



DATE: March 2, 2011

TO: Chairman and Members of the Community Development Commission

FROM: Economic and Community Development Department

SUBJECT: **ADOPT A RESOLUTION APPROVING A DEVELOPMENT PLAN (D-204-08), CONDITIONAL USE PERMIT (C-203-08) AND REGULAR COASTAL PERMIT (RC-205-08) FOR THE CONSTRUCTION OF A 235-SPACE SURFACE PUBLIC PARKING LOT LOCATED EAST OF MYERS STREET WEST OF THE RAILROAD TRACKS BETWEEN OAK AND TYSON STREETS – OAK-TYSON PUBLIC PARKING LOT- APPLICANT: CITY OF OCEANSIDE**

SYNOPSIS

Staff recommends that the CDC adopt a resolution approving a Development Plan, Conditional Use Permit and Regular Coastal Permit for the construction of a 235-space surface public parking lot located east of Myers Street and west of the railroad tracks between Oak and Tyson Streets. Staff is recommending that the Commission approve the project and adopt the resolution as attached.

BACKGROUND

In July of 1989, the Redevelopment Agency purchased approximately 9.5 acres of land from the Santa Fe Realty Company (the development company for the Atchison Topeka and Santa Fe Railroad). The land was purchased in anticipation of constructing surface public parking lots for visitors to the downtown and beach areas. In 1990, five surface public parking lots were built consisting of 678 parking spaces. The subject site is approximately 2.5 acres in size and is the last piece of undeveloped land from the original land purchase.

On August 19, 2009, staff requested direction from CDC regarding the concept plan for Lot 26 Parking Lot Expansion and Coastal Bike/Pedestrian Trail. The Commission approved on a 5-0 vote to proceed with the concept plan and process these 2 projects, while working with the affected property owners on encroachment issues. Currently, there are thirteen (13) properties that encroach into the proposed project. Staff is negotiating agreements with these owners to facilitate removal of the encroachments. Should these discussions not result in the timely removal of the encroachments, the City may seek alternative remedies.

The subject site topography is relatively flat with only a six-foot differential between the highest and lowest points of the site.

The subject site is situated within the South Myers neighborhood, which consists of a mixture of new condominiums, old apartment buildings and single-family residences.

Land Use and Zoning: The subject site is located within Subdistrict 5 of the "D" Downtown District. Subdistrict 5 is primarily intended to provide a high-density residential neighborhood in an urban setting in close proximity to shopping, employment, transportation and recreational facilities. Publically-owned parking lots are permitted upon approval of a Conditional Use Permit.

Regular Coastal Permit: This project is situated within the Coastal Zone and requires a Regular Coastal Permit. Under the provisions of the Local Coastal Plan the project site is designated as Mixed High-Density and Transient Residential. Multifamily and single-family are primarily the uses allowed within this land use designation.

Project Description: The project application consists of several components, which include a Development Plan, Conditional Use Permit and Regular Coastal Permit. Each discretionary request is described as follows:

Development Plan: The project proposes a 235-space (including 5 accessible parking spaces) surface public parking lot situated on an approximately 2.5-acre site. The proposed design also includes an 8-foot-wide bicycle/pedestrian trail located on the eastern portion of the subject site, which is part of the Coastal Rail Trail that extends from Oceanside south to San Diego.

The project proposes 8,600 square feet of landscaping mainly along a 3-foot-wide landscaping strip located on the western portion of the subject site. The landscaping consists of a native California plant palette consisting of Coast Live Oak and California Sycamore trees, Agave and Coyote Brush shrubs and Deer Grass groundcover. An 8-foot high combination fence will be placed on the western portion of the subject site adjacent to the residences to provide separation and screening. In addition, a chain linked fence will be placed on the eastern portion of the subject site (adjacent to the railroad tracks) to protect the bicycle lane.

Upon completion of construction, the parking lot will be turned over to the Public Works Department for management and maintenance. The parking fee is anticipated to be \$3 per day, a portion of which will pay for the maintenance of the lot.

Conditional Use Permit: A use permit is required to allow for public parking lots located within a residential zone.

Regular Coastal Permit: A Regular Coastal Permit is required because the project is situated within the Coastal Zone and proposes new construction that requires discretionary action.

Environmental Determination: A Certificate of Exemption has been prepared for the project (per Article 19; Section 15332 a. through e.). Under the provisions of the California

Environmental Quality Act, the Community Development Commission will consider the exemption during its hearing on the project.

Sustainable Development: The project proposes to utilize the following materials to construct an environmentally sensitive project:

- . LED lighting for the parking lot lights;
- . Hydro-scape low emitter's irrigation and Native California plant palette;
- . Recycle base materials;
- . Pervious concrete;
- . Recycle materials where appropriate;
- . Provides a portion of the pedestrian/bicycle Coastal Rail Trail which encourages alternate forms of transportation.

ANALYSIS

Staff's analysis focused on the compatibility of the project with existing development patterns of the area and the project's consistency with the underlying Redevelopment Plan, Zoning Ordinance, and the Local Coastal Program.

Redevelopment Plan: Section 301(4) of the Redevelopment Plan states that the Agency proposes to eliminate and prevent the spread of blight and a deterioration of the Downtown Project Area by among things providing the construction or reconstruction of streets, utilities and other public improvements that benefit the public. The proposed project is consistent with and advances the goals and objectives of the Redevelopment Plan in that it provides public improvements by constructing public parking lots on formerly vacant lots.

Development Plan: Staff believes that the proposed project conforms to the development standards of Section 1230 of the Downtown "D" District in that it meets all of the development standards. The public parking lot provides landscaping, adequate lighting and walls to protect the adjacent residences from car lights, and security.

Conditional Use Permit: A use permit is required to allow a public parking lot within a residential zone. The proposed use, a public parking lot, is consistent with both the Redevelopment Plan and Local Coastal Program and the surrounding neighborhood in that an existing public parking lot is located both north and south of the subject site. Public parking lots are located east of the subject site at the Oceanside Intermodal Transportation Center. In addition, staff believes the proposed design protects the existing residences from nuisances by providing adequate landscaping, fencing, security lighting and separation.

Local Coastal Plan: Staff's review of the project examined the consistency of the development with the underlying zoning regulations and policies of the Local Coastal Program. The project is located outside of the "appealable area" which is defined as the first 300 feet east of The Strand (west side of Myers Street). Staff also evaluated the

proposed project and its effect on public coastal views. The project proposes a surface parking lot; therefore, the effects of the proposed project on public coastal view will be minimal. In addition, Section II. Recreation and Visitor Serving Commercial, C. Objectives and Policies: Objective: of the Local Coastal Program (LCP) states the following:

The City shall provide and maintain a wide range of public recreation areas, beach support facilities and visitor-serving facilities, commensurate with needs.

Further, the LCP states the following (Parking 14.):

Efforts shall be made to provide additional public beach parking facilities to serve anticipated future demand. Priority should be given for new parking facilities to serve the following locations:

- 9) Railroad and Tyson Street
- 10) Railroad and Wisconsin Street

Staff believes that providing 235 public parking spaces is consistent with the Local Coastal Program. It should also be noted that 188 parking spaces have been provided to replace the offsite public parking spaces removed/lost due to the proposed development of both the S.D. Malkin hotel (40 parking spaces lost) and CityMark (148 parking spaces lost) projects, which leaves a surplus of 47 parking spaces.

