



DATE: May 4, 2009

TO: Chairperson and Members of the Planning Commission

FROM: Development Services Department/Planning Division

SUBJECT: **CONSIDERATION OF A DEVELOPMENT PLAN (D-14-08) TO ALLOW FOR THE CONSTRUCTION OF A 56,700-SQUARE FOOT OFFICE BUILDING WITH 4,000 SQUARE FEET OF THE BUILDING DEVOTED TO COMMERCIAL BANKING. THE PROJECT SITE IS ZONED PD-1 (RANCHO DEL ORO PLANNED DEVELOPMENT)(LIGHT INDUSTRIAL) AND IS SITUATED WITHIN THE IVEY RANCH/RANCHO DEL ORO NEIGHBORHOOD – PACIFIC MARINE CREDIT UNION – APPLICANT: PACIFIC MARINE CREDIT UNION**

RECOMMENDATION

Staff recommends that the Planning Commission by motion:

- (1) Approve Development Plan (D-14-08) by adopting Planning Commission Resolution No. 2009-P20 with findings and conditions of approval attached herein.

PROJECT DESCRIPTION AND BACKGROUND

Background: The subject site is within the Pacific Coast Business Park that was previously approved by the Planning Commission on August 22, 2005. Planning Commission Resolution No. 2005-P45 and Resolution No. 2005-P46 approved a Parcel Map (P-8-04), Development Plan (D-17-04) and an Environmental Impact Report for subdividing a 127-acre parcel into 30 industrial lots. The original Tentative Parcel Map and Development Plan established the original pad area and determined the criteria for each future phase and/or lot proposed development, which is regulated by the Pacific Coast Business Park Industrial Master Development Plan and the Oceanside Zoning Ordinance for Light Industrial (LI). The Zoning Ordinance and/or the General Plan regulations would apply where the adopted Master Development Plan is silent. As designed, this project either meets or exceeds the established development regulations.

Site Review: The project site is located at the south west corner of Old Grove Road and College Boulevard within the Ivey Ranch Rancho Del Oro Neighborhood. The property is comprised of a vacant 6.49-acre site. The site is relatively flat and has been pre-graded under the Pacific Coast Business Park grading plan No. 2597. The subject project consists of 6.49 acres and is defined as Parcel 25 of Parcel Map 20306.

The subject site is Zoned PD-1 (Rancho Del Oro Planned Development Industrial) and the General Plan Land Use Designation is S-1-84 (Rancho Del Oro Industrial). An office use with associated commercial banking is permitted within the (Rancho Del Oro Planned Development Industrial) district with an approval of a Development Plan.

Surrounding land uses adjacent to the site include undeveloped portions of the Pacific Coast Business Park Master Industrial Plan area to the north, south, and west, and a single-family planned unit development exist to the east.

The Development pad is relatively flat and proposes a conceptual finish grade to be approximately five to 10 feet lower than the elevation of College Boulevard. This development of the Commercial Office and Banking use is one of the many uses anticipated with the Pacific Coast Business Park Master Industrial Plan.

Project Description: The application consists of the following component a Development Plan (D-14-08), as follows:

Development Plan (D-14-08) represents a request for the following:

- (a) To construct a two-story 56,700-square foot office building with 4,000 square feet of the building devoted to banking.

The Pacific Marine Credit Union has proposed that a new office building with an associated commercial banking use be developed on a vacant 6.49-acre parcel located at the south west corner of Old Grove Road and College Boulevard. The building pad and all of the necessary infrastructure has been constructed with the previously approved parcel map. The finish grade of the building will be at grade with the abutting streets, College Boulevard and Old Grove Road elevation of 405 feet above mean sea level. There would be minimal grading associated with the development of the office building, with approximately 1,550 cubic yards of grading to occur. The two-story building would be a concrete tilt up structure totaling 56,700 square feet, would be located on Parcel 25 of the approved Parcel Map 20306. Interior Layout of the building would consist of a 4,000-square foot commercial banking area, and the remaining portion would consist of 52,700 square feet for affiliated offices, restrooms, two stair wells, and an elevator.

The proposed building design is of a contemporary architecture style associated with Class A office buildings and would be (LEED) certified. The project would be architecturally compatible in scale, materials, and colors with some of the neighboring industrial buildings and with the designs specified in the Pacific Coast Business Park Development Plan.

The Pacific Marine Credit Union building will be similar to many of the proposed buildings that are currently being processed directly to the east of this site. The Pacific Marine Credit Union would have blue glazed windows throughout the entire building with metal canopies along the horizontal and vertical offsets in the solid walls to give interest to the building façade. Stone veneer would be used on portions of the building to provide deviations in design and allow for relief from stucco wall coverings and glass windows. All the accessory structures would be designed to match the colors, materials, and details of the building.

Associated landscaping would be provided with the development of the site, and the landscaping will compliment the site layout as well as the neighborhood. Additional associated parking for the facility would be located on-site at the south and western portions around the proposed office building. A total of 268 parking spaces with eight spaces designed for disabled parking would be provided on-site.

The Pacific Marine Credit Union is anticipating hours-of-operation Monday through Saturday from 9:00 a.m. to 6:00 p.m., excluding federal holidays for the commercial banking use, and 7:00 a.m. to 7:00 p.m. for the office use.

The project is subject to the following Ordinances and City policies:

1. General Plan
2. Zoning Ordinance
3. Land Use Compatibility
4. California Environmental Quality Act (CEQA)

ANALYSIS

KEY PLANNING ISSUES

1. General Plan conformance

The General Plan Land Use Map designation on the subject property is Rancho del Oro Specific Plan (S-1-84). The proposed project is consistent with this designation and the goals and objectives of the City's General Plan as follows:

A. Land Use Element I

Goal 1.11 Balanced Land Use

Objective: To develop and use lands for the long-term provision of a balanced, self-sufficient, and efficient community.

Policy A: The City shall establish and enforce a balanced distribution of land uses to organize the City in a hierarchy of activity centers and land use so as to foster a sense of neighborhood, community, and regional identity.

Policy B: The City shall analyze proposed land uses for assurance that the land use will contribute to the proper balance of land uses within the community or provide a significant benefit to the community.

This large commercial office building for financial services with an associated commercial banking facility within the building would be anticipated to benefit the City of Oceanside and the North San Diego County region because it will provide services to many of the residents and provide employment. There would be approximately 185 financial professionals and support staff employed at the facility.

Policy C: The City shall continuously monitor the impact and intensity of land use and land use distribution to ensure that the City's circulation system is not overburdened beyond design capacity.

The proposed project has been reviewed for impacts to the City's circulation system. It has been determined through a submitted Traffic Study that no significant impacts to traffic would result from the construction and operation of the proposed office and banking facilities.

The site design provides for sufficient off-street parking associated with an office and banking land use. A total of 268 parking spaces, eight of which are handicap, will be available for customers and employee use. Based on the office building square footage, a total of one parking space per 300 square feet of building area is required for the office use, and one parking space per 250 square feet is required for banking facilities. As proposed, the project provides a total of 268 parking spaces, which exceeds the required 191 parking spaces. The extra parking is provided to ensure that parking issues do not arise in the future and to provide the parking for possible sublease tenants.

B. Land Use Element II

Objective 2.1 Industrial Development: To promote industries which are consistent with community enhancement and provide stable tax bases and a balance of employment opportunities.

Policy A: Industrially designated lands shall be devoted to industrial uses for the preservation of the City's economic future, employment opportunities, and general welfare.

Policy C: Ancillary commercial, office, and recreational uses may be permitted when clearly oriented to support the industrial development and serve its population.

The proposed land use, 450.S *Business and professional offices*, is permitted within an IL District with a Development Plan. The proposed office and banking use is consistent with the Planned Unit Development and the intentions approved by the Pacific Coast Business Park. It is anticipated that the Pacific Marine Credit Union facility will benefit the City of Oceanside because it will provide services to many of the residents living in the area and will specifically provide employment for the City.

2. Zoning Ordinance Compliance

This project is located within the Rancho Del Oro Industrial Master Development Plan area and as designed, complies with the requirements of the Master Plan. The following table summarizes proposed and applicable development standards for the project site:

	MINIMUM REQUIRED (per Rancho Del Oro Industrial Master Development Plan)	PROPOSED
LOT SIZE	20,000 sq ft	6.49 ac (Existing)
LOT COVERAGE	50% (max)	10%
FRONT YARD	15 foot min.	15 feet
CORNER SIDE	15 foot min.	10 feet
SIDE YARD	5 foot min.	200+ feet
REAR YARD	5 foot min.	300+ feet
PARKING	191spaces	268 spaces
BUILDING HEIGHT	45 foot max.	37.2 foot max.
LANDSCAPING	15% of yard area	50 %

The proposed project meets all applicable requirements of the Rancho Del Oro Industrial Master Development Plan as denoted above, and would exceed the required number of parking spaces required for the proposed building. No variances or modifications to the Master Development Plan are required as part of the proposed project.

