



DATE: March 24, 2008

TO: Chairman and Members of the Planning Commission

FROM: Development Services Department/Planning Division

SUBJECT: **CONSIDERATION OF A TIME EXTENSION FOR CONDITIONAL USE PERMIT (C-42-98) WHICH ALLOWS FOR THE CONTINUED OPERATION OF A COMMUNICATION FACILITY LOCATED AT 4079 CALLE PLATINO. THE PROJECT SITE IS ZONED PD-1 (RANCHO DEL ORO PLANNED DEVELOPMENT) AND IS SITUATED WITHIN THE IVEY RANCH/RANCHO DEL ORO NEIGHBORHOOD. – VERIZON @ 4079 CALLE PLATINO – APPLICANT: VERIZON WIRELESS**

RECOMMENDATION

Staff recommends that the Planning Commission by motion:

- (1) Confirm issuance of a Class 1 Categorical Exemption for Existing Facilities pursuant to Section 15301 of the California Environmental Quality Act; and
- (2) Approve a time extension for Conditional Use Permit (C-42-98) by adopting Planning Commission Resolution 2008-P17 with findings and conditions of approval attached herein.

PROJECT DESCRIPTION AND BACKGROUND

Background: The applicant, Verizon Wireless, proposes a time extension for the continued operation of an existing 85-foot tall stand-alone communication facility that is disguised as a palm tree. The original Planning Commission action 99-P58 was adopted on September 13, 1999 and specifically required the applicant file for a time extension within five years.

On August 13, 2004, an application was filed requesting a time extension in accordance with Section 4108.B of the Zoning Ordinance and condition 11 of Planning Commission Resolution 99-P58. There have been two submittals in response to staff's comments; they were filed on March 27, 2006 and December 21, 2007.

Site Review: This 5.45-acre lot was developed as part of the Rancho Del Oro Master Industrial Development Plan. The project site is 4079 Calle Platino located within the Ivey Ranch/Rancho Del Oro Neighborhood. *Communication facilities* are the secondary land use on the property. The primary land use is Cal-Mil Plastic Products; they manufacture plastic products.

Currently there are two communication facilities operating at this location. The applicant (Verizon) operates a stand-alone communication facility under C-42-98 and AT&T Wireless operates a different stand-alone communication facility under C-5-01, which was approved by Planning Commission Resolution No. 2001-P34. (Cingular has recently applied for Conditional Use Permit C-48-06 to operate a stand-alone communication facility at this location; this application is currently incomplete and has not been reviewed by the Planning Commission.)

Both of the existing facilities are disguised to appear similar to a palm tree. The mono-palms and the equipment shelters are situated towards the rear of the lot.

Project Description: The project application is comprised of a time extension for Conditional Use Permit (C-42-98) to allow for the continued operation of an existing stand-alone communication facility.

The communication facility operates 13 antennas having a center line height of 75.5 feet and an overall height of 85 feet. There is an existing equipment shelter housing ancillary communication equipment.

The project is subject to the following Ordinances, City Policies, and State Government Codes:

1. City of Oceanside General Plan
2. City of Oceanside Zoning Ordinance
3. The Rancho del Oro Specific Plan and Master Industrial Development Plan
4. State of California Government Codes
5. California Environmental Quality Act (CEQA)

ANALYSIS

KEY PLANNING ISSUES

1. General Plan Conformance

The General Plan Land Use Map designation on the subject property is Rancho del Oro Specific Plan S-1-84. The land use is consistent with this designation and the goals and objectives of the City's General Plan, as follows:

Land Use Element II. Community Development

Goal 2.726: Communication Systems

Objective: To provide for the efficient and aesthetic functioning of communication systems within the City.

Policies:

- A. The City shall encourage planning for the future communication system needs of individual land developments or uses and the City in general.
- B. Communication facilities shall be required to conform visually to surrounding land uses and/or natural features.
- C. The City shall require the consolidation and joint-use of communication facilities and structures whenever possible.

The proposal is a time extension for an existing stand-alone communication facility. Co-use is not proposed and due to the nature of the disguise, which is a mono-palm, it would be difficult to hide antennas for a second user within the existing structure. Mono-palms are effective disguises when grouped with other similar structures and live palms. This site notably includes another communication facility with a similar disguise and the original conditions of approval (Resolution No. 99-P58) required the planting of landscaping, including *Washingtonias*.

The existing stand-alone communication facility visually conforms to the surrounding area because the antennas are obscured by the disguise. The height of the disguise is similar to the surrounding *Eucalyptus* trees and the faux palm fronds also obscure views of the antennas.

The location of the equipment shelter is towards the rear of the lot and it is not easily visible from the public right-of-way. The equipment shelter's exterior appearance is similar to the adjoining building's finish. The original approval conditioned site landscaping, including planting *Washingtonias* in proximity to the faux palm trees.

Staff recommends that the time extension include conditions requiring replacement of the existing 10-year old faux fronds and upkeep of the existing trees, other landscape, and generally the site's appearance.

2. Zoning Ordinance Compliance

The land use, communication facilities, is subject to Section 3025.D *Communication facilities* of the Zoning Ordinance and Section 3005 *Nonresidential accessory structures*.

Article 30, Section 3025, A(3): This section of the Zoning Ordinance regulates the siting of communication facilities and compliance with the limitations, constraints, and policies set forth in relevant federal and state wireless telecommunication laws. The communication facility has been designed and further conditioned to comply with federal and state laws.

Pursuant to Section 3025.D.4.F, staff is recommending a condition that the existing faux fronds be removed and replaced with new fronds that are a minimum of 15 feet in length. The condition requires the installation of at least 60 faux palm fronds.

Article 30, Section 3005. The maximum height for non-residential accessory structures is 12 feet. As such, the equipment shelter has been constructed in compliance with this requirement.

3. Rancho del Oro Specific Plan

The industrial lands within the Rancho del Oro Specific Plan area are zoned Planned Development (PD-1). The zoning provisions which apply to the industrial sites, including 4079 Calle Platino, are those of the M-1 zone of the Zoning Ordinance in effect as of December, 1985.

The Planning Commission has previously approved two communication facilities at this site (C-42-98 and C-5-01). The 1985 Zoning Ordinance and the adopted Specific Plan did not anticipate the later FCC interpretations or federal and state telecommunications law. The stand-alone communication facility operated by Verizon Wireless under C-42-98 conforms to the Rancho del Oro Specific Plan and the Rancho del Oro Commercial Master Development Plan. The City Planner has determined that a time extension of the original Planning Commission action does not conflict with the Rancho del Oro Specific Plan.

4. State of California Government Code 65850

California State Government Code 65850.6(b) states that a city shall not unreasonably limit the duration of any permit for a stand-alone communication facility. Limits of less than 10 years are presumed to be unreasonable absent

public safety reasons or substantial land use reasons. The proposed site has been given a 10-year limit (beginning with the conclusion of the original Planning Commission Resolution No. 99-P58 condition 11) with conditions that assure the City of Oceanside has the ability to request technology and aesthetic analyses of the site.

DISCUSSION

Issue: The term of the time extension is 10 years.

Recommendation: The original approval for C-42-98 was for a five-year term, which concluded on September 13, 2004. Staff recommends that the 10-year time extension begin on September 13, 2004. This allows the applicant to continue this land use without a lapse in Conditional Use Permit C-42-98.

Issue: The stand-alone communication facility must be disguised as appropriate for the project site.

Recommendation: The applicant proposes to disguise the stand-alone communication facility as a one of many other tall trees on-site. The site includes both palms and eucalyptus trees.

The Section 3025.D.4.F states that an approved facility shall address the appearance of the entire site and shall upgrade or repair physical features as a means of minimizing view impacts to the community. Much of the subject site is already subject to landscaping requirements. Staff recommended Planning and Landscape conditions address improving the existing site (for example, replacing faux fronds and trimming the *Washingtonias*). The applicant has indicated their agreement with these requirements.

ENVIRONMENTAL DETERMINATION

Staff has reviewed the environmental assessment and determined that the proposed time extension is a Class 1 Categorical Exemption from the California Environmental Quality Act pursuant to Section 15301 *Existing Facilities*, which states “the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment,.... involving negligible or no expansion of use beyond that existing at the time of the lead agency’s determination.”

