

STAFF REPORT



ITEM NO. 13

CITY OF OCEANSIDE

DATE: March 5, 2008

TO: Chairman and Members of the Community Development Commission

FROM: Economic and Community Development Department

SUBJECT: **CONSIDERATION OF A RESOLUTION APPROVING TENTATIVE PARCEL MAP (P-207-07), DEVELOPMENT PLAN (D-206-07) AND CONDITIONAL USE PERMIT (C-203-07) AND DEFERRAL OF THE UNDERGROUNDING OF THE OVERHEAD UTILITIES FOR THE CONSTRUCTION OF A THREE-UNIT MULTIFAMILY DEVELOPMENT LOCATED AT 517 NORTH FREEMAN – APPLICANT: DEBBIE AND GREG SPREHN**

SYNOPSIS

The item under consideration is a Tentative Parcel Map, Development Plan and Conditional Use Permit and deferral of the undergrounding of the overhead utilities for the construction of a three-unit multifamily development located at 517 North Freeman Street. Staff is recommending that the Commission approve the project and adopt the resolution as attached.

BACKGROUND

The subject site consists of an existing legal parcel totaling 5,012 square feet in size that was part of the original C.J. Couts subdivision of 1885. The subject site is vacant.

The subject site topography is flat with only a 1-foot grade differential between the highest and lowest points of the site.

The subject site is situated within the North Freeman corridor neighborhood, which consists of old apartment buildings and single-family residences interspersed with small office uses.

Land Use and Zoning: The subject site is located within Subdistrict 9 of the "D" Downtown District. Subdistrict 9 is primarily intended to provide for commercial uses supporting other land uses within the downtown and serving the entire community. Residential uses are encouraged where appropriate. Multifamily residences are permitted upon approval of a Conditional use Permit. The maximum density within this zone is 43 dwelling units per acre. The project proposes a density of 26 dwelling units per acre.

Conditional Use Permit: This project is situated within Subdistrict 9. Subdistrict 9 allows for multifamily residential uses upon approval of a Conditional Use Permit.

Project Description: The project application consists of several components, which include a Tentative Parcel Map, Development Plan and Conditional Use Permit. Each discretionary request is described as follows:

Tentative Map and Development Plan: The project proposes a three-unit multifamily residential development with the units ranging in size from 1,974 to 2,006 square feet situated on a 5,012-square-foot lot. The project's height is 35 feet (3 stories), however there are architectural projections which are 41 feet high and represent approximately 7.8 percent of the ground floor. The proposed project is a Spanish-Mediterranean design as evident by the smooth stucco finish, low hipped roof, S-style red roof tiles and arches.

The project is required to provide 600 square feet of common and private useable open space. The project provides 2,878 square feet of common and private useable open space.

Subdistrict 5 requires that a minimum of 25 percent of the site be landscaped. The project proposes that approximately 26 percent of the subject site is landscaped. The project proposes Yellow-wood trees, shrubs include New Zealand Flax and Birds of Paradise and groundcover consists of Star Jasmine and Day Lilies.

Vehicular access to the units will be provided from the alley behind (west of) Freeman Street and pedestrian access will be provided from Freeman Street.

The overall project density is 26 dwelling units per acre. Outlined below is the residential unit breakdown:

Plan Type	Sq.Ft.	Bedrms.	Baths	Units
Plan 1	1,974	2	2.5	1
Plan 2	1,983	3	2.5	1
Plan 3	2,006	2	2.5	1
Total				3

Outlined below is a comparison chart summarizing the required development criteria with the proposed project:

	MINIMUM REQUIRED	PROPOSED
LOT SIZE	5,000 square feet	5,012 square feet
SETBACKS		
Front	10 feet	10 feet
Side	3 feet	3 feet
Rear	5 feet	5 feet
LANDSCAPING	25%	26%
PARKING	6 spaces	6 spaces
BUILDING HEIGHT	35 feet	35 feet
DENSITY	43 du. Ac.(Maximum)	29 du. Ac.

Conditional Use Permit: This project is situated within Subdistrict 9. Subdistrict 9 allows for multifamily residential uses upon approval of a Conditional Use Permit.

Deferral of Undergrounding of the Overhead Utilities: The applicant is requesting a deferral of the undergrounding of the overhead utilities which for this project is located along the alley in the rear (western) portion of the subject site.

Environmental Determination: A Certificate of Exemption has been prepared for the project. Under the provisions of the California Environmental Quality Act, the Community Development Commission will consider the exemption during its hearing on the project.

ANALYSIS

Staff's analysis focused on the compatibility of the project with existing development patterns of the area and the project's consistency with the underlying Redevelopment Plan, Zoning Ordinance, and the General Plan.

Since the proposed project is an infill project, staff's review centered on the project's compatibility with the existing residential patterns. The surrounding area consists of older apartments interspersed with newer condominium development. Staff believes that the proposed three-unit multifamily development is consistent with the surrounding neighborhood, especially with the newer residences that are located within the surrounding neighborhood.

Staff also reviewed the project's architectural compatibility and scale with the surrounding neighborhood. Staff has inventoried the surrounding neighborhood and has found a

varied housing stock with a variety of unit types and unit sizes. In comparing the project's product type and corresponding square footages to the unit types and square footages that exist in the area, it can be found that the proposed unit sizes are comparable in size and would have a positive effect on the area.

Deferral of the requirement to underground overhead utilities: The applicant is requesting an underground utilities conversion deferral on the basis of Section 3023 of the Zoning Ordinance which requires that all existing and new electrical, telephone, cable and similar distribution lines providing direct service to a development site are to be installed underground within the site and along the site's frontage. The underground utilities provisions of the City Subdivision Ordinance apply to all projects requiring development plan approval. The City Subdivision Ordinance requires that one or more of 7 findings must be made to grant the deferral. The findings are as follows:

- a. Existing facilities are within an existing alley.
- b. The subdivision contains less than 10 residential units.
- c. A residential subdivision has less than two hundred and fifty (250) feet of existing frontage.
- d. Facilities exist along rear property line(s) within an agriculture or residential estate zoned property.
- e. Conversion as defined above creates a net increase of three (3) or more poles over existing number of poles.
- f. Seventy percent (70%) or more of the facilities required to be underground exist on the opposite side of the existing abutting street from the subdivision.
- g. Subdivision is within the Redevelopment Project area:
 - (1) Subdivision is less than one-quarter block in length (fronting street or alley); or
 - (2) Subdivider provides verification by all utility companies impacted that the subdivision's obligations can be proven to be exorbitant in cost in relation to a larger conversion project within the same area and of similar conditions.

The applicant has submitted conceptual utility design that depicts the layout of the existing utilities, as well as the proposed undergrounding of all of the overhead utilities. The linear frontage for the overhead utilities for this project is approximately 120 lineal feet (as measured from pole to pole). The current estimated cost for deferral of the undergrounding of the overhead utilities is as follows:

Overhead Electrical Lines	\$400 per lineal foot
Telephone Lines	\$ 50 per lineal foot
Cable Televisions	\$ 35 per lineal foot

This project has electrical lines, cable lines and telephone lines; therefore, the total cost for this project to underground the overhead utilities is approximately \$58,200 based on 120 lineal feet. Staff believes that b., c. and g. (1) of the findings would apply to this

project and thus warrant deferral.

In conclusion, staff believes that the project meets the intent of the Redevelopment Plan and goals, which encourage the development of new residential uses. The design of the project is consistent in both the height and scale of the surrounding neighborhood. The proposed project is consistent with the quality of design of the newer residences located along North Freeman Street.

COMMISSION OR COMMITTEE REPORTS

The Redevelopment Design Review Committee (RDRC) reviewed the project at its December 21, 2007, meeting and approved the project on a 4-0 vote.

The Redevelopment Advisory Committee (RAC) reviewed the project at its January 23, 2008, meeting and approved the project's design.

FISCAL IMPACT

The proposed project will add approximately \$18,000 of tax increment yearly to the project area.

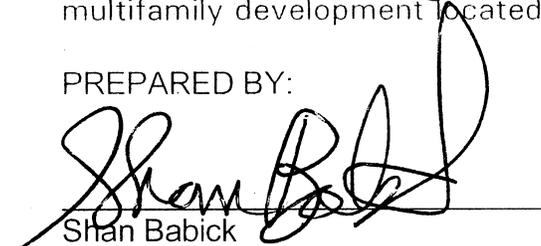
CITY ATTORNEY'S ANALYSIS

Pursuant to Oceanside Zoning Ordinance Article 4102, the Commission is authorized to hold a public hearing on this project's applications. Consideration of the project should be based on the evidence presented at the public hearing. After conducting the public hearing, the Commission shall approve, conditionally approve, or disapprove the project. The resolution has been reviewed and approved as to form by the City Attorney.

RECOMMENDATION

Staff recommends that the Commission adopt the resolution approving Tentative Parcel Map, Development Plan and Conditional Use Permit and deferral of the undergrounding of the overhead utilities for the construction of a three-unit multifamily development located at 517 North Freeman Street.

PREPARED BY:


Shan Babick
Associate Planner

SUBMITTED BY:


Peter A. Weiss
Executive Director

REVIEWED BY:

Michelle Skaggs Lawrence, Deputy City Manager
Jane McVey, Economic and Community Development Director
Kathy Baker, Redevelopment Manager



EXHIBITS/ATTACHMENTS

- 1. Resolution
- 2. Site Plan / Floor Plans / Elevations
- 3. Notice of Exemption
- 4. Utility Plan

RESOLUTION NO. 08-

A RESOLUTION OF THE COMMUNITY DEVELOPMENT COMMISSION OF THE CITY OF OCEANSIDE APPROVING A TENTATIVE PARCEL MAP, DEVELOPMENT PLAN AND CONDITIONAL USE PERMIT AND THE DEFERRAL OF THE UNDERGROUNDING OF THE OVERHEAD UTILITIES FOR THE CONSTRUCTION OF A 3-UNIT RESIDENTIAL CONDOMINIUM PROJECT LOCATED AT 517 NORTH FREEMAN STREET – APPLICANT: DEBBIE AND GREG SPREHN

WHEREAS, on March 5, 2008, the Community Development Commission held its duly noticed public hearing, considered an application for a Tentative Parcel Map (P-207-07), Development Plan (D-206-07) and Conditional Use Permit (C-203-07) and the deferral of the undergrounding of the overhead utilities for the construction of a 3-unit residential condominium project located at 517 North Freeman Street;

WHEREAS, the Redevelopment Design Review Committee (RDRC) of the City of Oceanside did, on December 21, 2007, review and recommend approval of Tentative Parcel Map (P-207-07), Development Plan (D-206-07) and Conditional Use Permit (C-203-07);

WHEREAS, the Redevelopment Advisory Committee (RAC) of the City of Oceanside did, on January 23, 2008 review and recommend approval of Tentative Parcel Map (P-207-07), Development Plan (D-206-07) and Conditional Use Permit (C-203-07);

WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee, dedication, reservation or other exaction to the extent permitted and as authorized by law;

WHEREAS, a Categorical Exemption was prepared by the Resource Officer of the City of Oceanside for this application pursuant to the California Environmental Quality Act 1970 and the State Guidelines implementing the Act. The project is considered an infill development and will not have a detrimental effect on the environment;

WHEREAS, there is hereby imposed on the subject development project certain fees, dedications, reservations and other exactions pursuant to state law and city ordinance;

WHEREAS, pursuant to Government Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the Project is subject to certain fees, dedications, reservations and other exactions as provided below:

1	<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or</u>
2			<u>Calculation Formula</u>
3			
4	Parkland Dedication/Fee	Ordinance No. 91-10	\$3,503 per unit
5		Resolution No. 05-R0628-1	
6	Drainage Fee	Ordinance No. 85-23	\$2,843 per acre
7		Resolution No. 05-R0628-1	
8	Public Facility Fee	Ordinance No. 91-09	\$2,072 per unit
9		Resolution No. 05-R0628-1	
10	School Facilities Mitigation	Ordinance No. 91-34	\$2.63 per square foot
11	Fee		
12	Traffic Signal Fee	Ordinance No. 87-19	\$15.71 per vehicle trip
13			
14	Thoroughfare Fee	Ordinance No. 83-01	\$255 per vehicle trip (based
15			on SANDAG trip generation
16			table)
17			
18	Water System Buy-in Fees	Oceanside City Code	Fee based on water meter
19		§37.56.1	size. Residential is typically
20		Resolution No. 87-96	\$3,746 per unit;
21		Ordinance No. 05-OR 0611-1	
22	Wastewater System Buy-in	Oceanside City Code §	Based on meter size.
23	fees	29.11.1	Residential is typically
24		Resolution No. 87-97	\$4,587 per unit;
25		Ordinance No. 05-OR 0610-1	
26			
27	San Diego County Water	SDCWA Ordinance No.	Based on meter size.
28	Authority Capacity Fees	2005-03	Residential is typically