Resolution No. 08-R0021-3 (S.D. Malkin project), requires that prior to the issuance of any grading permit or removal of any on-street public parking spaces, 40 public parking spaces west of the NCTD railroad tracks shall be provided on a one-to-one ratio. If the City's new public parking lot is constructed prior to the loss of any public parking spaces, then the impact would be reduced to below a level of significance. In addition, Resolution No. 08-R0319-3 (CityMark), states the following: Approximately 148 parking spaces in the new parking lot shall be designated for project replacement parking to mitigate for removal of public parking spaces west of the NCTD railroad tracks at a one-to-one ratio.

In conclusion, staff believes that the project meets the intent of the Redevelopment Plan and goals, which encourage the development of public parking lots. The proposed project is consistent with the quality of design of the adjacent public parking lots. The proposed project is also consistent with the goals and land use policies of the Local Coastal Plan.

COMMISSION OR COMMITTEE REPORTS

The Redevelopment Advisory Committee (RAC) reviewed the project on February 16, 2011 and approved the project on a 7-0 vote.

FISCAL IMPACT

The project cost for this project has been estimated at \$1.7 million including construction, inspection and administration. The construction time frame is estimated at six (6) months. The Tyson-Wisconsin Parking Lots Capital Improvements Project (933118400573) has a current balance of \$498,988. As part of this action, an additional \$1.2 million will be allocated into this fund from current unallocated bond funds which has a current balance of \$1.3 million. These funds are available through Redevelopment Tax Exempt Allocation Bonds issued in 2003. It should be noted that a budget appropriation will be submitted to the Commission for approval when the project goes out for bid.

Because the project incorporates a segment of the Planned Coastal Rail Trail, staff is working with SANDAG to identify possible grant funds that may be available to fund a portion of the project cost. At the time of the project award, staff will report what grant funds are available, if any, and will make a recommendation whether to accept a grant in lieu of a portion of the Redevelopment Bonds funds.

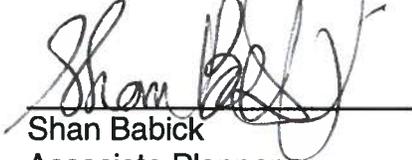
CITY ATTORNEY'S ANALYSIS

Pursuant to Oceanside Zoning Ordinance Article 41, Section 4102, and Article 43, Section 4305, the Community Development Commission is authorized to hold a public hearing on this project's applications. Consideration of the project should be based on the evidence presented at the public hearing. After conducting the public hearing, the Commission shall approve, conditionally approve, or disapprove the project. The resolution has been reviewed and approved as to form by the City Attorney.

RECOMMENDATION

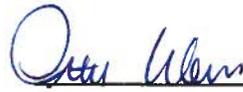
Staff recommends that the Commission adopt the resolution approving Development Plan (D-204-08), Conditional Use Permit (C-203-08) and Regular Coastal Permit (RC-205-08) for the construction of a 235-space surface public parking lot located east of Myers Street and west of the railroad tracks between Oak and Tyson Streets.

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EXHIBITS/ATTACHMENTS

- 1. Resolution
- 2. Site Plan
- 3. Notice of Exemption

1 RESOLUTION NO. 11-

2 A RESOLUTION OF THE COMMUNITY DEVELOPMENT
3 COMMISSION OF THE CITY OF OCEANSIDE APPROVING
4 DEVELOPMENT PLAN, CONDITIONAL USE PERMIT AND
5 REGULAR COASTAL PERMIT FOR THE CONSTRUCTION
6 OF A 235-SPACE SURFACE PUBLIC PARKING LOT
7 LOCATED EAST OF MYERS STREET, WEST OF THE
8 RAILROAD TRACKS BETWEEN TYSON AND OAK
9 STREETS - OAK-TYSON PARKING LOT - APPLICANT:
10 CITY OF OCEANSIDE

11 WHEREAS, on March 2, 2011, the Community Development Commission held its duly
12 noticed public hearing, considered an application for a Development Plan (D-204-08),
13 Conditional Use Permit (C-203-08) and Regular Coastal Permit (RC-205-08) for the
14 construction of a 235-space surface public parking lot located east of Myers Street, west of the
15 railroad tracks between Tyson and Oak Streets;

16 WHEREAS, the Redevelopment Advisory Committee (RAC) of the City of Oceanside
17 did, on February 16, 2011, review and recommend approval of Development Plan (D-204-08),
18 Conditional Use Permit (C-203-08) and Regular Coastal Permit (RC-205-08);

19 WHEREAS, a Categorical Exemption was prepared by the Resource Officer of the City
20 of Oceanside for this application pursuant to the California Environmental Quality Act of 1970
21 and the State Guidelines implementing the Act. The project is considered an infill development
22 and will not have a detrimental effect on the environment per Article 19 Section 15332 (a, b, c,
23 d & e);

24 WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes
25 effective upon its adoption.

26 NOW, THEREFORE, the Community Development Commission of the City of
27 Oceanside does resolve as follows:

28 FINDINGS:

For the Development Plan:

1. The site plan and physical design of the project as proposed is consistent with the
purposes of the City's Zoning Ordinance and the "D" Downtown District in that the proposed
design of the surface parking lot meets or exceeds all of the development standards of the "D"
Downtown District. In addition, the design of the project is consistent with the other similar
surface public parking lots located north and south of the subject site.

1 2. The Development Plan as proposed conforms to the Redevelopment Plan, and
2 General Plan of the City in that the 235-space surface parking lot is consistent with the land uses
3 of the Redevelopment Plan and the project meets the minimum landscape and parking space
4 dimensions as stipulated within the "D" Downtown District development standards. In
5 addition, the project is consistent with the surface public parking lots located within the
6 surrounding neighborhood.

7 3. The area covered by the Development Plan can be adequately, reasonably and
8 conveniently served by existing and planned public services, utilities and public facilities. The
9 proposed 235-space surface public parking lot development project will not create public
10 service and facility demands exceeding the capacity of existing and planned infrastructure.

11 4. The proposed project, a 235-space surface public parking lot development, is
12 compatible with the existing surface public parking lots within the surrounding neighborhood
13 and would have a positive effect on the area by providing badly needed public parking adjacent to
14 the beach and pier areas.

15 5. The site plan and physical design of the project is consistent with Section 1.24
16 and 1.25 of the Land Use Element of the General Plan, and Section 3039 of the Oceanside
17 Zoning Ordinance (Hillside Development Provisions), in that there is 6-foot grade differential
18 from the highest and lowest points of the subject site and therefore the project would not be
19 subject to the guidelines of the Land Use Element of the General Plan.

For the Conditional Use Permit:

20 1. The project is located within Subdistrict 5 of the Redevelopment Project Area .
21 The proposed 235-space surface public parking lot is consistent with the General Plan, Local
22 Coastal Plan and the Redevelopment Plan in that proposed project provides public parking spaces
23 adjacent to transportation centers and recreation facilities. In addition, the approved business
24 operation of the public parking lot is subject to certain conditions and limitations and therefore the
25 proposed activities will not constitute a public nuisance or be a detriment to neighboring persons,
26 property, improvements or the general welfare of the City.

27 2. That the proposed location of the conditional use and the proposed conditions under
28 which it would be operated or maintained will not be detrimental to the public health, safety, or
welfare of persons residing in the surrounding neighborhood. The proposed project as designed

1 provides ample separation in the form of landscaping and fencing from the existing residences
2 located west of the subject site. In addition, lighting and security will also be provided to protect
3 the existing residences, therefore, the proposed project will not be detrimental to the surrounding
4 neighborhood.

5 3. The proposed 235-space surface public parking lot complies with the provisions of
6 the Zoning Ordinance including any specific condition required for the proposed use in the district
7 in which it is located.