PUBLIC NOTIFICATION

Legal notice was published in the North County Times and notices were sent to property owners of record within a 300-foot radius of the subject property,

individuals and or organizations requesting notification, applicant and other interested parties. As of March 17, 2008, staff received one telephone call regarding this application. The interested party did not indicate whether they supported the application.

SUMMARY

The proposed time extension for Conditional Use Permit (C-42-98), as conditioned, is consistent with the requirements of the Zoning Ordinance, the Rancho del Oro Specific Plan, and the land use policies of the General Plan. The project has been conditioned to meet or exceed all applicable development standards. As such, staff recommends that the Planning Commission approve the project based on the findings and subject to the conditions contained in the attached Resolution. Staff recommends that the Planning Commission:

- Adopt Planning Commission Resolution No. 2008-P17 approving Conditional Use Permit (C-42-98) with findings and conditions of approval attached herein.

PREPARED BY:



Juliana von Hacht
Associate Planner

SUBMITTED BY:



Jerry Hittleman
City Planner

REVIEWED BY:



Richard Greenbauer, Senior Planner

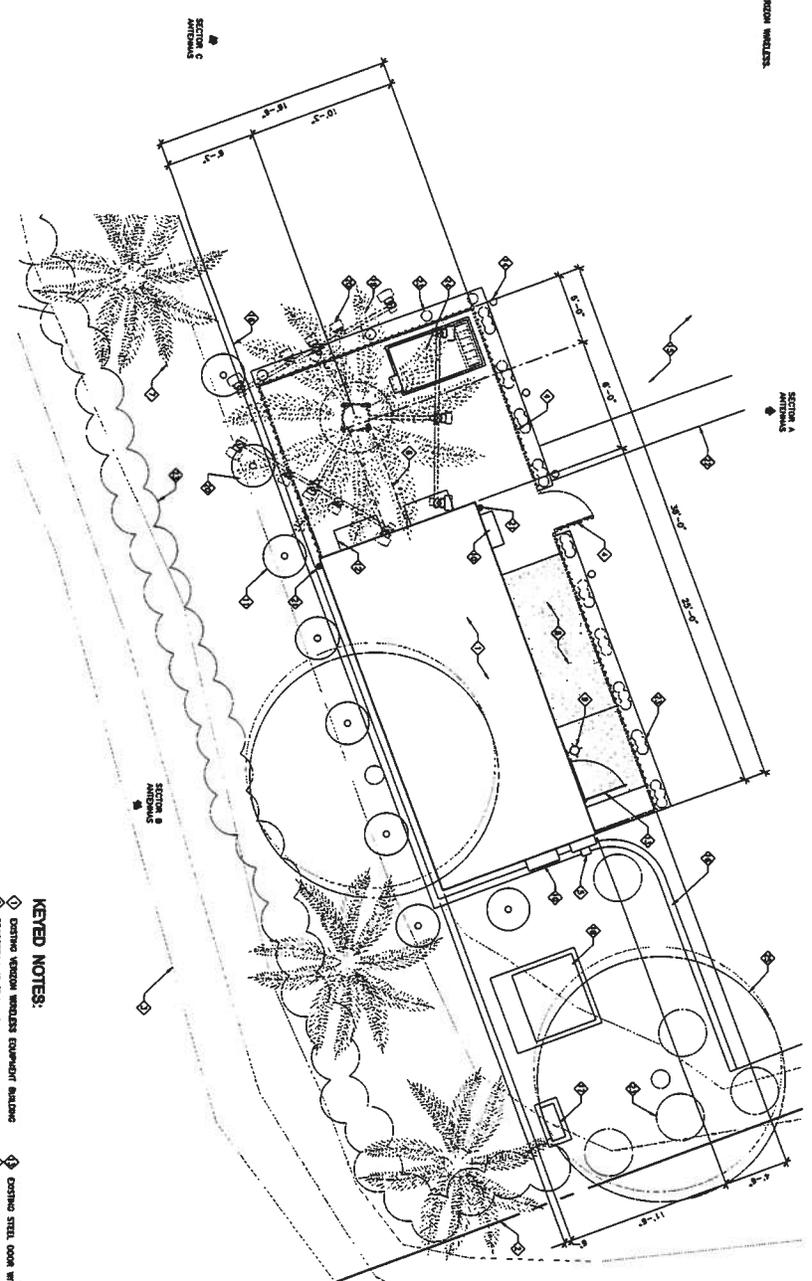
JH/JH/fil

Attachments:

1. Site Plan and Elevations
2. Planning Commission Resolution No. 2008-P17

SECTION	ANTENNA NUMBER	ANTENNA MODEL NUMBER	COMMENTS	SPAC. NUMBER	NO. OF COAXIAL CABLES	COAXIAL CABLE LENGTH (FOOT/IN)	FOOT SIZE
A1	1	ANTENNA MODEL #1			1	1' - 5 1/2"	1/2"
A2	2	ANTENNA MODEL #2			1	1' - 5 1/2"	1/2"
A3	3	ANTENNA MODEL #3			1	1' - 5 1/2"	1/2"
A4	4	ANTENNA MODEL #4			1	1' - 5 1/2"	1/2"
A5	5	ANTENNA MODEL #5			1	1' - 5 1/2"	1/2"
A6	6	ANTENNA MODEL #6			1	1' - 5 1/2"	1/2"
A7	7	ANTENNA MODEL #7			1	1' - 5 1/2"	1/2"
A8	8	ANTENNA MODEL #8			1	1' - 5 1/2"	1/2"
A9	9	ANTENNA MODEL #9			1	1' - 5 1/2"	1/2"
A10	10	ANTENNA MODEL #10			1	1' - 5 1/2"	1/2"
A11	11	ANTENNA MODEL #11			1	1' - 5 1/2"	1/2"
A12	12	ANTENNA MODEL #12			1	1' - 5 1/2"	1/2"
A13	13	ANTENNA MODEL #13			1	1' - 5 1/2"	1/2"
A14	14	ANTENNA MODEL #14			1	1' - 5 1/2"	1/2"
A15	15	ANTENNA MODEL #15			1	1' - 5 1/2"	1/2"
A16	16	ANTENNA MODEL #16			1	1' - 5 1/2"	1/2"
A17	17	ANTENNA MODEL #17			1	1' - 5 1/2"	1/2"
A18	18	ANTENNA MODEL #18			1	1' - 5 1/2"	1/2"
A19	19	ANTENNA MODEL #19			1	1' - 5 1/2"	1/2"
A20	20	ANTENNA MODEL #20			1	1' - 5 1/2"	1/2"
A21	21	ANTENNA MODEL #21			1	1' - 5 1/2"	1/2"
A22	22	ANTENNA MODEL #22			1	1' - 5 1/2"	1/2"
A23	23	ANTENNA MODEL #23			1	1' - 5 1/2"	1/2"
A24	24	ANTENNA MODEL #24			1	1' - 5 1/2"	1/2"
A25	25	ANTENNA MODEL #25			1	1' - 5 1/2"	1/2"
A26	26	ANTENNA MODEL #26			1	1' - 5 1/2"	1/2"
A27	27	ANTENNA MODEL #27			1	1' - 5 1/2"	1/2"
A28	28	ANTENNA MODEL #28			1	1' - 5 1/2"	1/2"
A29	29	ANTENNA MODEL #29			1	1' - 5 1/2"	1/2"
A30	30	ANTENNA MODEL #30			1	1' - 5 1/2"	1/2"
A31	31	ANTENNA MODEL #31			1	1' - 5 1/2"	1/2"
A32	32	ANTENNA MODEL #32			1	1' - 5 1/2"	1/2"
A33	33	ANTENNA MODEL #33			1	1' - 5 1/2"	1/2"
A34	34	ANTENNA MODEL #34			1	1' - 5 1/2"	1/2"
A35	35	ANTENNA MODEL #35			1	1' - 5 1/2"	1/2"
A36	36	ANTENNA MODEL #36			1	1' - 5 1/2"	1/2"
A37	37	ANTENNA MODEL #37			1	1' - 5 1/2"	1/2"
A38	38	ANTENNA MODEL #38			1	1' - 5 1/2"	1/2"
A39	39	ANTENNA MODEL #39			1	1' - 5 1/2"	1/2"
A40	40	ANTENNA MODEL #40			1	1' - 5 1/2"	1/2"
A41	41	ANTENNA MODEL #41			1	1' - 5 1/2"	1/2"
A42	42	ANTENNA MODEL #42			1	1' - 5 1/2"	1/2"
A43	43	ANTENNA MODEL #43			1	1' - 5 1/2"	1/2"
A44	44	ANTENNA MODEL #44			1	1' - 5 1/2"	1/2"
A45	45	ANTENNA MODEL #45			1	1' - 5 1/2"	1/2"
A46	46	ANTENNA MODEL #46			1	1' - 5 1/2"	1/2"
A47	47	ANTENNA MODEL #47			1	1' - 5 1/2"	1/2"
A48	48	ANTENNA MODEL #48			1	1' - 5 1/2"	1/2"
A49	49	ANTENNA MODEL #49			1	1' - 5 1/2"	1/2"
A50	50	ANTENNA MODEL #50			1	1' - 5 1/2"	1/2"
A51	51	ANTENNA MODEL #51			1	1' - 5 1/2"	1/2"
A52	52	ANTENNA MODEL #52			1	1' - 5 1/2"	1/2"
A53	53	ANTENNA MODEL #53			1	1' - 5 1/2"	1/2"
A54	54	ANTENNA MODEL #54			1	1' - 5 1/2"	1/2"
A55	55	ANTENNA MODEL #55			1	1' - 5 1/2"	1/2"
A56	56	ANTENNA MODEL #56			1	1' - 5 1/2"	1/2"
A57	57	ANTENNA MODEL #57			1	1' - 5 1/2"	1/2"
A58	58	ANTENNA MODEL #58			1	1' - 5 1/2"	1/2"
A59	59	ANTENNA MODEL #59			1	1' - 5 1/2"	1/2"
A60	60	ANTENNA MODEL #60			1	1' - 5 1/2"	1/2"
A61	61	ANTENNA MODEL #61			1	1' - 5 1/2"	1/2"
A62	62	ANTENNA MODEL #62			1	1' - 5 1/2"	1/2"
A63	63	ANTENNA MODEL #63			1	1' - 5 1/2"	1/2"
A64	64	ANTENNA MODEL #64			1	1' - 5 1/2"	1/2"
A65	65	ANTENNA MODEL #65			1	1' - 5 1/2"	1/2"
A66	66	ANTENNA MODEL #66			1	1' - 5 1/2"	1/2"
A67	67	ANTENNA MODEL #67			1	1' - 5 1/2"	1/2"
A68	68	ANTENNA MODEL #68			1	1' - 5 1/2"	1/2"
A69	69	ANTENNA MODEL #69			1	1' - 5 1/2"	1/2"
A70	70	ANTENNA MODEL #70			1	1' - 5 1/2"	1/2"
A71	71	ANTENNA MODEL #71			1	1' - 5 1/2"	1/2"
A72	72	ANTENNA MODEL #72			1	1' - 5 1/2"	1/2"
A73	73	ANTENNA MODEL #73			1	1' - 5 1/2"	1/2"
A74	74	ANTENNA MODEL #74			1	1' - 5 1/2"	1/2"
A75	75	ANTENNA MODEL #75			1	1' - 5 1/2"	1/2"
A76	76	ANTENNA MODEL #76			1	1' - 5 1/2"	1/2"
A77	77	ANTENNA MODEL #77			1	1' - 5 1/2"	1/2"
A78	78	ANTENNA MODEL #78			1	1' - 5 1/2"	1/2"
A79	79	ANTENNA MODEL #79			1	1' - 5 1/2"	1/2"
A80	80	ANTENNA MODEL #80			1	1' - 5 1/2"	1/2"
A81	81	ANTENNA MODEL #81			1	1' - 5 1/2"	1/2"
A82	82	ANTENNA MODEL #82			1	1' - 5 1/2"	1/2"
A83	83	ANTENNA MODEL #83			1	1' - 5 1/2"	1/2"
A84	84	ANTENNA MODEL #84			1	1' - 5 1/2"	1/2"
A85	85	ANTENNA MODEL #85			1	1' - 5 1/2"	1/2"
A86	86	ANTENNA MODEL #86			1	1' - 5 1/2"	1/2"
A87	87	ANTENNA MODEL #87			1	1' - 5 1/2"	1/2"
A88	88	ANTENNA MODEL #88			1	1' - 5 1/2"	1/2"
A89	89	ANTENNA MODEL #89			1	1' - 5 1/2"	1/2"
A90	90	ANTENNA MODEL #90			1	1' - 5 1/2"	1/2"
A91	91	ANTENNA MODEL #91			1	1' - 5 1/2"	1/2"
A92	92	ANTENNA MODEL #92			1	1' - 5 1/2"	1/2"
A93	93	ANTENNA MODEL #93			1	1' - 5 1/2"	1/2"
A94	94	ANTENNA MODEL #94			1	1' - 5 1/2"	1/2"
A95	95	ANTENNA MODEL #95			1	1' - 5 1/2"	1/2"
A96	96	ANTENNA MODEL #96			1	1' - 5 1/2"	1/2"
A97	97	ANTENNA MODEL #97			1	1' - 5 1/2"	1/2"
A98	98	ANTENNA MODEL #98			1	1' - 5 1/2"	1/2"
A99	99	ANTENNA MODEL #99			1	1' - 5 1/2"	1/2"
A100	100	ANTENNA MODEL #100			1	1' - 5 1/2"	1/2"

NOTES:
 1. FIELD VERIFY ALL CABLE LENGTHS
 2. VERIFY MODEL NUMBER OF ANTENNA WITH WIRELESS



EQUIPMENT ENCLOSURE PLAN

SCALE: 1/8" = 1'-0"

- KEYED NOTES:**
- 1. EXISTING WIRELESS EQUIPMENT BUILDING
 - 2. PROPERTY LINE (TYPICAL)
 - 3. EXISTING CONTOUR LINES
 - 4. EXISTING 8'-0" HIGH STEEL & CONCRETE STRUCTURE
 - 5. EXISTING SOCIAL MEDIA SIGN, MOUNTED TO BUILDING
 - 6. EXISTING WIRELESS CABLE MOUNT
 - 7. EXISTING PAINT TO REPAIR
 - 8. EXISTING CONCRETE SLAB
 - 9. EXISTING WALL MOUNTED OUTSIDE LIGHT
 - 10. EXISTING UTILITY CONDUITS MOUNTED TO BUILDING
 - 11. PROPOSED LANDSCAPE SCENERY SIGNAGE
 - 12. EXISTING WALL MOUNTED HVAC UNITS WITH EXISTING BUILDING
 - 13. EXISTING STEEL ROOF WITH WIRELESS WIRELESS SPACE
 - 14. EXISTING STEEL CONCRETE FIELD BUILDING (TYPICAL OF 1)
 - 15. EXISTING ASPHALT DRIVEWAY AND PARKING AREA
 - 16. EXISTING CONCRETE CURB
 - 17. EXISTING FIELD PAVEMENT
 - 18. EXISTING SOCIAL TRANSFORMER ON A CONCRETE PAD
 - 19. EXISTING WIRELESS ANTENNA (800M CARRIER)
 - 20. EXISTING 8'-0" HIGH LANDSCAPE SIGNAGE
 - 21. EXISTING CONCRETE WALKWAY CENTER
 - 22. EXISTING CONCRETE DRIVEWAY CENTER
 - 23. EXISTING EXTERIOR SIGNAGE & MARKS
 - 24. EXISTING EXTERIOR SIGNAGE & MARKS
 - 25. EXISTING CONCRETE DRIVEWAY WITH CONCRETE PAUL
 - 26. EXISTING WALKWAY CENTER

Booth & Surratt
 ARCHITECTURE & PLANNING
 1000 R STREET, SUITE 1000
 OCEANVIEW, CA 91538
 (949) 222-7000

verizon wireless

PREPARED FOR

Watkins College
 4070 GALE PLAZA
 OCEANVIEW, CA 91538
 SAN DIEGO

APPROVALS

DATE	DATE

DRAWING DATES

12/11/07 TO REVISION (01)

