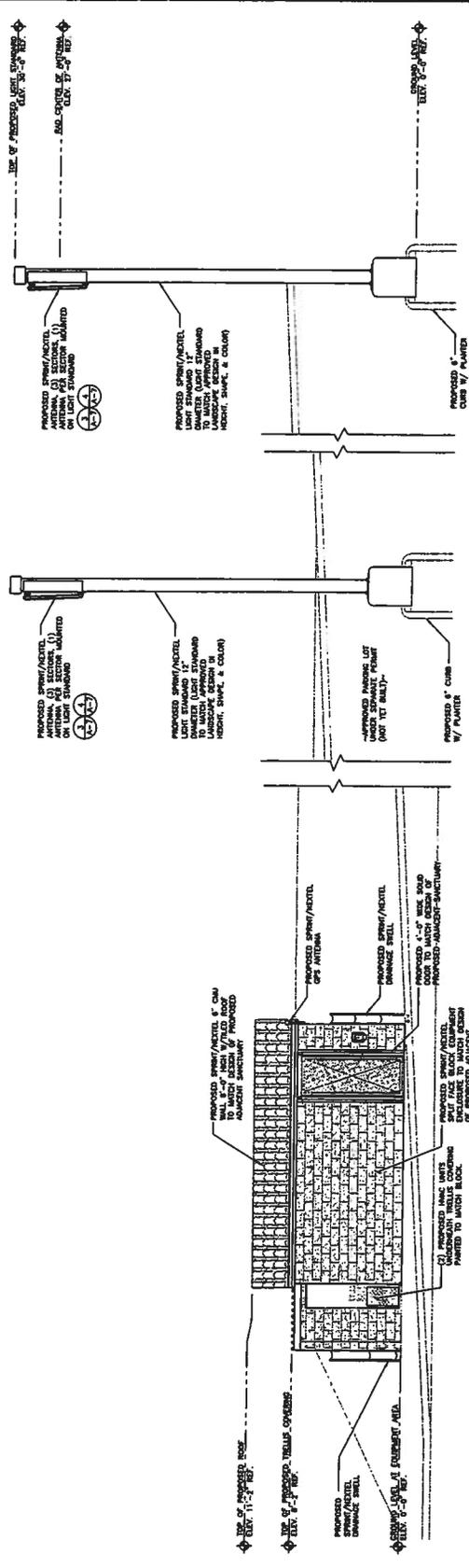
SHEET TITLE:
WEST & NORTH ELEVATIONS

SHEET NUMBER: **A5**

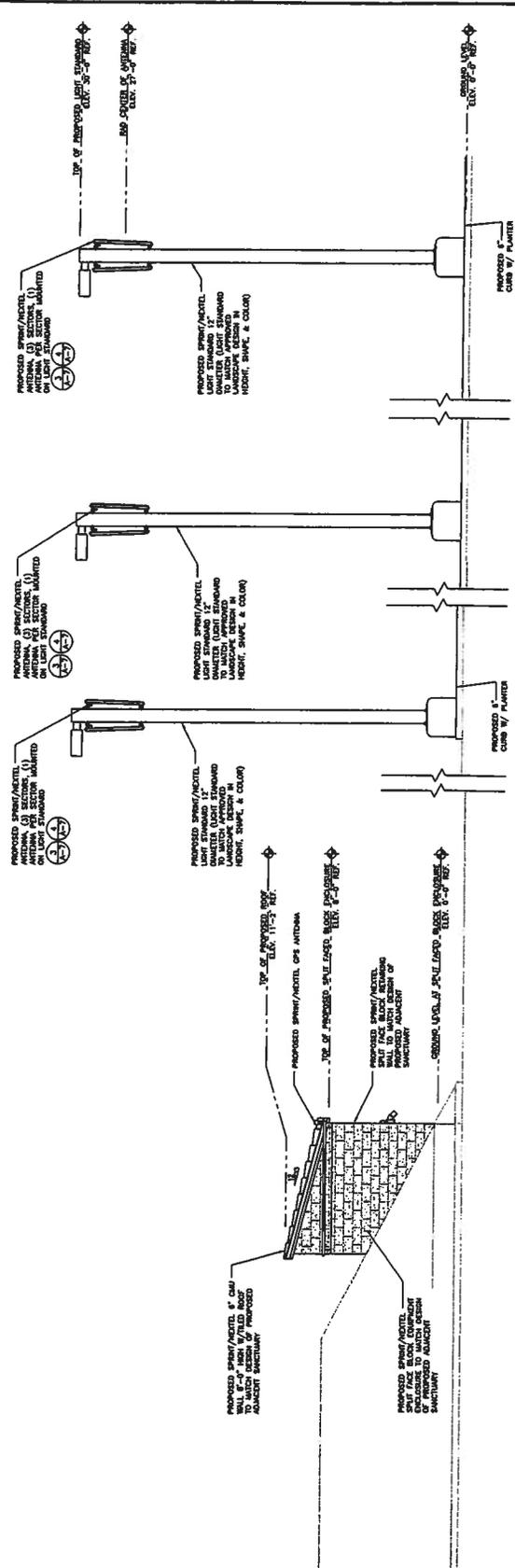
REVISIONS:
5

SDS-10/20/06

APPLICATION NUMBER:
C-67-06



WEST ELEVATION



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

APPLICATION NUMBER:
C-57-05



PROJECT INFORMATION:
LIGHTHOUSE CHRISTIAN CHURCH
SD54XC896-E / CA7473
4700 MESA DRIVE
OCEANSIDE, CA 92056
CITY OF OCEANSIDE
CURRENT ISSUE DATE:
10/27/06