8 **For the Regular Coastal Permit:**

9 1. The granting of the Regular Coastal Permit is consistent with the purposes of the
10 California Coastal Act of 1976. The proposed 235-space surface public parking lot
11 development is consistent with the High Density Land Use as depicted in the Local Coastal
12 Program Land Use Map. The project does not impede public access to the beach because the
13 subject site is located approximately 550 east of the beach. In addition, the proposed project
14 will not obstruct public access to the beach because it is located approximately 450-feet east of
15 the three existing pedestrian public access way located at Tyson, Pine and Ash streets.

16 2. The proposed project is consistent with the policies of the Local Coastal Program
17 as implemented through the City Zoning Ordinance. The proposed 235-space surface public
18 parking lot development is consistent with the High Density Land Use as depicted in the Local
19 Coastal Program Land Use Map. In addition, the project proposes a surface public parking lot
20 and therefore will not block existing public coastal views through the public rights-of-way view
21 corridors (Tyson, Pine and Ash Streets).

22 3. The proposed project will not obstruct any existing or planned public beach
23 access; therefore, the project is in conformance with the policies of Chapter 3 of the Coastal
24 Act. The subject site is located approximately 450 feet east of the existing three pedestrian
25 public access way at Tyson, Pine and Ash Streets.

26 SECTION 1. That Development Plan (D-204-08), Conditional Use Permit (C-203-08)
27 and Regular Coastal Permit (RC-205-08) are hereby approved subject to the following
28 conditions:

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1 **Building:**

- 2 1. Applicable Building Codes and Ordinances shall be based on the date of submittal for
3 Building Department plan check (Currently the 2010 California Building Code and 2010
4 California Electrical Code).
- 5 2. The granting of approval under this action shall in no way relieve the applicant/project
6 from compliance with all State and local building codes.
- 7 3. The building plans for this project are required by State law to be prepared by a licensed
8 architect or engineer and must be in compliance with this requirement prior to submittal
9 for building plan review.
- 10 4. All electrical, communication, CATV, etc. service lines, within the exterior lines of the
11 property shall be undergrounded. (City Code Sec. 6.30).
- 12 5. The developer shall monitor, supervise and control all building construction and supportive
13 activities so as to prevent these activities from causing a public nuisance, including, but not
14 limited to, strict adherence to the following:
- 15 a) Building construction work hours shall be limited to between 7 a.m. and
16 6 p.m. Monday through Friday, and on Saturday from 7 a.m. to 6 p.m. for work that is
17 not inherently noise-producing. Examples of work not permitted on Saturday are
18 concrete and grout pours, roof nailing and activities of similar noise-producing nature.
19 No work shall be permitted on Sundays and Federal Holidays (New Year's Day,
20 Memorial Day, July 4th, Labor Day, Thanksgiving Day, Christmas Day) except as
21 allowed for emergency work under the provisions of the Oceanside City Code Chapter
22 38. (Noise Ordinance)
- 23 b) The construction site shall be kept reasonably free of construction debris as
24 specified in Section 13.17 of the Oceanside City Code. Storage of debris in approved
25 solid waste containers shall be considered compliance with this requirement. Small
26 amounts of construction debris may be stored on-site in a neat, safe manner for short
27 periods of time pending disposal.

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1 **Engineering:**

- 2 6. For the demolition of any existing structure or surface improvements; grading plans shall
3 be submitted and erosion control plans be approved by the City Engineer prior to the
4 issuance of a demolition permit. No demolition shall be permitted without an approved
5 erosion control plan.
- 6 7. Design and construction of all improvements shall be in accordance with the City of
7 Oceanside Engineers Design and Processing Manual, City Ordinances, and engineering
8 standard and specifications of the City of Oceanside and subject to approval by the City
9 Engineer.
- 10 8. The contractor shall monitor, supervise and control all construction and construction-
11 supportive activities, so as to prevent these activities from causing a public nuisance,
12 including but not limited to, insuring strict adherence to the following:
- 13 a) Dirt, debris and other construction material shall not be deposited on any
14 public street or within the City's storm water conveyance system.
 - 15 b) All grading and related site preparation and construction activities shall be
16 limited to the hours of 7 AM to 6 PM, Monday through Friday. No engineering
17 related construction activities shall be conducted on Saturdays, Sundays or legal
18 holidays unless written permission is granted by the City Engineer with specific
19 limitations to the working hours and types of permitted operations. All on-site
20 construction staging areas shall be as far as possible (minimum 100 feet) from
21 any existing residential development. Because construction noise may still be
22 intrusive in the evening or on holidays, the City of Oceanside Noise Ordinance
23 also prohibits "any disturbing excessive or offensive noise which causes
24 discomfort or annoyance to reasonable persons of normal sensitivity."
 - 25 c) The construction site shall accommodate the parking of all motor vehicles used
26 by persons working at or providing deliveries to the site. An alternate parking site
27 can be considered by the City Engineer in the event that the lot size is too small and
28 cannot accommodate parking of all motor vehicles.
 - d) The contractor shall complete a haul route permit application (if required for
import/export of dirt) and submit to the City of Oceanside Engineering
Department forty eight hours (48) in advance of beginning of work. Hauling
operations (if required) shall be 8:00 A.M. to 3:30 P.M. unless approved
otherwise.

- 1 9. A traffic control plan shall be prepared by the contractor according to the City traffic
2 control guidelines and approved to the satisfaction of the City Engineer prior to the start
3 of work within the public right-of-way. Traffic control during construction of streets
4 that have been opened to public traffic shall be in accordance with construction signing,
5 marking and other protection as required by the Caltrans Traffic Manual and City Traffic
6 Control Guidelines. Traffic control plans shall be in effect from 8:00 a.m. to 3:30 p.m.
7 unless approved otherwise.
- 8 10. Any existing broken pavement, concrete curb, gutter, driveways, pedestrian ramps and
9 sidewalk that are damaged during construction of the project, shall be repaired or replaced
10 as directed by the City Engineer.
- 11 11. Drainage facilities shall be installed to adequately accommodate the local storm water
12 runoff and shall be in accordance with the San Diego County Hydrology and Design
13 Manual and in compliance with the City of Oceanside Engineers Design and Processing
14 Manual to the satisfaction of the City Engineer.
- 15 12. The contractor shall provide year-round erosion control including measures for the site
16 required for the phasing of grading.
- 17 13. Landscape plans, shall meet the criteria of the City of Oceanside Landscape Guidelines
18 and Specifications for Landscape Development (latest revision), engineering criteria,
19 City code and ordinances, including the City of Oceanside water Efficient Landscape
20 Ordinance No. 10-OR0412-1 and the Water Conservation Ordinance No. 91-15 in
21 addition to the maintenance of such landscaping, shall be reviewed and approved by the
22 City Engineer prior to the issuance of building permits. Landscaping shall not be
23 installed until the contractor has posted bonds, paid fees, and the landscape plans have
24 been signed for final approval. The following special landscaping requirements shall be
25 required prior to plan approval:
- 26 a. Final landscape plans shall accurately show placement of all plant material such
27 as but not limited to trees, shrubs, and groundcovers.
- 28 b. Landscape Architect shall be aware of all utilities including but not limited to
sewer and storm drain easement (s) and place planting locations accordingly to
meet City of Oceanside spacing requirements.