3. Land Use Compatibility with surrounding developments

The Pacific Coast Business Parcel Map is located within the Rancho del Oro Specific Plan (S-1-84) and Planned Development (PD-1) zoning district. The zoning provisions that apply to industrial sites, including the subject project site, are those of the Rancho del Oro Industrial Master Industrial Development Plan and the Rancho del Oro Business and Industrial Park. These documents permit and encourage land uses such as 450.S *Business and professional offices*. Listed below is the table that describes the property and the surrounding land uses:

LOCATION	GENERAL PLAN	ZONING	LAND USE
Subject Property:	S-1-84 (Rancho Del Oro Specific Plan)	PD-1 PCBP Master Development Plan	Light Industrial
North of Subject Property	S-1-84 (Rancho Del Oro Specific Plan)	PD-1 PCBP Master Development Plan	Undeveloped Light Industrial
East of Subject Property:	S-1-84 (Rancho Del Oro Specific Plan)	PD-1 PCBP Master Development Plan	Single Family Residential
South of Subject Property:	S-1-84 (Rancho Del Oro Specific Plan)	PD-1 PCBP Master Development Plan	Undeveloped Light Industrial
West of Subject Property:	S-1-84 (Rancho Del Oro Specific Plan)	PD-1 PCBP Master Development Plan	Undeveloped Light Industrial

The proposed Industrial Business Park Development has been determined to be acceptable with the surrounding undeveloped area and Master Plan vision for the area; as well as, with their respective General Plan and Zoning Ordinance designations. Staff has concluded that the design of Pacific Marine Credit Union and the improvements proposed will not result in any serious public safety or health issues due to the proximity of the site and the types of uses immediately adjacent to the site.

DISCUSSION

Issue: Project Compatibility with the Existing Developed and Undeveloped Areas: The proposed 56,700-square foot office building with an associated 4,000-square foot commercial banking use would be compatible with the light industrial type developments in the surrounding area. The neighboring industrial properties are primarily vacant, but are permitted for industrial type developments and similar office uses as the proposed financial facility. The proposed additional landscaping and improvements would enhance the property and would physically enhance the neighboring properties.

The approved development to the set for medical offices would be of the same type and similar tilt up construction as the proposed Pacific Marine Credit Union Office and banking building. It is anticipated that the Pacific Marine Credit Union would be a less of an impact to area as the proposed neighboring medical office building.

It has been anticipated that the office building with an associated bank use would benefit the City of Oceanside and provide services to many of the residents living in the area and will specifically provide employment within the City. The proposed project would be an important part of the City's future economic base and provide for a diversity of job opportunities close to residential developments.

Recommendation: Staff finds that the overall design of the project is compatible with the existing developed and undeveloped areas, and no known opposition to the project has been noted. Staff supports the project as submitted by the applicant, subject to conditions of approval contained within the draft resolution.

ENVIRONMENTAL DETERMINATION

Pursuant to the California Environmental Quality Act of 1970 (CEQA), and State Guidelines thereto; an Environmental Impact Report (EIR) was prepared for the Pacific Coast Business Park Master Developments Plan with the Initial Tentative Parcel Map (P-8-04) and Development Plan (D-17-04) that created the Pacific Coast Business, and in accordance with CEQA guidelines section 15162 the proposed project to construct an office building with an associated bank building on lot 25 of Pacific Coast Business Park will not result in substantial changes in the original project, will not involve substantial changes to the circumstances for which the project was originally undertaken, and no new information of substantial importance not known at the time of the initial CEQA review has been identified; therefore, the City serving as the lead agency has determined that further environmental review is not required at this time.

PUBLIC NOTIFICATION

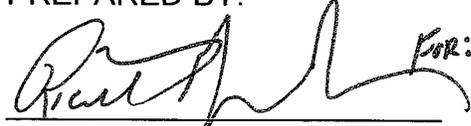
Pursuant to Article 41 of the Oceanside Zoning Ordinance, a Legal notice was published in the North County Times and notices were sent to property owners of record within a 1,500-foot radius of the subject property, individuals and or organizations requesting notification, applicant and other interested parties. Copies of this agenda item have been mailed to the applicant and their representatives.

SUMMARY

The proposed Development Plan (D-14-08), as designed and conditioned, is consistent with the requirements of the Zoning Ordinance, the Rancho del Oro Specific Plan, and the land use policies of the General Plan. The project has been designed and conditioned to meet or exceed all applicable development standards. As such, staff recommends that the Planning Commission approve the project based on the findings and subject to the conditions contained in the attached Resolution. Staff recommends that the Planning Commission:

-- Adopt Planning Commission Resolution No. 2009-P20 approving Development Plan (D-14-08) with findings and conditions of approval attached herein.

PREPARED BY:



Scott Nightingale
Planner II

SUBMITTED BY:



Jerry Hittleman
City Planner

REVIEWED BY:


Richard Greenbauer, Senior Planner

JH/SS/fil

Attachments:

1. Site Plan and Elevations
2. Planning Commission Resolution No. 2009-P20

FIRE DEPARTMENT/FIRE PREVENTION

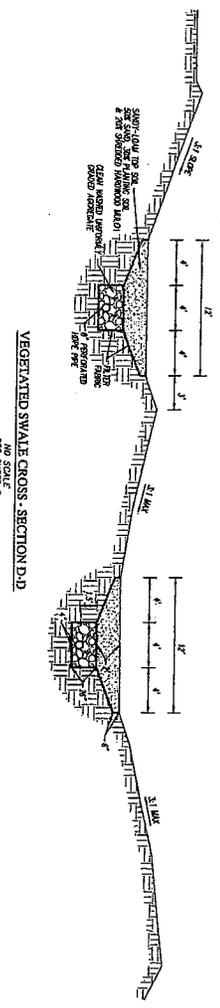
1. A MINIMUM FIRE FLOW OF 3000 GALLONS PER HOUR SHALL BE PROVIDED.
2. THE FIRE FLOW SHALL BE PROVIDED BY TWO 12" WATER MAINS WITH 2" FIRE MAINS.
3. ALL PROPOSED AND EXISTING FIRE ARMS SHALL BE LOCATED AS SHOWN ON THE PROJECT SHALL BE SHOWN ON THE SITE PLAN.
4. THE FIRE ARMS SHALL BE INSTALLED AND MAINTAINED ON THE JOB SITE.
5. PROVIDE ON-SITE HYDRANTS AND JUNGLE VALVES OF THE REQUIRED FIRE FLOW.
6. A RATED CLASS OF UNDERGROUND FIRE SERVICE SHALL BE SUBMITTED TO THE OCCUPANCY PERMITS DIVISION FOR APPROVAL PRIOR TO CONSTRUCTION.
7. BLUE PRINT IDENTIFICATION NUMBERS SHALL BE PLACED AS PER OCCUPANCY ENGINEERS DRAWING NO. 14-113.
8. ALL WEATHER ACCESS ROADS SHALL BE INSTALLED AND MAINTAINED ON THE JOB SITE.
9. ALL FIRE DEPARTMENT ACCESS ROADS SHALL BE INSTALLED AND MAINTAINED ON THE JOB SITE.
10. THE OCCUPANCY ENGINEERS SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE FIRE DEPARTMENT ACCESS ROADS.
11. THE OCCUPANCY ENGINEERS SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE FIRE DEPARTMENT ACCESS ROADS.
12. BUILDINGS SHALL MEET OCCUPANCY ENGINEERS REQUIREMENTS IN EFFECT AT THE TIME OF BUILDING PERMITS.
13. IN ACCORDANCE WITH THE URBAN FIRE CODE SEC. 90.1.1.4, APPROVED ADDRESSES FOR OCCUPANCY ENGINEERS AND RESIDENTIAL OCCUPANCY ENGINEERS SHALL BE PROVIDED FOR ALL BUILDINGS AND LOCATED FROM THE BEGINNING TO THE END OF THE BLOCK.
14. MULTI-FAMILY BUILDINGS REQUIRE IDENTIFICATION NUMBERS FOR EACH DOOR WITH INDIVIDUAL SUITE NUMBERS.
15. COMMERCIAL BUILDINGS AND MULTI-FAMILY DWELLINGS REQUIRE 6-INCH ADDRESS NUMBERS.
16. INDUSTRIAL BUILDINGS REQUIRE 12-INCH ADDRESS NUMBERS.
17. ADDRESS NUMBERS SHALL BE LOCATED ON THE FRONT PORCH OR NEAREST TO THE PUBLIC RIGHT-OF-WAY.
18. BUILDINGS SHALL MEET OCCUPANCY ENGINEERS REQUIREMENTS IN EFFECT AT THE TIME OF BUILDING PERMITS.