1	<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or</u>
2			<u>Calculation Formula</u>
3			
4			\$4,154 per unit

6 WHEREAS, the current fees referenced above are merely fee amount estimates of the
7 impact fees that would be required if due and payable under currently applicable ordinances and
8 resolutions, presume the accuracy of relevant project information provided by the applicant, and
9 are not necessarily the fee amounts that will be owing when such fees become due and payable;

10 WHEREAS, unless otherwise provided by this resolution, all impact fees shall be
11 calculated and collected at the time and in the manner provided in Chapter 32B of the
12 Oceanside City Code and the City expressly reserves the right to amend the fees and fee
13 calculations consistent with applicable law;

14 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,
15 dedication, reservation or other exaction to the extent permitted and as authorized by law;

16 WHEREAS, pursuant to Government Code §66020(d)(1), NOTICE IS FURTHER
17 GIVEN that the 90-day period to protest the imposition of any fee, dedication, reservation, or
18 other exaction described in this resolution begins on the effective date of this resolution and any
19 such protest must be in a manner that complies with Section 66020; and

20 WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes
21 effective upon its adoption.

22 NOW, THEREFORE, the Community Development Commission of the City of
23 Oceanside does resolve as follows:

24 FINDINGS:

25 **For the Tentative Parcel Map:**

1. The proposed condominium meets the requirement of the Subdistrict 9 zoning designation in that the project creates a 3-unit condominium map on an existing pre-existing legal lot as stipulated within Article 12 of the Downtown District development standards. The subdivision map is consistent with the General Plan, Redevelopment Plan, Article 12 of the

1 Downtown District and the Subdivision Ordinance of the City of Oceanside by creating a three-
2 unit condominium on a pre-existing legal lot.

3 2. The proposed building on the site will conform to the topography of the site,
4 therefore, making it suitable for residential development. The subject site is physically suitable to
5 allow for the development of a three-unit multifamily residential project.

6 3. The subdivision complies with all other applicable ordinances, regulations and
7 guidelines of the City.

8 4. The design of the subdivision or proposed improvements will not conflict with
9 easements, acquired by the public at large, for access through or use of property within the
10 subdivision.

11 5. The design of the subdivision or the proposed improvements will not cause
12 substantial environment damage or substantially and avoidably injure fish or wildlife or their
13 habitat because the proposed project is an infill site that does not contain any sensitive habitat, river
14 or blue stream, wildlife, cultural resources, riparian habitat, sensitive landforms and/or geologic
15 formations or minerals, sensitive fauna and marine life.

16 **For the Development Plan:**

17 1. The site plan and physical design of the project as proposed is consistent with the
18 purposes of the City's Zoning Ordinance and the "D" Downtown District in that the
19 architectural design of the proposed structure and the landscaping of the open space meets or
20 exceeds the minimum development standards of the "D" Downtown District. The proposed
21 project meets the minimum setbacks, landscape, open space, height and parking spaces as
22 stipulated within the "D" Downtown District development standards. In addition, the project is
23 consistent with the newer development located within the surrounding neighborhood.

24 2. The Development Plan as proposed conforms to the Redevelopment Plan, and
25 General Plan of the City in that the proposed three-unit multifamily development is consistent
26 with the land uses of the Redevelopment Plan and the project meets the minimum setbacks,
27 landscape, open space, height and parking spaces as stipulated within the "D" Downtown
28 District development standards. In addition, the project is consistent with the newer
development located within the surrounding neighborhood.

1 3. The area covered by the Development Plan can be adequately, reasonably and
2 conveniently served by existing and planned public services, utilities and public facilities. The
3 proposed three-unit multifamily project will not create public service and facility demands
4 exceeding the capacity of existing and planned infrastructure.

5 4. The proposed project, a three-unit multifamily development, is compatible with
6 the newer development within the surrounding neighborhood in that in comparing the project's
7 product type and corresponding square footages to the unit types and square footages that exist in
8 the area, it can be found that the proposed unit sizes are comparable in size and would have a
9 positive effect on the area.

10 5. The site plan and physical design of the project is consistent with Section 1.24 and
11 1.25 of the Land Use Element of the General Plan, and Section 3039 of the Oceanside Zoning
12 Ordinance (Hillside Development Provisions), in that there is only 1 foot grade differentials from
13 the highest and lowest points of the subject site and therefore the project would not be subject to
14 the guidelines of the Land Use Element of the General Plan.

Conditional Use Permit for the Residential Use Located Within Subdistrict 9:

15 1. That the proposed location of the use is in accord with the objectives of this
16 ordinance and the purposes of the district in which the site is located. The location of the
17 multifamily residential use is consistent with the allowable uses within this land use district
18 (Subdistrict 9) of the Redevelopment Plan. The purpose of Subdistrict 9 is to provide
19 opportunities for commercial uses; however, residential uses are encouraged where appropriate.

20 2. That the proposed location of the conditional use and the proposed conditions
21 under which it would be operated or maintained will be consistent with the General Plan; will
22 not be detrimental to the public health, safety or welfare of persons residing or working in or
23 adjacent to the neighborhood of such use; and will not be detrimental to properties or
24 improvements in the vicinity or to the general welfare of the city. The proposed restrictions for
25 the conditional use permit are consistent with the Zoning Ordinance, General Plan and
26 Redevelopment Plan, will not affect neighborhood compatibility. The proposed residential use
27 and the conditions under which it will be allowed to operate will not be detrimental to the public
28 health, safety or welfare of persons residing or working in or adjacent to the subject site.

1 3. That the proposed conditional use will comply with the provisions of this
2 ordinance, including any specific condition required for the proposed conditional use in the district
3 in which it would be located.

4 **For the Deferral of the Requirements to Underground Overhead Facilities:**

5 1. The subdivision is located within the Redevelopment Project Area; Section 901
6 G4 of the Oceanside Subdivision Ordinance provides that the Community Development
7 Commission may defer all or a portion of the requirement to underground overhead utilities at
8 the time of the Tentative Parcel Map. Based on one or more findings, the subject site fits three of
9 the listed criteria for deferral because the subdivision is less than ten units, consists of less than
10 250-linear feet of frontage and is less than one-quarter block in length (fronting street or alley).

11 SECTION 1. That Tentative Parcel Map (P-207-07), Development Plan (D-206-07),
12 and Conditional Use Permit (C-203-07) are hereby approved subject to the following
13 conditions:

14 **Building:**

15 1. Applicable Building Codes and Ordinances shall be based on the date of
16 submittal for Building Department plan check (Currently the 2007 California Building Code
17 and 2007 California Electrical Code).

18 2. The granting of approval under this action shall in no way relieve the
19 applicant/project from compliance with all State and local building codes.

20 3. The building plans for this project are required by State law to be prepared by a
21 licensed architect or engineer and must be in compliance with this requirement prior to
22 submittal for building plan review.

23 4. Site development, common use areas, access and adaptability of condominiums
24 shall comply with the State's Disabled Accessibility Regulations (2007 California Building
25 Code (CBC) Chapter 11A).

26 5. All electrical, communication, CATV, etc. service lines, within the exterior lines
27 of the property shall be underground. (City Code Sec. 6.30)

28 6. The developer shall monitor, supervise and control all building construction and
supportive activities so as to prevent these activities from causing a public nuisance, including, but
not limited to, strict adherence to the following:

1 a) Building construction work hours shall be limited to between 7 a.m. and
2 6 p.m. Monday through Friday, and on Saturday from 7 a.m. to 6 p.m. for work that is not
3 inherently noise-producing. Examples of work not permitted on Saturday are concrete and
4 grout pours, roof nailing and activities of similar noise-producing nature. No work shall be
5 permitted on Sundays and Federal Holidays (New Year's Day, Memorial Day, July 4th, Labor
6 Day, Thanksgiving Day, Christmas Day) except as allowed for emergency work under the
7 provisions of the Oceanside City Code Chapter 38. (Noise Ordinance)

8 b) The construction site shall be kept reasonably free of construction debris
9 as specified in Section 13.17 of the Oceanside City Code. Storage of debris in approved solid
10 waste containers shall be considered compliance with this requirement. Small amounts of
11 construction debris may be stored on-site in a neat, safe manner for short periods of time
12 pending disposal.

13 7. A complete soils report, structural and energy calculations will be required at
14 time of plans submittal to the Building Division for plan check.

15 8. A private sewer system design must be submitted to the Building Department
16 and approved prior to the construction of the sewer system. If a gravity flow system is not used,
17 an engineered mechanical system must be submitted and approved by the Redevelopment,
18 Engineering, Water and Building Department.

19 9. Fire sprinklers are required for R-2 Occupancies (IBC 903.2.7).

20 10. Separate/unique addresses will/may be required to facilitate utility releases.
21 Verification that the addresses have been properly assigned by the City's Planning Department
22 shall accompany the Building Permit application.

23 11. The exterior openings less than five-feet from the interior property line shall be
24 protected openings per table 704.8 of the 2007 California Building Code.

25 12. Wired glass windows or doors between three and five feet from the interior
26 property line shall meet the requirements of the 2007 California Building Code table 715.5 and
27 715.5.3.

28 **Engineering:**

13. If the project involves demolition of an existing structure or surface improvements,
the grading plans shall be submitted and erosion control plans be approved by the City Engineer

1 prior to the issuance of a demolition permit. No demolition shall be permitted without an approved
2 erosion control plan.

3 14. Vehicular access rights to Freeman Street shall be relinquished to the City along the
4 property frontage. Access to the project site shall be from the alley.

5 15. All right-of-way alignments, street dedications, exact geometrics and widths shall
6 be dedicated and improved as required by the City Engineer.

7 16. Design and construction of all improvements shall be in accordance with
8 standard plans, specifications of the City of Oceanside and subject to approval by the City
9 Engineer.

10 17. Prior to issuance of a building permit all improvement requirements shall be
11 covered by a development agreement and secured with sufficient improvement securities or
12 bonds guaranteeing performance and payment for labor and materials, setting of monuments,
13 and warranty against defective materials and workmanship.

14 18. The developer shall provide public street dedication as required to serve the
15 property.

16 19. The approval of the tentative parcel map shall not mean that closure, vacation, or
17 abandonment of any public street, right of way, easement, or facility is granted or guaranteed to
18 the developer. The developer is responsible for applying for all closures, vacations, and
19 abandonments as necessary. The application(s) shall be reviewed and approved or rejected by
20 the City of Oceanside under separate process (es) per codes, ordinances, and policies in effect at
21 the time of the application.

22 20. Prior to approval of the tentative parcel map or any increment, all improvement
23 requirements, within such increment or outside of it if required by the City Engineer, shall be
24 covered by a subdivision agreement and secured with sufficient improvement securities or bonds
25 guaranteeing performance and payment for labor and materials, setting of monuments, and
26 warranty against defective materials and workmanship.

27 21. Where proposed off-site improvements, including but not limited to slopes, alley or
28 street improvement, public utility facilities, and drainage facilities, are to be constructed, the
applicant shall, at his own expense, obtain all necessary easements or other interests in real
property and shall dedicate the same to the City of Oceanside as required. The applicant shall

1 provide documentary proof satisfactory to the Engineering Department that such easements or
2 other interest in real property have been obtained prior to the approval of any grading, building or
3 improvement permit for the project. Additionally, the Engineering Department, may at its sole
4 discretion, require that the applicant obtain at his sole expense a title policy insuring the necessary
5 title for the easement or other interest in real property to have vested with the City of Oceanside or
6 the applicant, as applicable.

7 22. Pursuant to the State Map Act, improvements shall be required at the time of
8 development. A covenant, reviewed and approved by the City Attorney, shall be recorded
9 attesting to these improvement conditions and a certificate setting forth the recordation shall be
10 placed on the parcel map.

11 23. Prior to the issuance of a grading permit, the Developer shall notify and host a
12 neighborhood meeting with all of the area residents located within 300 feet of the project site,
13 and residents of property along any residential streets to be used as a "haul route", to inform
14 them of the grading and construction schedule, haul routes, and to answer questions.