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- c. All required landscape areas shall be maintained by the owner. The landscape areas shall be maintained per City of Oceanside requirements.
- d. Proposed landscape species shall be native or naturalized to fit the site and meet climate changes indicative to their planting location. The selection of plant material shall also be based on cultural, aesthetic, and maintenance considerations. In addition proposed landscape species shall be low water users as well as meet all fire department requirements.
- e. All planting areas shall be prepared with appropriate soil amendments, fertilizers, and appropriate supplements based upon a soils report from an agricultural suitability soil sample taken from the site.
- f. Ground covers or bark mulch shall fill in between the shrubs to shield the soil from the sun, evapotranspiration and run-off. All the flower and shrub beds shall be mulched to a 3" depth to help conserve water, lower the soil temperature and reduce weed growth.
- g. Plant material is to be chosen to fit the designated space for planting. There is to be not overgrowth or impediments to vehicular traffic, pedestrian traffic, bicyclists or rail traffic. .
- h. The shrubs shall be allowed to grow in their natural forms. The only exception shall be if there is a conflict to vehicular traffic, pedestrian traffic, bicyclists or rail traffic. All landscape improvements shall follow the City of Oceanside Guidelines.
- i. Root barriers shall be installed adjacent to all paving surfaces, where a paving surface is located within 10 feet of a tree trunk on public land. Root barriers shall extend 5 feet in each direction from the centerline of the trunk, for a total distance of 10 feet. Root barriers shall be 24 inches in depth. Installing a root barrier around the tree's root ball is unacceptable.
- j. All fences, gates, walls, seat walls, retaining walls, and plantable walls shall obtain Economic and Community Development Department approval for these items in the conditions or application stage prior to 1st submittal of working drawings.

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- k. For the planting and placement of trees and their distances from hardscape and other utilities/ structures the landscape plans shall follow the City of Oceanside’s (current) Tree Planting Distances and Spacing Standards.
- l. With respect to the Landscape Concept Plan (LCP), the project trees for this site are to be a combination of: 24” box Quercus agrifolia – Coast Live Oak, 24” box Platanus Mexicana “Alamo” – Alamo Sycamore and 15 Gallon Cercis occidentalis – Western Red Bud. Any changes to these tree selections shall be submitted to the City Engineer for approval.
- m. Irrigation systems shall use high quality, automatic control valves, controllers and other necessary irrigation equipment. All components shall be of non-corrosive material. All drip systems shall be adequately filtered and regulated per the manufacturer’s recommended design parameters.
- n. All irrigation improvements shall follow the City of Oceanside Guidelines and Water Conservation Ordinance and City of Oceanside Water Efficient Landscape Ordinance No. 10-OR0412-1.
- o. Every effort shall be made to use landscape materials, especially trees, to minimize the sun exposure of paved surfaces and reduce heat gain along with other requirements per the Redevelopment Zoning Ordinance. .
- p. Landscape plans shall comply with Biological and/or Geotechnical reports, as required, shall match the grading and improvement plans, comply with SWMP Best Management Practices and meet the satisfaction of the City Engineer.
- q. Existing landscaping on and adjacent to the site shall be located on plan and protected in place and supplemented or replaced to meet the satisfaction of the City Engineer.
- r. An automatic irrigation system shall be installed to provide coverage for all planting areas shown on the plan. Low volume equipment shall provide sufficient water for plant growth with a minimum water loss due to water run-off or over watering.

- 1 14. The contractor shall collect and dispose of sediment, silt, grease, trash, debris, and/or
2 pollutants in accordance with all state and federal requirements, prior to storm water
3 discharge either off-site or into the City drainage system.
- 4 15. The project shall comply with the provisions of National Pollution Discharge
5 Elimination System (NPDES) General Permit for Storm Water Discharges Associated
6 with Construction Activity (General Permit) Water Quality Order 2009-0009-DWQ.
7 The General Permit continues in force and effect until a new General Permit is issued or
8 the SWRCB rescinds this General Permit. Only those owners authorized to discharge
9 under the expiring General Permit are covered by the continued General Permit.
10 Construction activity subject to the General Permit includes clearing, grading, and
11 disturbances to the ground such as stockpiling, or excavation that results in land
12 disturbances of equal to or greater than one acre. Coverage shall be obtained under the
13 General Permit by submitting a Notice of Intent (NOI) and obtaining a Waste Discharge
14 Identification Number (WDID#) from the State Water Resources Control Board
15 (SWRCB). In addition, coverage under the General Permit shall not occur until an
16 adequate SWPPP is developed for the project as outlined in Section A of the General
17 Permit. The site specific SWPPP shall be maintained on the project site at all times.
18 The SWPPP shall be provided, upon request, to the United States Environmental
19 Protection Agency (USEPA), SWRCB, Regional Water Quality Control Board
20 (RWQCB), City of Oceanside, and other applicable governing regulatory agencies. The
21 SWPPP is considered a report that shall be available to the public by the RWQCB under
22 section 308(b) of the Clean Water Act. The provisions of the General Permit and the
23 site specific SWPPP shall be continuously implemented and enforced until the
24 owner/developer obtains a Notice of Termination (NOT) for the SWRCB. The
25 contractor shall be required to retain records of all monitoring information, copies of all
26 reports required by this General Permit, and records of all data used to complete the NOI
27 for all construction activities to be covered by the General Permit for a period of at least
28 three years from the date generated. This period may be extended by request of the
SWRCB and/or RWQCB.

- 1 16. Following approval of the Storm Water Mitigation Plan (SWMP) by the City Engineer
2 an Operation & Maintenance (O&M) Plan, shall be prepared to the satisfaction of the
3 City Engineer. The O&M Plan shall include an approved Maintenance Mechanism
4 pursuant to Section 5 of the Standard Urban Storm Water Mitigation Plan (SUSMP).
5 The O&M shall satisfy the minimum Maintenance Requirements pursuant to Section 5
6 of the SUSMP. The O&M Plan shall include the designated responsible party to manage
7 the storm water BMP(s), employee training program and duties, operating schedule,
8 maintenance frequency, routine service schedule, specific maintenance activities, copies
9 of resource agency permits, cost estimate for implementation of the O&M Plan.
- 10 17. The BMPs described in the project's approved SWMP shall not be altered in any way,
11 unless reviewed and approved to the satisfaction of the City Engineer. The determination
12 of whatever action is required for changes to a project's approved SWMP shall be made
13 by the City Engineer.
- 14 18. Shoring is required for the construction of the proposed development, the shoring design
15 plans and structural calculations shall be submitted to the Building Department for
16 review and approval.
- 17 19. The contractor shall evaluate and determine that all soil imported as part of this
18 development is free of hazardous and/or contaminated material as defined by the City
19 and County of San Diego Department of Environmental Health. Exported or imported
20 soils shall be properly screened, tested, and documented regarding hazardous
21 contamination.

Fire:

- 22 20. Fire Department Requirements shall be placed on plans in the notes section.
- 23 21. All existing and proposed fire hydrants within 400 feet of the project shall be shown on
24 the site plan.
- 25 22. Plans shall be submitted to the Fire Prevention Bureau for plan check review and
26 approval prior to the issuance of building permits.

1 **Economic/Redevelopment:**

2 23. This Development Plan (D-204-08), Conditional Use Permit (C-203-08) and Regular
3 Coastal Permit (RC-205-08) shall expire on March 2, 2013, unless implemented as
4 required by the Zoning Ordinance.

5 24. This Development Plan, Conditional Use Permit and Regular Coastal Permit approves
6 only a 235-space surface public parking lot as shown on the plans and exhibits presented
7 to the Community Development Commission for review and approval. No deviation
8 from these approved plans and exhibits shall occur without Economic and Community
9 Development Department approval. Substantial deviations shall require a revision to the
10 Development Plan, Conditional Use Permit and Regular Coastal Permit or a new
11 Development Plan, Conditional Use Permit and Regular Coastal Permit.