ISSUED FOR:
ZONING

REV.	DATE	ISSUED FOR:
5	10/27/06	100% ZONING
4	03/17/06	MARKET CENTER ZONING
3	07/07/06	MARKET CENTER ZONING
2	07/27/06	ISSUED FOR 100% ZONING
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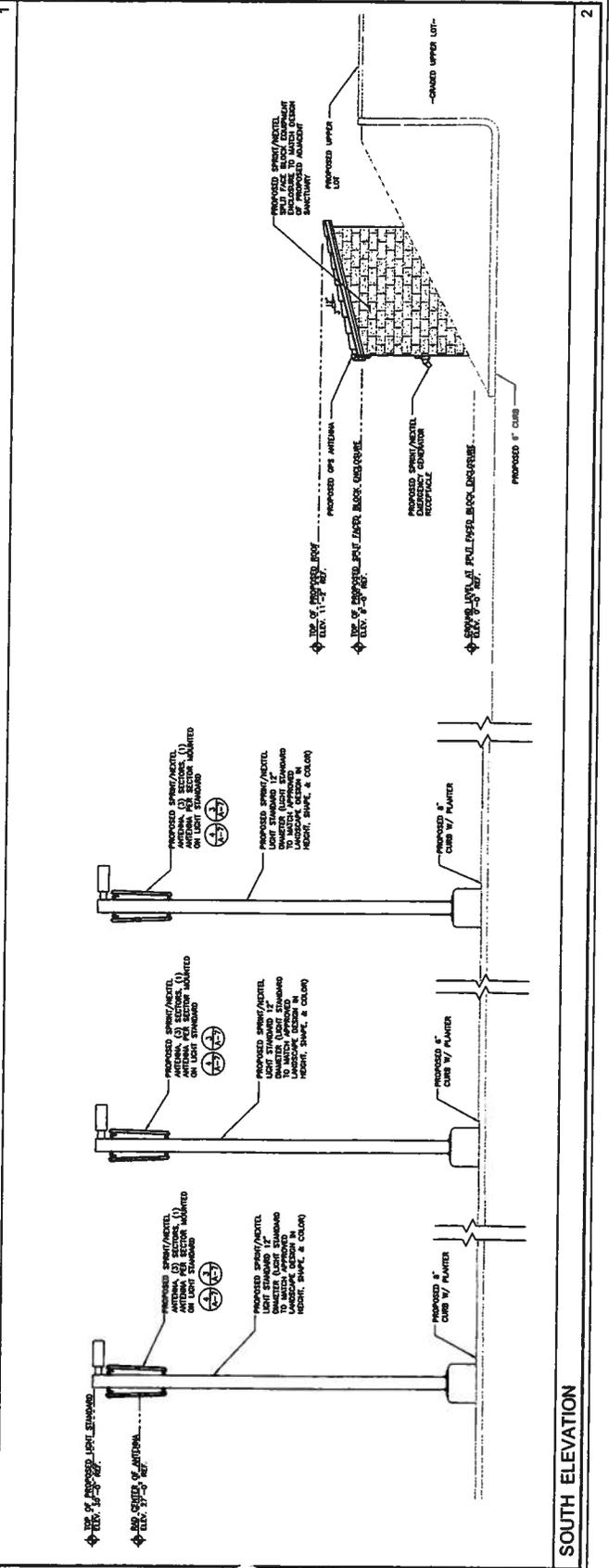
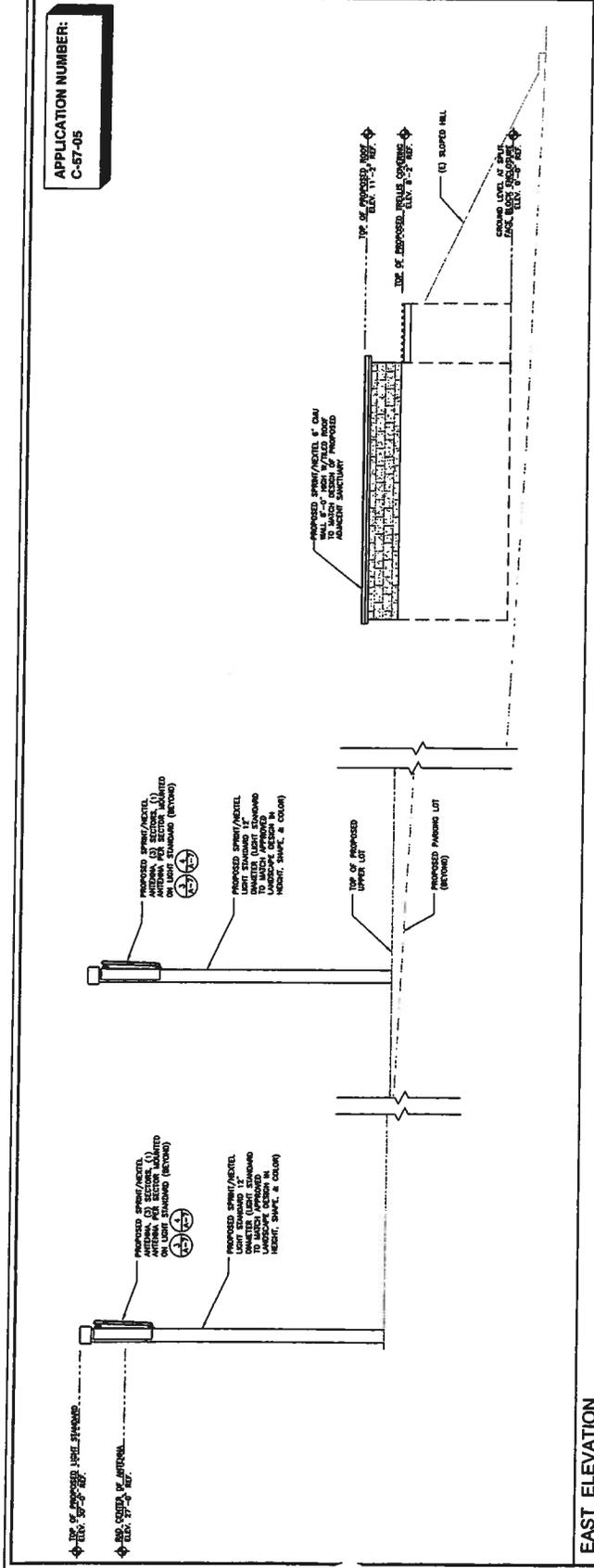
PLANS PREPARED BY:
SAC Werhess, Inc.
11300 SERRANO VALLEY RD. SUITE 230
SAN DIEGO, CA 92111
PH (619) 451-2111
FAX (619) 451-2184

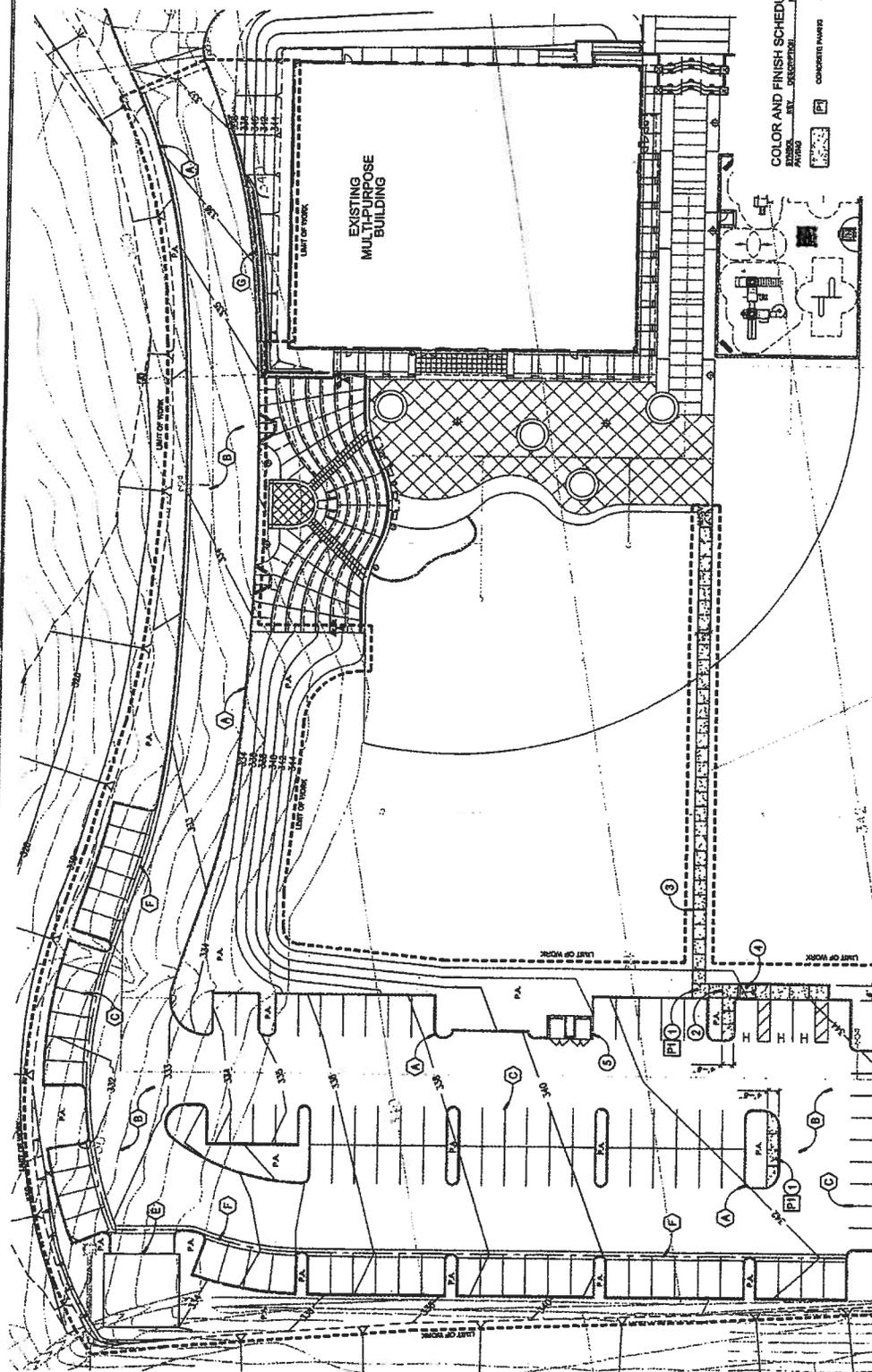
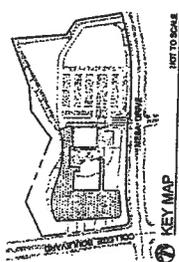
CONSUBMITTANT:

DRAWN BY: RC
CHKD BY: JPH
DATE: 10/27/06

SHEET TITLE:
EAST & SOUTH ELEVATIONS

SHEET NUMBER: A6
SECTION: 5
DATE: 10/27/06





- CONSTRUCTION LEGEND**
- 1 CONSTRUCT CONCRETE PAVING PER DETAIL B, SHEET L2.1.
 - 2 CONSTRUCT TYPICAL DRIVE LANE PER DETAIL A, SHEET L2.1.
 - 3 CONSTRUCT EXPANSION JOINT PER DETAIL A, SHEET L2.1.
 - 4 CONSTRUCT CONCRETE MAINTENANCE RAMP PER DETAIL D, SHEET L2.1.
 - 5 CONSTRUCT TYPICAL ENCLOSURE PER DETAIL C, SHEET L2.1.
- THE FOLLOWING ITEMS ARE FOR REFERENCE ONLY.
- A CONCRETE CURB PER CIVIL ENGINEER'S SHEETS.
 - B AC PAVING PER CIVIL ENGINEER'S SHEETS.
 - C PAVED LOT STRIPING PER CIVIL ENGINEER'S SHEETS.
 - D EXISTING 24" CONCRETE UT CURB.
 - E STORAGE BASKETS BY OTHERS.
 - F SUTTER PER CIVIL ENGINEER'S SHEETS.
 - G TWO-SIDED CURB INCLUDING WALL PER APPROPRIATE PERMITS, DESIGNED BY CITY ENGINEER.

COLOR AND FINISH SCHEDULE

FINISH	COLOR	CONCRETE FINISH
STANDARD	CONCRETE	CONCRETE FINISH
TEXTURE	CONCRETE	CONCRETE FINISH
SMOOTH	CONCRETE	CONCRETE FINISH
BRUSHED	CONCRETE	CONCRETE FINISH
EXPOSED AGGREGATE	CONCRETE	CONCRETE FINISH
BRUSHED CONCRETE	CONCRETE	CONCRETE FINISH
BRUSHED CONCRETE	CONCRETE	CONCRETE FINISH
BRUSHED CONCRETE	CONCRETE	CONCRETE FINISH

FOR CONSTRUCTION DETAILS, REFER TO SHEETS L2.1
 FOR CONSTRUCTION NOTES, REFER TO SHEET L2.1.

D-20-00 L11

CITY OF CANTON
 ENGINEERING DEPARTMENT

LANDSCAPE CONSTRUCTION PLAN
LIGHTHOUSE CHRISTIAN CHURCH
PARKING LOT

DESIGNED BY: **W. W. GILLES**
 CHECKED BY: **J. A. ROSE**
 DRAWN BY: **J. A. ROSE**
 DATE: **11/11/11**

NO.	DATE	REVISIONS

PROFESSIONAL ENGINEER

SCALE AND NORTH

0 20 40 60

MESA DRIVE

THIS DOCUMENT IS UNCLASSIFIED

6" SQUARE NON-TAPERED STEEL

SPECIFICATIONS

SHAFT

6" Square, fabricated from high grade structural steel tube. Conforms to ASTM-A-501-68 specifications. Meets or exceeds minimum yield strength of 46,000 PSI. Wall thickness 11GA (.120 wall) or 7GA (.180 wall) as specified. (See ordering information). Flush reinforced hand hole is furnished with cover.

BASE PLATE

Fabricated from structural quality hot rolled steel. Meets or exceeds minimum yield strength of 36,000 PSI. Base telescopes and is circumferentially welded to pole shaft. Bolt holes slotted to provide 1" flexibility on either side of bolt circle centerline.

ANCHORAGE

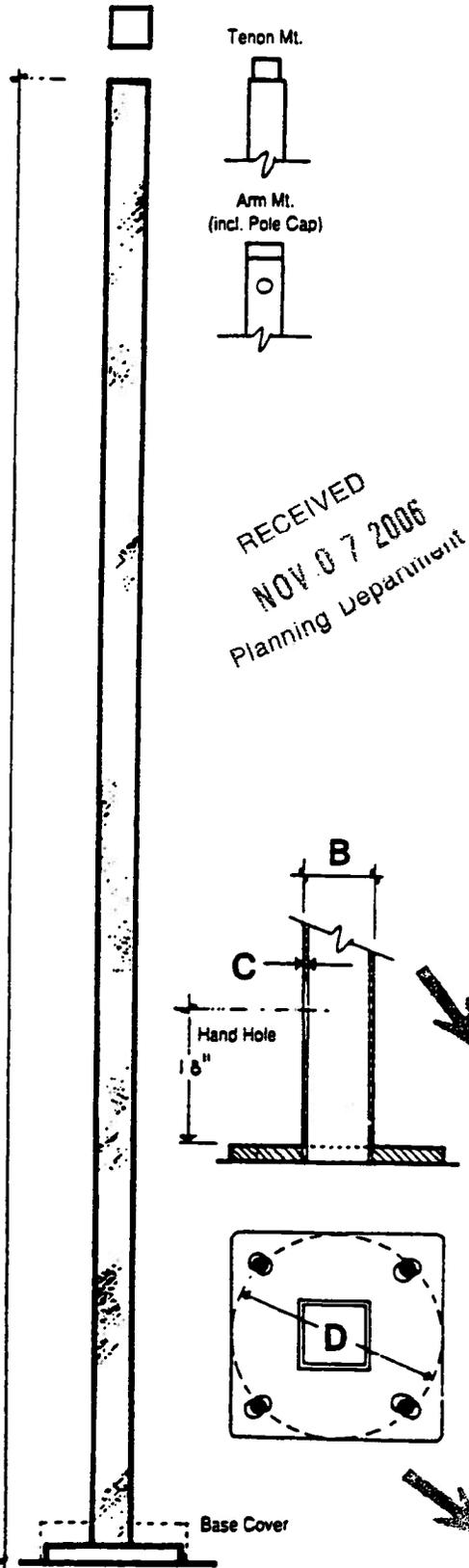
Hot rolled steel bar - minimum yield strength of 50,000 PSI. Bolts have "L" bend on one end and are threaded on the other end. Bolts are galvanized and are furnished with two nuts and washers.

BASE COVER

(Optional) Fabricated from heavy gauge quality aluminum Two piece cover conceals base.

STD. FINISH

Electrostatically applied primer over 2 stage cleaning process.