15 24. The developer shall monitor, supervise and control all construction and
16 construction-supportive activities, so as to prevent these activities from causing a public nuisance,
17 including but not limited to, insuring strict adherence to the following:

- 18 a) Dirt, debris and other construction material shall not be deposited on any public
19 street or within the City's storm water conveyance system.
- 20 b) All grading and related site preparation and construction activities shall be
21 limited to the hours of 7 AM to 6 PM, Monday through Friday. No engineering
22 related construction activities shall be conducted on Saturdays, Sundays or legal
23 holidays unless written permission is granted by the City Engineer with specific
24 limitations to the working hours and types of permitted operations. All on-site
25 construction staging areas shall be as far as possible (minimum 100 feet) from
26 any existing residential development. Because construction noise may still be
27 intrusive in the evening or on holidays, the City of Oceanside Noise Ordinance
28 also prohibits "any disturbing excessive or offensive noise which causes
discomfort or annoyance to reasonable persons of normal sensitivity."
- c) The construction site and/or an approved site to the satisfaction of the City Engineer
shall accommodate the parking of all motor vehicles used by persons working at or
providing deliveries to the site.

1 d) A haul route shall be obtained at least 7 days prior the start of hauling operations
2 and must be approved by the City Engineer. Hauling operations shall be 8:00 A.M.
3 to 3:30 P.M. unless approved otherwise.

4 25. A traffic control plan shall be prepared according to the City traffic control
5 guidelines and be submitted to and approved by the City Engineer prior to the start of work
6 within open City rights-of-way. Traffic control during construction of streets that have been
7 opened to public traffic shall be in accordance with construction signing, marking and other
8 protection as required by the Caltrans Traffic Manual and City Traffic Control Guidelines.
9 Traffic control plans shall be in effect from 8:00 a.m. to 3:30 p.m. unless approved otherwise.

10 26. Approval of this development project is conditioned upon payment of all applicable
11 impact fees and connection fees in the manner provided in chapter 32B of the Oceanside City
12 Code. All drainage fees, traffic signal fees and contributions, highway thoroughfare fees, park
13 fees, reimbursements, and other applicable charges, fees and deposits shall be paid prior to
14 recordation of the map or the issuance of any building permits, in accordance with City Ordinances
15 and policies. The developer shall also be required to join into, contribute, or participate in any
16 improvement, lighting, or other special district affecting or affected by this project. Approval of
17 the tentative parcel map shall constitute the developer's approval of such payments, and his
18 agreement to pay for any other similar assessments or charges in effect when any increment is
19 submitted for final map or building permit approval, and to join, contribute, and/or participate in
20 such districts.

21 27. Freeman Street along the property frontage shall be improved with curbs and
22 gutters and sidewalk to the satisfaction of the City Engineer.

23 28. Freeman Street along the property frontage shall provide a minimum of 10 feet
24 parkway between the face of curb and the right of way line to the satisfaction of the City Engineer.
25 Sidewalk improvements shall comply with ADA requirements.

26 29. Sight distance requirements at the project driveway or street shall conform to the
27 corner sight distance criteria as provided by SDRSD DS-20A and or DS-20B.

28 30. Streetlights shall be maintained and installed on all public streets per City
 Standards. The system shall provide uniform lighting, and be secured prior to occupancy. The
 developer shall pay all applicable fees, energy charges, and/or assessments associated with City-

1 owned (LS-2 rate schedule) streetlights and shall also agree to the formulation of, or the annexation
2 to, any appropriate street lighting district.

3 31. Prior to approval of the grading plans, the developer shall contract with a
4 geotechnical engineering firm to perform a field investigation of the existing pavement on all
5 streets adjacent to the project boundary. The limits of the study shall be half-street plus twelve
6 (12) feet along the project's frontage. The field investigation shall include a minimum of one
7 pavement boring per every one hundred (100) linear feet of street frontage. Should the existing
8 AC thickness be determined to be less than the current minimum standard for AC and Class II
9 Base as set forth in the table for City of Oceanside Pavement Design Guidelines in the City of
10 Oceanside Engineers Manual, the Developer shall remove and reconstruct the pavement section
11 as determined by the pavement analysis submittal process detailed in Item No. 2 below.

12 32. Upon review of the pavement investigation, the City Engineer shall determine
13 whether the Developer shall: 1) Repair all failed pavement sections, header cut and grind per the
14 direction of the City Engineer, and construct a two (2) inch thick rubberized AC overlay; or 2)
15 Perform R-value testing and submit a study that determines if the existing pavement meets current
16 City standards/traffic indices. Should the study conclude that the pavement does not meet current
17 requirements, rehabilitation/mitigation recommendations shall be provided in a pavement analysis
18 report, and the Developer shall reconstruct the pavement per these recommendations, subject to
19 approval by the City Engineer.

20 33. Pavement sections for all streets, alleys, driveways and parking areas shall be based
21 upon approved soil tests and traffic indices. The pavement design is to be prepared by the
22 developer's soil engineer and must be approved by the City Engineer, prior to paving.

23 34. Any existing broken pavement, concrete curb, gutter or sidewalk or any damaged
24 during construction of the project, shall be repaired or replaced as directed by the City Engineer.

25 35. Full width alley improvements including the installation of a longitudinal concrete
26 alley gutter shall be constructed in accordance with the standard plans and specifications of the
27 City of Oceanside and as approved by the City Engineer.

28 36. The undergrounding of the existing overhead utilities may be deferred. The
29 developer shall submit a conceptual utility design that clearly shows the layout of the existing
30 utilities, as well as the proposed undergrounding of utilities. The conceptual design shall be

1 prepared by a qualified individual or firm, and provided to the City Engineer prior to issuance of
2 a grading permit. The developer shall pay an in-lieu fee, based upon the length of utilities to be
3 placed underground, and at the rate in effect at building permit issuance or as established by the
4 City Engineer per Section 901.G. of the Subdivision Ordinance (R91-166) and as required by
5 the City Engineer and current City policy.

6 37. The developer shall comply with all the provisions of the City's cable television
7 ordinances including those relating to notification as required by the City Engineer.

8 38. Grading and drainage facilities shall be designed and installed to adequately
9 accommodate the local storm water runoff and shall be in accordance with the City's Engineers
10 Manual and as directed by the City Engineer.

11 39. The applicant shall obtain any necessary permits and clearances from all public
12 agencies having jurisdiction over the project due to its type, size, or location, including but not
13 limited to the U. S. Army Corps of Engineers, California Department of Fish & Game, U. S. Fish
14 and Wildlife Service and/or San Diego Regional Water Quality Control Board (including NPDES),
15 San Diego County Health Department, prior to the issuance of grading permits.

16 40. The approval of the project shall not mean that proposed grading or
17 improvements on adjacent properties (including any City properties/Right-of-Way or
18 easements) is granted or guaranteed to the developer. The developer is responsible for
19 obtaining permission to grade to construct on adjacent properties. Should such permission be
20 denied, the condominium project shall be subject to going back to the public hearing or subject to a
21 substantial conformity review.

22 41. Prior to any grading of any part of the project, a comprehensive soils and geologic
23 investigation shall be conducted of the soils, slopes, and formations in the project. All necessary
24 measures shall be taken and implemented to assure slope stability, erosion control, and soil
25 integrity. No grading shall occur until a detailed grading plan, to be prepared in accordance with
26 the Grading Ordinance and Zoning Ordinance, is approved by the City Engineer.

27 42. This project shall provide year-round erosion control including measures for the site
28 required for the phasing of grading. Prior to the issuance of grading permit, an erosion control
plan, designed for all proposed stages of construction, shall be reviewed, secured by the applicant
with cash securities and approved by the City Engineer.

1 43. A precise grading and private improvement plan shall be prepared, reviewed,
2 secured and approved prior to the issuance of any building permits. The plan shall reflect all
3 pavement, flatwork, landscaped areas, special surfaces, curbs, gutters, medians, striping, and
4 signage, footprints of all structures, walls, drainage devices and utility services. Parking lot
5 striping and any on site traffic calming devices shall be shown on all Precise Grading and Private
6 Improvement Plans.

7 44. Landscaping plans, including plans for the construction of walls, fences or other
8 structures at or near intersections, must conform to intersection sight distance requirements.
9 Landscape and irrigation plans for disturbed areas must be submitted to the City Engineer prior to
10 the issuance of a preliminary grading permit and approved by the City Engineer prior to the
11 issuance of occupancy permits. Frontage and median landscaping shall be installed prior to the
12 issuance of any certificates of occupancy. Any project fences, sound or privacy walls and
13 monument entry walls/signs shall be shown on, bonded for and built from the landscape plans.
14 These features shall also be shown on the precise grading plans for purposes of location only.
15 Plantable, segmental walls shall be designed, reviewed and constructed by the grading plans and
16 landscaped/irrigated through project landscape plans. All plans must be approved by the City
17 Engineer and a pre-construction meeting held, prior to the start of any improvements.

18 45. Open space areas and down-sloped areas visible from a collector-level or above
19 roadway and not readily maintained by the property owner, shall be included within a maintenance
20 agreement that will insure installation and maintenance of landscaping in perpetuity. These areas
21 shall be indicated and included in the parcel map. Future buyers shall be made aware of any
22 estimated monthly costs. The disclosure, together with the Maintenance Agreement, shall be
23 submitted to the City Engineer for review prior to the recordation of parcel map.

24 46. The drainage design on the project is conceptual only. The final design shall be
25 based upon a hydrologic/hydraulic study to be approved by the City Engineer during final
26 engineering. All drainage picked up in an underground system shall remain underground until it is
27 discharged into an approved channel, or as otherwise approved by the City Engineer. All public
28 storm drains shall be shown on City standard plan and profile sheets. All storm drain easements
shall be dedicated where required. The applicant shall be responsible for obtaining any off-site
easements for storm drainage facilities.

1 47. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and
2 disposed of in accordance with all state and federal requirements, prior to stormwater discharge
3 either off-site or into the City drainage system.

4 48. Upon acceptance of any fee waiver or reduction by the Applicant, the entire
5 project will be subject to prevailing wage requirements as specified by Labor Code section
6 1720(b) (4). The Applicant shall agree to execute a form acknowledging the prevailing wage
7 requirements prior to the granting of any fee reductions or waivers.

8 **Fire:**

9 49. Fire Department Requirements shall be placed on plans in the notes section.

10 50. Smoke detectors are required, and detector locations must be indicated on the
11 plans.

12 51. A minimum fire flow of 1,500 gallons per minute shall be required.

13 52. All proposed and existing fire hydrants within 400 feet of the project shall be
14 shown on the site plan.

15 53. The size of the fire hydrants shall be 2 ½ "X 4".

16 54. In accordance with the California Fire Code Sec. 901.4.4, City approved
17 addresses for residential occupancies shall be placed on the structure in such a position as to be
18 plainly visible and legible from the street or roadway fronting the property. Numbers shall be
19 contrasting with their background.

20 55. Multifamily dwellings require 6 inch address numbers.

21 56. Plans shall be submitted to the Fire Prevention Bureau for plan check review and
22 approval prior to the issuance of building permits.

23 57. Buildings shall meet Oceanside Fire Departments current codes at the time of
24 building permit application.

25 **Planning:**

26 58. This Tentative Parcel Map (P-207-07), Development Plan (D-206-07) and
27 Conditional Use Permit (RC-203-07) shall expire on March 5, 2010, unless implemented as
28 required by the Zoning Ordinance.

 59. This Tentative Parcel Map, Development Plan and Conditional Use Permit
 approves only the construction of a 3-unit residential condominium project as shown on the

1 plans and exhibits presented to the Community Development Commission for review and
2 approval. No deviation from these approved plans and exhibits shall occur without Economic
3 and Community Development Department approval. Substantial deviations shall require a
4 revision to the Tentative Parcel Map, Development Plan and Conditional Use Permit or a new
5 Tentative Parcel Map, Development Plan and Conditional Use Permit.

6 60. The applicant, permittee or any successor-in-interest shall defend, indemnify and
7 hold harmless the City of Oceanside, its agents, officers or employees from any claim, action or
8 proceeding against the City, its agents, officers, or employees to attack, set aside, void or annul
9 an approval of the City, concerning Tentative Parcel Map (P-207-07), Development Plan (D-
10 206-07) and Conditional Use Permit (C-203-07). The City will promptly notify the applicant of
11 any such claim, action or proceeding against the City and will cooperate fully in the defense. If
12 the City fails to promptly notify the applicant of any such claim action or proceeding or fails
13 to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend,
14 indemnify or hold harmless the City.

15 61. All mechanical rooftop and ground equipment shall be screened from public
16 view as required by the Zoning Ordinance. That is, on all four sides and top. The roof jacks,
17 mechanical equipment, screen and vents shall be painted with non-reflective paint to match the
18 roof. This information shall be shown on the building plans.