WATER UTILITY NOTES

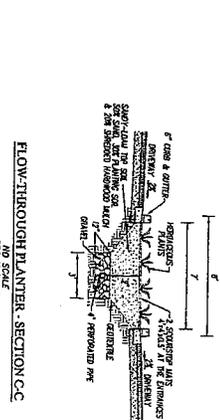
1. ALL PUBLIC WATER AND/OR SEWER FACILITIES NOT LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PROVIDED WITH EGRESS WITHIN THE PUBLIC RIGHT-OF-WAY.
2. NO TREES STRUCTURES OR BUILDING REMAINS SHALL BE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY.
3. THE PROPERTY OWNER WILL MAINTAIN PRIVATE WATER AND WASTEWATER UTILITIES LOCATED ON PRIVATE PROPERTY.
4. A SEPARATE RELOCATION METER AND APPROVED BACKFLOW PREVENTION IS REQUIRED.
5. THE DEVELOPER SHALL CONSTRUCT A PUBLIC RELOCATION WATER STATION PROPOSED PROJECT IN ACCORDANCE WITH THE CITY OF LOS ANGELES WATER DEPARTMENT OFFICE SEWER WORKS MANUAL. THE WATER STATION SHALL BE LOCATED TO THE RIGHT OF THE PUBLIC RIGHT-OF-WAY ON A PUBLIC UTILITY EASEMENT.
6. A WATER AND SEWER STUDY MUST BE PREPARED BY THE DEVELOPER AT THE TIME OF THE CITY OF LOS ANGELES WATER DEPARTMENT OFFICE SEWER WORKS MANUAL. THE WATER AND SEWER STUDY SHALL BE APPROVED BY THE DEVELOPER.
7. WATER SERVICES AND SEWER UTILITIES CONSTRUCTED IN EXISTING AREAS SHALL BE APPROVED BY THE DEVELOPER.
8. THE DEVELOPER WILL BE RESPONSIBLE FOR DEVELOPING ALL WATER AND SEWER UTILITIES NECESSARY TO DEVELOP THE PROPERTY. ALL WATER AND SEWER UTILITIES SHALL BE APPROVED BY THE DEVELOPER.
9. ALL UTILITIES WITHIN A RELOCATION ZONE SHALL BE RELOCATED TO THE PUBLIC RIGHT-OF-WAY. THE CITY OF LOS ANGELES WATER DEPARTMENT OFFICE SEWER WORKS MANUAL SHALL BE CONSULTED FOR THE CITY'S ENGINEERING MANUAL. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LOS ANGELES WATER DEPARTMENT OFFICE SEWER WORKS MANUAL.
10. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LOS ANGELES WATER DEPARTMENT OFFICE SEWER WORKS MANUAL.
11. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LOS ANGELES WATER DEPARTMENT OFFICE SEWER WORKS MANUAL.
12. ALL WATER AND WASTEWATER CONSTRUCTION SHALL CONFORM TO THE CITY OF LOS ANGELES WATER DEPARTMENT OFFICE SEWER WORKS MANUAL, OR AS APPROVED BY THE WATER UTILITIES DIVISION.

WATER UTILITY NOTES (CONTINUED)

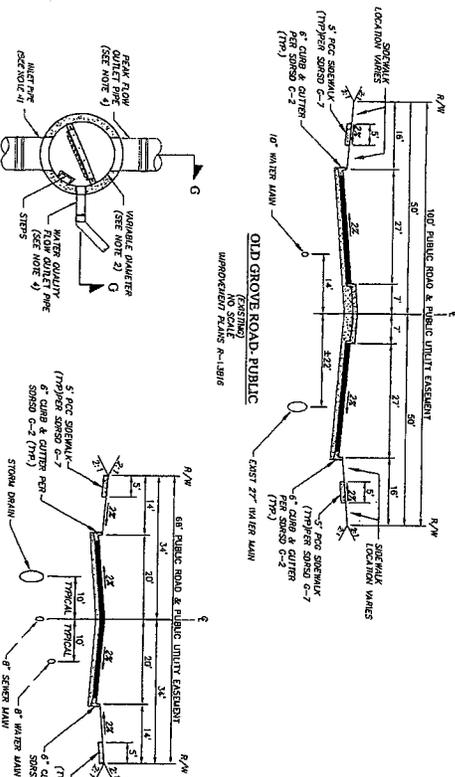
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12. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LOS ANGELES WATER DEPARTMENT OFFICE SEWER WORKS MANUAL.



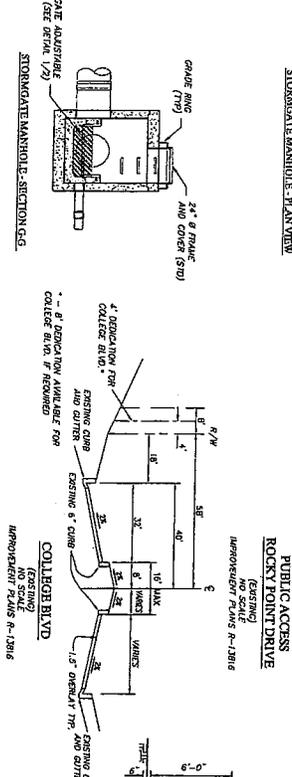
VEGETATED SWALE CROSS SECTION D-D
NO SCALE



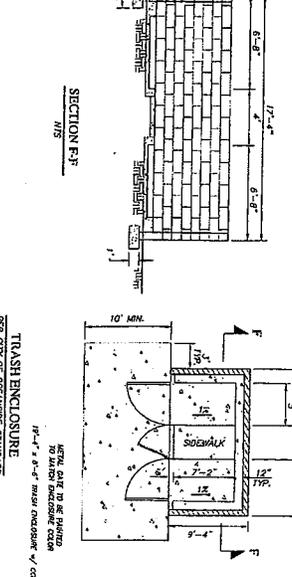
FLOW-THROUGH DRIVEWAY SECTION C-C
NO SCALE



OLD GROVE ROAD PUBLIC IMPROVEMENT PLANS R-13818
NO SCALE



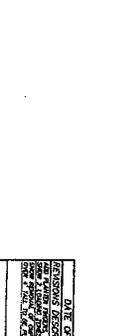
PUBLIC ACCESS ROCKY POINT DRIVE
NO SCALE



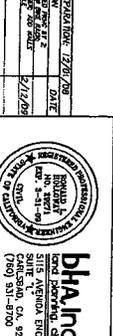
DISABLED PARKING DETAIL (TPV)
NO SCALE



STORMWATER MANHOLE SECTION G-G
NO SCALE



STORMWATER MANHOLE SECTION H-H
NO SCALE



COLLEGE BLVD
NO SCALE



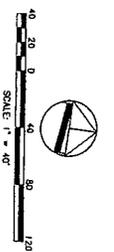
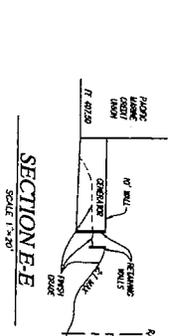
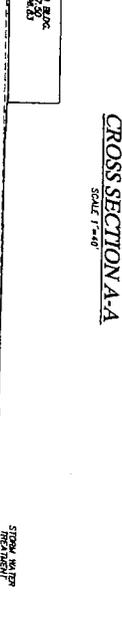
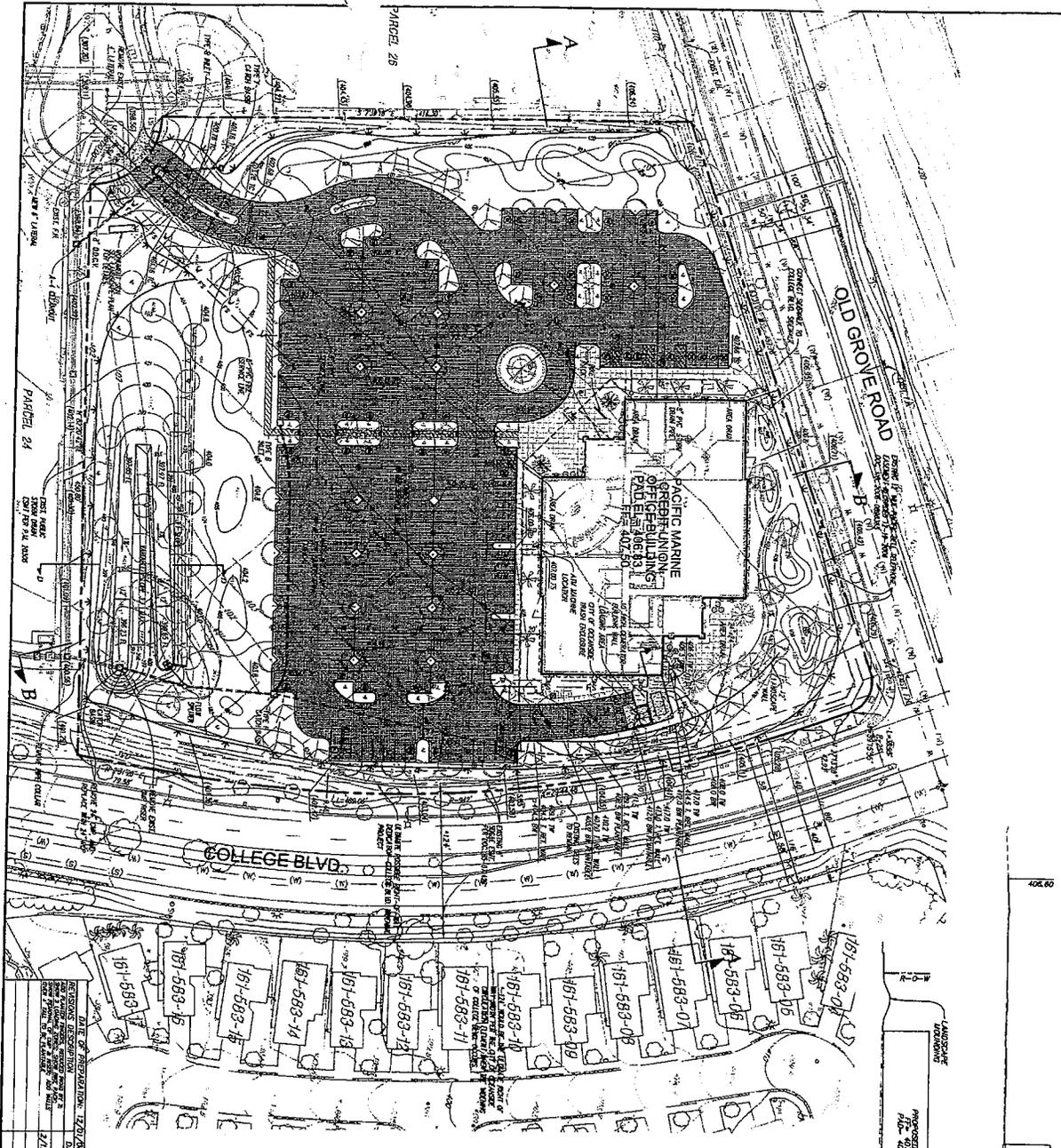
TRASH ENCLOSURE
NO SCALE