ORDERING INFORMATION

	A	B	C	D	E
Catalog Number	Pole Height	Shaft Size	Gauge	Bolt Circle	Anchorage
APSNT-S 206-7	20'	6" square	7	11 1/2"	1 x 36 x 4
APSNT-S 256-7	25'	6" square	7	11 1/2"	1 x 36 x 4
APSNT-S 306-7	30'	6" square	7	11 1/2"	1 x 36 x 4
APSNT-S 356-7	35'	6" square	7	13 1/2"	1 x 36 x 4
APSNT-S 406-7	40'	6" square	7	13 1/2"	1 x 36 x 4

ALL POLES FURNISHED WITH GROUND LUG

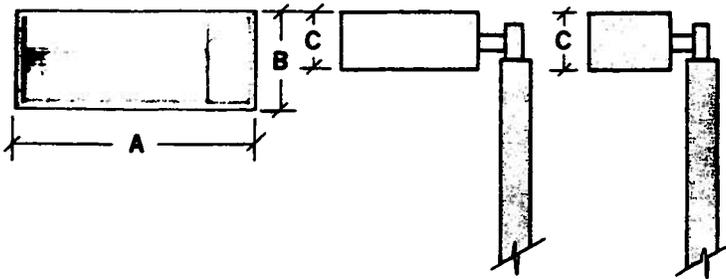
FINISH OPTIONS

- Light Bronze - 311 Medium Bronze - 312
- Dark Bronze - 313 Black - BLK
- Galvanized - GLV

- Specify as suffix to Cat #.
- Other colors available - specify.
- Please specify tenon or drill mount type pole.
- If drill mount indicate manufacturer and drilling template number.

BZ=Bronze

DIMENSIONAL DATA

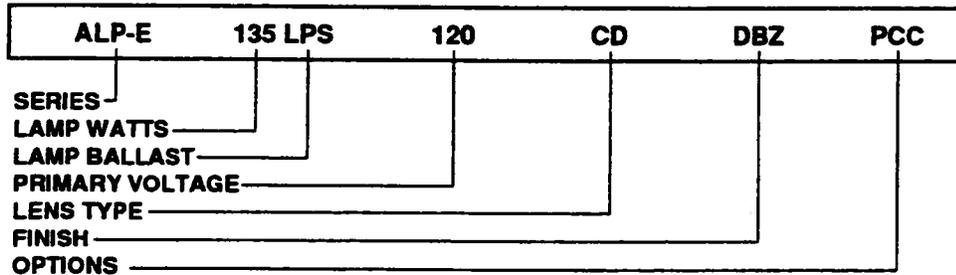


LUMINAIRE DIMENSIONS

LAMP WATTS	DIMENSIONS		SIDE OR END MOUNT	
	A	B	C	WEIGHT* EPA**
ALP 35/55W	20-5/8"	14-5/16"	7-1/4"	42 lb. 1.40
ALP 90W	24-5/8"	14-5/16"	7-1/4"	48 lb. 1.52
ALP 135W	34-3/8"	14-5/16"	7-1/4"	55 lb. 1.95
ALP 180W	48"	14-5/16"	7-1/4"	62 lb. 2.65

*Weights are approximate and will vary slightly with different ballasts.
 **EPA-Effective projected area in square feet. For single units only.

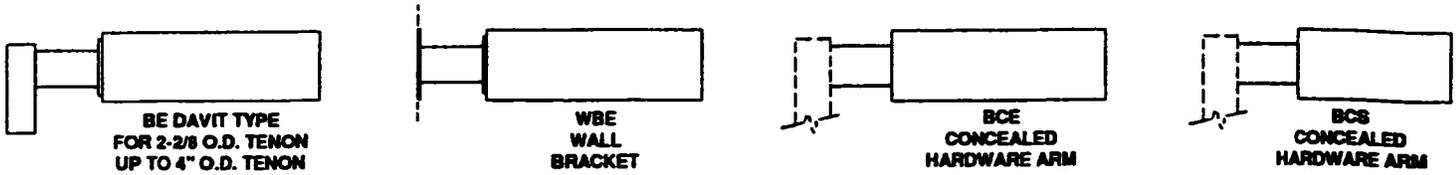
ORDERING INFORMATION



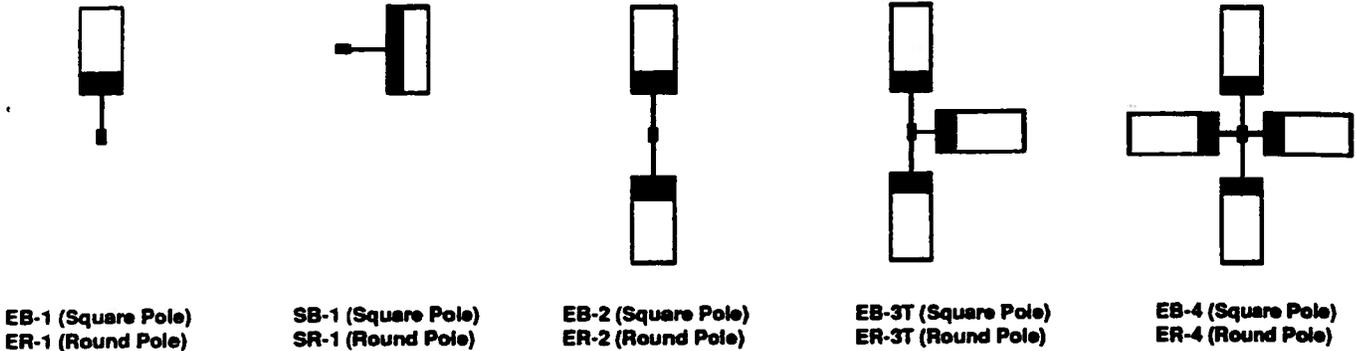
ORDERING INFORMATION								
1. SERIES	2. MOUNTING TYPE	3. NUMBER OF FIXTURES	4. LAMP WATTS	5. LAMP BALLAST	6. PRIMARY VOLTAGE	7. LENS TYPE	8. REFLECTOR TYPE	9. FIXTURE FINISH
ALP	BE Arm Bracket for 2-3/8" O.D. Tenon	1- Single	35/55	LPS - Low Pressure	120/240	CD- Clear Flat	A Forward throw (Asym.)	BZ- Bronze Enamel
ALPE (End Mount)	BCS - Concealed Hardware Arm	2- Double	90 - 135- 180-	Sodium	208- 208/277 277	DR. Acrylic CP- Clear Flat	SX IV - TYPE IV (ALPS fixtures are available with a standard reflector, which need not be specified.)	BK- Black Enamel
ALPS (Side Mount)		3T- Triple 4- Quad			MT Multi Tap 480	Polycarbonate		

MOUNTING TYPES

Luminaires are available in a wide range of mounting types for individuals or multiple head installation to meet the requirements of any lighting layout. Lighting applications, pole location, uniformity, existing site constraints, or aesthetics may affect the mounting style desired.



BRACKETS



ACCESSORIES

A full range of optional accessories is available to meet specific job requirements:

Photocontrol and Receptacle: (PCC)
Photocontrol Receptacle: (PCR)
Receptacle only.

Fusing: Single Fuse (F) or Double In-Line Fuses (FF), factory pre-wired in luminaire.

Polycarbonate Lens Shield: (PL) Clear, flat 3/16" polycarbonate sheet provides protection from vandalism. Particularly suited to lower mounting heights.



SPECIFICATIONS

LIGHT DISTRIBUTION: The luminaire shall meet the specified light distribution and footcandle levels with an internal optical system and horizontal lamping.

ASSEMBLY: Field installation to bracket or pole shall be accomplished without having to remove or disassemble any fixture components. Fixture shall be U.L. listed "suitable for wet locations."

HOUSING: The fixture housing shall be constructed from heavy gauge aluminum sheet, internally welded.

DOOR FRAME ASSEMBLY: Extruded aluminum door frame shall be furnished

with acrylic DR. or polycarbonate. Silicone gasket prevents entry of moisture, dust and insects. All external hardware to be stainless steel.