19 62. Landscape plans, meeting the criteria of the City's Landscape Guidelines and
20 Water Conservation Ordinance No. 91-15, including the maintenance of such landscaping, shall
21 be reviewed and approved by the City Engineer and City Planner prior to the issuance of
22 building permits. Landscaping shall not be installed until bonds have been posted, fees paid,
23 and plans signed for final approval.

24 63. All landscaping, fences, walls, etc. on the site, in medians in the public right-of-
25 way and in any adjoining public parkways shall be permanently maintained by the owner, his
26 assigns or any successors in interest in the property. The maintenance program shall include
27 normal care and irrigation of the landscaping; repair and replacement of plant materials;
28 irrigation systems as necessary; and general cleanup of the landscaped and open areas, parking
lots and walkways, walls, fences, etc. Failure to maintain landscaping shall result in the City
taking all appropriate enforcement actions by all acceptable means including but not limited to

1 citations and/or actual work with costs charged to or recorded against the owner. This condition
2 shall be recorded with the covenant required by this resolution.

3 64. Front yard landscaping with a complete irrigation system, in compliance with
4 Water Conservation Ordinance No. 91-15, shall be required.

5 65. All multi-family unit dwelling projects shall dispose of or recycle solid waste in
6 a manner provided in City Ordinance 13.3.

7 66. A letter of clearance from the affected school district in which the property is
8 located shall be provided as required by City policy at the time building permits are issued.

9 67. A covenant or other recordable document approved by the City Attorney shall be
10 prepared by the applicant developer and recorded prior to the issuance of building permits. The
11 covenant shall provide that the property is subject to this resolution, and shall generally list the
12 conditions of approval.

13 68. Prior to the issuance of building permits, compliance with the applicable
14 provisions of the City's anti-graffiti (Ordinance No. 93-19/Section 20.25 of the City Code) shall
15 be reviewed and approved by the Economic and Community Development Department. These
16 requirements, including the obligation to remove or cover with matching paint all graffiti within
17 24 hours, shall be noted on the Landscape Plan and shall be recorded in the form of a covenant
18 affecting the subject property.

19 69. Prior to the transfer of ownership and/or operation of the site the owner shall
20 provide a written copy of the applications, staff report and resolutions for the project to the new
21 owner and or operator. This notification's provision shall run with the life of the project and
22 shall be recorded as a covenant on the property.

23 70. Failure to meet any conditions of approval for this development shall constitute a
24 violation of the Tentative Parcel Map (P-207-07), Development Plan (D-206-07) and
25 Conditional Use Permit (C-203-07).

26 71. Unless expressly waived, all current zoning standards and City ordinances and
27 policies in effect at the time building permits are issued are required to be met by this project.
28 The approval of this project constitutes the applicant's agreement with all statements in the
Description and Justification, and other materials and information submitted with this
application, unless specifically waived by an adopted condition of approval.

1 72. The developer's construction of all fencing and walls associated with the project
2 shall be in conformance with the approved Development Plan. Any substantial change in any
3 aspect of fencing or wall design from the approved Development Plan shall require a revision to
4 the Development Plan or a new Development Plan.

5 73. If any aspect of the project fencing and walls is not covered by an approved
6 Development Plan, the construction of fencing and walls shall conform to the development
7 standards of the City Zoning Ordinance. In no case, shall the construction of fences and walls
8 (including combinations thereof) exceed the limitations of the zoning code, unless expressly
9 granted by a Variation or other development approval.

10 74. The following unit type and floor plan mix, as approved by the Community
11 Development Commission, shall be indicated on plans submitted to the Building Division and
12 Economic and Community Development Department for building permit:

	Sq.Ft.	# Bedrms	# Baths	# Units	%
13 Plan 1	1,974	2	2.5	1	33
14 Plan 2	1,983	3	2.5	1	33
Plan 3	2,006	2	2.5	1	33

15 75. Side and rear elevations and window treatments shall be trimmed to substantially
16 match the front elevations. A set of building plans shall be reviewed and approved by the
17 Economic and Community Development Department prior to the issuance of building permits.

18 76. Elevations, siding materials, colors, roofing materials and floor plans shall be
19 substantially the same as those approved by the Community Development Commission. These
20 shall be shown on plans submitted to the Building Division and Economic and Community
21 Development Department.

22 77. A private Maintenance Agreement (MA) shall provide for the maintenance of the
23 adjacent parkways and common area and shall be recorded against this property prior to
24 recordation of the Final Map. The maintenance shall include normal care and irrigation of
25 landscaping, repair and replacement of plant material and irrigation systems as necessary; and
26 general cleanup of the parkway. The MA shall be subject to the review and approval of the City
27 Attorney prior to the approval of the final map. The MA is required to be recorded prior to or
28 concurrently with the final map. Any amendments to the MA in which the owners relinquish

1 responsibility for the maintenance of any common open space shall not be permitted without the
2 prior written approval of the City of Oceanside. Such a clause shall be included in the MA.
3 The MA shall also contain provisions for the following:

4 a) Prohibition against parking or storage of recreational vehicles, trailers, or
5 boats.

6 b) Maintenance of all common areas, parkway, and on-site and frontage
7 landscaping.

Water Utilities:

8 78. All public water and/or sewer facilities not located within the public right-of-way
9 shall be provided with easements sized according to the City's Engineers Manual. Easements
10 shall be constructed for all weather access.

11 79. No trees, structures or building overhang shall be located within any water or
12 wastewater utility easement.

13 80. The property owner will maintain private water and wastewater utilities located
14 on private property.

15 81. Water services and sewer laterals constructed in existing right-of-way locations
16 are to be constructed by approved and licensed contractors at developer's expense.

17 82. The developer will be responsible for developing all water and sewer utilities
18 necessary to develop the property. Any relocation of water and/or sewer utilities is the
19 responsibility of the developer and shall be done by an approved licensed contractor at the
20 developer's expense.

21 83. All lots with a finish pad elevation located below the elevation of the next upstream
22 manhole cover of the public sewer shall be protected from backflow of sewage by installing and
23 maintaining an approved type backwater valve, per the Uniform Plumbing Code (U.P.C.).

24 84. Water and Wastewater Buy-in fees and the San Diego County Water Authority Fees
25 are to be paid to the City and collected by the Water Utilities Department at the time of Building
26 Permit issuance.

27 85. All Water and Wastewater construction shall conform to the most recent edition of
28 the City's Engineers Manual, or as approved by the Water Utilities Director.

1 86. The existing 6-inch VCP sewer main located within the alley shall be slip lined from
2 the nearest upstream manhole to the nearest downstream manhole.

3 87. All new development of multi-family residential units shall include hot water pipe
4 insulation and installation of a hot water re-circulation device or design to provide hot water to
5 the tap within 15 seconds in accordance with City of Oceanside Ordinance No. 02-OR126-1.

6 88. Minimum distance between water service connections shall be 3-feet.

7
8 PASSED AND ADOPTED by the Oceanside Community Development Commission of
9 the City of Oceanside this ___ day of _____ 2008 by the following vote:

10 AYES:

11 NAYS:

12 ABSENT:

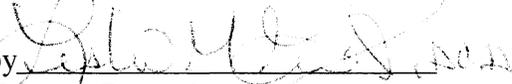
13 ABSTAIN:

14 _____
Chairman

15 ATTEST:

16 _____
17 Secretary

18 APPROVED AS TO FORM:
19 OFFICE OF THE CITY ATTORNEY

20 by 
21 _____
22 General Counsel



EOS
ARCHITECTURE, INC.
211 WILSON
STREET, SUITE 200
SAN DIEGO, CA 92101
PHONE: (619) 594-1000
FAX: (619) 594-1001

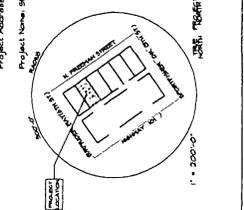
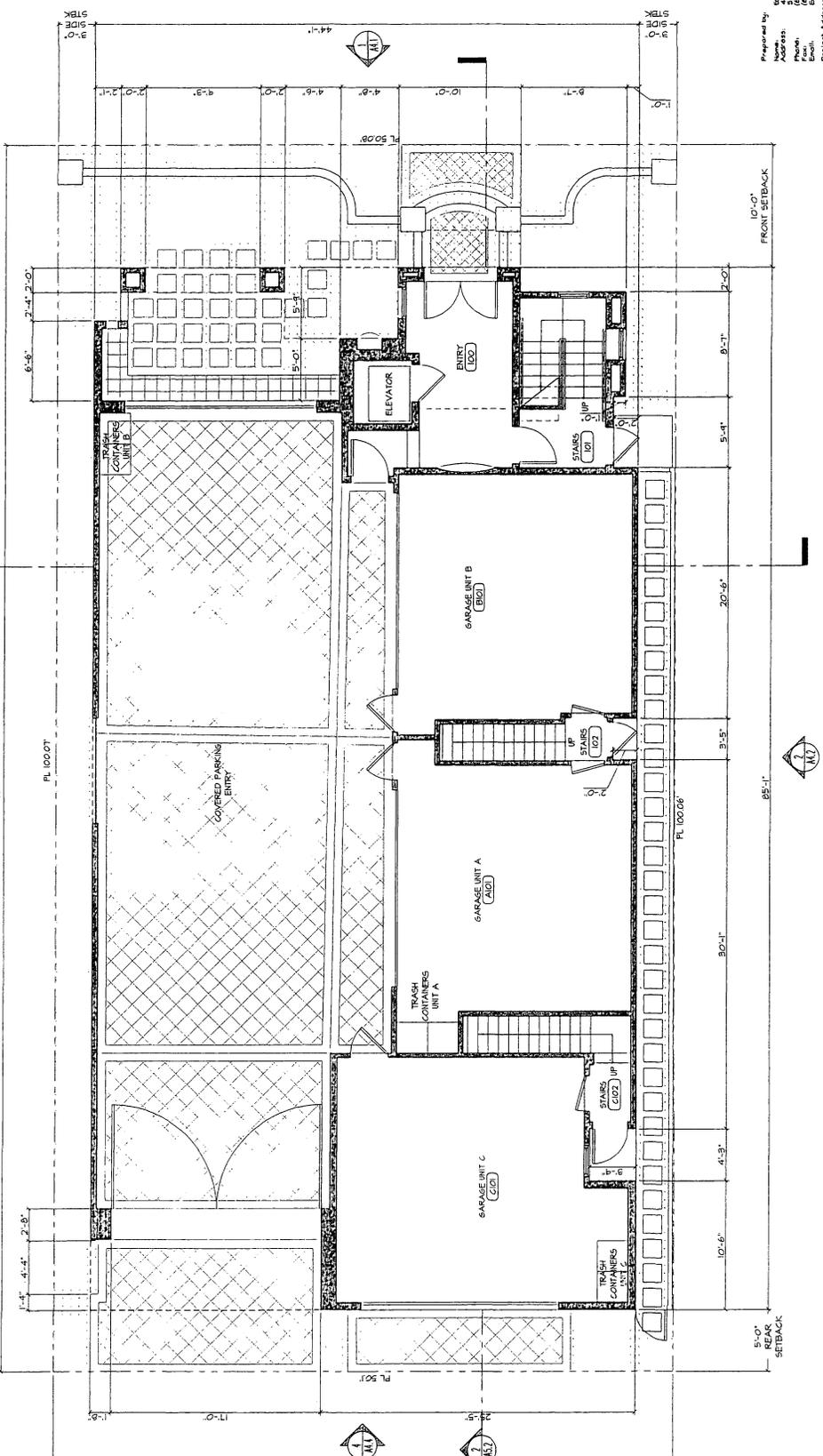
SPREHN CONDOMINIUMS
517 N. FREEMAN STREET
OCCASIDE CA 92054

NO.	DATE	DESCRIPTION
1	07/20/07	PLANNING

Prepared by: [Blank]
Checked by: [Blank]
Drawn by: [Blank]
Date: 07/20/07
Project Name: SPREHN CONDOMINIUMS

Job No.: 05080402
Sheet Name: FIRST FLOOR PLAN
Sheet: A1.1
Sheet 1 of 2

NO.	DATE	DESCRIPTION
1		ORIGINAL
2		REVISION
3		REVISION
4		REVISION
5		REVISION
6		REVISION
7		REVISION
8		REVISION
9		REVISION
10		REVISION
11		REVISION
12		REVISION
13		REVISION
14		REVISION



SCALE: 1/4" = 1'-0"
PROJECT NORTH

- NOTE**
SEE SHEET 2.1 TO 2.4 FOR AREA CALCULATION
- NOTE**
SEE SHEET 501 FOR SITE PLAN INFORMATION
- NOTE**
RYI INDICATES REQUIRED FINISH