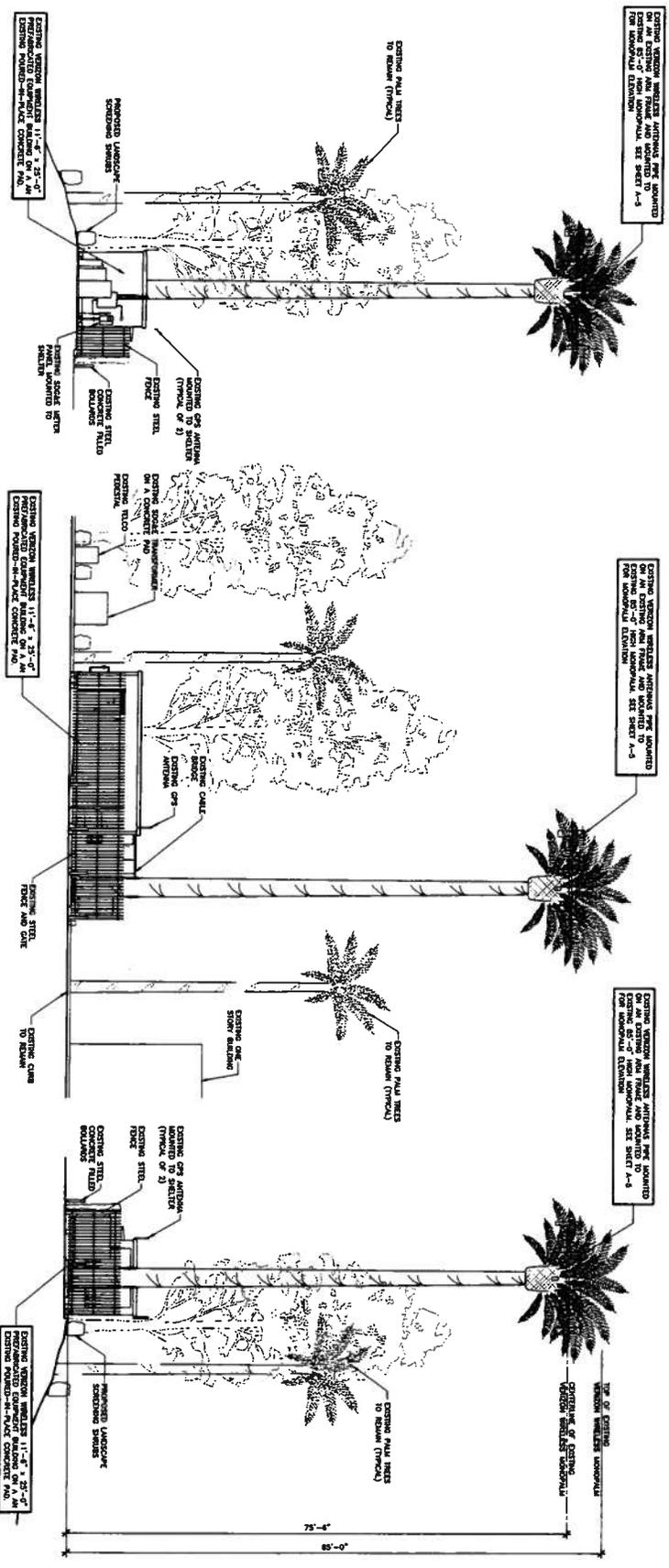
02/11/08 REVISION COMMENTS (0)

03/11/08 REVISION COMMENTS (0)

EQUIPMENT ENCLOSURE PLAN

SHEET TITLE

A-2



NOTE:
EXISTING LANDSCAPE SCREENS & PAUL TREES SHALL BE MAINTAINED TO FORM 50'-0" FROM LANDFILL. SEE SHEET A-4 FOR LANDFILL ELEVATION. EXISTING PAUL TREES SHALL BE MAINTAINED TO FORM 50'-0" FROM LANDFILL. SEE SHEET A-4 FOR LANDFILL ELEVATION.

Booth & Sauer
ARCHITECTURE & PLANNING
1417 1/2
P.O. BOX 1807
IRVINE, CA 92613-9107
(949) 222-7000

verizon wireless

PREPARED FOR

APPROVALS

AC	DATE
RE	DATE
DR	DATE
INT	DATE
TERM	DATE
OS	DATE
TE/OUT	DATE

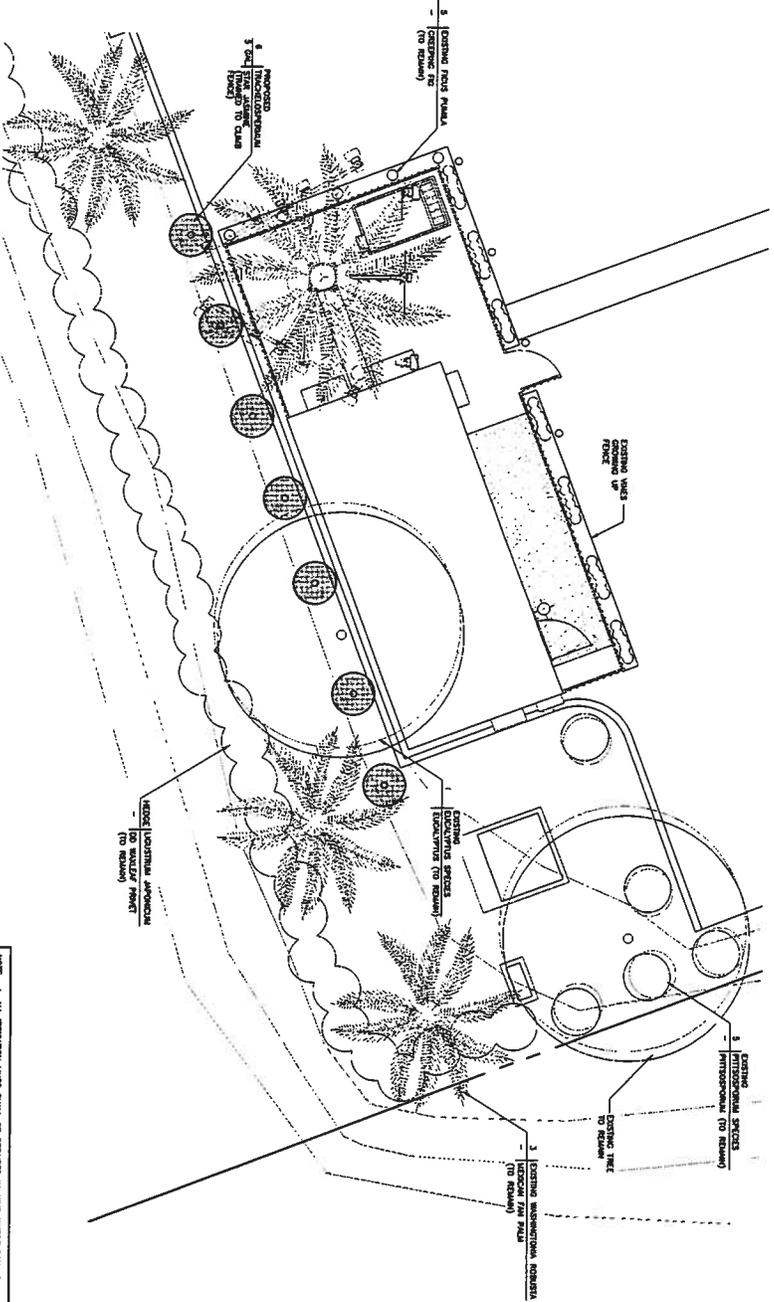
PROJECT NAME
WATKINS COLLEGE
4079 CALLE PLATINO
OCEANSIDE, CA 91958
SAN DIEGO

DRAWING DATES
14/17/07
04/17/08
02/17/08
PLANNING COMMENTS (4)

EXTERIOR ELEVATIONS

SHEET TITLE

A-4



CONCEPT LANDSCAPE PLAN



CITY OF OCEANSIDE REQUIREMENTS

1. LANDSCAPE IS DESIGNED NECESSARY BY CITY LANDSCAPE INSPECTOR
2. LANDSCAPE DESIGN TO BE APPROVED BY CITY LANDSCAPE INSPECTOR
3. PLANTING:
 - o COLORADO BLUE SPRUCE IN WINDSTOPPER HEIGHT SHALL REQUIRE STUMP LIFTING OR APPROVED TRUNK REMOVAL
 - o OTHER TREE SPECIES SHALL BE LIMITED TO 10 FEET IN HEIGHT
 - o TREES WITH CANOPIES ABOVE 10 FEET SHALL NOT BE PERMITTED FOR PLANTING
 - o NO TREES, SPECIMENS OR BUSHES OVERHANG SHALL BE LOCATED WITHIN ANY WAYS OR WATERWAYS