BALLAST: Ballast shall be tray mounted and readily accessible, removable and insulated. The fixture is to be factory pre-wired, completely assembled and electronically tested before shipment. Quick disconnects are standard.

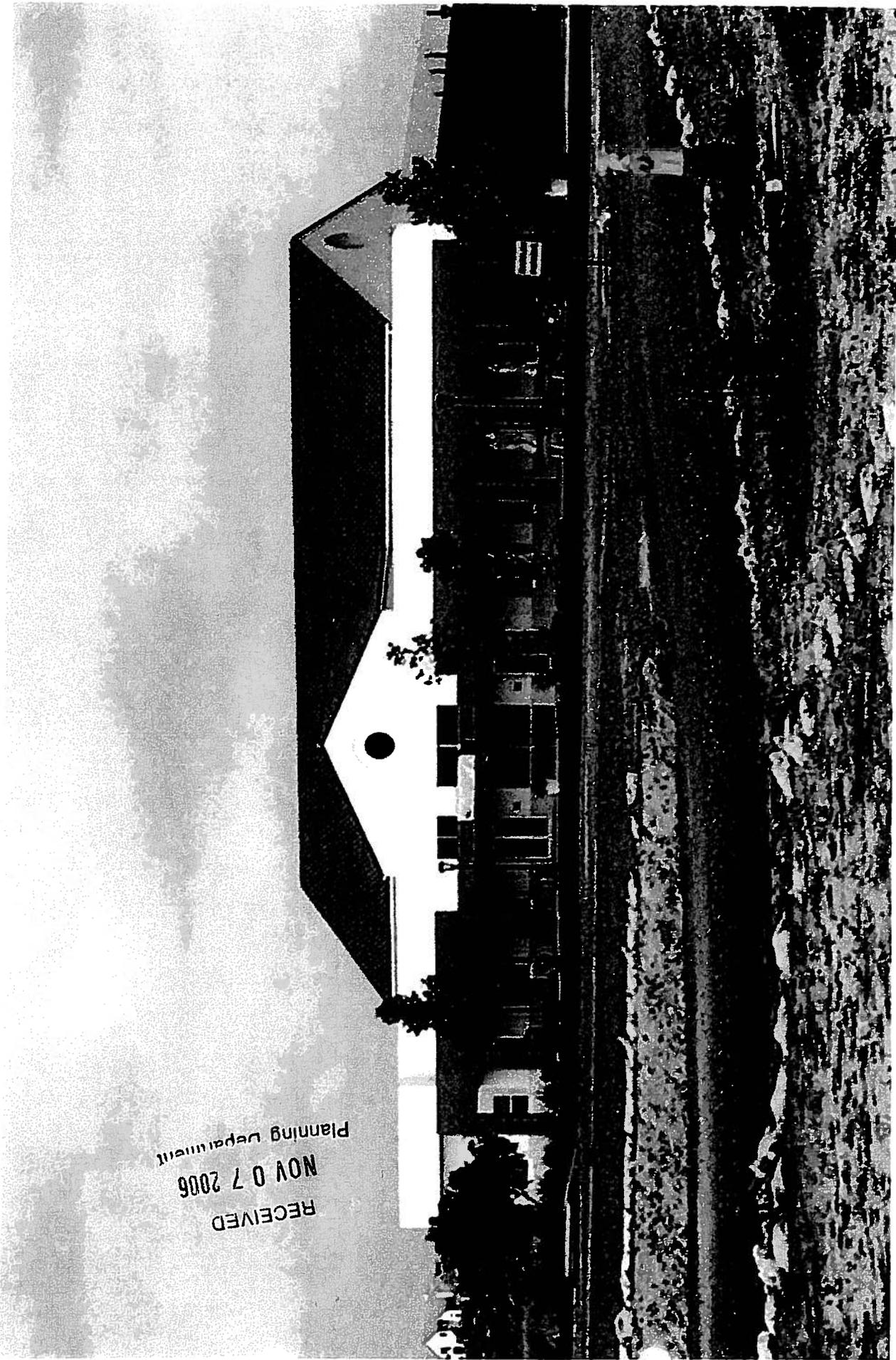
OPTICAL ASSEMBLY: Shall be of highly specular aluminum.

FINISH: Baked enamel finishes shall be applied over aluminum surfaces.

MOUNTING DETAILS: (S Series) The luminaire is equipped with an external slipfitter that accepts 2-3/8" O.D. standard pipe horizontal arms. The slipfitters are drilled and tapped and equipped with clamping bolts.

(ALP Series) The luminaire fits 2-3/8" O.D. tenons (square poles) and externally slipfits 2-3/8"-4" O.D. tenons (round poles) if required.

Specify exact tenon dimension, and dimensions of top of round or square poles to ensure compatibility. Luminaire shall be pre-wired with high temperature wire, making disassembly for installation unnecessary.



EXISTING CHURCH BUILDING



PHOTO OF MODEL

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NOV 07 2006
Planning Department

1 PLANNING COMMISSION
2 RESOLUTION NO. 2008-P06

3 A RESOLUTION OF THE PLANNING COMMISSION OF THE
4 CITY OF OCEANSIDE, CALIFORNIA APPROVING A
5 CONDITIONAL USE PERMIT FOR CERTAIN REAL
6 PROPERTY IN THE CITY OF OCEANSIDE

6 APPLICATION NO: C-57-05
7 APPLICANT: Sprint Nextel
8 LOCATION: 4700 Mesa Drive, Lighthouse Christian Church

8 THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES
9 RESOLVE AS FOLLOWS:

10 WHEREAS, there was filed with this Commission a verified petition on the forms
11 prescribed by the Commission requesting a Conditional Use Permit under the provisions of
12 Articles 30 and 41 of the Zoning Ordinance of the City of Oceanside and under the provisions of
13 the Rancho del Oro Specific Plan S-1-84 to permit the following:

14 a stand-alone communications facility consisting of a total of nine panel antennas, where
15 three panel antennas are mounted to one of three different light standards
16 on certain real property described in the project description.

17 WHEREAS, the Planning Commission, after giving the required notice, did on the 11^h day
18 of February, 2008 conduct a duly advertised public hearing as prescribed by law to consider said
19 application.

20 WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State
21 Guidelines thereto; this project is categorically exempt from CEQA per Article 19, Section
22 15301 Existing Facilities;

23 WHEREAS, the documents or other material which constitutes the record of
24 proceedings upon which the decision is based will be maintained by the City of Oceanside
25 Planning Division, 300 North Coast Highway, Oceanside, California 92054.

26 WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes
27 effective 10 days from the date of its adoption in the absence of the filing of an appeal or call for
28 review;

1 WHEREAS, studies and investigations made by this Commission and in its behalf reveal
2 the following facts:

3 **FINDINGS:**

4 **For the Conditional Use Permit (C-57-05):**

- 5 1. The design of the stand-alone communication facility includes mounting three panel
6 antennas to a light standard located within a parking lot. The appearance of the light
7 standards shall visually conform to other light standards within the parking lot. As such, the
8 project site is consistent with the General Plan policies for visual conformity to surrounding
9 land uses and features while still providing communication, broadcast, and subscription
10 services to the public.
- 11 2. The proposed project is consistent and compatible with the subject property and
12 surrounding neighborhood. The project is conditioned to comply with specific requirements
13 pertaining to its appearance and maintenance. These conditions will ensure the project
14 maintains certain aesthetic values and land use compatibility.
- 15 3. The location and operation of the communication facility, under the applied land use
16 conditions, are consistent with the effective land use policies and will not be detrimental to
17 the public health or general welfare of persons residing or working in the area.