FIRST FLOOR PLAN



EOS ARCHITECTURE, INC.
 11111 WILSON AVENUE
 SUITE 100
 SAN DIEGO, CALIFORNIA 92121
 (619) 576-1000
 WWW.EOSARCHITECTURE.COM

SPREHN CONDOMINIUMS
 517 N. FREEMAN STREET
 OCEANSIDE CA 92054

REVISIONS

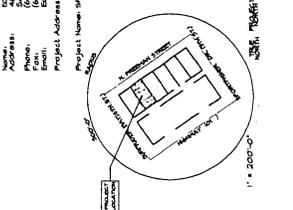
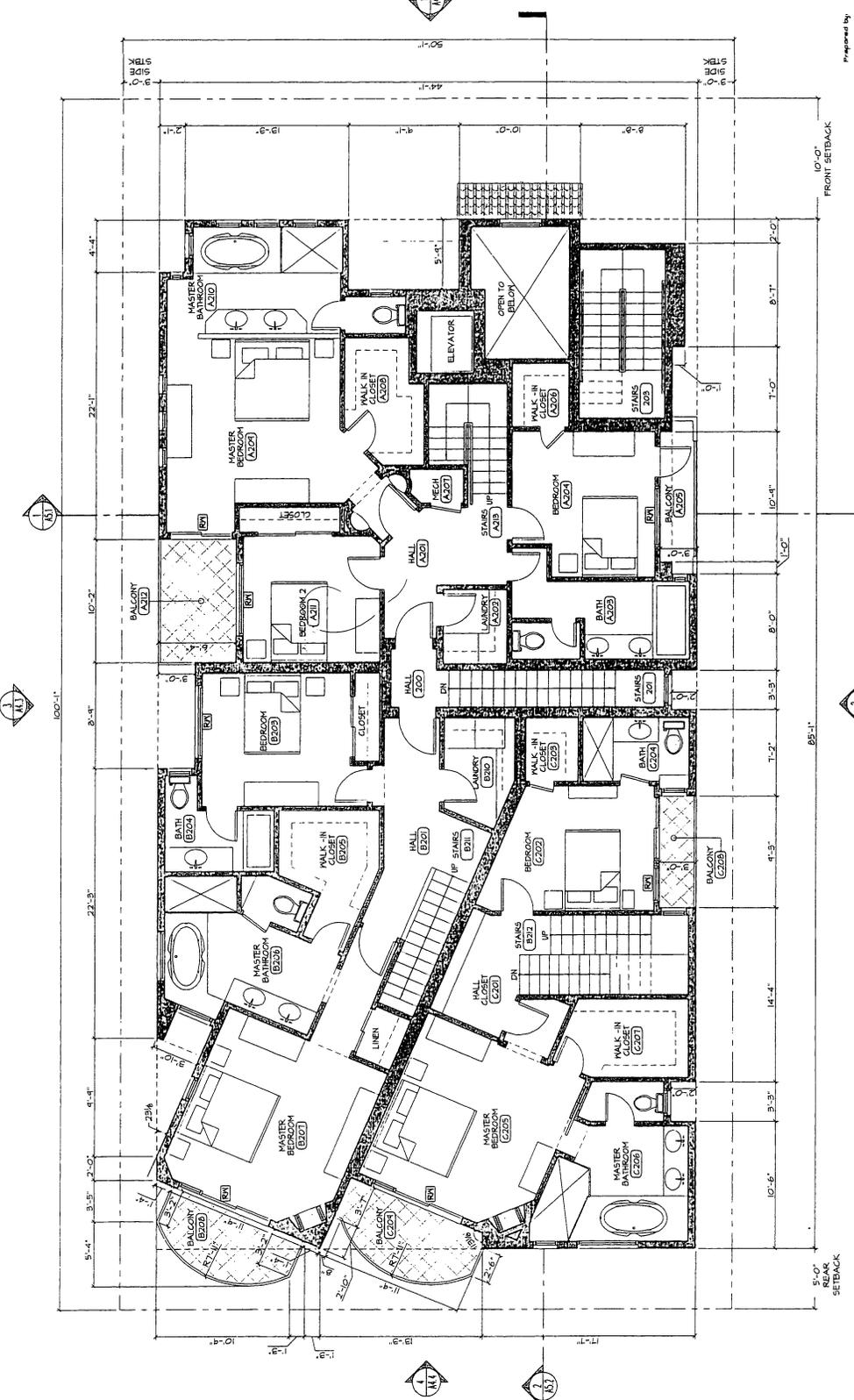
NO.	DATE	DESCRIPTION
1	10/10/10	ISSUED FOR PERMITS

Prepared by: GOS ARCHITECTURE, INC.
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Drawn: SRS/BJW/VC
 Job No.: 07-110
 Sheet Name: SECOND FLOOR PLAN
 Sheet: A1.2
 of 2

REVISIONS

NO.	DATE	DESCRIPTION
1	10/10/10	ISSUED FOR PERMITS



SCALE: 1/4"=1'-0"
 PROJECT NORTH

- NOTE**
SEE SHEET 2.1 TO 2.4 FOR AREA CALCULATION
- NOTE**
SEE SHEET S01 FOR SITE PLAN INFORMATION
- NOTE**
RM 1 INDICATES REQUIRED PANDOL

SECOND FLOOR PLAN



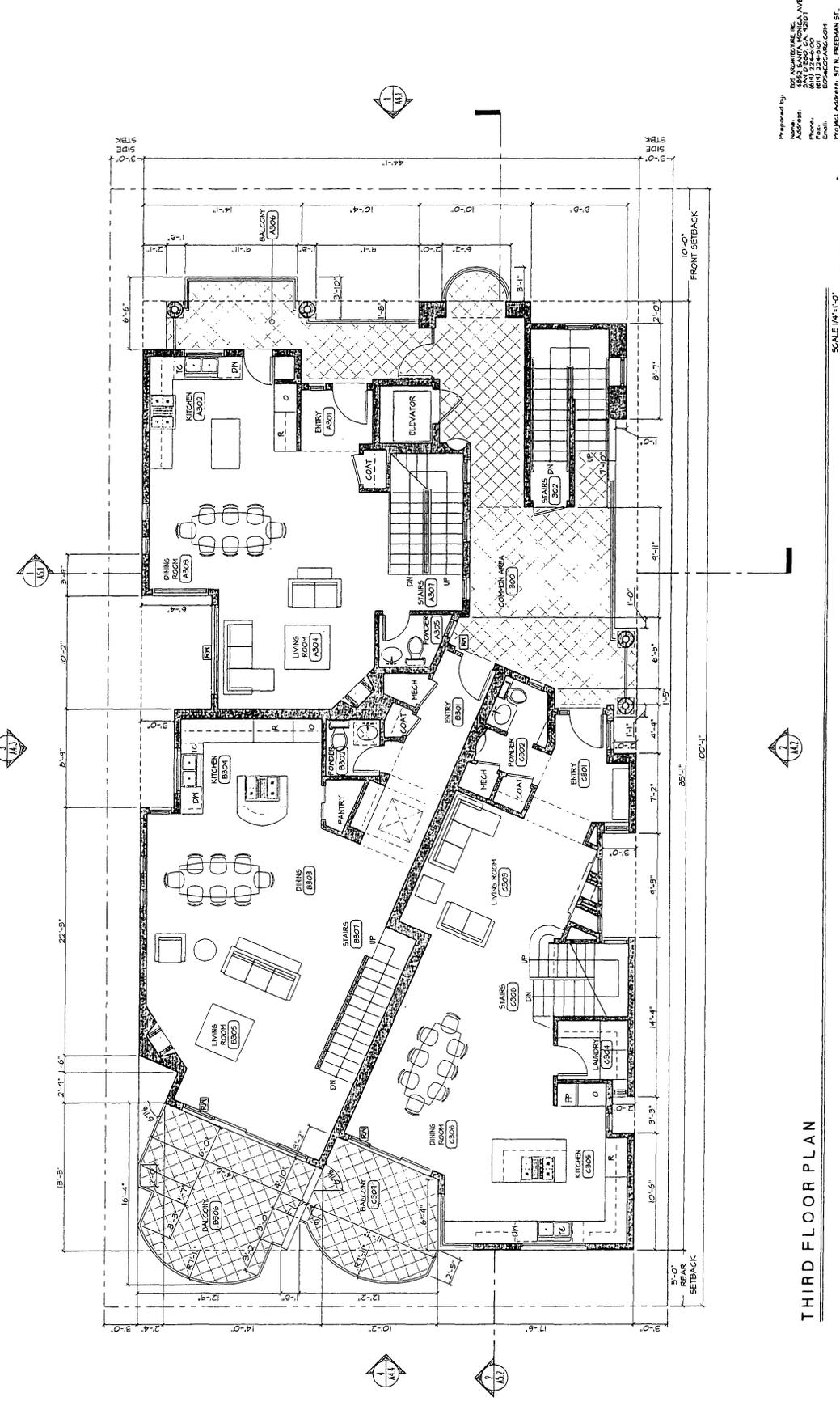
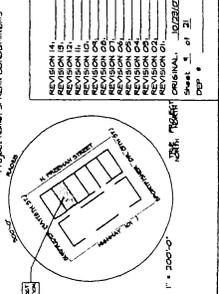
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PROJECT NAME: SPREHN CONDOMINIUMS
 PROJECT ADDRESS: 517 N. FREEMAN STREET
 OCEANSIDE, CA 92054

SHEET NAME: THIRD FLOOR PLAN
 SHEET NO.: 01-110
 DRAWN BY: SDB/DMVAC
 DATE: 10/27/07
 REVISIONS:

A1.3
 OF 3
 SHEETS



SCALE 1/4\"/>

THIRD FLOOR PLAN

NOTE
 RM 1 INDICATES
 REQUIRED MINOR

NOTE
 SEE SHEET S01 FOR
 SITE PLAN
 INFORMATION

NOTE
 SEE SHEET Z1 TO Z4
 FOR AREA CALCULATION



Prepared by:
 Name: [Redacted]
 Address: [Redacted]
 Phone: [Redacted]
 Email: [Redacted]
 Project Address: [Redacted]

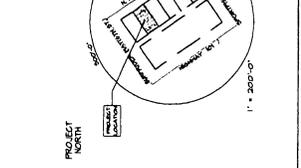
517 N. FREEMAN STREET
 OCEANSIDE CA 92054
 SPREHN CONDOMINIUMS

REVISORS
 [Redacted]

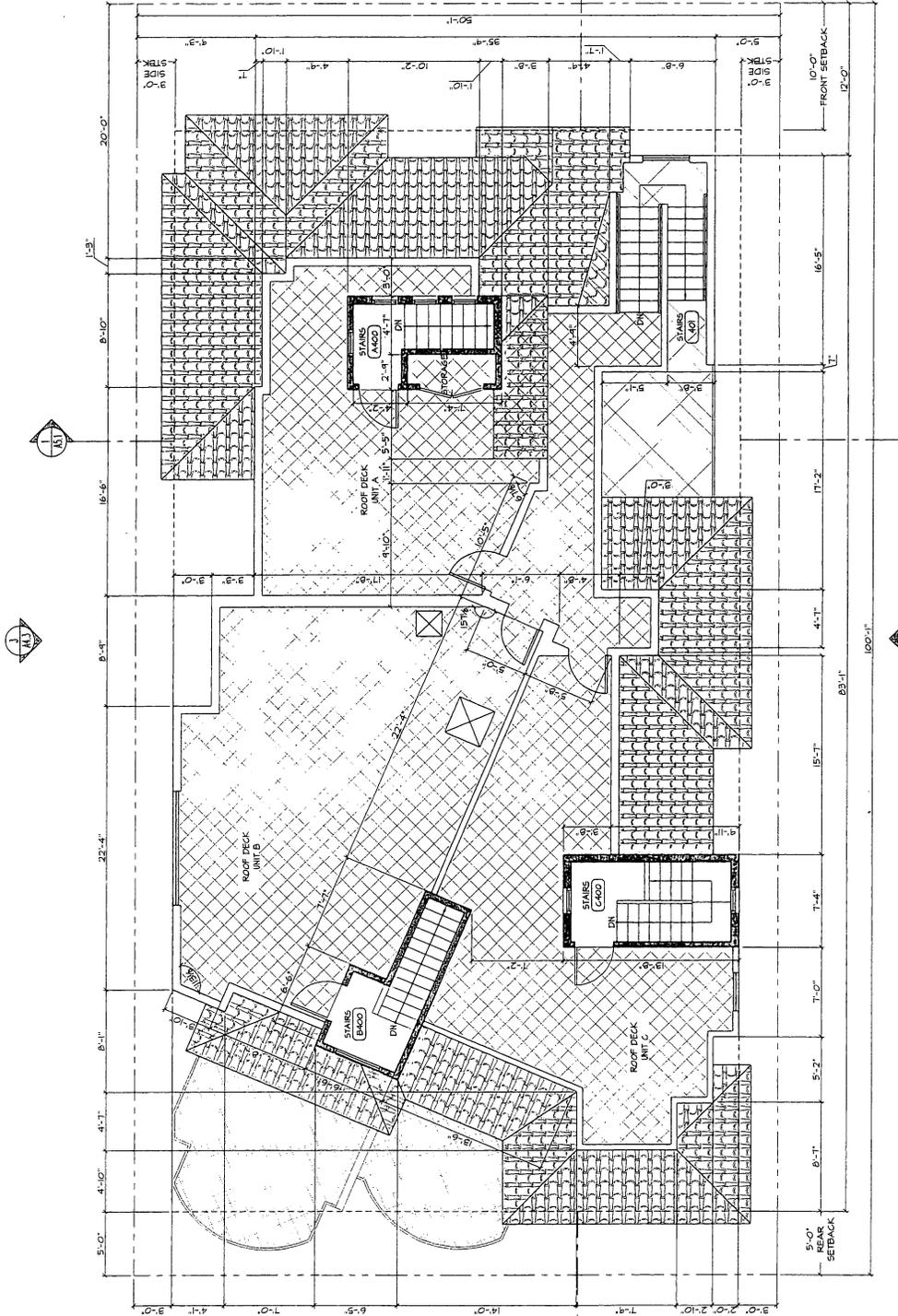
PLANNING
 DATE: 10/23/07
 DRAWN BY: [Redacted]