12 25. The applicant, permittee or any successor-in-interest shall defend, indemnify and hold
13 harmless the City of Oceanside, its agents, officers or employees from any claim, action
14 or proceeding against the City, its agents, officers, or employees to attack, set aside, void
15 or annul an approval of the City, concerning Development Plan (D-204-08), Conditional
16 Use Permit (C-203-08) and Regular Coastal Permit (RC-205-08). The City will
17 promptly notify the applicant of any such claim, action or proceeding against the City
18 and will cooperate fully in the defense. If the City fails to promptly notify the applicant
19 of any such claim action or proceeding or fails to cooperate fully in the defense, the
20 applicant shall not, thereafter, be responsible to defend, indemnify or hold harmless the
21 City.

22 26. Failure to meet any conditions of approval for this development shall constitute a
23 violation of the Development Plan (D-204-08), Conditional Use Permit (C-203-08) and
24 Regular Coastal Permit (RC205-08).

25 27. Unless expressly waived, all current zoning standards and City ordinances and policies
26 in effect at the time building permits are issued are required to be met by this project.

27 The approval of this project constitutes the applicant's agreement with all statements in
28 the Description and Justification, and other materials and information submitted with
this application, unless specifically waived by an adopted condition of approval.

1 **Water Utilities:**

- 2 28. The developer will be responsible for developing all water and sewer utilities necessary
3 to develop the property. Any relocation of water and/or sewer utilities is the
4 responsibility of the developer and shall be done by an approved licensed contractor at
5 the developer's expense.
- 6 29. The property owner shall maintain private water utilities located on private property.
- 7 30. The parking lot currently has a 1-inch irrigation meter. If this site requires a larger
8 irrigation meter, then a credit will be given for the 1-inch meter and the difference shall
9 be paid. This meter must be billed to the appropriate account number.

10 PASSED AND ADOPTED by the Oceanside Community Development Commission of
11 the City of Oceanside this _____ day of _____ 2011 by the following
12 vote:

13 AYES:

14 NAYS:

15 ABSENT:

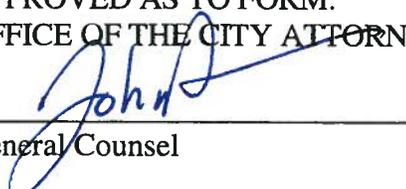
16 ABSTAIN:

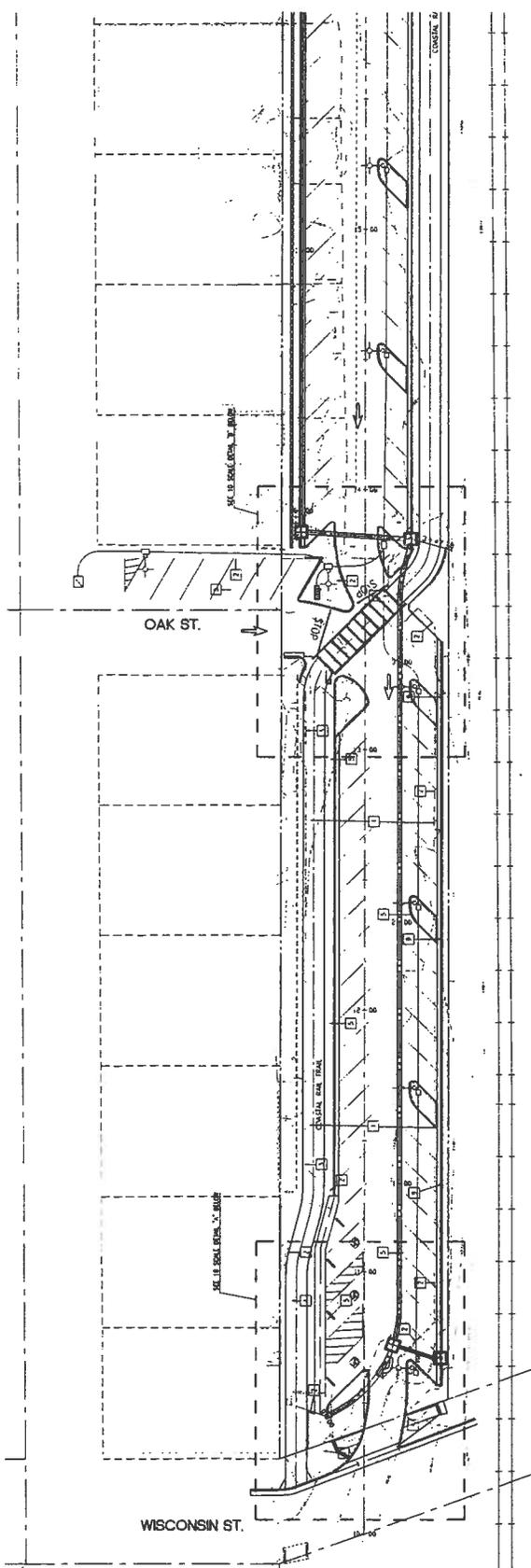
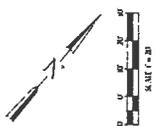
17 _____
18 Chairman

19 ATTEST:

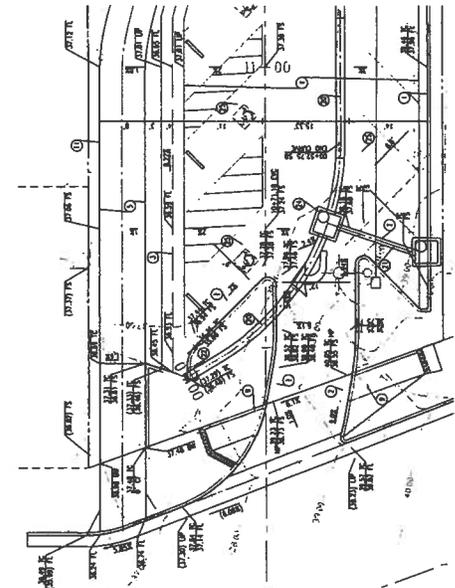
20 _____
21 Secretary

22 APPROVED AS TO FORM:
23 OFFICE OF THE CITY ATTORNEY

24 by  _____
25 General Counsel

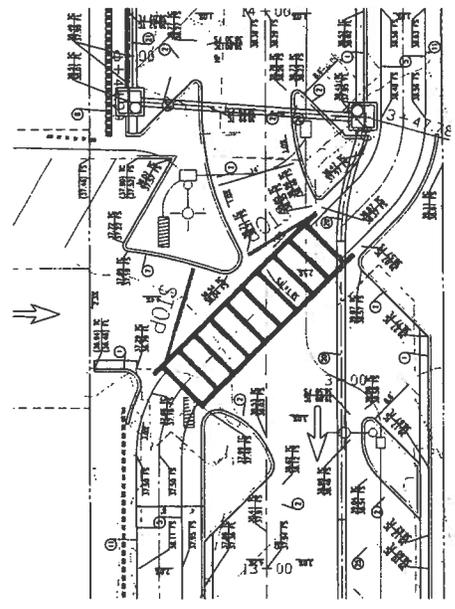


CENTERLINE NORTH COUNTY TRANSIT DISTRICT



DETAIL 'A'
SCALE: 1"=4'