18 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby
19 approve Conditional Use Permit (C-57-05) subject to the following conditions:

20 **Building:**

- 21 1. Applicable Building Codes and Ordinances shall be based on the date of submittal for
22 Building Department plan check (Currently the 2007 California Code of Regulations).
- 23 2. The granting of approval under this action shall in no way relieve the applicant/project
24 from compliance with all State and Local building codes.
- 25 3. Site development, parking, access into buildings and building interiors shall comply with
26 the State's Disabled Accessibility Regulations (2007 CBC Chapter 11B).
- 27 4. The building plans for this project are required by State law to be prepared by a licensed
28 architect or engineer and must be in compliance with this requirement prior to submittal
29 for building plan review.

- 1 5. All electrical, communication, CATV, etc. service lines within the exterior lines of the
2 property shall be underground (City Code Sec. 6.30).
- 3 6. All outdoor lighting must comply with Chapter 39 of the City Code (Light Pollution
4 Ordinance). Where color rendition is important, high-pressure sodium, metal halide or
5 other such lights may be utilized and shall be shown on building and electrical plans.
- 6 7. Compliance with the Federal Clean Water Act (BMP's) must be demonstrated on the
7 plans.
- 8 8. The developer shall monitor, supervise and control all building construction and
9 supporting activities so as to prevent these activities from causing a public nuisance,
10 including, but not limited to, strict adherence to the following:
- 11 a) Building construction work hours shall be limited to between 7 a.m. and 6 p.m.
12 Monday through Friday, and on Saturday from 7 a.m. to 6 p.m. for work that is not
13 inherently noise-producing. Examples of work not permitted on Saturday are
14 concrete and grout pours, roof nailing and activities of similar noise-producing
15 nature. No work shall be permitted on Sundays and Federal Holidays (New Year's
16 Day, Memorial Day, July 4th, Labor Day, Thanksgiving Day, Christmas Day)
17 except as allowed for emergency work under the provisions of the Oceanside City
18 Code Chapter 38 (Noise Ordinance).
- 19 b) The construction site shall be kept reasonably free of construction debris as
20 specified in Section 13.17 of the Oceanside City Code. Storage of debris in
21 approved solid waste containers shall be considered compliance with this
22 requirement. Small Amounts of construction debris may be stored on site in a neat,
23 safe manner for short periods of time pending disposal.
- 24 9. Separate/unique addresses will/may be required to facilitate utility releases. Verification
25 that the addresses have been properly assigned by the City's Planning Division must
26 accompany the Building Permit application.
- 27 10. A complete Soils Report, and Structural Calculations, will be required at time of plan
28 submittal to the Building Division for plan check. The soils report must address all
29

1 conditions associated with the hillside construction including any type of landslide in the
2 area of construction.

3 11. Construction plans submitted to the Building Division after January 1st 2008 must meet
4 all requirements of the 2007 California Code of Regulations.

5 12. Building permits shall be obtained when the antennas are replaced or other site repairs
6 and or improvements are planned.

7 **Engineering:**

8 13. A landscape conceptual plan shall be submitted and approved by the Engineering
9 Division. All landscaping and irrigation shall meet the requirements as outlined in the
10 "City of Oceanside Guidelines and Specifications for Landscape Development",
11 including the maintenance of such landscaping, and the Water Conservation Ordinance
12 No. 91-15. The following special landscaping requirements shall be met:

13 a) Proposed landscape species shall be native or naturalized and meet fire department
14 requirements.

15 b) Provide details and obtain Planning Division approval for the trash enclosure, walls,
16 fencing and gates on site. Trash enclosures shall be softened with landscaping and
17 detailed on the landscape plans. Walls, fences, gates and faux light standards shall
18 be shown and detailed on the landscape plans.

19 c) The landscape plans shall match all plans affiliated with the project.

20 d) Landscape plans shall comply with Biological and/or Geotechnical reports, as
21 required, shall match the grading and improvement plans, comply with SWMP Best
22 Management Practices and meet the satisfaction of the City Engineer.

23 e) Trees shall be spot located by a Landscape Architect at a pre-construction meeting
24 and shall meet the current City of Oceanside requirements. City Landscape
25 Inspector shall verify compliance with current City spacing requirements.

26 14. All landscaping, including any updates to the irrigation system, shall be installed and
27 final signatures shall be obtained within 180 days from the date of project approval.
28 Failure to comply with this condition shall constitute a violation of this Conditional Use
29 Permit.

- 1 15. All landscaping, fences, walls, etc. on the site, in medians in the public right-of-way and
2 in any adjoining public parkways shall be permanently maintained by the owner, their
3 assigns or any successors-in-interest in the property. The maintenance program shall
4 include normal care and irrigation of the landscaping; repair and replacement of plant
5 materials; irrigation systems as necessary; and general cleanup of the landscaped and
6 open areas, parking lots and walkways, walls, fences, etc. Failure to maintain
7 landscaping shall result in the City taking all appropriate enforcement actions by all
8 acceptable means including but not limited to citations and/or actual work with costs
9 charged to or recorded against the owner.
- 10 16. If the project involves demolition of an existing structure or surface improvements,
11 erosion control plans must be approved by the City Engineer prior to the issuance of a
12 demolition permit. No demolition shall be permitted without an approved erosion
13 control plan.
- 14 17. The developer shall monitor, supervise and control all construction and construction-
15 supportive activities, so as to prevent these activities from causing a public nuisance,
16 including but not limited to, insuring strict adherence to the following:
- 17 a) Removal of dirt, debris and other construction material shall not be deposited on
18 any public street or within the City's stormwater conveyance system.
 - 19 b) All grading or site preparation and construction activities shall be limited to the
20 hours of 7:00 a.m. to 6:00 p.m., Monday through Friday. No engineering related
21 construction activities shall be conducted on Saturdays, Sundays or legal holidays
22 unless written permission is granted by the City Engineer with specific limitations
23 to the working hours and types or permitted operations. All on-site construction
24 staging areas shall be as far as possible (minimum 100 feet) from any existing
25 residential developments. Because construction noise may still be intrusive in the
26 evening or on holidays, the City of Oceanside Noise Ordinance also prohibits "any
27 disturbing excessive or offensive noise which causes discomfort or annoyance to
28 reasonable persons of normal sensitivity."
 - 29 c) The construction site shall accommodate the parking of all motor vehicles used by
persons working at or providing deliveries to the site.

1 d) A haul route shall be obtained at least 7 days prior to the start of hauling operations
2 and must be approved by the City Engineer. Hauling operations shall be 8:00 a.m.
3 to 3:30 p.m. unless approved otherwise.

4 f) Existing landscaping on and adjacent to the site shall be protected in place and
5 supplemented or replaced to meet the satisfaction of the City Engineer.

6 18. These conditions of approval are in addition to the conceptual landscape plan and shall
7 supersede where conflicts arise with the plan.

8 19. Any pavement, concrete curb, gutter or sidewalk damaged during construction of the
9 project, shall be repaired or replaced as directed by the City Engineer.

10 20. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and
11 disposed of in accordance with all state and federal requirements, prior to stormwater
12 discharge either off-site or into the City drainage system.

13 21. The project shall comply with all applicable regulations established by the United States
14 Environmental Protection Agency (USEPA) as set forth in the National Pollutant
15 Discharge Elimination System (NPDES) permit requirements for urban runoff and
16 stormwater discharge and any regulations adopted by the City pursuant to the NPDES
17 regulations or requirements. The developer shall comply with all provisions of the Clean
18 Water Program during and after construction. The project's storm drains and other
19 drainage facilities shall include Best Management Practices to minimize non-point
20 source pollution, satisfactory to the City Engineer.