REVEGETATION REQUIREMENTS

1. ALL GRASS, ESTABLISHED OR EXISTING AREAS THAT WILL NOT BE REVEGETATED SHALL BE MAINTAINED AS SUCH
2. ALL AREAS NOT REVEGETATED SHALL BE MAINTAINED AS SUCH
3. ALL AREAS NOT REVEGETATED SHALL BE MAINTAINED AS SUCH
4. ALL AREAS NOT REVEGETATED SHALL BE MAINTAINED AS SUCH

PANTING NOTES

1. DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION WORK
2. ALL PLANTING AREAS SHALL BE MAINTAINED AS SUCH
3. PLANTING AREAS SHALL BE MAINTAINED AS SUCH
4. ALL UNDERGROUND UTILITIES SHALL BE MAINTAINED AS SUCH
5. ALL UNDERGROUND UTILITIES SHALL BE MAINTAINED AS SUCH

WATER CONSERVATION NOTES

1. ALL LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE DESIGNED TO CONFORM TO ALL APPLICABLE REGULATIONS AND STANDARDS
2. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO CONFORM TO ALL APPLICABLE REGULATIONS AND STANDARDS
3. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO CONFORM TO ALL APPLICABLE REGULATIONS AND STANDARDS
4. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO CONFORM TO ALL APPLICABLE REGULATIONS AND STANDARDS
5. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO CONFORM TO ALL APPLICABLE REGULATIONS AND STANDARDS

NOTE: 1. ALL REVEGETATION AREAS SHALL BE REVEGETATED WITHIN 90 DAYS OF COMPLETION OF CONSTRUCTION. 2. CONSTRUCTION IS TO BE COMPLETED WITHIN 90 DAYS OF THE START DATE OF THE PROJECT. 3. ALL REVEGETATION AREAS SHALL BE MAINTAINED AS SUCH THROUGHOUT THE PROJECT. 4. ALL REVEGETATION AREAS SHALL BE MAINTAINED AS SUCH THROUGHOUT THE PROJECT.

Booth & Quary
 ARCHITECTURE & PLANNING
 1500 N. GARDEN AVENUE, SUITE 100, OCEANSIDE, CA 92054
 (619) 435-1234

PREPARED FOR
Verizon wireless
 P.O. BOX 18707
 IRVINE, CA 92613-8707
 (949) 222-7000

APPROVALS	
DATE	DATE

PROJECT NAME
WATKINS COLLEGE
 4075 CALLE PLATINO
 OCCASIDDE, CA 91056
 SAN DIEGO

DRAWING DATES
 12/18/07 20 REVIEW (M)
 02/12/08 PLANNING COMMENTS (M)
 02/17/08 PLANNING COMMENTS (M)

SHEET TITLE
CONCEPT LANDSCAPE PLAN

PROJECT NUMBER: 071794-011741.dwg
 L-1

1 PLANNING COMMISSION
2 RESOLUTION NO. 2008-P17

3 A RESOLUTION OF THE PLANNING COMMISSION OF THE
4 CITY OF OCEANSIDE, CALIFORNIA APPROVING A TIME
5 EXTENSION FOR A CONDITIONAL USE PERMIT ON
CERTAIN REAL PROPERTY IN THE CITY OF OCEANSIDE

6 APPLICATION NO: C-42-98 Time Extension
7 APPLICANT: Verizon Wireless
8 LOCATION: Watkins College, 4079 Calle Platino

9 THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES
10 RESOLVE AS FOLLOWS:

11 WHEREAS, there was filed with this Commission a verified petition on the forms
12 prescribed by the Commission requesting a time extension for a Conditional Use Permit under the
13 provisions of Articles 30 and 41 of the Zoning Ordinance of the City of Oceanside and under the
provisions of the Rancho del Oro Specific Plan S-1-84 to permit the following:

14 the continued operation of a communications tower, approximately 85 feet in overall
15 height, and designed to replicate the appearance of a palm tree and having a maximum of
16 13 antennas;

17 on certain real property described in the project description.

18 WHEREAS, the Planning Commission, after giving the required notice, did on the 24th
19 day of March, 2008 conduct a duly advertised public hearing as prescribed by law to consider said
20 application.

21 WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State
22 Guidelines thereto; this project is categorically exempt from CEQA per Article 19, Section
15301 Existing Facilities;

23 WHEREAS, there is hereby imposed on the subject development project certain fees,
24 dedications, reservations and other exactions pursuant to state law and city ordinance;

25 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the
26 project is subject to certain fees, dedications, reservations and other exactions as provided below:

27 ////////////////

28 ////////////////

<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 05-OR 0611-1	Fee based on water meter size. Non-residential is \$35,160 for a 2” meter.
Wastewater System Buy-in fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 05-OR 0610-1	Based on capacity or water meter size. Non-residential is \$48,280 for a 2” meter.
San Diego County Water Authority Capacity Fees	SDCWA Ordinance No. 2005-03	Based on meter size. Non-residential is \$22,495 for a 2” meter.

WHEREAS, the current fees referenced above are merely fee amount estimates of the impact fees that would be required if due and payable under currently applicable ordinances and resolutions, presume the accuracy of relevant project information provided by the applicant, and are not necessarily the fee amount that will be owing when such fee becomes due and payable;

WHEREAS, unless otherwise provided by this resolution, all impact fees shall be calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside City Code and the City expressly reserves the right to amend the fees and fee calculations consistent with applicable law;

WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee, dedication, reservation or other exaction to the extent permitted and as authorized by law;

WHEREAS, pursuant to Gov’t Code §66020(d)(1), NOTICE IS FURTHER GIVEN that the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction described in this resolution begins on the effective date of this resolution and any such protest must be in a manner that complies with Section 66020;

WHEREAS, the documents or other material which constitutes the record of proceedings upon which the decision is based will be maintained by the City of Oceanside Planning Division, 300 North Coast Highway, Oceanside, California 92054.

1 WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes
2 effective 10 days from the date of its adoption in the absence of the filing of an appeal or call for
3 review;

4 WHEREAS, studies and investigations made by this Commission and in its behalf reveal
5 the following facts:

6 FINDINGS:

7 For the Time Extension of Conditional Use Permit (C-42-98):

- 8 1. The location of the stand-alone communication facility, 4079 Calle Platino, is in accord
9 with the objectives the Zoning Ordinance Section 3025, the Rancho del Oro Specific Plan
10 and the Rancho del Oro Industrial Master Development Plan.
- 11 2. The location of the stand-alone communication facility, 4079 Calle Platino, and the
12 proposed conditions under which it would be maintained will be consistent with the
13 General Plan including Objective 2.726 *Communication systems*; the stand-alone
14 communication facility will not be detrimental to the public health, safety or welfare of
15 persons working in or adjacent to the neighborhood of such use; and the stand-alone
16 communication facility will not be detrimental to properties or improvements in the vicinity
17 or to the general welfare of the city.
- 18 3. The stand-alone communication facility will comply with the provisions of the Zoning
19 Ordinance, including any specific condition required for the proposed use in the Rancho del
20 Oro Planned Development (PD-1). The stand-alone communication facility is specifically
21 conditioned regarding future consolidation and joint-use of the facility and equipment
22 shelter whenever possible.
- 23 4. The stand-alone communication facility visually conforms to the surrounding natural
24 features. The location of the stand-alone communication facility, 4079 Calle Platino, is
25 surrounded by trees, which effectively mitigate view impacts from the primary view
26 corridors. The stand-alone communication facility is designed to replicate the appearance
27 of an actual palm tree, which effectively supplements the project's visual mitigation and
28 renders the facility to be visually conforming to the surrounding land forms. As such, the
29 project site is consistent with the objectives of the effective zoning regulations.