IMPORTANT NOTICE
 ENGINEER'S NOTE TO CONTRACTOR:
 THIS DRAWING IS THE PROPERTY OF THE ENGINEER AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY HIMSELF OR HIS FIRM. THE CLIENT ASSUMES ALL OTHER RISKS AND RESPONSIBILITIES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY HIMSELF OR HIS FIRM. THE CLIENT ASSUMES ALL OTHER RISKS AND RESPONSIBILITIES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



DETAIL 'B'
SCALE: 1"=4'

MERIT
 ENGINEERING & ARCHITECTURE
 1117 1st St.
 Merit Civil Engineering, Inc.
 2221 Laurel Street, Suite 201
 Madison, WI 53704
 P: 714.748.8311
 F: 714.748.0681

- CONSTRUCTION NOTES**
1. CONSTRUCT 4" CURB AND GUTTER - TYPE 6 PER 50 RECORD, SEE 5-1
 2. CONSTRUCT 4" CURB PER 50 RECORD, CHANGE 5-1
 3. CONSTRUCT CONCRETE, CURB PER PLAN
 4. CONSTRUCT CONC. SLAB - 7" MIN. THICK 2" BOLD REINFORC. (SEE PLAN)
 5. CONSTRUCT 4" CONC. SIDE CURB
 6. CONSTRUCT CONC. SLAB, 4" THICK
 7. CONSTRUCT CONC. SLAB, 4" THICK PER PLAN
 8. CONSTRUCT CONC. RAMP PER SPACE 508 111-3
 9. CONSTRUCT CONC. APPROACH
 10. CONSTRUCT 2" X 4" REINFORC. WOODEN FORMS SEE PLAN, 42
- STORM DRAIN CONSTRUCTION NOTES**
1. CONSTRUCT 18" RCP STORM DRAIN, 0-1000
 2. CONSTRUCT 12" RCP STORM DRAIN, 0-1000
 3. CONSTRUCT RCP COLLAR PER
 4. CONSTRUCT CURB INLET - TYPE 6 PER 50 RECORD, SEE 5-1
 5. CONSTRUCT STORM DRAIN CHAMBER - TYPE 6 PER 50 RECORD, SEE 5-4
 6. INSTALL STORM AND FRENCH MANHOLE PER PLAN

FILE NO. _____

PROJECT NO. _____

DATE: _____

LOT GRADING, TOP IMPROVEMENT PLAN
 LOT 26 EXTENSION AND CROFT
 BETWEEN WISCONSIN AVENUE AND TYSON STREET

APPROVED: _____

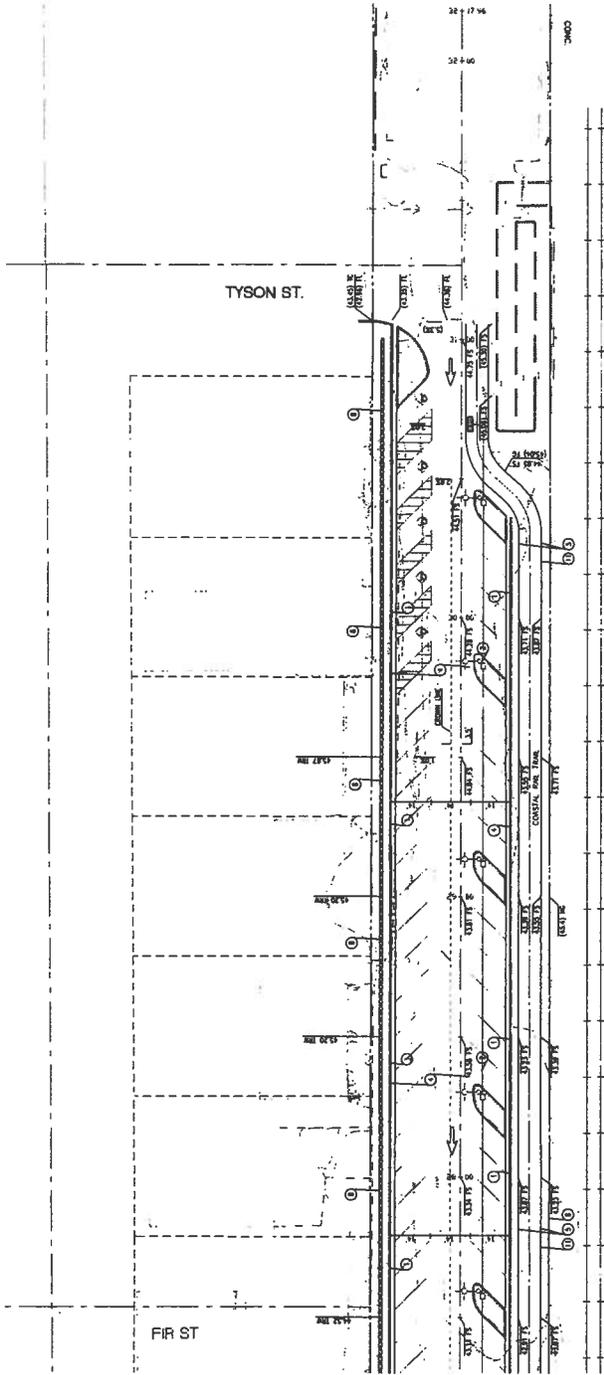
DATE: _____

PROJECT NO. _____

DATE: _____

PROJECT NO. _____

DATE: _____



CENTERLINE NORTH COUNTY TRANSIT DISTRICT

- CONSTRUCTION NOTES**
- 1) CONSTRUCT 4" CURB AND GUTTER - TYPE 6 FOR 50' REVISION STA. 6+2
 - 2) CONSTRUCT 4" CURB FOR 50' REVISION STATION 6+1
 - 3) CONSTRUCT UNDERDRAIN CUTTER FOR PAV
 - 4) CONSTRUCT CONC. SECTION - 7" AG/1" BASE 1 SIDE (REVISION STA)
 - 5) CONSTRUCT CONC. SECTION - 7" AG/1" BASE 1 SIDE (REVISION STA)
 - 6) CONSTRUCT 4" CURB FOR TRUCK
 - 7) CONSTRUCT 4" CURB FOR TRUCK
 - 8) CONSTRUCT CONC. RAMP FOR SPVCS STA. 11+1-2
 - 9) CONSTRUCT CONC. APPROACH
 - 10) CONSTRUCT 7"4" REVISION HEADER ALONG SIDE BLDG. AC
- STORM DRAIN CONSTRUCTION NOTES**
- 1) CONSTRUCT 18" RCP STORM DRAIN, 6+200
 - 2) CONSTRUCT 18" RCP STORM DRAIN, 6+200
 - 3) CONSTRUCT PVC COLLAR PVE
 - 4) CONSTRUCT CONC. INLET - TYPE 4 FOR 50' REVISION STA. 6+1
 - 5) CONSTRUCT STORM SEWER CLEANOUT - TYPE 4 FOR 50' REVISION STA. 6+3
 - 6) INITIAL STAKING AND PROBE/SET MARKERS FOR PLAN

ENGINEER'S NOTE TO CONTRACTOR

PLEASE REVIEW ALL CONSTRUCTION NOTES AND SPECIFICATIONS CAREFULLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.

IMPORTANT NOTICE

THIS PLAN IS THE PROPERTY OF MERIT CONSULTING ENGINEERS & ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MERIT CONSULTING ENGINEERS & ARCHITECTS, INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS PLAN IS STRICTLY PROHIBITED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.