SHEET NO. 07-10
 SHEET NAME:
ROOF DECK PLAN
 SHEET: **A1.4**
 OF 1

Prepared by:
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 Project Address: 517 N. FREEMAN STREET, OCEANSIDE, CA 92054
 Project Name: SPREHN CONDOMINIUMS



SCALE: 1/4"=1'-0"
 PROJECT NORTH



NOTE
 SEE SHEET 2.1 TO 2.4 FOR AREA CALCULATION

NOTE
 SEE SHEET 5.01 FOR SITE PLAN INFORMATION

NOTE
 RVA INDICATES REQUIRED WINDOW

ROOF DECK PLAN



SPREHN CONDOMINIUMS
 517 N. FREEMAN STREET
 OCEANSIDE CA 92054

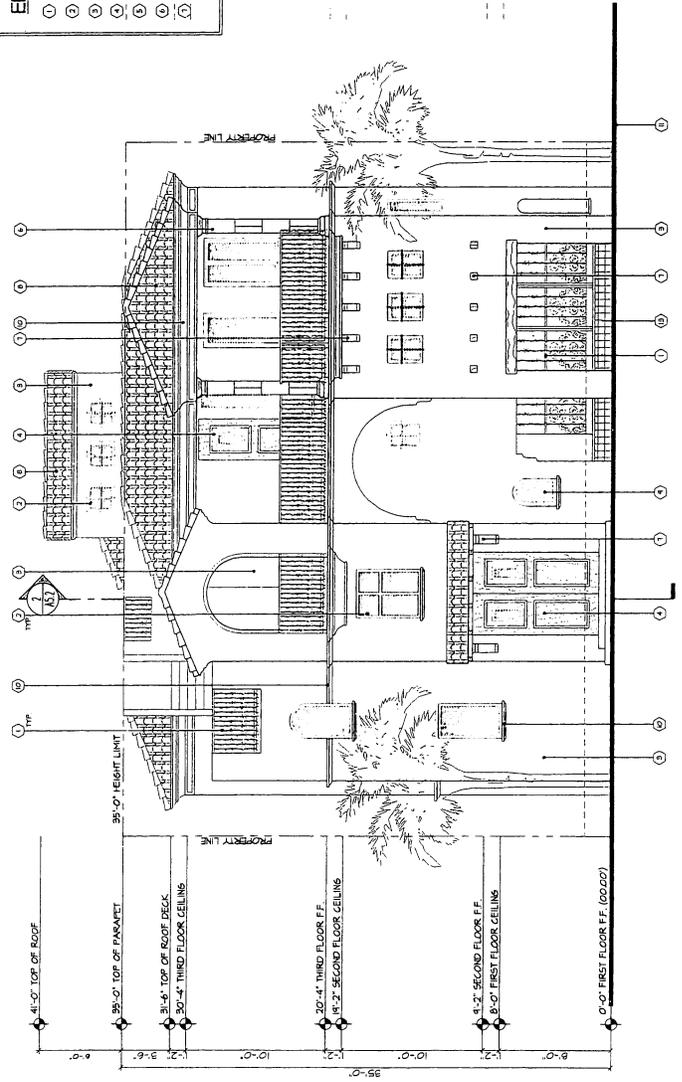
NO.	DATE	DESCRIPTION
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2	08/20/07	ISSUED FOR PERMITS
3	08/20/07	ISSUED FOR PERMITS
4	08/20/07	ISSUED FOR PERMITS
5	08/20/07	ISSUED FOR PERMITS
6	08/20/07	ISSUED FOR PERMITS
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18	08/20/07	ISSUED FOR PERMITS
19	08/20/07	ISSUED FOR PERMITS
20	08/20/07	ISSUED FOR PERMITS

PLANNING
 Prepared by: EOS ARCHITECTURE, INC.
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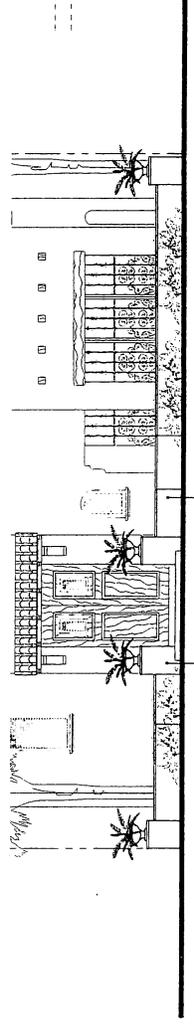
Sheet Name: EXTERIOR ELEVATIONS
 Sheet: A4.1
 Date: 07/25/07
 Revised by: JB
 Drawn: SDB/DPK
 Job No.: 07110

- ### ELEVATION NOTES
- 1) DECORATIVE WROUGHT IRON RAIL, COLOR BRONZE
 - 2) FIBERGLASS GLAZE HOOD OR VINYL WINDSHIELD/FRENCH DOORS
 - 3) EXTERIOR CEMENT PLASTER BY ERGO STUCCO - COLOR CREAM
 - 4) CUSTOM HOOD ENTRY DOOR
 - 5) CARRIAGE STYLE GARAGE DOOR
 - 6) PRECAST CONCRETE COLUMNS BY CDI PER PLANS
 - 7) EXPOSED SHAPED WOOD RAFTERS/ DECORATIVE BEAMS
 - 8) CLAY TILE ROOFING
 - 9) RECESSED MOSAIC TILE; TIMBERED MEXICAN MOORE
 - 10) CDI PRECAST CORNICE OK TRIM
 - 11) EXISTING PROPOSED GRADE
 - 12) LANDSCAPE WALL PER LANDSCAPE PLANS
 - 13) 12 x 12 TERRAZZO FACED SEATING WALL

FIRE DEPARTMENT NOTES:
 IN ACCORDANCE WITH UNIFORM FIRE CODE SECTION 103.10.1, EXTERIOR WALLS FOR INDUSTRIAL AND RESIDENTIAL OCCUPANCIES SHALL BE PLACED ON THE STRUCTURE IN SUCH A POSITION AS TO BE PROTECTED FROM THE FIRE HAZARD OF ADJACENT FRONTING THE BACKGROUND. THESE WALLS SHALL CONTRAST WITH THEIR BACKGROUND. COMMERCIAL BUILDINGS AND MULTIFAMILY DWELLINGS REQUIRE P-ADDRESS NUMBERS.

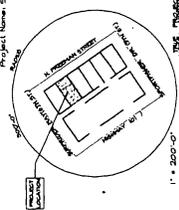


1 EAST FRONT ELEVATION
 SCALE 1/4"=1'-0"



11 EAST FRONT FENCING ELEVATION
 SCALE 1/4"=1'-0"

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REVISION #1
 REVISION #2
 REVISION #3
 REVISION #4
 REVISION #5
 REVISION #6
 REVISION #7
 REVISION #8
 REVISION #9
 REVISION #10
 REVISION #11
 REVISION #12
 REVISION #13
 REVISION #14
 REVISION #15
 REVISION #16
 REVISION #17
 REVISION #18
 REVISION #19
 REVISION #20

DESIGNED BY: J. J. J.
 DRAWN BY: SDB/DPK
 CHECKED BY: J. J. J.
 APPROVED BY: J. J. J.

DATE: 07/25/07
 SHEET: A4.1
 OF: 01



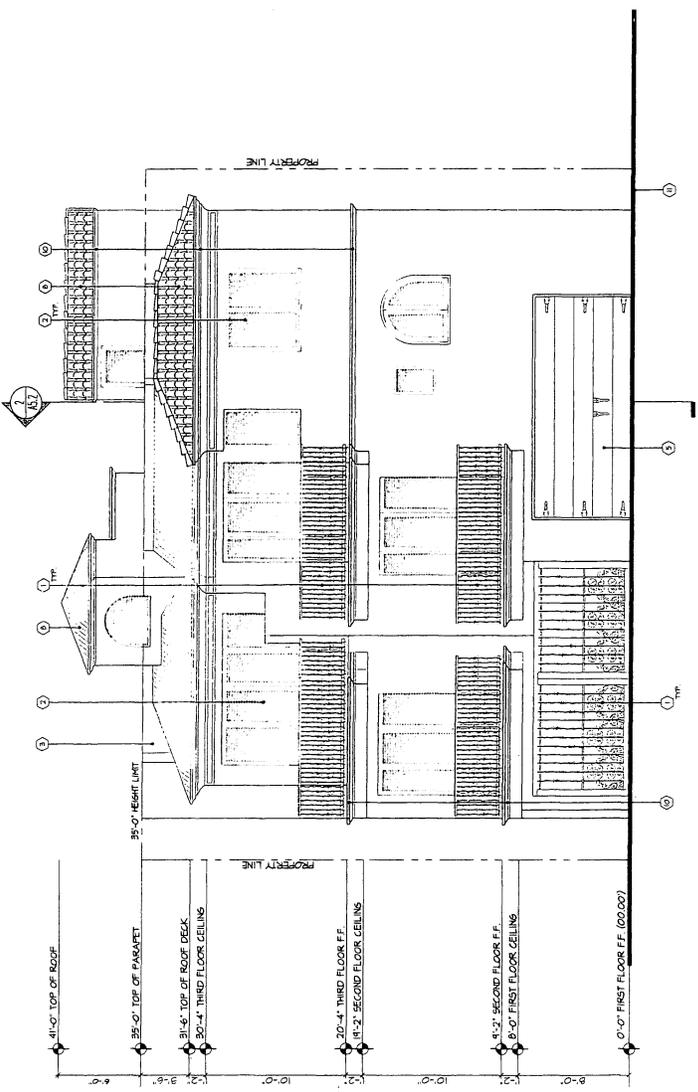
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 111 S. SPRING ST., SUITE 200
 LOS ANGELES, CA 90012
 PHONE: (213) 622-1111
 FAX: (213) 622-1112
 WWW: WWW.EOSARCHITECTURE.COM

PROJECT: **SPREHN CONDOMINIUMS**
 517 N. FREEMAN STREET
 OCEANSIDE, CA 92054

SHEET NO.: **0102**
 OF **0102** SHEETS

PREPARED BY: **EOS ARCHITECTURE, INC.**
 111 S. SPRING ST., SUITE 200
 LOS ANGELES, CA 90012
 PHONE: (213) 622-1111
 FAX: (213) 622-1112
 WWW: WWW.EOSARCHITECTURE.COM

PLANNING
 Date: 01/20/07
 Revised by: [Signature]
 Drawn: [Signature]
 Job No.: 0102
 Sheet Name: **EXTERIOR ELEVATIONS**
 Scale: 1/4" = 1'-0"
 Original: 10/22/02
 Date: 02/07/07
 Page 15 of 21



4 WEST REAR ELEVATION

SCALE 1/4"=1'-0"

- ELEVATION NOTES**
1. DECORATIVE MIDDIGHT IRON RAIL COLOR BRONZE
 2. FIBERGLASS GLAD WOOD OR VINYL WINDOWS/FRENCH DOORS
 3. EXTERIOR COBENT PLASTER BY EXPO STUCCO - COLOR CREAM
 4. CUSTOM WOOD ENTRY DOOR
 5. CARRIAGE STYLE GARAGE DOOR
 6. PRECAST CONCRETE COLUMNS BY CDI PER PLANS
 7. EXPOSED SHAVED WOOD RAFTERS/ DECORATIVE BEAMS
 8. CLAY TILE ROOFING
 9. RECESSED MOSAIC TILE TUMBLED MEXICAN NOBLE
 10. CDI PRECAST CORNICE OR TRIM
 11. EXISTING/ PROPOSED GRADE
 12. LANDSCAPE WALL PER LANDSCAPE PLANS
 13. 12 TERRA-COTTA FACED SEATING WALL

FIRE DEPARTMENT NOTES
 1) IN ACCORDANCE WITH UNIFORM FIRE CODE SECTION 401.1.4.4 APPROVED ADDRESSES FOR COMMERCIAL, INDUSTRIAL AND RESIDENTIAL OCCUPANCIES SHALL BE PLAINLY VISIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THE BACKGROUND COLOR.
 2) COMMERCIAL BUILDINGS AND MULTIFAMILY DWELLINGS REQUIRE 5' ADDRESS NUMBERS.