1 5. The approved project is conditioned to comply with specific requirements pertaining to its
2 appearance and maintenance of its visual mitigation for sustained conformation with the
3 surrounding landforms. The conditions of project approval include requirements for the
4 planting of live palm trees, consistent with the sizes of the surrounding and view mitigating
5 trees, to further ensure for the overall visual conformation of the project.

6 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby
7 approve a Class 1 Categorical Exemption pursuant to Section 15301 of the California
8 Environmental Quality Act, and approve a time extension for Conditional Use Permit (C-42-98)
9 subject to the following conditions:

10 **Building:**

11 1. Any changes to the existing facility, antennas, and structures shall require a building
12 permit.

13 **Engineering:**

14 2. Landscape plans, shall meet the criteria of the City of Oceanside Landscape Guidelines
15 and Specifications for Landscape Development, Water Conservation Ordinance No. 91-
16 15, Engineering criteria, City code and ordinances, including the maintenance of such
17 landscaping, shall be reviewed and approved by the City Engineer prior to the issuance
18 of building permits. Landscaping shall not be installed until bonds have been posted,
19 fees paid, and plans signed for final approval. The following special landscaping
20 requirements shall be required prior to plan approval:

- 21 a) Final landscape plans shall accurately show placement of all plant material such
22 as but not limited to trees, shrubs, and groundcovers.
- 23 b) Landscape Architect shall verify utility, sewer, storm drain easement and place
24 planting locations accordingly to meet City of Oceanside requirements.
- 25 c) All required landscape areas shall be maintained by owner. The landscape areas
26 shall be maintained per City of Oceanside requirements.
- 27 d) Proposed landscape species shall be native or naturalized to fit the site and meet
28 climate changes indicative to their planting location. The selection of plant
29 material shall also be based on cultural, aesthetic, and maintenance

1 considerations. In addition proposed landscape species shall be low water users
2 as well as meet all Fire Department requirements.

- 3 e) All planting areas shall be prepared with appropriate soil amendments, fertilizers,
4 and appropriate supplements based upon a soils report from an agricultural
5 suitability soil sample taken from the site.
- 6 f) Ground covers or bark mulch shall fill in between the shrubs to shield the soil
7 from the sun, evapotranspiration and run-off. All the flower and shrub beds shall
8 be mulched to a 3" depth to help conserve water, lower the soil temperature and
9 reduce weed growth.
- 10 g) The shrubs shall be allowed to grow in their natural forms. All landscape
11 improvements shall follow the City of Oceanside Guidelines.
- 12 h) Proposed use of Trachelospermum jasminoides – Star Jasmine as a screening
13 vine. A detail shall be provided depicting how this plant is to be trained to the
14 metal fence i.e. wood trellis, wire, landscape ties etc.
- 15 i) An automatic irrigation system shall be installed to provide coverage for all
16 planting areas shown on the plan. Low precipitation equipment shall provide
17 sufficient water for plant growth with a minimum water loss due to water run-
18 off.
- 19 j) Irrigation systems shall use high quality, automatic control valves, controllers
20 and other necessary irrigation equipment. All components shall be of non-
21 corrosive material. All drip systems shall be adequately filtered and regulated
22 per the manufacturer's recommended design parameters.
- 23 k) All irrigation improvements shall follow the City of Oceanside Guidelines and
24 Water Conservation Ordinance.
- 25 l) The landscape plans shall match all plans affiliated with the project.
- 26 m) Landscape plans shall comply with Biological and/or Geotechnical reports, as
27 required, shall match the grading and improvement plans, comply with SWMP
28 Best Management Practices and meet the satisfaction of the City Engineer.
- 29 n) Existing landscaping on and adjacent to the site shall be protected in place and
supplemented or replaced to meet the satisfaction of the City Engineer.

- 1 3. All landscaping, fences, walls, etc. on the site, in medians within the public right-of-way
2 and within any adjoining public parkways shall be permanently maintained by the owner,
3 his assigns or any successors-in-interest in the property. The maintenance program shall
4 include: a) normal care and irrigation of the landscaping b) repair and replacement of plant
5 materials c) irrigation systems as necessary d) general cleanup of the landscaped and open
6 areas e) parking lots and walkways, walls, fences, etc. Failure to maintain landscaping
7 shall result in the City taking all appropriate enforcement actions including but not limited
8 to citations. This maintenance program condition shall be recorded with a covenant as
9 required by this resolution.
- 10 4. In the event that the conceptual landscape plan (CLP) does not match the conditions of
11 approval, the resolution of approval shall govern.

12 **Planning:**

- 13 5. A time extension to Conditional Use Permit C-42-98 is granted for the following: the
14 continued operation of an 85-foot stand-alone communication facility consisting of a total
15 of thirteen antennas; a 184-square-foot equipment shelter; and the limited operation of an
16 emergency back-up generator. Any change in the use or expansion of the activities, which
17 is approved by the Planning Commission, shall require a revision to the Conditional Use
18 Permit or new Conditional Use Permit.
- 19 6. The Conditional Use Permit shall be called for review by the Planning Commission if
20 complaints are filed and verified as valid by the City Planner or the Code Enforcement
21 Officer concerning the violation of any of the approved conditions or the project
22 assumptions demonstrated under the application approval.
- 23 7. A time extension for Conditional Use Permit C-42-98 shall be limited to a term of 10 years
24 beginning on September 13, 2004. However, the Conditional Use Permit may be revised
25 or renewed in accordance with the provisions of the Zoning Ordinance. The application for
26 Conditional Use Permit revision shall also be evaluated against the existing land use
27 policies and any site area and neighborhood changes.
- 28 8. Prior to the transfer of ownership and/or operation of the use, the owner and/or operator
29 shall provide a written copy of the application, staff report, and resolution for the project to

1 the new owner and/or operator and/or second user. The notification requirement shall run
2 with the life of the project.

3 9. The Conditional Use Permit shall lapse if the exercise of rights granted by it is discontinued
4 for six consecutive months.

5 10. Failure to meet any conditions of approval for this development shall constitute a violation
6 of the Conditional Use Permit.

7 11. Unless expressly waived, all current zoning standards and City ordinances and policies in
8 effect at the time building permits are issued are required to be met by this project. The
9 approval of this project constitutes the applicant's agreement with all statements in the
10 project Description and Justification and other materials and information submitted with
11 this application, unless specifically waived by an adopted condition of approval.

12 12. A covenant or other recordable document approved by the City Attorney shall be prepared
13 by the applicant and recorded prior to the issuance of building permits. The covenant shall
14 provide that the property is subject to this resolution, and shall generally list the conditions
15 of approval.

16 13. Prior to the issuance of building permits, compliance with the applicable provisions of the
17 City's anti-graffiti (Ordinance No. 93-19/Section 20.25 of the City Code) shall be reviewed
18 and approved by the City Planner. These requirements, including the obligation to remove
19 or cover with matching paint all graffiti within 24 hours, shall be noted on the Landscape
20 Plan and shall be recorded in the form of a covenant affecting the subject property.

21 14. Upon one year of facility operation, and upon any change-out of facility equipment, the
22 permittee(s) shall provide to the City Planner a statement of radio-frequency radiation
23 output and output compliance with the limitations of governing licensing authorities.

24 15. The permittee(s) shall exercise a good-faith effort to incorporate the best available
25 equipment technology to effect a reduction in the visual presence of the approved antenna
26 and facility equipment. The change-out and retrofit of equipment shall be conducted by the
27 permittee(s) after such equipment becomes available and exhibits common use at similar
28 facilities. Upon the City's request and discretion, the permittee(s) shall be required to
29 provide an independently prepared technical analysis demonstrating compliance with this

1 condition. The permittee(s) inability to demonstrate the use of current technologies may be
2 grounds for the institution of revocation proceedings of the Conditional Use Permit.

3 16. Appropriate building permits shall be obtained prior to the addition or change-out of any
4 antenna.

5 17. The permittee(s) shall exercise a good-faith effort to cooperate with other communication
6 providers and services in the operation of a co-user facility, provided such shared usage
7 does not impair the operation of the approved facility. Upon the City's request and
8 discretion, the permittee(s) shall provide an independently prepared technical analysis to
9 substantiate the existence of any practical technical prohibitions against the operation of a
10 co-use facility. The permittee(s)' non-compliance with this requirement may be grounds
11 for the institution of revocation proceedings of the Conditional Use Permit.