21 22. Upon acceptance of any fee waiver or reduction by the applicant, the entire project will
22 be subject to prevailing wage requirements as specified by Labor Code section 1720(b)
23 (4). The applicant shall agree to execute a form acknowledging the prevailing wage
24 requirements prior to the granting of any fee reductions or waivers.

25 23. Prior to issuance of a building permit, the applicant shall submit a construction phasing
26 plan to be approved by the City Engineer and City Planner.

27 **Fire Prevention:**

28 24. Cell sites are required to have a final inspection by the Fire Department.
29

1 25. The quantity of the proposed lead acid batteries is required. In addition, the electrolyte
2 volume will need to be provided for the batteries.

3 26. Plans shall be submitted to the Fire Prevention Bureau for plan check review and
4 approval prior to the issuance of building permits.

5 **Planning:**

6 27. Conditional Use Permit C-57-05 shall expire forty-eight months after the effective date
7 of the approval, unless implemented in accordance with the policies of the Zoning
8 Ordinance.

9 28. Implementation of this Conditional Use Permit C-57-05 shall proceed with the
10 construction of the sanctuary and westerly parking lot of the Lighthouse Christian
11 Church. The equipment shelter and light standards shall not be constructed or installed
12 prior to construction of the sanctuary and parking lot.

13 29. This Conditional Use Permit approves only a stand-alone communication facility, which
14 is described as follows: nine panel antennas that are grouped in threes and mounted on
15 three different light standards situated within the westerly parking lot of the Lighthouse
16 Christian Church, 4700 Mesa Drive. The light standards shall not exceed 30-feet in
17 height.

18 30. Co-user communication facilities are prohibited from C-57-05, which approves a stand-
19 alone communication facility.

20 31. The project site is subject to various entitlements that are not supplanted by the approval
21 of C-57-05. (The Planning Commission previously approved resolutions 2001-P18 and
22 2003-P44. The City Planner previously approved ACUP-10-05. The Planning Director
23 previously approved ACUP-2-04.) The conditions set forth previously by the Planning
24 Commission, City Planner, and Planning Director are not modified by the approval of C-
25 57-05.

26 32. The Conditional Use Permit shall be called for review by the Planning Commission if
27 complaints are filed and verified as valid by the City Planner or the Code Enforcement
28
29

1 Officer concerning the violation of any of the approved conditions or the project
2 assumptions demonstrated under the application approval.

3 33. The permittee(s)' non-compliance with the conditions of approval shall be grounds for
4 the institution of revocation proceedings of the Conditional Use Permit C-57-05.

5 34. The Conditional Use Permit C-57-05 shall be limited to a term of 10 years. However, the
6 Conditional Use Permit C-57-05 may be revised or renewed in accordance with the
7 provisions of the Zoning Ordinance. The application for Conditional Use Permit C-57-
8 05 revision shall also be evaluated against the existing land use policies and any site area
9 and neighborhood changes.

10 35. Failure to meet any conditions of approval for this development shall constitute a
11 violation of the Conditional Use Permit C-57-05.

12 36. The Conditional Use Permit C-57-05 shall lapse if the exercise of rights granted by it is
13 discontinued for six consecutive months.

14 37. Prior to the transfer of ownership and/or operation of the site the owner shall provide a
15 written copy of the applications, staff report and resolutions for the project to the new
16 owner and or operator. This notification's provision shall run with the life of the project.

17 38. Unless expressly waived, all current zoning standards and City ordinances and policies
18 in effect at the time building permits are issued are required to be met by this project.
19 The approval of this project constitutes the applicant's agreement with all statements in
20 the Description and Justification and their submission of all informational materials.
21 These materials and information shall be binding upon the use and operation of the
22 facility, unless specifically waived by an adopted condition of approval.

23 39. Upon one year of facility operation, and upon any change-out of facility equipment, the
24 permittee shall provide to the City Planner a statement of radio-frequency radiation
25 output and output compliance with the limitations of governing licensing authorities.

26 40. Appropriate building permits shall be obtained prior to the replacement, change-out,
27 and/or retrofit of any equipment, such as antennas, light standards, cables, or the
28 equipment shelter.
29

- 1 41. The permittee(s) shall exercise a good-faith effort to incorporate the best available
2 equipment technology to effect a reduction in the visual presence of the approved
3 antenna and facility equipment. The change-out and retrofit of equipment shall be
4 conducted by the permittee(s) after such equipment becomes available and exhibits
5 common use at similar facilities. Upon the City's request and discretion, the permittee(s)
6 shall be required to provide an independently prepared technical analysis demonstrating
7 compliance with this condition. The permittee(s) inability to demonstrate the use of
8 current technologies may be grounds for the institution of revocation proceedings of
9 Conditional Use Permit C-57-05.
- 10 42. The approved communication facility shall be subject to, and governed by, any and all
11 licensing authority by any governmental agency having jurisdiction. The City's local
12 approval of a communication facility shall not exempt the permittee from any such pre-
13 emptive regulations.
- 14 43. A covenant approved by the City Attorney shall be prepared by the applicant and
15 recorded prior to the issuance of building permits. The covenant shall provide that the
16 property is subject to this approval and the conditions of approval.
- 17 44. A temporary mobile unit, sometimes called a C.O.W., or Cell-on-Wheels, is not
18 permitted at this site.
- 19 45. The physical aspects of telecommunication facility, as pertains to location, size, height,
20 and general appearance shall replicate the information shown on the approved plans,
21 photo-simulations, and all other material submitted for the approval of the project by the
22 Planning Commission and shall be represented on the plans submitted for building
23 permits.
- 24 46. The approved facility shall address the appearance of the existing building at its points
25 of interface. Such measures shall include landscaping (planting two trees, vines, shrubs,
26 and groundcover as shown on the plans) and installing light standards that visually
27 match existing light standards in the parking lot of the Lighthouse Christian Church.
28
29

1 47. The method of antenna concealment is to visually conform to existing light standards
2 within the Lighthouse Christian Church parking lot.

3 48. The operation of a generator is not permitted at this site.

4 49. The proposed 30-foot tall light standards shall be maintained in a like new condition at
5 all times. Upon the City's request and discretion, the permittee(s) shall provide an
6 aesthetic analysis, including current, detailed photographs, to substantiate the like-new
7 appearance of the proposed project, within 90 days of the request. The permittee(s)' non-
8 compliance with this requirement shall be grounds for the institution of revocation
9 proceedings of the Conditional Use Permit.

10 50. The final design, aesthetic devices, and construction of the facility shall be in accordance
11 with the plans representing the approved project and the conditions of approval. In
12 addition, the final construction plans shall demonstrate consistency with the plans and
13 other exhibit materials approved by the Planning Commission. These requirements shall
14 be shown and demonstrated on the plans submitted for building permits and shall be
15 reviewed and approved by the City Planner prior to the issuance of building permits. The
16 following requirements shall be met:

17 a) The light standard shall not exceed 30 feet in height and shall dimensionally match
18 the existing light standards at 4700 Mesa Drive.

19 b) No more than three antennas shall be mounted on any one light standard.

20 c) The equipment shelter shall substantially match what is shown on the plans.

21 51. Any apparent inconsistency resulting from the construction of the approved facility shall
22 be a basis for a call for the review of the Conditional Use Permit.

23 52. Upon termination of the approved facility use, the permittee shall be responsible to
24 remove the entire facility from the premises and return the site to its intended
25 appearance (a parking lot).

26 **Water Utilities:**

27 53. No trees, structures or building overhang shall be located within any water or
28 wastewater utility easement.