Blair Inc.
Civil and Surveying Engineering, Surveying
11111 Pacific Avenue, Encinitas, CA 92036-4387
(760) 531-1700

Pacific Marine Credit Union
SHEET 2 OF 4

DATE OF PREPARATION: 12/21/09
DATE OF REVISION: 12/21/09
DATE OF REVISION: 12/21/09
DATE OF REVISION: 12/21/09

SITE DEVELOPMENT PLAN - PACIFIC MARINE CREDIT UNION



SEE SHEET 2 FOR SECTION C-C & D-D

- PARKING SPACE LEGEND:**
- ① REGULAR SPACE
 - ② VAN ACCESSIBLE ADA SPACE
 - ③ LOW DRIVEWAY VEHICLE SPACE
 - ④ ADA CUSTOMER SPACE

BUILDING TABULATION:

BANK	4,000 SF
OFFICE	52,700 SF

PARKING TABULATION:

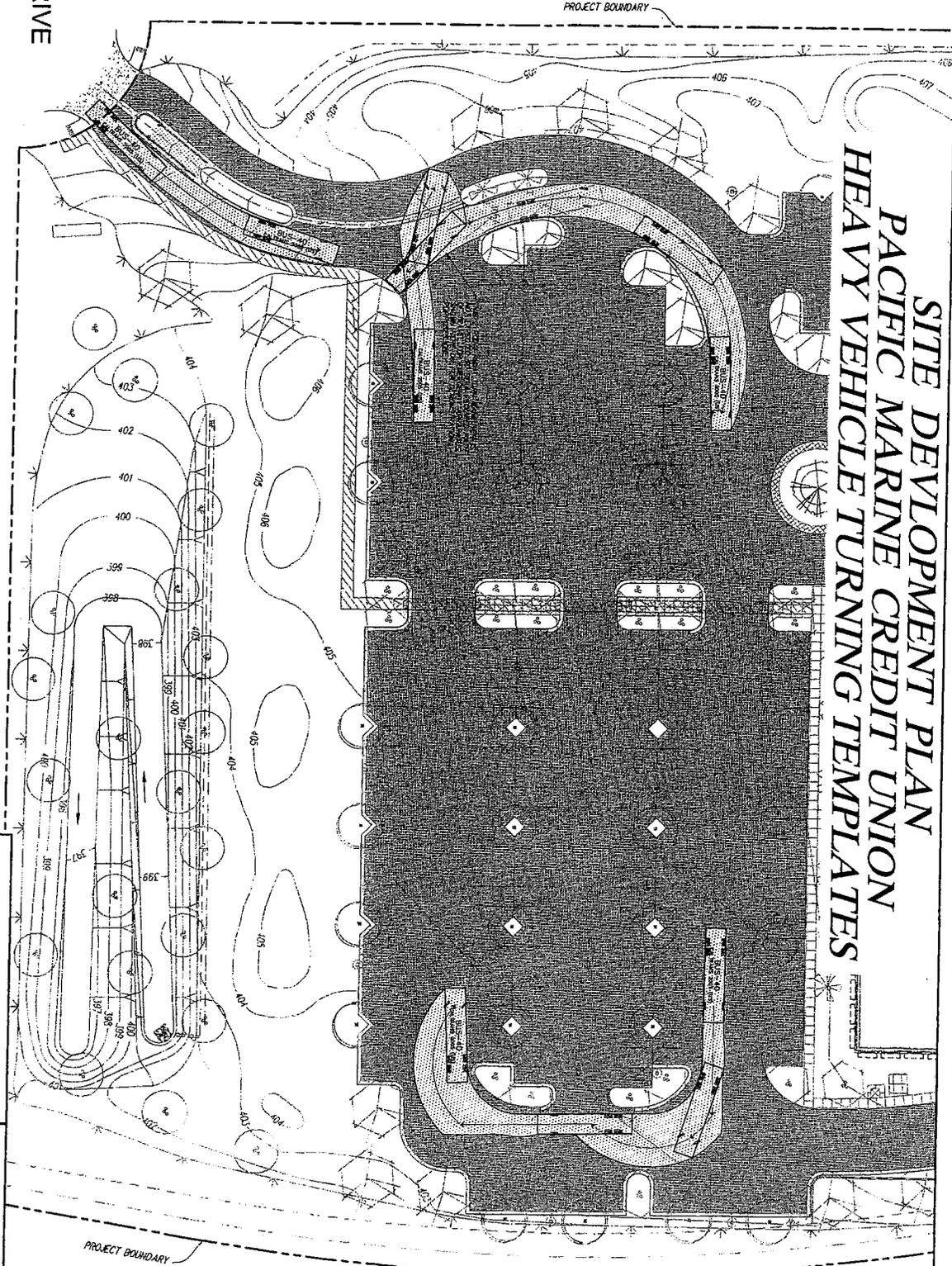
REGULAR PARKING REQUIRED (1.0/200)	177 SPACES
ADA PARKING REQUIRED (1.0/500)	8 SPACES
TOTAL PARKING REQUIRED	185 SPACES
DISCARDED PARKING PROVIDED	7 SPACES
PARKING PROVIDED	296 SPACES
DESIRED PARKING PROVIDED	289 SPACES
TOTAL PROVIDED	296 SPACES



BHA, INC.
 CIVIL ENGINEERING
 1515 AVENUE 10
 COSTA MESA, CA 92626-4337
 (714) 531-8700

PACIFIC MARINE
 CREDIT UNION
 CITY OF OAKLAND, CALIFORNIA

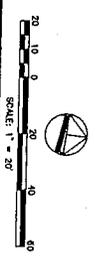
**SITE DEVELOPMENT PLAN
 PACIFIC MARINE CREDIT UNION
 HEAVY VEHICLE TURNING TEMPLATES**



ROCKY POINT DRIVE

PROJECT BOUNDARY

COLLEGE BLVD.



REVISIONS	DATE	BY	CHKD.