12 18. The approved communication facility shall be subject to, and governed by, any and all
13 licensing authority by any governmental agency having jurisdiction. The City's local
14 approval of a communication facility shall not exempt the permittee(s) from any such pre-
15 emptive regulations.

16 19. The final design, aesthetic devices, and construction of the facility shall be in accordance
17 with the plans representing the approved project and the conditions of approval. In
18 addition, the final construction plans shall demonstrate consistency with the plans and other
19 exhibit materials approved by the Planning Commission. These requirements shall be
20 shown and demonstrated on the plans submitted for building permits and shall be reviewed
21 and approved by the City Planner prior to the issuance of building permits. The following
22 requirements shall be met:

- 23 a) Existing faux fronds shall be removed and new fronds installed no later than 120
24 days following the date of project approval.
- 25 b) The monopole shall not exceed 85 feet in height. The pole shall be a maximum of
26 36 inches in diameter.
- 27 c) The replacement faux fronds shall be a minimum of 15 feet in length. The fronds
28 shall reach a minimum of 24 inches beyond the farthest reaching antennas,
29 including a minimum of 24 inches above the top of the pole and below the base of
the antennas. The overall height of the facility shall not exceed 85 feet.

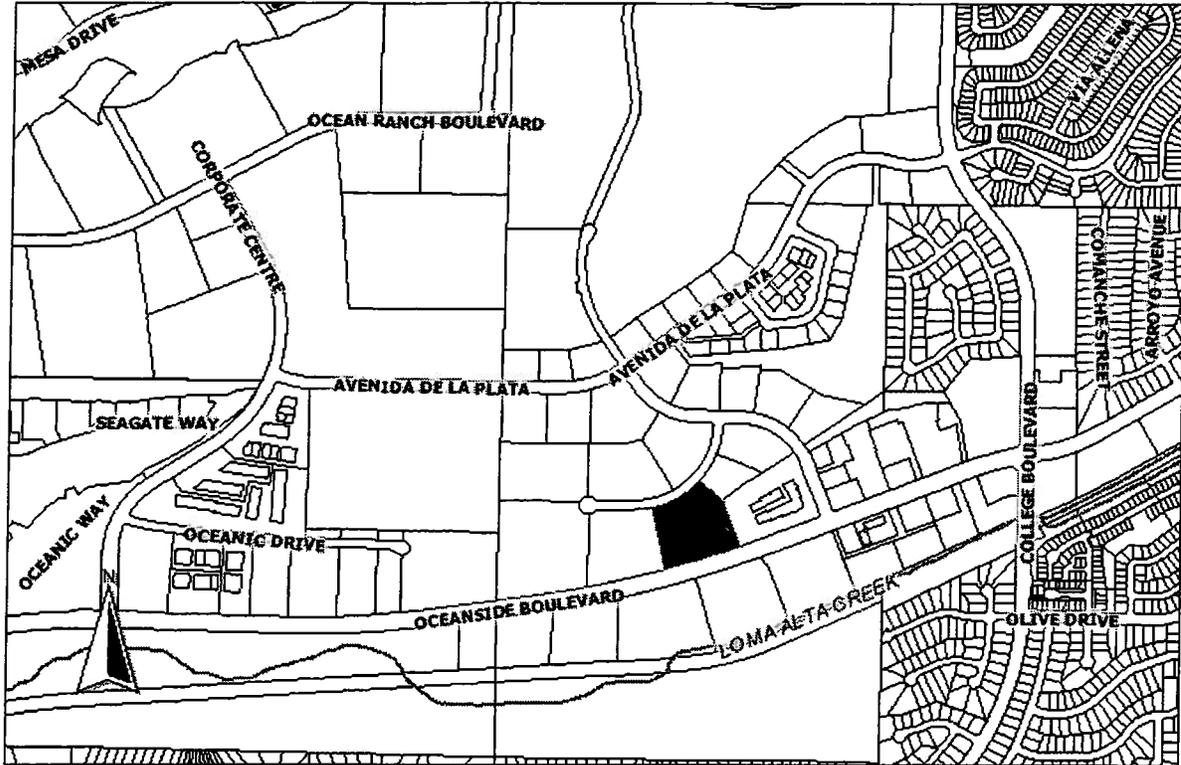
- 1 d) The replacement faux fronds shall be shades of forest green and brown, similar to
2 the colors of a real palm tree.
- 3 e) There shall be a minimum of 60 fronds incorporated with the mono-palm disguise.
4 The faux fronds shall be arranged to simulate a real palm tree.
- 5 f) The mono-palm trunk and frond ball shall be finished with bark texture and color
6 (full cladding) similar to a real palm tree.
- 7 g) The radius center line of the antennas shall be a maximum of 76 feet above ground
8 level. The top of the antennas shall be a maximum of 78 feet above ground level.
9 The antennas shall not extend more than 9.5 feet from the face of the monopole
10 trunk cladding.
- 11 h) The concrete pad and bolts for the mono-palm shall be painted to match the trunk.
12 In addition, mulch shall conceal the pad and bolts at the base of the tree. The
13 galvanized steel overhead cable bridge shall be painted to match the color of the
14 trunk.
- 15 i) The equipment shelter shall remain as it currently exists and as shown on the
16 materials and information submitted with this application. All mechanical
17 equipment shall be placed inside the structure. Only one GPS antenna shall be
18 permitted on the equipment shelter. The top of the GPS antenna shall not exceed
19 11.5 feet in height.
- 20 j) No permanent generators shall be permitted. The emergency back-up generator
21 shall not exceed local noise limits and shall be operated on a limited basis.
- 22 k) Pursuant to Section 3040.C.3, the maximum height of the fence shall not exceed 8
23 feet.
- 24 l) The landscaping shall be maintained in excellent condition at all times. Irrigation
25 shall be operable at all times and shall sufficiently water the landscaping associated
26 with this Conditional Use Permit.
- 27 20. The facility shall be inspected and a letter of clearance shall be prepared by the City
28 Planner prior to final inspection of the facility by the Building Division.
29

- 1 21. All construction required to implement Condition 19 shall be completed no later than 120
2 days following the date of project approval. Failure to comply with this condition shall
3 constitute a violation of this Conditional Use Permit.
- 4 22. The existing live palms will be trimmed no later than 60 days following the date of project
5 approval. Failure to comply with this condition shall constitute a violation of the
6 Conditional Use Permit.
- 7 23. The 85-foot telecommunications facility shall be maintained in a like-new condition at all
8 times. Maintenance shall include, but is not limited to, replacing trunk bark, branches, and
9 palm fronds. Upon the City's request and discretion, the permittee(s) shall provide an
10 aesthetic analysis, including current, detailed photographs, to substantiate the like-new
11 appearance of the proposed project, within 60 days of the request. The permittee(s)' non-
12 compliance with this requirement shall be grounds for the institution of revocation
13 proceedings of the Conditional Use Permit.
- 14 24. Any apparent inconsistency resulting from the construction of the approved facility shall be
15 a basis for a call for the review of the Conditional Use Permit.
- 16 25. Upon termination of the approved communication facility use, the permittee shall be
17 responsible to removing the entire facility from the premises and repairing the site to its
18 original condition with pavement, curb, and gutters.

18 **Water Utilities:**

- 19 26. The developer will be responsible for developing all water and sewer utilities necessary to
20 develop the property. Any relocation of water and/or sewer utilities is the responsibility of
21 the developer and shall be done by an approved licensed contractor at the developer's
22 expense.
- 23 27. The following conditions shall be met prior to the approval of engineering design plans.
24 No trees, structures or building overhang shall be located within any water or wastewater
25 utility easement.

25 ///////////////
26 ///////////////
27 ///////////////
28 ///////////////
29



File Number: C-42-98

Applicant: Verizon Wireless

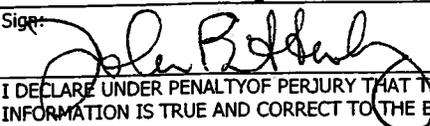
Description:

A renewal of CONDITIONAL USE PERMIT (C-42-98) for the operation of a communications tower, approximately 85 feet in overall height, and disguised to simulate the appearance of an actual palm tree. The facility is situated on a portion of an existing developed 5.45 acre industrial property located at 4079 Calle Platino. The project site is zoned PD-1 (Planned Development – 1 – Rancho Del Oro) and is within the Ivey Ranch/Rancho Del Oro Neighborhood. – **VERIZON @ 4079 CALLE PLATINO**

Environmental Determination:

The project is exempt from the California Environmental Quality Act.