1 54. The developer will be responsible for developing all water and sewer utilities necessary
2 to develop the property. Any relocation of water and/or sewer utilities is the
3 responsibility of the developer and shall be done by an approved licensed contractor at
4 the developer's expense.

5 55. If landscaping is necessary for the development of this project, a separate irrigation
6 meter and connection will be required for the new landscaping. If, on the contrary, the
7 property were to have an existing separate irrigation system and the intent is to connect
8 to this system, then an agreement letter between the developer and the property owner
9 shall be provided to the Water Utilities Department indicating the property owner's
10 permission for an irrigation service tie-in.

11 PASSED AND ADOPTED Resolution No. 2008-P06 on February 11, 2008 by the
12 following vote, to wit:

13 AYES:

14 NAYS:

15 ABSENT:

16 ABSTAIN:

17
18
19 _____
Dennis Martinek, Chairman
Oceanside Planning Commission

20
21 ATTEST:

22
23 _____
Jerry Hittleman, Secretary

24 I, JERRY HITTLEMAN, Secretary of the Oceanside Planning Commission, hereby certify that
25 this is a true and correct copy of Resolution No. 2008-P06.

26
27 Dated: February 11, 2008



File Number: C-57-05

Applicant: Sprint Nextel

Description:

Conditional Use Permit (C-57-05) for the construction and operation of a stand-alone Communication Facility consisting of 9 panel antennas and a 200 square-foot equipment enclosure located at 4700 Mesa Drive. The project site is zoned PD-1 (Rancho del Oro Planned Development) and is situated within the Rancho del Oro Neighborhood. –
SPRINT/NEXTEL 4700 MESA DRIVE

Environmental Determination: The project is exempt from the California Environmental Quality Act.

City of Oceanside, Planning Division
300 N. Coast Highway
Oceanside, CA 92054
(760) 435-3520

Application For Planning Commission Hearing

Planning Department (760) 435-3520
 Oceanside Civic Center
 300 North Coast Highway
 Oceanside, California 92054-2885
 Please Print or Type All Information

STAFF USE ONLY

ACCEPTED	BY
11/30/05	SN
HEARING	
GPA	
MASTER/SP.PLAN	
ZONE CH.	
TENT. MAP	
PAR. MAP	
DEV. PL	
C.U.P.	C-57-05
VARIANCE	
COASTAL	
I.O.H.P.A.C.	

PART I - APPLICANT INFORMATION

1. APPLICANT Sprint, PCS	2. STATUS Applicant
3. ADDRESS 2650 Camino del Rio N., Ste. 100 San Diego, CA 92108	4. PHONE/FAX 619-220-7805
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing) Doug Munson	
6. ADDRESS PO Box 55 Poway, CA 92074	7. PHONE/FAX 760-390-7727

PART II - PROPERTY DESCRIPTION

8. LOCATION 4700 Mesa Drive	9. SIZE 14.24 acres
10. GENERAL PLAN PD-1 Planned Development	11. ZONING Church
12. LAND USE Church	13. ASSESSOR'S PARCEL NUMBER 161-511-19

PART III - PROJECT DESCRIPTION

14. GENERAL PROJECT DESCRIPTION
Sprint proposes to install a three sector wireless telecommunication facility with associated cabinets consisting of three antennas attached to a proposed light standard in the church parking lot and radio and power equipment cabinets located within a proposed enclosure adjacent to the new proposed church building.

15. PROPOSED GENERAL PLAN Same	16. PROPOSED ZONING Same	17. PROPOSED LAND USE Same	18. NO. UNITS N/A	19. DENSITY N/A
20. BUILDING SIZE	21. PARKING SPACES N/A	22. % LANDSCAPE N/A	23. % LOT COVERAGE N/A	

PART IV - ATTACHMENTS

ALL APPLICATIONS		DEV. PLANS, C.U.P.s & TENT. MAPS
24. DESCRIPTION/JUSTIFICATION	25. LEGAL DESCRIPTION	30. FLOOR PLANS AND ELEVATIONS
26. 300-FT RADIUS MAP	27. PROPERTY OWNERS' LIST	31. CONSTRUCTION SCHEDULE
28. ENVIRONMENTAL ASSESSMENT	29. PLOT PLANS	32. OTHER

PART V - SIGNATURES

THE APPLICANT OR HIS/HER REPRESENTATIVE MUST BE PRESENT AT THE HEARING. FAILURE TO BE PRESENT MAY RESULT IN DENIAL OF THE APPLICATION.

33. APPLICANT OR REPRESENTATIVE (Print):
Doug Munson

Sign:

I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

35. APPLICANT (Print): **SUZANNE WOODS**

Sign:

34. DATE
9-27-05

SIGNATURES OF ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).

37. OWNER (Print): **FRANCO CAREY**

Sign:

Sign:

39. OWNER (Print):

Sign:

38. DATE

9-27-05

40. DATE

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**PROJECT DESCRIPTION
FOR
SPRINT PCS INSTALLATION
AT 4700 MESA DRIVE
LIGHTHOUSE CHRISTIAN CHURCH**

**RECEIVED
NOV 30 2005
Planning Department**

Sprint PCS proposes to install three new panel antennas on a proposed thirty foot tall light standard to be constructed as part of an overall plan to develop additional parking spaces for the Lighthouse Christian Church as well as a new sanctuary building. The antennas will be flushed mounted to the support structure in order for the center of the antenna to be twenty-seven feet above grade.

The radio and power equipment will be located within a proposed enclosure located northwest of the proposed new sanctuary building and adjacent to the east side of the new parking area. The enclosure will be a total of twenty feet long, ten feet wide. The enclosure will consist of a seven-foot, five-inch tall concrete masonry wall.

Landscaping is proposed as a part of the approved landscape plan for the new parking area..

The radio and power equipment will be connected to the antennas via an underground conduit, which will leave the enclosure in a southwesterly direction to the base of the proposed light standard supporting the antennas..

The radio and power equipment will be connected to power and telco via underground conduit, which is located east of the installation.

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LEGAL DESCRIPTION

PARCEL A:

PARCEL "B" OF PARCEL MAP NO. 15691, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS PER MAP FILED JUNE 2, 1989 AS FILE NO. 89-293782 OF OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL B:

LOT "D" OF RANCHO DEL ORO MASTER SUBDIVISION EAST, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS PER MAP FILED DECEMBER 27, 1985 AS MAP NO. 11409, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

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Planning Department



NOTICE OF EXEMPTION

City of Oceanside, California

Post Date: 10/09/2007
Removal: 04/09/2008
(180 days)

1. **APPLICANT:** Sprint PCS
2. **ADDRESS:** 2650 Camino del Rio North, San Diego CA 92108
3. **PHONE NUMBER:** (619) 220-7805
4. **LEAD AGENCY:** City of Oceanside
5. **PROJECT MGR.:** Juliana von Hacht
6. **PROJECT TITLE:** C-57-07 Sprint 4700 Mesa Drive
7. **DESCRIPTION:** To obtain a Conditional Use Permit for an stand-alone communication facility with 9 antennas mounted on light standards with a parking lot. The parking lot and sanctuary shall begin construction prior to installing the communication facility.

ADMINISTRATIVE DETERMINATION: Planning Division staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA), 1970. Therefore, the Environmental Coordinator has determined that further environmental evaluation is not required because:

- The project is categorically exempt, Class 3, New Construction or Conversion of Small Structures (Section 15303); or,
- "The activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA" (Section 15061(b)(3)); or,
- The project is statutorily exempt, Section , <name> (Sections 15260-15277); or,
- The project does not constitute a "project" as defined by CEQA (Section 15378).



Juliana von Hacht, Associate Planner

Date: February 11, 2008

cc: Project file Counter file Library
Posting: County Clerk \$50.00 Admin. Fee