REVISION 14: [Signature]
 REVISION 13: [Signature]
 REVISION 12: [Signature]
 REVISION 11: [Signature]
 REVISION 10: [Signature]
 REVISION 09: [Signature]
 REVISION 08: [Signature]
 REVISION 07: [Signature]
 REVISION 06: [Signature]
 REVISION 05: [Signature]
 REVISION 04: [Signature]
 REVISION 03: [Signature]
 REVISION 02: [Signature]
 REVISION 01: [Signature]
 ORIGINAL: 10/22/02
 Date: 02/07/07
 Page 15 of 21



EOS
ARCHITECTURE, INC.
1110 WILSON AVENUE
SUITE 100
OCEANSIDE, CA 92054
TEL: (760) 434-8000
FAX: (760) 434-8007
WWW.EOSARCHITECTURE.COM

PROJECT: SPRERN CONDOMINIUMS
17 N. FREEMAN STREET
OCEANSIDE, CA 92054

REVISIONS
DATE
BY

DESIGNED BY: []
DRAWN BY: []
CHECKED BY: []
DATE: 10/29/07

PROJECT NAME: SPRERN CONDOMINIUMS
JOB NO.: 0000000000
SHEET NO.: 0110

SHEET NAME:
BUILDING SECTIONS

SHEET: A5.2
OF 21

DATE: 10/29/07
REVISION BY: []
JOB NO.: 0000000000

REVISION 14
REVISION 13
REVISION 12
REVISION 11
REVISION 10
REVISION 9
REVISION 8
REVISION 7
REVISION 6
REVISION 5
REVISION 4
REVISION 3
REVISION 2
REVISION 1
ORIGINAL: 10/29/07
DRAWN BY: []
CHECKED BY: []
DATE: []

PREPARED BY: EOS ARCHITECTURE, INC.
NAME: []
ADDRESS: 1110 WILSON AVENUE
SUITE 100
OCEANSIDE, CA 92054
PHONE: (760) 434-8000
FAX: (760) 434-8007
PROJECT ADDRESS: 17 N. FREEMAN ST.,
OCEANSIDE, CA

SCALE: 1/4"=1'-0"

SECTION 2

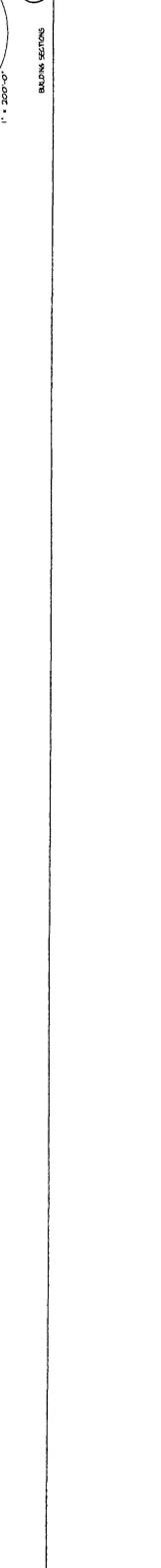
35'-0" TOP OF PARAPET (00.00)
31'-6" TOP OF ROOF DECK (00.00)
30'-4" THIRD FLOOR CEILING (00.00)
20'-4" THIRD FLOOR F.F. (00.00)
14'-2" SECOND FLOOR CEILING (00.00)
9'-2" SECOND FLOOR F.F. (00.00)
8'-0" FIRST FLOOR CEILING (00.00)
0'-0" FIRST FLOOR F.F. (00.00)



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0'-0" FIRST FLOOR F.F. (00.00)

LANDSCAPE CONCEPT STATEMENT

THE LANDSCAPE IS INTENSIVE OF A CASUAL, MEDITERRANEAN CHARACTER WITH A MIXTURE OF SHRUBS, VINES AND GRASS COVER TO ADD VARIANCE IN HEIGHT AND TEXTURE.

THE MASSING OF DECORATIVE SHRUBS AND GRASS COVER WILL PROVIDE FOR AN INTERESTING AND AESTHETICALLY PLEASING SCENESHIP. PLANTINGS SUCH AS FORTNIGHT LILY, NEW ZEALAND FLAX AND OTHERS.

THE LANDSCAPE HAS BEEN DESIGNED WITH WATER CONSERVATION IN MIND AS WELL AS WELL TO CREATE AN INTERESTING STREETSCAPE WHICH WILL BE A BENEFIT TO THE OVERALL COMMUNITY ATMOSPHERE.

LANDSCAPE NOTE

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF OCEANSIDE LANDSCAPE STANDARDS MANUAL AND ALL OTHER APPLICABLE REGULATIONS.
2. TREES PLANTED WITHIN 5 FEET OF WALLS, CORERS OR PAVING SHALL BE PLANTED WITH A TWO-BARRIER ROOT BARRIER.
3. SHEDDED DARK HALO AVAILABLE THROUGH BURLERS HILL, INC. (800-283-6888) OR A 4" LAYER OF GRAVEL, 1/2" OR MORE.
4. APPROVED PLANTS ARE DAMAGED OR REMOVED DURING CONSTRUCTION OR CONSTRUCTION IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND AT THE SAME LOCATION AND SPECIES.
5. ALL LANDSCAPE MATERIALS SHALL BE PERMANENTLY MAINTAINED IN PLACE AND REPAIRY CONDITION AT ALL TIMES, INCLUDING TRIMMING AS APPROPRIATE TO MAINTAIN APPROVED LANDSCAPE MATERIALS.

IRRIGATION NOTE

ALL PLANTING AREAS SHALL BE IRRIGATED ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE. ALL IRRIGATED AREAS SHALL RECEIVE UNIFORM COVERAGE BY MEANS OF AN AUTOMATICALLY CONTROLLED, ELECTRICALLY OPERATED IRRIGATION SYSTEM. THE SYSTEM SHALL BE DESIGNED FOR WATER CONSERVATION AND TO MINIMIZE EROSION. STATE-OF-THE-ART AUTOMATIC CONTROLLER WITH MASTER VALVE AND RAIN SHUT-OFF CAPABILITIES SHALL BE INSTALLED. IRRIGATION SYSTEMS SHALL BE DESIGNED TO OPERATE IN ACCORDANCE WITH LOCAL AND REGIONAL STANDARDS. RESERVE CONTROL VALVES SHALL BE UTILIZED WITH LOW PRECIPITATION RATE EQUIPMENT SHALL BE INSTALLED. IRRIGATION SYSTEMS SHALL BE DESIGNED TO MEET ALL STANDARDS. AN AUTOMATIC WATER EFFICIENT IRRIGATION SYSTEM SHALL BE PROVIDED TO ESTABLISH AND MAINTAIN LANDSCAPING.

MAINTENANCE RESPONSIBILITY NOTE

THE LANDSCAPE ARCHITECT IS RESPONSIBLE FOR THE GENERAL MAINTENANCE OF ALL LANDSCAPED AREAS ON SITE. ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. PLANTINGS SHALL BE MAINTAINED IN A HEALTHY CONDITION. FERTILIZING, MOWING AND TRIMMING OPERATIONS SHALL BE REGULARLY INSPECTED AND KEPT IN FULLY OPERATIONAL CONDITION ACCORDING TO MANUFACTURERS' DESIGN STANDARDS AT ALL TIMES.

STREET TREES AND OTHER TREE PLACEMENT

- 1 FEET FROM TRANSFORMERS, CABLE, AND DOUBLE CHECK DETECTORS
- 5 FEET FROM FIRE HYDRANTS (ALL SIDES)
- 5 FEET FROM UTILITY LINES (WITHIN EASEMENT)
- 10 FEET FROM STORM DRAIN
- 10 FEET FROM EASEMENT BOUNDARIES
- 10 FEET FROM STORM DRAIN ACCESS OR OTHER UTILITIES
- 10 FEET FROM STORM DRAIN ACCESS OR OTHER UTILITIES (SEE OTHER SHEET)
- 15 FEET MINIMUM FROM STREETLIGHTS, OTHER UTILITY POLES AND PULL BOXES
- 15 FEET MINIMUM FROM CURB OR SIDEWALK
- 15 FEET MINIMUM FROM THE RIGHT-OF-WAY DOES NOT ALLOW SPACE SUBJECT TO THE CITY ENGINEERS APPROVAL
- LINE OF SIGHT AT ARTERIALS, COLLECTOR AND LOCAL STREETS SHALL BE REVIEWED AND DETERMINED BY THE TRAFFIC ENGINEER
- MINIMUM 15 FEET FROM STREET LIGHTS
- MINIMUM 15 FEET STREETLIGHT AND STOP SIGN OR CLEARANCE DETERMINED BY SPECIFICATIONS
- SCREEN ALL UTILITIES ACCORDING TO SPECIFIC AGENCY REQUIREMENTS.

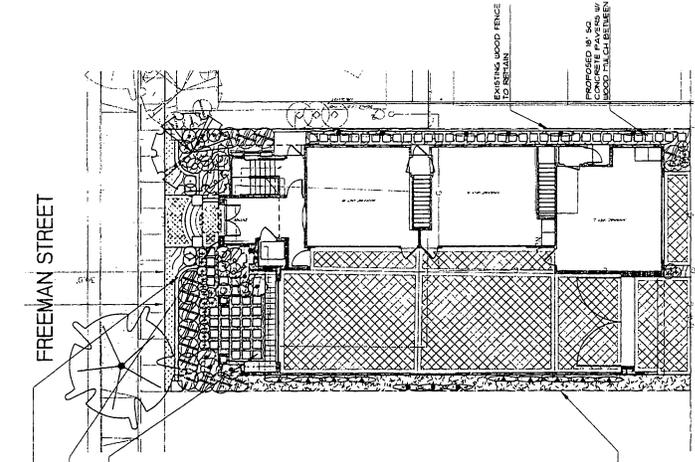
PROPOSED 3" x 6" CONCRETE PAVING TO MATCH ARCHITECTURE