DHA, Inc.
 CIVIL ENGINEERING, ARCHITECTURE
 1115 AVENUE 28TH
 OAKLAND, CA 94612-1337
 (510) 531-6700

SITE DEVELOPMENT PLAN
**PACIFIC MARINE
 CREDIT UNION**
 CITY OF OAKLAND, CALIFORNIA

SHEET 4 OF 4

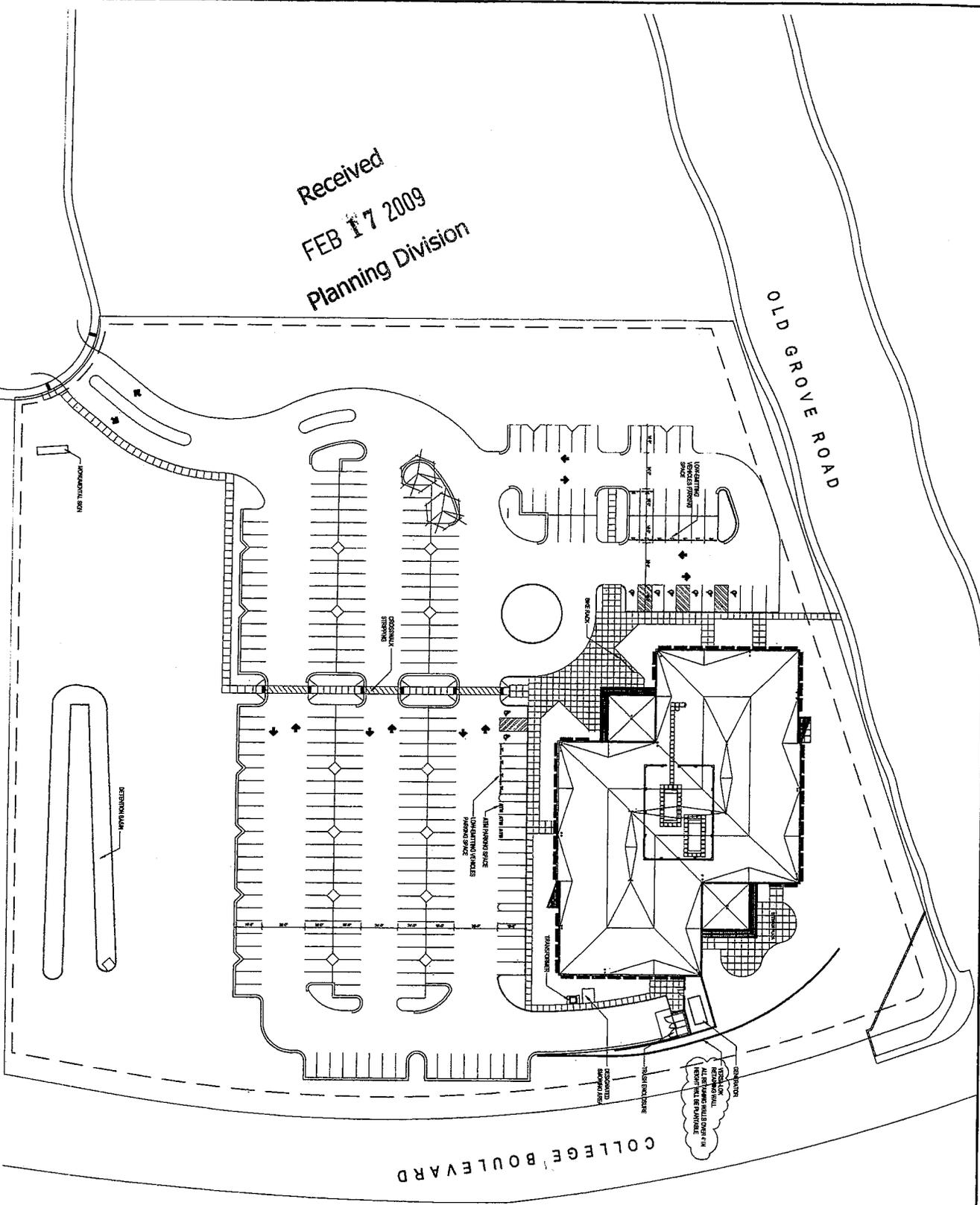
DATE OF PREPARATION: 08/20/03

Received
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 Planning Division

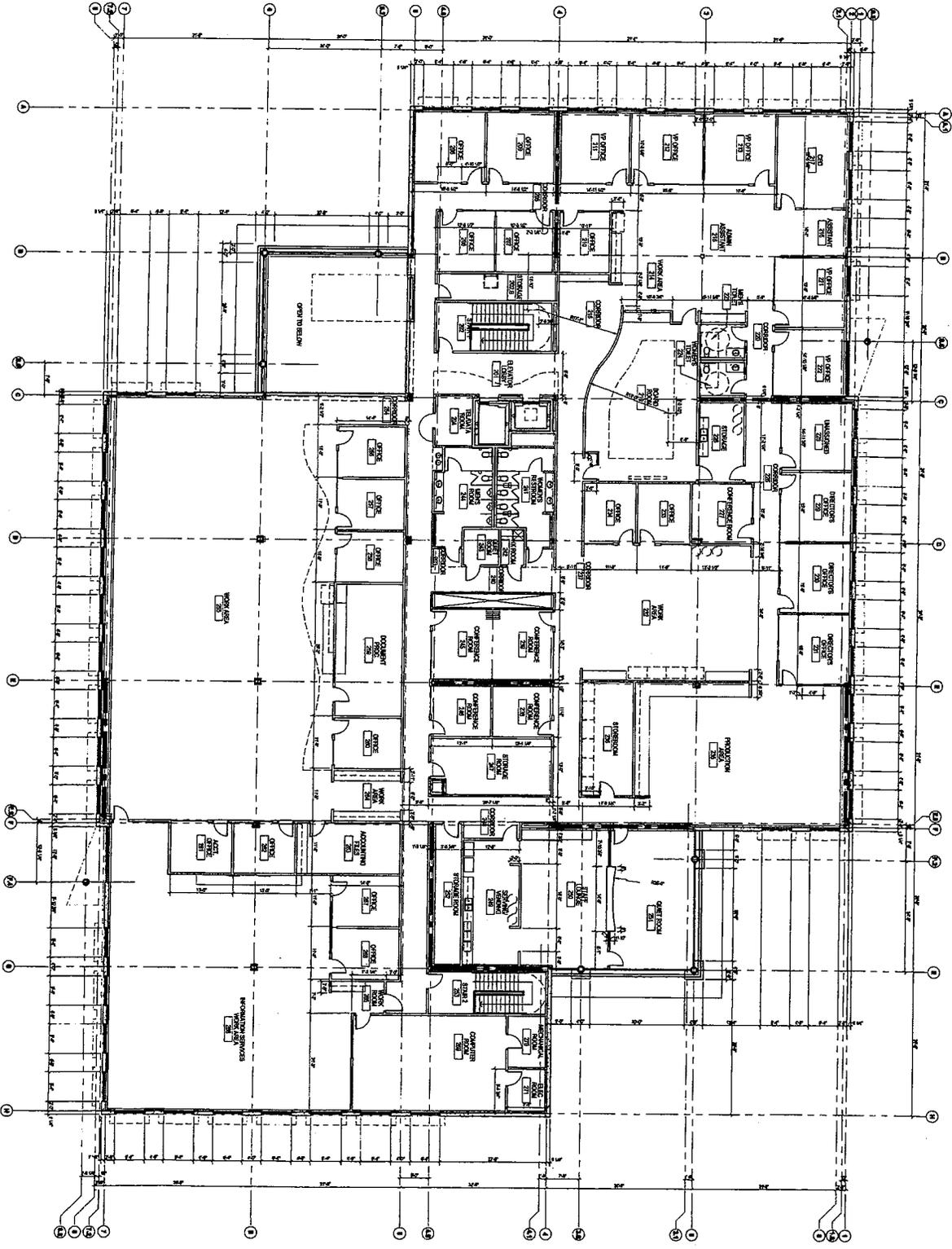
OLD GROVE ROAD

COLLEGE BOULEVARD

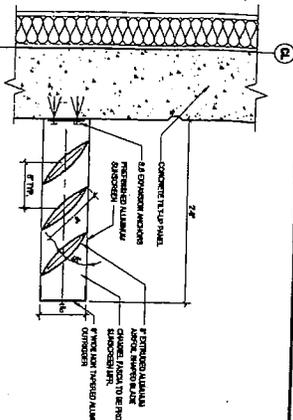
1 SITE PLAN
 SCALE: 1" = 30'



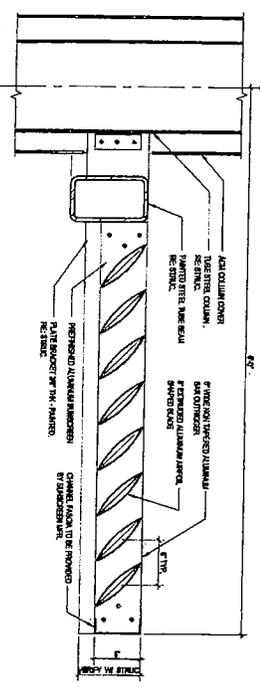
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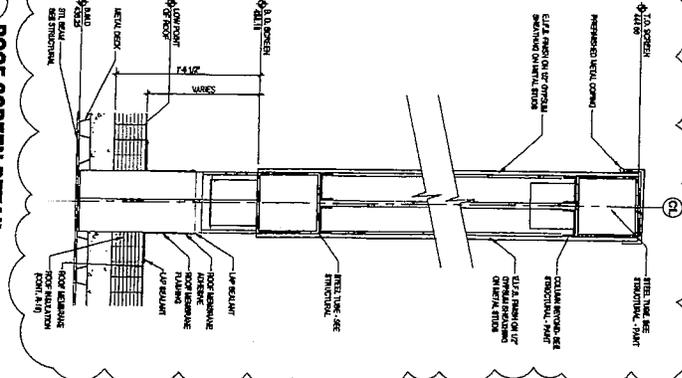
1 SECOND FLOOR PLAN
SCALE: 3/8" = 1'-0"



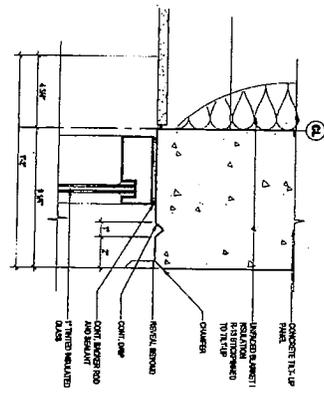
7 SUNSCREEN DETAIL
SCALE: 1/2" = 1'-0"



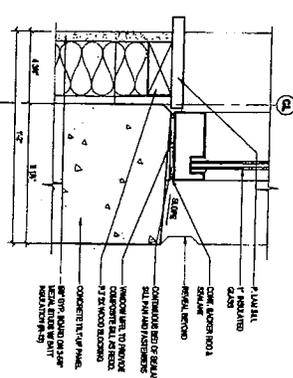
6 SUNSCREEN DETAIL
SCALE: 1/2" = 1'-0"



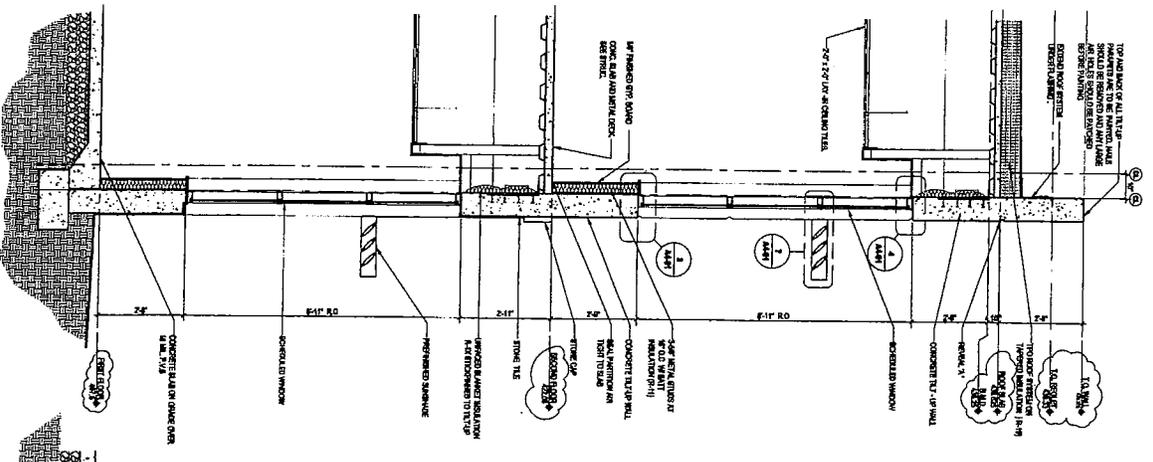
5 ROOF SCREEN DETAIL
SCALE: 1/2" = 1'-0"