FILE NO. _____

PROJECT NO. _____

LOT GRADING & PARKING LOT IMPROVEMENT PLAN
FOR LOT 4, CENTERLINE NORTH COUNTY TRANSIT DISTRICT
BETWEEN MCCOY AVENUE AND TYSON STREET

DESIGNED BY: _____

CHECKED BY: _____

APPROVED BY: _____

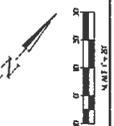
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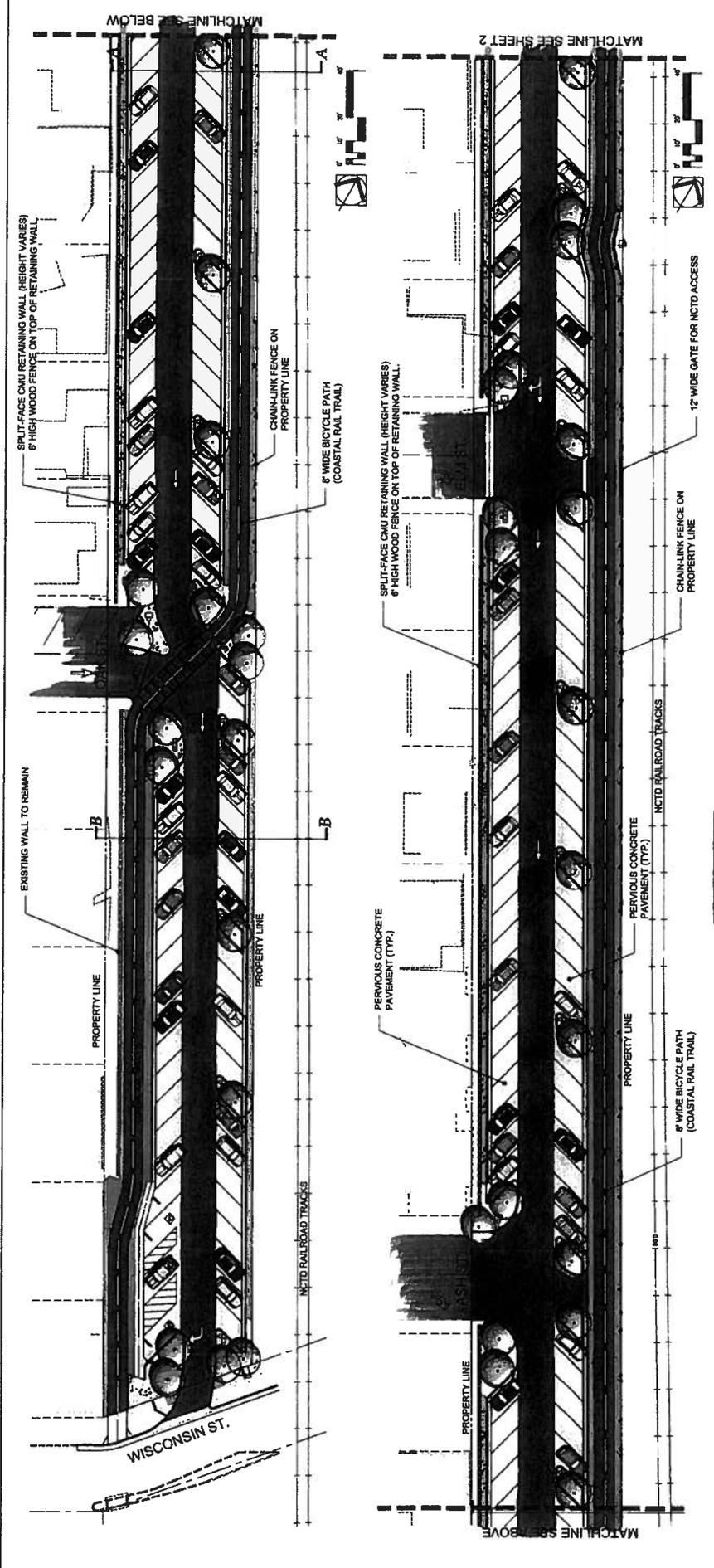
Reference: CP 61 PER RECORD OF SURVEY, LESSOR'S DEED TO CENTERLINE NORTH COUNTY TRANSIT DISTRICT, SOUTH WESTERN OF MARION TRAILS, NEAR THE SOUTH EASTERN END OF THE STAR AND RAMP STRUCTURE, NORTH EASTERN OF THE INTERSECTION OF TYSON STREET AND MATERS STREET.

Area From RECORD OF SURVEY, NO. 18279
Date: 06.05.2007

Merit Consulting Engineers & Architects, Inc.
12191 Level Forest, Suite 201
Covina, CA 91724
Tel: 714.748.0061

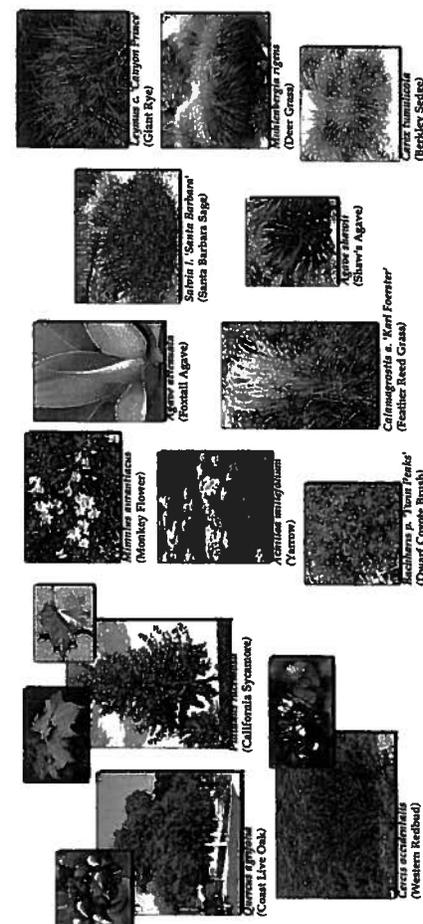
Merit Consulting Engineers & Architects, Inc.
12191 Level Forest, Suite 201
Covina, CA 91724
Tel: 714.748.0061





Plant Palette

- PARKING LOT PLANTS**
 Trees: (2" to 4" cal.)
 Quercus agrifolia, Southern Live Oak
 Cercis canadensis, Western Redbud
 Carya ovata, White Redbud
- ADJACENT TO BIKE PATH**
 Trees: No trees proposed in this area
- ADJACENT TO RESIDENCES**
 Trees: No trees proposed in this area
- GROUNDCOVER**
 Carex pennsylvanica, California Field Sedge
 Carex lamellata, Larkspur Sedge