PROPOSED 3" x 6" HIGH BUSH GATE BY BELLA LANTANA GARDENS

PROPOSED 10" x 10" CONCRETE PAVING TO MATCH ARCHITECTURE

FREEMAN STREET

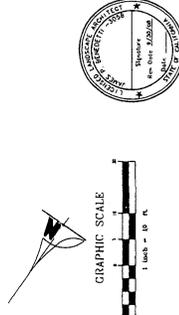
ALLEY



PLANT MATERIAL LEGEND

TREES	SHRUBS	SPERMATOPHYTES	BIOTROPIC	COMMON NAME	SIZE	QTY.	HT.	SPD.	REMARKS
LONG-LEAFED YELLOWWOOD	ARJUNIA	ARJUNIA	ARJUNIA	ARJUNIA	24" BOX	4	8'-3"	3'-4"	STRAIGHT TRUNK, FULL HEAD AND SHADE
ARJUNIA	ARJUNIA	ARJUNIA	ARJUNIA	ARJUNIA	24" BOX	1	3'-4"	3'-4"	STRAIGHT TRUNK, FULL HEAD AND SHADE
TOUCHER FERN	5 GALLON	5	10'-12"	10'-12"	FULL AND BUSHY, GOOD COLOR				
CANNA	CANNA	CANNA	CANNA	CANNA	5 GALLON	5	10'-12"	10'-12"	FULL AND BUSHY, GOOD COLOR
CAREER LILY	5 GALLON	5	10'-12"	10'-12"	FULL AND BUSHY, GOOD COLOR				
LEUCANTHUM	LEUCANTHUM	LEUCANTHUM	LEUCANTHUM	LEUCANTHUM	24" BOX	7	2'-3"	2'-3"	FULL AND BUSHY, GOOD COLOR
EREBUS	EREBUS	EREBUS	EREBUS	EREBUS	5 GALLON	7	10'-12"	10'-12"	FULL AND BUSHY, GOOD COLOR
NEW ZEALAND FLAX	5 GALLON	4	10'-12"	10'-12"	FULL AND BUSHY, GOOD COLOR				
BIRD OF PARADISE	5 GALLON	4	10'-12"	10'-12"	FULL AND BUSHY, GOOD COLOR				
BLOOD RED TRAFFLET VINE	5 GALLON	3	10'-12"	10'-12"	FULL AND BUSHY, GOOD COLOR				
CAPPELLIA SPALLER	15 GALLON	3	6'	6'	FULL AND BUSHY, GOOD COLOR				
PPATERS	PPATERS	PPATERS	PPATERS	PPATERS	4" POTS x 8" O.C.	3'-4"	3'-3"	3'-3"	FULL AND BUSHY, GOOD COLOR
TELEGRAPH LILY	1 GALLON x 10" O.C.	6'-3"	6'-3"	6'-3"	FULL AND BUSHY, GOOD COLOR				
BIG BLUE LILY THIP	FLATS x 17" O.C.	FULL AND BUSHY, GOOD COLOR				
STAR JASMINE	1 GALLON x 18" O.C.	6'-8"	6'-8"	6'-8"	FULL AND BUSHY, GOOD COLOR				
POSEY-IN-THE-BOAT	POSEY-IN-THE-BOAT	POSEY-IN-THE-BOAT	POSEY-IN-THE-BOAT	POSEY-IN-THE-BOAT	1 GALLON x 14" O.C.	6'-8"	6'-8"	6'-8"	FULL AND BUSHY, GOOD COLOR
SCOTCH FERN	FLATS x 6" O.C.	FULL AND BUSHY, GOOD COLOR				

EXISTING WOOD FENCE TO REMAIN



APPROVED CHANGES	DATE

SHEET 1 OF 2
CITY OF OCEANSIDE
ENGINEERING DEPARTMENT
LANDSCAPE CONCEPT PLAN FOR

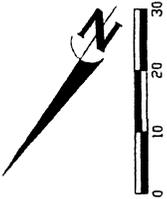
517 FREEMAN
OCEANSIDE, CA 92054

Checked By: JAMES P. BENEDETTI, R.L.A., 2018
Approved Date: 00000

JOB# 2742
JAMES P. BENEDETTI
LANDSCAPE ARCHITECT
4000 WILSON AVENUE, SUITE 201
SAN JOSE, CA 95128
760.470.0644 FAX 760.470.0646

517 N. FREEMAN CONCEPTUAL DRY UTILITY DESIGN

PRELIMINARY
NOT FOR CONSTRUCTION.
PAR ELECTRICAL DESIGN



RECEIVED

JAN 30 2008

OCEANSIDE
REDEVELOPMENT

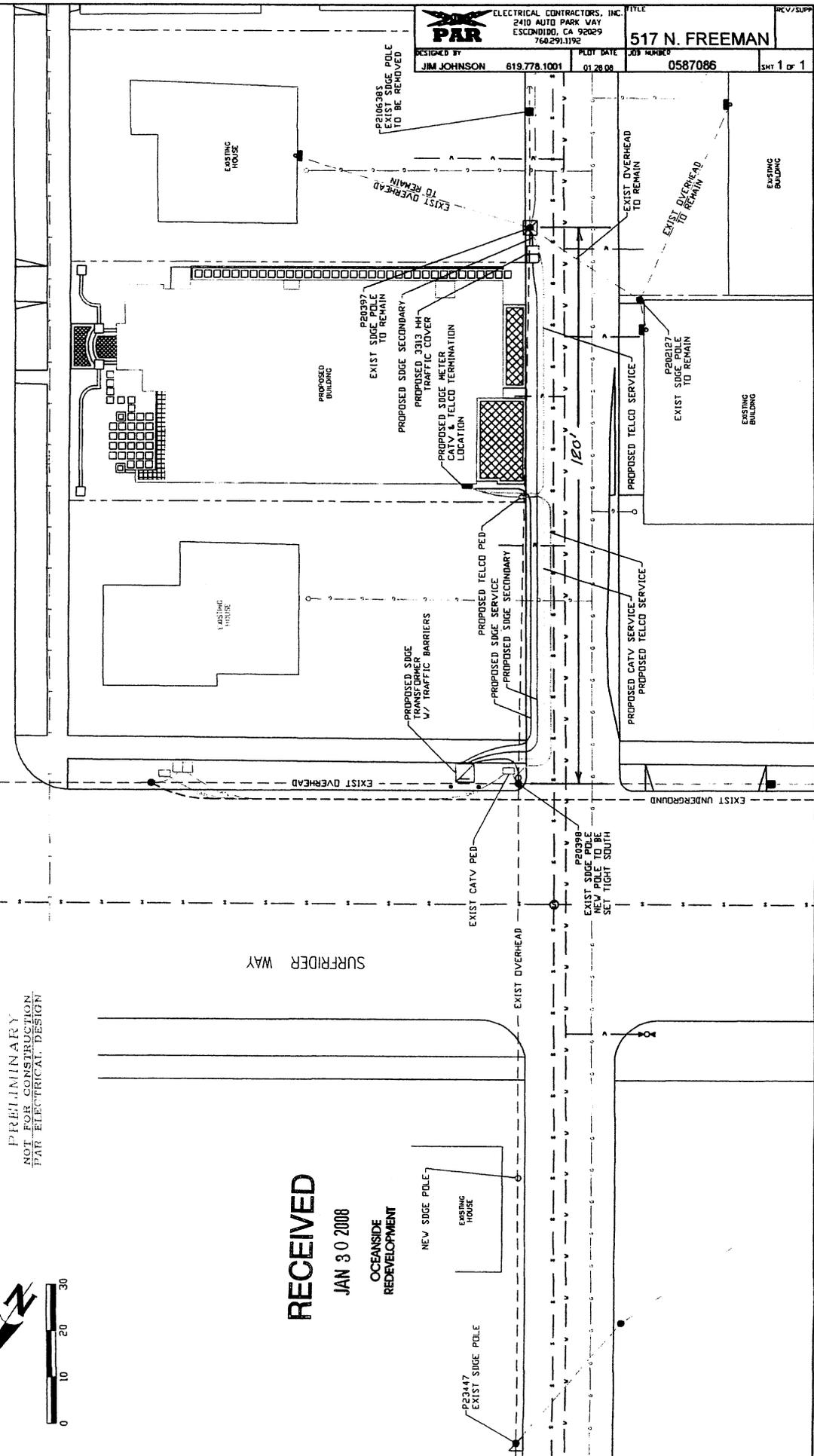
NEW SIDGE POLE

P20147
EXIST SIDGE POLE

EXIST HOUSE

SURFRIDER WAY

NORTH FREEMAN STREET



ELECTRICAL CONTRACTORS, INC. 2410 AUTO PARK WAY ESCONDIDO, CA 92029 760.291.1172		TITLE 517 N. FREEMAN	REV./SHEET
DESIGNED BY JIM JOHNSON	PROJECT NUMBER 619.778.1001	PLOT DATE 01.28.08	JOB NUMBER 0587086
			SHEET 1 OF 1

PRELIMINARY COST ESTIMATE
517 North Freeman – OH Conversion
January 28, 2008

<u>ITEM</u>	<u>QUANTITY</u>	<u>UNIT</u>	<u>COST</u>
I. UTILITY ADVANCES			
1. SDG&E Electric*	155 LF	75.00	\$ 11,625
2. SDG&E ITCC*	155 LF	17.00	2,635
3. SDG&E OH Removals	2 EA	4,700	9,400
4. SDG&E Cable Poles And Guying	1 EA	17,000	17,000
5. Slack Pole	1 EA	5,200	5,200
6. Pole Rearrangement	1 EA	6,300	6,300
SUBTOTAL UTILITY ADVANCES			\$ 52,160
II. CONTRACTOR COSTS			
1. Trench (Backfill, Sand Compaction)	155 LF	55.00	\$ 8,525
2. Asphalt Repair	120 LF	85.00	10,200
3. Cement Repair	15 LF	40.00	600
4. Conduit – 1-2"E	155 LF	2.50	387
5. Conduit – 2-4"E	155 LF	7.25	1,123
6. 3313 HH w/cover	1 EA	5800	5,800
7. 3421 Pad-E	1 EA	750	750
8. Traffic Control	2 Days	3,800	3,800
9. Conduit 1-2"T	155 LF	2.50	387
10. Conduit 1-2"C	155 LF	2.50	387
SUBTOTAL CONTRACTOR COSTS			\$ 31,959
TOTALS			\$ 84,119

- Includes 37% Income Tax Component Charges.
- See attached design

CITY OF OCEANSIDE
PLANNING DEPARTMENT

NOTICE OF EXEMPTION

TO: X RECORDER/COUNTY CLERK
COUNTY OF SAN DIEGO
P.O. BOX 1750
SAN DIEGO, CA 92112-4147

PROJECT TITLE AND FILE NUMBER:

TENTATIVE PARCEL MAP (P-207-07), DEVELOPMENT PLAN (D-206-07) AND CONDITIONAL USE PERMIT (C-203-07) AND DEFERRAL OF THE OVERHEAD UTILITIES FOR THE CONSTRUCTION OF A THREE-UNIT MULTIFAMILY DEVELOPMENT LOCATED AT 517 NORTH FREEMAN STREET.

PROJECT LOCATION - SPECIFIC:
517 North Freeman Street

PROJECT LOCATION - GENERAL:
Freeman Street and Surfrider

DEVELOPMENT PLAN (D-206-07)
TENTATIVE PARCEL MAP (P-207-07)
CONDITIONAL USE PERMIT (C-203-07)

DESCRIPTION OF NATURE, PURPOSE AND BENEFICIARIES OF PROJECT:

A Tentative Parcel Map, Development Plan and Conditional Use Permit for a 3-unit multifamily development located at 517 Freeman Street.

NAME OF PUBLIC AGENCY APPROVING PROJECT:

City of Oceanside

NAME OF PERSON(S) OR AGENCY CARRYING OUT PROJECT:

Debbie and Greg Sprehn
3442 Rich Field Drive
Carlsbad, CA 92107
(760) 908-9192

Exempt Status per the Guidelines to Implement the California Environmental Quality Act (CEQA)
(Public Resources Code Section 21000 et. al.):

 NOT SUBJECT TO CEQA PER THE GENERAL RULE, SECTION 15061(B)(3)

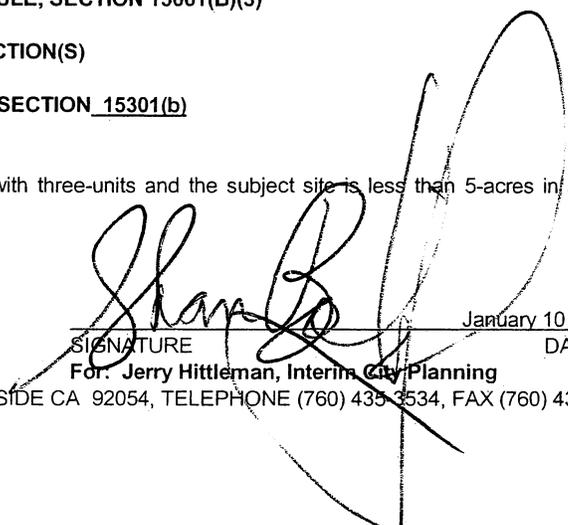
 STATUTORY EXEMPTION PER ARTICLE 18, SECTION(S)

X CATEGORICAL EXEMPTION PER ARTICLE 19, SECTION 15301(b)

REASONS WHY PROJECT IS EXEMPT:

The proposed project is an infill project on one lot with three-units and the subject site is less than 5-acres in size, therefore, it is exempt from environmental review.

Contact Person: Shan Babick, Associate Planner


SIGNATURE

January 10, 2008

DATE

For: Jerry Hittleman, Interim City Planning

CITY HALL, 300 NORTH COAST HIGHWAY, OCEANSIDE CA 92054, TELEPHONE (760) 435-3534, FAX (760) 435-3538