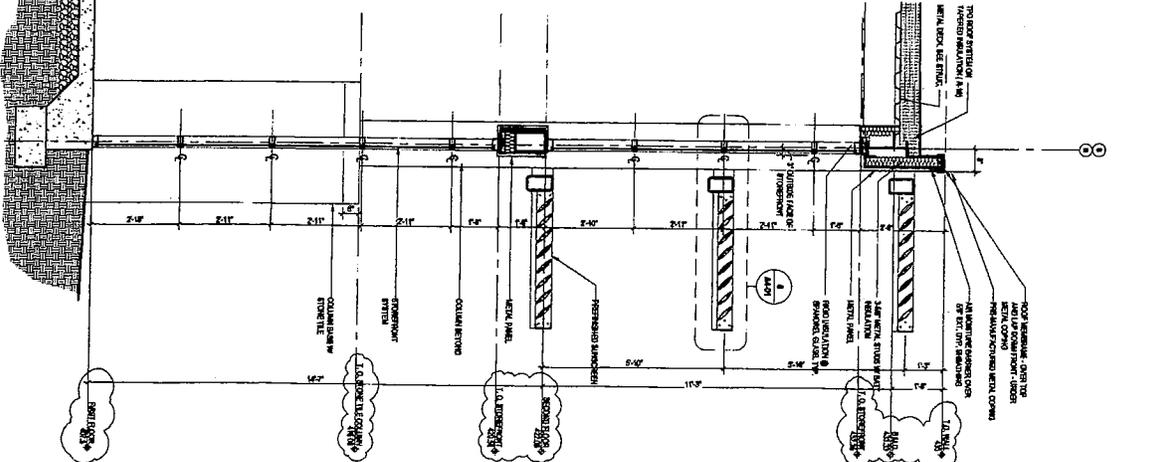
4 WINDOW HEAD DETAIL
SCALE: 3/4" = 1'-0"



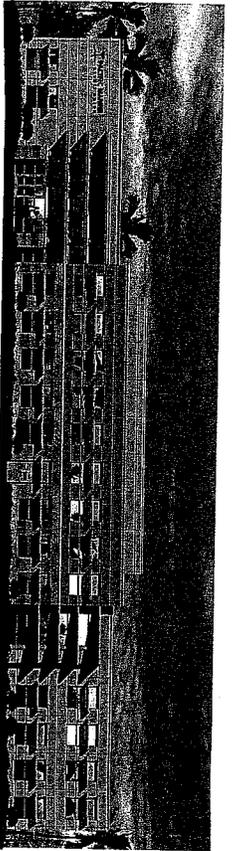
3 WINDOW SILL DETAIL
SCALE: 3/4" = 1'-0"



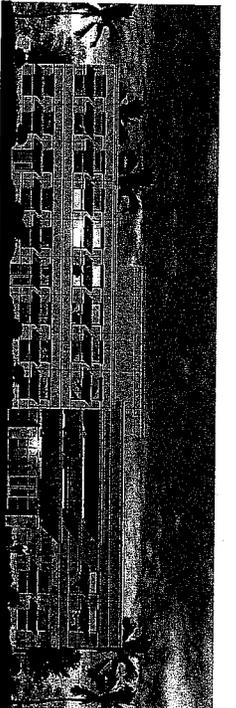
2 WALL SECTION
SCALE: 1/2" = 1'-0"



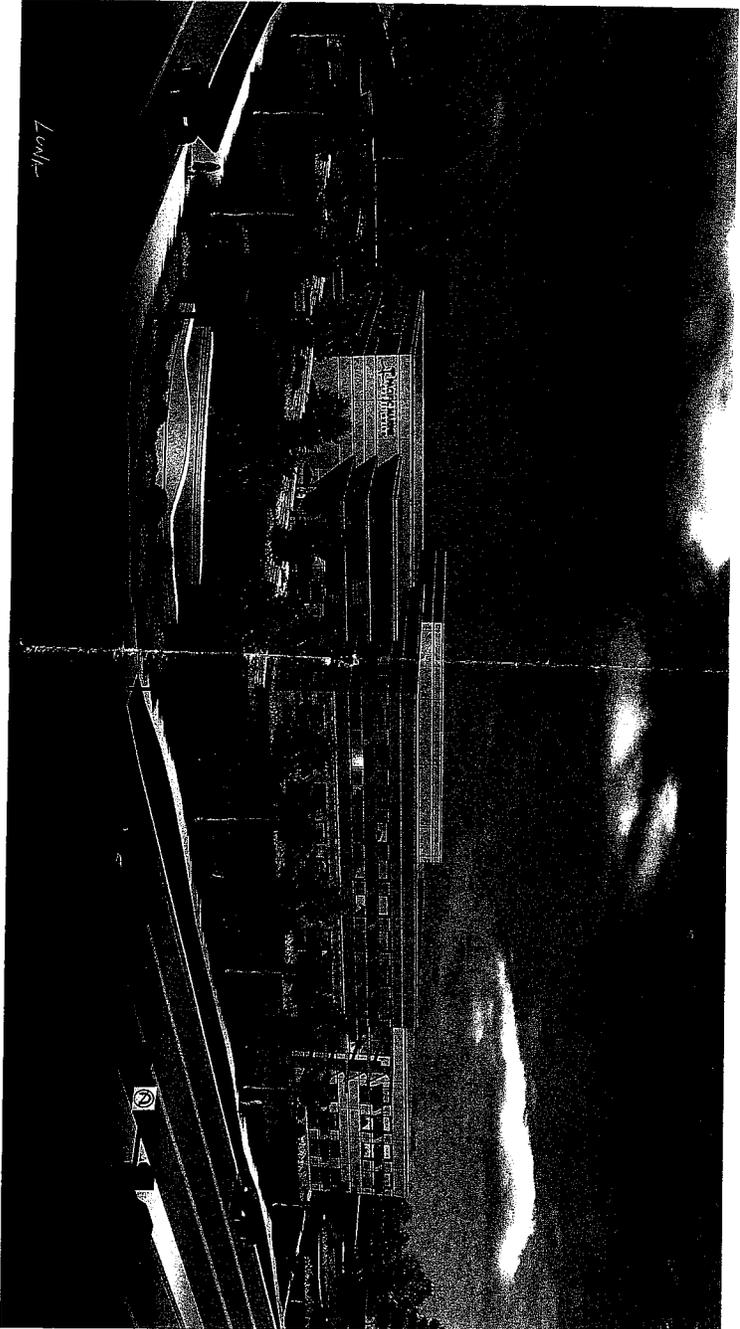
1 WALL SECTION
SCALE: 1/2" = 1'-0"



SOUTH ELEVATION



WEST ELEVATION



EXTERIOR RENDERING

L. 10/11

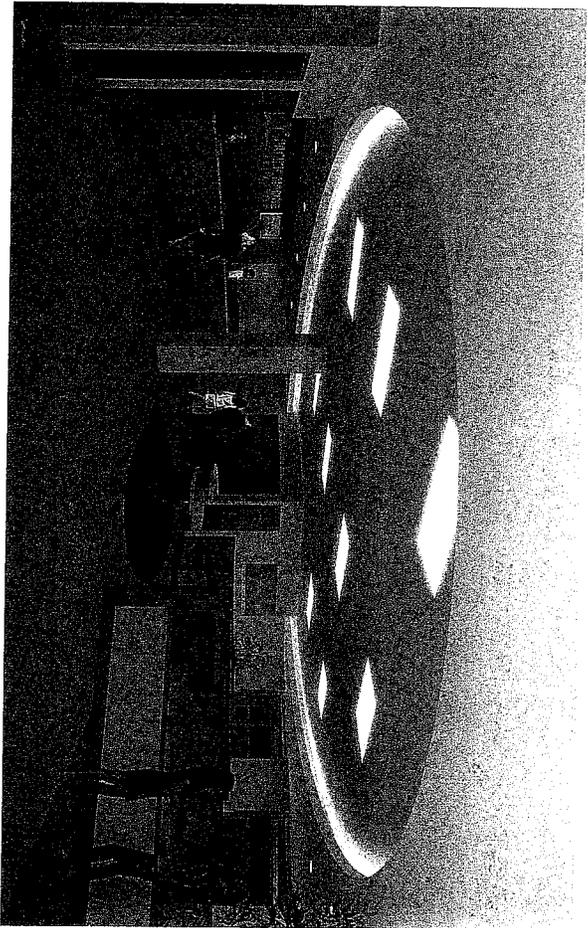
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THE ART & SCIENCE OF BUILDING

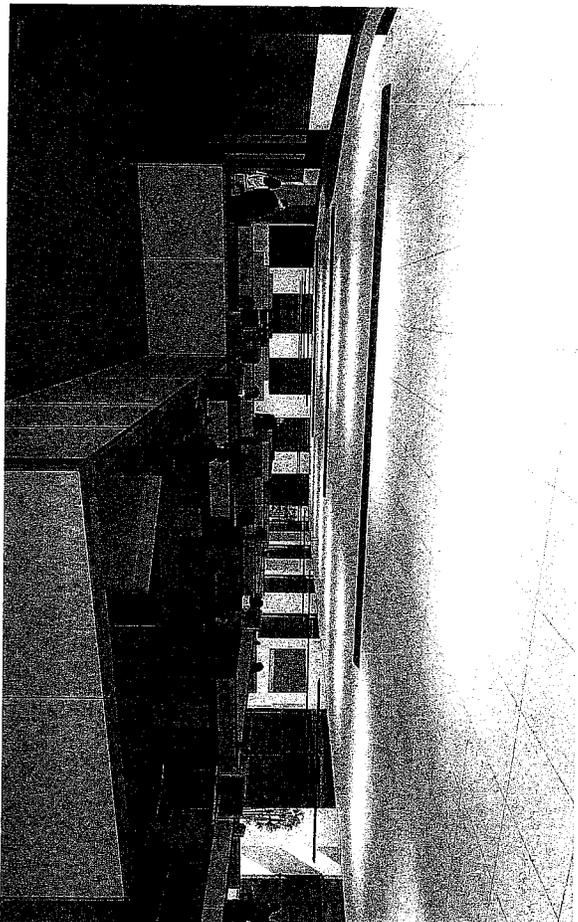
PACIFIC MARINE
CREDIT UNION

FORUM

12/18/2008



BRANCH LOBBY RENDERING



OPEN OFFICE RENDERING

CLAYCO
THE ART & SCIENCE OF BUILDING

 **PACIFIC MARINE**
credit union

FORUM

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PLANNING COMMISSION
RESOLUTION NO. 2009-P20