Landscape Concept Plan

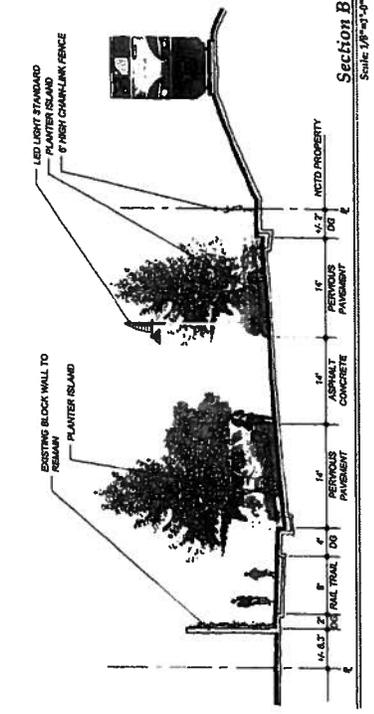
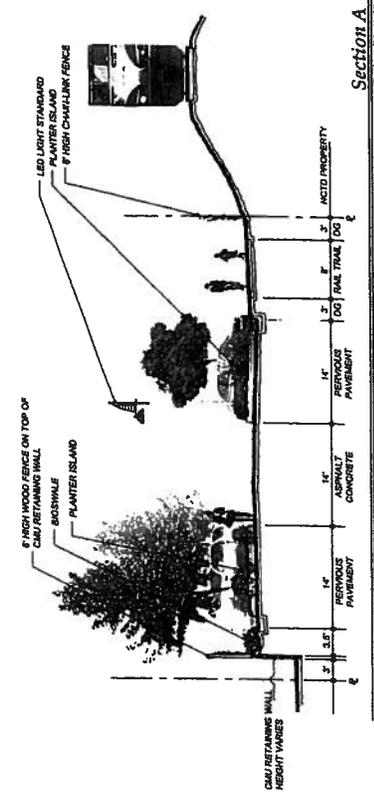
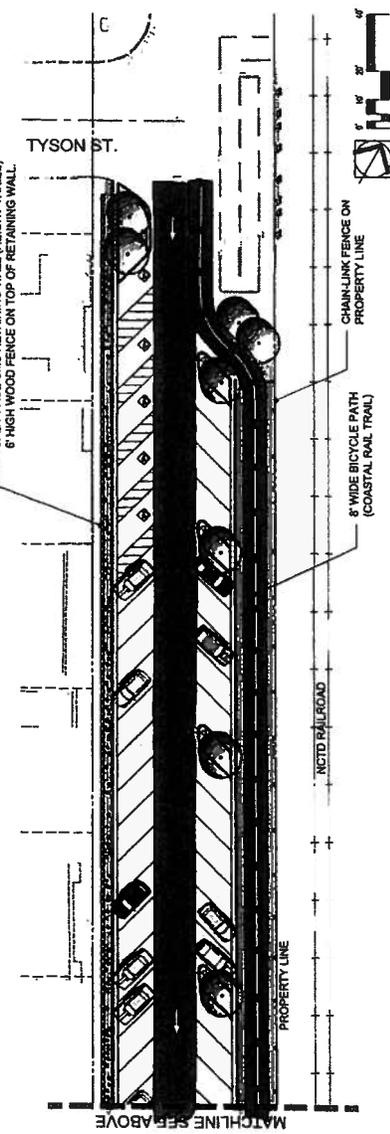
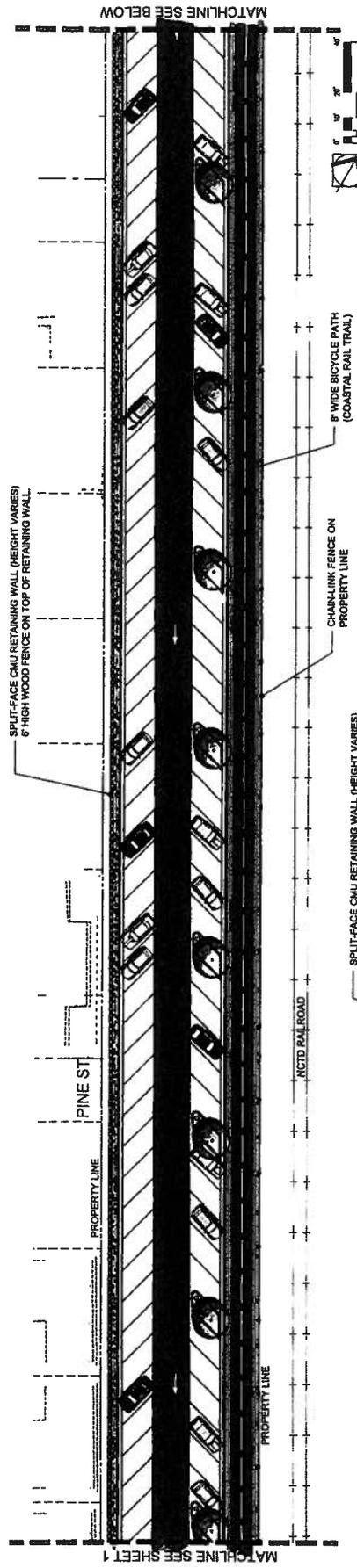
Coastal Rail Parking Lot Sheet 1 of 2

ADL
 PLANNING
 ASSOCIATES

Groundcover:
 Carex pennsylvanica, California Field Sedge
 Carex lamellata, Larkspur Sedge

Shrubs: (Per City Requirements)
 Adiantum species, Yellow
 Adiantum species, Yellow
 Adiantum species, Yellow

Trees: (Per City Requirements)
 Quercus agrifolia, Southern Live Oak
 Cercis canadensis, Western Redbud
 Carya ovata, White Redbud



Landscaping Concept Plan

Coastal Rail Parking Lot sheet 2 of 2

ADL PLANNING ASSOCIATES
 1000 W. 10th St., Suite 100
 San Diego, CA 92101
 (619) 594-1111

**CITY OF OCEANSIDE
PLANNING DEPARTMENT**

NOTICE OF EXEMPTION

TO: X RECORDER/COUNTY CLERK
COUNTY OF SAN DIEGO
P.O. BOX 1750
SAN DIEGO, CA 92112-4147

PROJECT TITLE AND FILE NUMBER:

DEVELOPMENT PLAN (D-204-08), CONDITIONAL USE PERMIT (C-203-08) AND REGULAR COASTAL PERMIT (RC-205-08) FOR CONSTRUCTION OF A 235 SPACE SURFACE PUBLIC PARKING LOT LOCATED EAST OF MYERS STREET, WEST OF THE RAILROAD TRACKS BETWEEN TYSON AND OAK STREETS

PROJECT LOCATION - SPECIFIC:

East of Myers, west of railroad tracks between Oak & Tyson

PROJECT LOCATION - GENERAL:

Tyson and Myers

DEVELOPMENT PLAN (D-204-08)
CONDITIONAL USE PERMIT (C-20308)
REGULAR COASTAL PERMIT (RC-205-08)

DESCRIPTION OF NATURE, PURPOSE AND BENEFICIARIES OF PROJECT:

For a 235 space public surface parking lot located east of Myers Street west of the railroad tracks between Oak and Tyson Streets.

NAME OF PUBLIC AGENCY APPROVING PROJECT:

City of Oceanside

NAME OF PERSON(S) OR AGENCY CARRYING OUT PROJECT:

City of Oceanside
300 North Coast Highway
Oceanside, CA 92054
(760) 435-3354

Exempt Status per the Guidelines to Implement the California Environmental Quality Act (CEQA)
(Public Resources Code Section 21000 et. al.):

 NOT SUBJECT TO CEQA PER THE GENERAL RULE, SECTION 15061(B)(3)

 STATUTORY EXEMPTION PER ARTICLE 18, SECTION(S)

X CATEGORICAL EXEMPTION PER ARTICLE 19, SECTION 15332 (a, b, c, d & e)

REASONS WHY PROJECT IS EXEMPT:

The proposed project is for the construction of a 235 space surface public parking lot located east of Myers Street west of the railroad tracks between Tyson and Oak streets. The project is less than 5 acres and is considered an infill project therefore, it is exempt.

Contact Person: Shan Babick, Associate Planner

SIGNATURE

January 20, 2011

DATE

For: Jerry Littleman, Planning Director

CITY HALL, 300 NORTH COAST HIGHWAY, OCEANSIDE CA 92054, TELEPHONE (760) 435-3354, FAX (760) 722-1057