City of Oceanside, Planning Division
300 N. Coast Highway
Oceanside, CA 92054 (760) 435-3520

Application For Planning Commission Hearing Planning Department (760) 435-3520 Oceanside Civic Center 300 North Coast Highway Oceanside, California 92054-2885 Please Print or Type All Information				STAFF USE ONLY	
				ACCEPTED	BY
				8/13/04	LT
PART I - APPLICANT INFORMATION				HEARING	
1. APPLICANT		2. STATUS		GPA	
Verizon Wireless Attn: Melinda Hsu		Leasee		MASTER/SP.PLAN	
3. ADDRESS		4. PHONE/FAX		ZONE CH.	
15505 Sand Canyon Rd, Bldg D Irvine, CA 92618		(949) 286-8713		TENT. MAP	
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing)		7. PHONE/FAX		PAR. MAP	
John Bitterly The Planning Consortium		(714) 569-0616		DEV. PL.	
6. ADDRESS				C.U.P. C-42-98 REV04	
1111 Town & Country Rd #38 Orange, CA 92868				VARIANCE	
PART II - PROPERTY DESCRIPTION		9. SIZE		COASTAL	
8. LOCATION		10. GENERAL PLAN		O.H.P.A.C.	
4079 Calle Platino		Ind		714-769-2510	
11. ZONING		12. LAND USE		13. ASSESSOR'S PARCEL NUMBER	
Ind		Manufacturing		162-503-29-00	
PART III - PROJECT DESCRIPTION REV- 3/27/06, 12/21/07					
14. GENERAL PROJECT DESCRIPTION					
Verizon Wireless requests a five year extension of CUP-42-98 to allow the continued operation of an existing stealth mono-palm antenna facility.					
15. PROPOSED GENERAL PLAN		16. PROPOSED ZONING		17. PROPOSED LAND USE	
No change		No change		No change	
18. NO. UNITS		19. DENSITY			
NA		NA			
20. BUILDING SIZE		21. PARKING SPACES		22. % LANDSCAPE	
288 sq ft (ex)		Existing		Existing	
23. % LOT COVERAGE					
Existing					
PART IV - ATTACHMENTS					
ALL APPLICATIONS				DEV. PLANS, C.U.P.s & TENT. MAPS	
<input checked="" type="checkbox"/> 24. DESCRIPTION/JUSTIFICATION		<input checked="" type="checkbox"/> 25. LEGAL DESCRIPTION		<input checked="" type="checkbox"/> 30. FLOOR PLANS AND ELEVATIONS	
<input checked="" type="checkbox"/> 26. 300-FT. RADIUS MAP		<input checked="" type="checkbox"/> 27. PROPERTY OWNERS' LIST		<input checked="" type="checkbox"/> 31. CONSTRUCTION SCHEDULE	
<input checked="" type="checkbox"/> 28. ENVIRONMENTAL ASSESSMENT		<input checked="" type="checkbox"/> 29. PLOT PLANS		<input type="checkbox"/> 32. OTHER	
PART V - SIGNATURES					
THE APPLICANT OR HIS/HER REPRESENTATIVE MUST BE PRESENT AT THE HEARING. FAILURE TO BE PRESENT MAY RESULT IN DENIAL OF THE APPLICATION.			SIGNATURES OF ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).		
33. APPLICANT OR REPRESENTATIVE (Print):		34. DATE		37. OWNER (Print)	
John Bitterly		9/9/04		See attached Letter of	
Sign: 				38. DATE	
I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.		Sign: Authorization			
35. APPLICANT (Print):		36. DATE		39. OWNER (Print):	
				40. DATE	
Sign:		Sign:			

RECEIVED
SEP 13 2004

LT

**Five-Year Time Extension of CUP 42-98
Verizon Wireless Stealth Monopalm Cellular Antenna Facility at
4079 Calle Platino, Oceanside CA**

Project Description

The proposed project is the request for a five years time extension to CUP 42-98 to allow the continued operation of an unmanned stealth monopalm cellular antenna facility at 4079 Calle Platino. The existing antenna facility is located in the rear of an existing manufacturing warehouse and consists of a 75-foot high monopalm antenna support with an approximately 288 square foot equipment shelter. The antenna facility is well concealed by the adjacent tall eucalyptus trees and its “monopalm” replication design (see site photos with application). The antenna facility has operated without complaint for the last five years.

Conditional Use Permit Justifications

- a) The proposed location of the use is in accord with the objectives of this ordinance and the purposes of the district in which the site is located.

At the time of the original project approval under CUP 42-98 approximately five years ago, the City Planning Commission made the following finding with regards to the above statement:

“The proposed location of the communication facility is surrounded by trees, which effectively mitigate view impacts from the primary view corridors. The communication facility is designed to replicate the appearance of an actual palm tree, which effectively supplements the project’s visual mitigation and renders the facility to be visually conforming to the surrounding land forms. As such, the project site is consistent with the objectives of the effective zoning regulations.”

The same findings can be made for the communication facility today since the project still complies with all land use entitlement conditions of approval.

- b) The proposed location of the conditional use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working in or adjacent to the neighborhood of such uses; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the City.

At the time of the original project approval under CUP 42-98 approximately five years ago, the City Planning Commission made the following finding with regards to the above statement:

“The proposed location and operation of the communication facility, under the applied land use conditions, are consistent with the effective land use policies and would not be detrimental to the public health or general welfare of persons residing or working in the area.”

The same findings can be made for the communication facility today since the project still complies with all land use entitlement conditions of approval.

- c) The proposed conditional use will comply with the provisions of this ordinance, including any specific condition required for proposed conditional use in the district in which it would be located.

At the time of the original project approval under CUP 42-98 approximately five years ago, the City Planning Commission made the following finding with regards to the above statement:

“The approved project is conditioned to comply with specific requirements pertaining to its appearance and maintenance of its visual mitigation for sustained conformation with the surrounding landforms. The conditions of project approval include requirements for the planting of live palm trees, consistent with the sizes of the surrounding and view mitigating trees, to further ensure for the overall visual conformation of the project”

The same findings can be made for the communication facility today since the project still complies with all land use entitlement conditions of approval.

LEGAL DESCRIPTION OF PROPERTY

4079 Calle Platino, Oceanside, California
(APN 162-503-29)

ORDER NO.: 232338-02

SCHEDULE A

The land referred to in this report is situated in the State of California,
San Diego County, and is described as follows:

Parcel "E" of Parcel Map No. 13489, in the City of Oceanside, County of San
Diego, State of California, filed in the Office of the County Recorder of San
Diego County, September 17, 1984 as File/Page No. 84-355554 of Official Records.

END OF SCHEDULE A



NOTICE OF EXEMPTION

City of Oceanside, California

Post Date:
Removal:
(30 days)

1. **APPLICANT:** Verizon Wireless
2. **ADDRESS:** 1550 Sand Canyon Road #D, Irvine, CA 92618
3. **PHONE NUMBER:** (949) 286-8713
4. **LEAD AGENCY:** City of Oceanside
5. **PROJECT MGR.:** Juliana von Hacht
6. **PROJECT TITLE:** C-42-98REV04 Verizon 4079 Calle Platino
7. **DESCRIPTION:** Consideration of a Time Extension for Conditional Use Permit (C-42-98) for the continued operation of a communication facility located at 4079 Calle Platino.

ADMINISTRATIVE DETERMINATION: Planning Division staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA), 1970. Based on that review, the Environmental Coordinator finds that the proposed project constitutes the demolition of an existing single-family dwelling. Therefore, the Environmental Coordinator has determined that further environmental evaluation is not required because:

- "The activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA" (Section 15061(b)(3)); or,
- The project is statutorily exempt, Section _____, <name> (Sections 15260-15277); or,
- The project is categorically exempt, Class 1, Existing facilities (Section 15301
- The project does not constitute a "project" as defined by CEQA (Section 15378).



Juliana von Hacht, Associate Planner

Date: 3-24-2008

cc: Project file Counter file Library

Posting: County Clerk \$50.00 Admin. Fee