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF OCEANSIDE, CALIFORNIA APPROVING A
DEVELOPMENT PLAN ON CERTAIN REAL PROPERTY IN
THE CITY OF OCEANSIDE

APPLICATION NO: D-14-08

APPLICANT: Pacific Marine Credit Union

LOCATION: South east corner of Old Grove Road and College Boulevard

THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES
RESOLVE AS FOLLOWS:

WHEREAS, there was filed with this Commission a verified petition on the forms prescribed by the Commission requesting a Development Plan under the provisions of Articles 13, 41, and 43 of the Zoning Ordinance of the City of Oceanside to permit the following:

construction of a 56,700-square foot office building with associated parking and landscaping;

on certain real property described in the project description.

WHEREAS, the Planning Commission, after giving the required notice, did on the 4th day of May, 2009 conduct a duly advertised public hearing as prescribed by law to consider said application.

WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State Guidelines thereto; an Environmental Impact Report (EIR) was prepared for the Pacific Coast Business Park Initial Tentative Parcel Map and Development Plan that created the Pacific Coast Business Park Master Development Plan, and the proposed project to construct a 56,700 square foot office building with an associated 4,000 square foot commercial banking facility is consistent with the extent of the initial CEQA review; therefore, further environmental review is not required at this time.

WHEREAS, there is hereby imposed on the subject development project certain fees, dedications, reservations and other exactions pursuant to state law and city ordinance;

WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the project is subject to certain fees, dedications, reservations and other exactions as provided below:

1	<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
2			
3	Drainage Fee	Ordinance No. 85-23 Resolution No. 06-R0334-1	Depends on area (range is \$2,843-\$15,964 per acre)
4			
5	Public Facility Fee	Ordinance No. 91-09 Resolution No. 06-R0334-1	\$0.713 per square foot or \$713 per thousand square feet for non- residential uses
6			
7	School Facilities	Ordinance No. 91-34	\$.42 per square foot non- residential for Oceanside
8	Mitigation Fee		
9	Traffic Signal Fee	Ordinance No. 87-19 Resolution No. 06-R0334-1	\$15.71 per vehicle trip
10			
11	Thoroughfare Fee	Ordinance No. 83-01 Resolution No. 06-R0334-1	\$255 per vehicle trip (based on SANDAG trip generation table available from staff and from SANDAG)
12	(For commercial and industrial please note the 75 percent discount)		
13			
14	Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 05-OR 0611-1	Fee based on water meter size. Non-residential is \$37,205 for a 2" meter.
15			
16			
17	Wastewater System Buy-in	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 05-OR 0610-1	Based on capacity or water meter size. Non-residential is \$50,501 for a 2" meter.
18	Fees		
19			
20	San Diego County Water	SDCWA Ordinance No. 2005-03	Based on meter size. Non-residential is \$23,358 for a 2" meter.
21	Authority Capacity Fees		
22			

23 WHEREAS, the current fees referenced above are merely fee amount estimates of the
24 impact fees that would be required if due and payable under currently applicable ordinances and
25 resolutions, presume the accuracy of relevant project information provided by the applicant, and
26 are not necessarily the fee amount that will be owing when such fee becomes due and payable;

27 WHEREAS, unless otherwise provided by this resolution, all impact fees shall be
28 calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside
29 City Code and the City expressly reserves the right to amend the fees and fee calculations
consistent with applicable law;

1 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,
2 dedication, reservation or other exaction to the extent permitted and as authorized by law;

3 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that
4 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction
5 described in this resolution begins on the effective date of this resolution and any such protest must
6 be in a manner that complies with Section 66020;

7 WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes
8 effective 10 days from its adoption in the absence of the filing of an appeal or call for review;

9 WHEREAS, studies and investigations made by this Commission and in its behalf reveal
10 the following facts:

11 FINDINGS:

12 For the Development Plan:

- 13 1. The site plan and physical design of the project is consistent with the Zoning Ordinance
14 and the underlying Rancho Del Oro Planned Development (PD-1 – light industrial) zone
15 because the project, as designed, meets or exceeds the development standards
16 established in the Rancho Del Oro Industrial Master Development Plan.
- 17 2. The Development Plan is consistent with the General Plan of the City because the entire
18 Rancho Del Oro Industrial Master Development Plan was originally designed to
19 accommodate office and industrial tenants. The proposal to develop an office building
20 with an associated 4,000-square foot commercial bank and associated parking is
21 consistent with the overall Master Plan envisioned for the area and the Pacific Coast
22 Business and Rancho Del Oro Industrial master plan park specifically.
- 23 3. The project site can be adequately served by existing public facilities, services and
24 utilities since the original Rancho Del Oro Industrial Master Development Plan created
25 the necessary infrastructure and only extensions on site would be required.
- 26 4. The project, as proposed, is compatible with the existing and potential development on
27 adjoining properties and in the surrounding neighborhood because suitable buffer areas
28 exist between properties. In addition, the property is located within the built
29 environment of an office and industrial business park, which will ensure compatibility
with similar type uses in the area.

1 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby
2 approve Development Plan (D-14-08), subject to the following conditions:

3 **Building:**

- 4 1. Applicable Building Codes and Ordinances shall be based on the date of submittal for
5 Building Division plan check.
- 6 2. The granting of approval under this action shall in no way relieve the applicant/project
7 from compliance with all State and Local building codes.
- 8 3. Site development, parking, access into buildings and building interiors shall comply with
9 the State's Disabled Accessibility Regulations. (2007 California Building Code (CBC),
10 Chapter 11B)
- 11 4. The building plans for this project are required by State law to be prepared by a licensed
12 architect or engineer and must be in compliance with this requirement prior to submittal
13 for building plan review.
- 14 5. All electrical, communication, CATV, etc. service lines within the exterior lines of the
15 property shall be underground (City Code Sec. 6.30).
- 16 6. All outdoor lighting must comply with Chapter 39 of the City Code (Light Pollution
17 Ordinance). Where color rendition is important, high-pressure sodium, metal halide or
18 other such lights may be utilized and shall be shown on building and electrical plans.
- 19 7. Compliance with the Federal Clean Water Act (BMP's) must be demonstrated on the
20 plans.
- 21 8. Separate/unique addresses will/may be required to facilitate utility releases. Verification
22 that the addresses have been properly assigned by the City's Planning Division must
23 accompany the Building Permit application.
- 24 9. A complete Soils Report, Structural Calculations, & Energy Calculations/
25 documentation will be required at time of plans submittal to the Building Division for
26 plan check.
- 27 10. A complete photo metric plan will be required at time of plan submittal to the Building
28 Division. The Photo metric plan will show all lighting footcandles on the new property
29 and any adjacent properties.

1 11. Tenant Improvements or other construction to the existing building requires permits
2 (including all required Inspections and approvals, and Issuance of Certificate of
3 Occupancy) from the Building Division.

4 12. The developer shall monitor, supervise and control all building construction and
5 supporting activities so as to prevent these activities from causing a public nuisance,
6 including, but not limited to, strict adherence to the following:

7 a) Building construction work hours shall be limited to between 7:00 a.m. and 6:00
8 p.m. Monday through Friday, and on Saturday from 7:00 a.m. to 6:00 p.m. for
9 work that is not inherently noise-producing. Examples of work not permitted on
10 Saturday are concrete and grout pours, roof nailing and activities of similar
11 noise-producing nature. No work shall be permitted on Sundays and Federal
12 Holidays (New Year's Day, Memorial Day, July 4th, Labor Day, Thanksgiving
13 Day, Christmas Day) except as allowed for emergency work under the provisions
14 of the Oceanside City Code Chapter 38 (Noise Ordinance).

15 b) The construction site shall be kept reasonably free of construction debris as
16 specified in Section 13.17 of the Oceanside City Code. Storage of debris in
17 approved solid waste containers shall be considered compliance with this
18 requirement. Small amounts of construction debris may be stored on-site in a
19 neat, safe manner for short periods of time pending disposal.

19 **Engineering:**

20 13. Design and construction of all improvements shall be in accordance with standard plans,
21 specifications of the City of Oceanside and subject to approval by the City Engineer.

22 14. Prior to the issuance of a grading permit, the owner/developer shall notify and host a
23 neighborhood meeting with all of the area residents located within 300 feet of the project
24 site, to inform them of the grading and construction schedule, and to answer questions.

25 15. The owner/developer shall monitor, supervise and control all construction and
26 construction-supportive activities, so as to prevent these activities from causing a public
27 nuisance, including but not limited to, insuring strict adherence to the following:

28 a) Dirt, debris and other construction material shall not be deposited on any public
29 street or within the City's stormwater conveyance system.

1 b) All grading and related site preparation and construction activities shall be
2 limited to the hours of 7:00 a.m. to 6:00 p.m., Monday through Friday. No
3 engineering related construction activities shall be conducted on Saturdays,
4 Sundays or legal holidays unless written permission is granted by the City
5 Engineer with specific limitations to the working hours and types of permitted
6 operations. All on-site construction staging areas shall be as far as possible
7 (minimum 100 feet) from any existing residential development. Because
8 construction noise may still be intrusive in the evening or on holidays, the City of
9 Oceanside Noise Ordinance also prohibits "any disturbing excessive or offensive
10 noise which causes discomfort or annoyance to reasonable persons of normal
11 sensitivity."

12 c) The construction site shall accommodate the parking of all motor vehicles used
13 by persons working at or providing deliveries to the site. An alternate parking
14 site can be considered by the City Engineer in the event that the lot size is too
15 small and cannot accommodate parking of all motor vehicles.

16 d) The owner/developer shall complete a haul route permit application (if required
17 for import/export of dirt) and submit to the City of Oceanside Engineering
18 Department forty eight hours (48) in advance of beginning of work. Hauling
19 operations (if required) shall be 8:00 a.m. to 3:30 p.m. unless approved
20 otherwise.

21 16. It is the responsibility of the owner/developer to evaluate and determine that all soil
22 imported or exported as part of this development is free of hazardous and/or
23 contaminated material as defined by the City and the County of San Diego Department
24 of Environmental Health. Exported or imported soils shall be properly screened, tested,
25 and documented regarding hazardous contamination.

26 17. A traffic control plan shall be prepared according to the City traffic control guidelines
27 and approved to the satisfaction of the City Engineer prior to the start of work within the
28 public right-of-way. Traffic control during construction of streets that have been opened
29 to public traffic shall be in accordance with construction signing, marking and other
protection as required by the Caltrans Traffic Manual and City Traffic Control

1 Guidelines. Traffic control plans shall be in effect from 8:00 a.m. to 3:30 p.m. unless
2 approved otherwise.

3 18. Approval of this development project is conditioned upon payment of all applicable
4 impact fees and connection fees in the manner provided in chapter 32B of the Oceanside
5 City Code. All traffic signal fees and contributions, highway thoroughfare fees, park
6 fees, reimbursements, and other applicable charges, fees and deposits shall be paid prior
7 to the issuance of any building permits, in accordance with City Ordinances and policies.

8 19. The owner/developer shall replace or reconstruct all existing sidewalk improvements
9 that are not in compliance with ADA requirements.

10 20. Sight distance requirements at the project driveway shall conform to the corner sight
11 distance criteria as provided by San Diego Regional Standard Drawings (SDRSD), DS-
12 20A and or DS-20B.

13 21. Pavement sections for all driveways and parking areas shall be based upon approved
14 soil tests and traffic indices. The pavement design is to be prepared by the
15 developer's/owner's soil engineer and must be approved by the City Engineer, prior to
16 paving.

17 22. Any existing broken pavement, concrete curb, gutter or sidewalk or any damaged during
18 construction of the project, shall be repaired or replaced as directed by the City
19 Engineer.

20 23. The owner/developer shall comply with all the provisions of the City's cable television
21 ordinances including those relating to notification as required by the City Engineer.

22 24. Grading and drainage facilities shall be designed and installed to adequately
23 accommodate the local stormwater runoff and shall be in accordance with the City's
24 Grading Regulation Manual, the current San Diego County Hydrology Manual and as
25 directed by the City Engineer.

26 25. The owner/developer shall obtain any necessary permits and clearances from all public
27 agencies having jurisdiction over the project due to its type, size, or location, including
28 but not limited to the U. S. Army Corps of Engineers, California Department of Fish &
29 Game, U. S. Fish and Wildlife Service and/or San Diego Regional Water Quality
Control Board, National Pollution Discharge Elimination System (NPDES), San Diego
County Health Department, prior to the issuance of grading permits.

1 26. The approval of the development shall not mean that proposed grading or improvements
2 on adjacent properties, including any City properties/right-of-way or easements, is
3 granted or guaranteed to the owner/developer. The owner/developer is responsible for
4 obtaining permission to grade to construct on adjacent properties. Should such
5 permission be denied, the development shall be subject to going back to the public
6 hearing or subject to a substantial conformity review.

7 27. Prior to any grading of any part of the development, a comprehensive soils and geologic
8 investigation shall be conducted of the soils, slopes, and formations in the development.
9 All necessary measures shall be taken and implemented to assure slope stability, erosion
10 control, and soil integrity. No grading shall occur until a detailed grading plan, to be
11 prepared in accordance with the Grading Ordinance and Zoning Ordinance, is approved
12 by the City Engineer.

13 28. This project shall provide year-round erosion control including measures for the site
14 required for the phasing of grading. Prior to the issuance of grading permit, an erosion
15 control plan, designed for all proposed stages of construction, shall be reviewed, secured
16 by the owner/developer with cash securities and approved by the City Engineer.

17 29. A precise grading and private improvement plan shall be prepared, reviewed, secured
18 and approved prior to the issuance of any building permits. The plan shall reflect all
19 pavement, flatwork, landscaped areas, special surfaces, curbs, gutters, medians, striping,
20 and signage, footprints of all structures, walls, drainage devices and utility services.
21 Parking lot lighting, striping and any on-site traffic calming devices shall be shown on
22 all precise grading and private improvement plans.

23 30. Landscaping plans, including plans for the construction of walls, fences or other
24 structures at or near intersections, must conform to intersection sight distance
25 requirements. Landscape and irrigation plans for disturbed areas must be submitted to
26 the City Engineer prior to the issuance of a preliminary grading permit and approved by
27 the City Engineer prior to the issuance of occupancy permits. Frontage and median
28 landscaping shall be installed prior to the issuance of any certificates of occupancy.
29 Any project fences, sound or privacy walls and monument entry walls/signs shall be
shown on, bonded for and built from the landscape plans. These features shall also be
shown on the precise grading plans for purposes of location only. Plantable, segmental

1 walls shall be designed, reviewed and constructed by the grading plans and
2 landscaped/irrigated through project landscape plans. All plans must be approved by the
3 City Engineer and a pre-construction meeting held, prior to the start of any
4 improvements.

5 31. The drainage design on the development plan is conceptual only. The final design shall
6 be based upon a hydrologic/hydraulic study to be approved by the City Engineer during
7 final engineering. All drainage picked up in an underground system shall remain
8 underground until it is discharged into an approved channel, or as otherwise approved by
9 the City Engineer. All public storm drains and connections shall be shown on City
10 standard plan and profile sheets. All storm drain easements shall be dedicated where
11 required. The owner/developer shall be responsible for obtaining any off-site easements
12 for storm drainage facilities.

13 32. Storm drain facilities shall be designed and located such that the inside travel lanes on
14 streets with Collector or above design criteria shall be passable during conditions of a
15 100-year frequency storm.

16 33. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and
17 disposed of in accordance with all the State and Federal requirements, prior to
18 stormwater discharge either off-site or into the City drainage system.

19 34. Unless an appropriate barrier is approved on a landscape plan, a minimum 42-inch high
20 barrier, approved by the City Engineer, shall be provided at the top of all slopes whose
21 height exceeds 20 feet or where the slope exceeds four feet and is adjacent to an arterial
22 street or state highway.

23 35. The owner/developer shall comply with the provisions of National Pollution Discharge
24 Elimination System (NPDES) General Permit for Storm Water Discharges Associated
25 with Construction Activity (General Permit) Water Quality Order 99-08-DWQ. The
26 General Permit continues in force and effect until a new General Permit is issued or the
27 SWRCB rescinds this General Permit. Only those owner/developer authorized to
28 discharge under the expiring General Permit are covered by the continued General
29 Permit. Construction activity subject to the General Permit includes clearing, grading,
and disturbances to the ground such as stockpiling, or excavation that results in soil
disturbances of at least one acre of total land area.

- 1 36. The owner/developer shall obtain coverage under the General Permit by submitting a
2 Notice of Intent (NOI) and obtaining a Waste Discharge Identification Number
3 (WDID#) from the State Water Resources Control Board (SWRCB). In addition,
4 coverage under the General Permit shall not occur until an adequate SWPPP is
5 developed for the project as outlined in Section A of the General Permit. The site
6 specific SWPPP and associated NOI shall be maintained on the project site at all times.
7 The SWPPP shall be provided, upon request, to the United States Environmental
8 Protection Agency (USEPA), SWRCB, Regional Water Quality Control Board
9 (RWQCB), City of Oceanside, and other applicable governing regulatory agencies. The
10 SWPPP is considered a report that shall be available to the public by the RWQCB under
11 section 308(b) of the Clean Water Act.
- 12 37. The provisions of the General Permit and the site specific SWPPP shall be continuously
13 implemented and enforced until the owner/developer obtains a Notice of Termination
14 (NOT) for the SWRCB. The owner/developer is required to retain records of all
15 monitoring information, copies of all reports required by this General Permit, and
16 records of all data used to complete the NOI for all construction activities to be covered
17 by the General Permit for a period of at least three years from the date generated. This
18 period may be extended by request of the SWRCB and/or RWQCB.
- 19 38. Upon acceptance of any fee waiver or reduction by the owner/developer, the entire
20 project will be subject to prevailing wage requirements as specified by Labor Code
21 section 1720(b) (4). The owner/developer shall agree to execute a form acknowledging
22 the prevailing wage requirements prior to the granting of any fee reductions or waivers.
- 23 39. The owner/developer shall provide a copy of the title page of an approved SWMP with
24 the first engineering submittal package. The SWMP shall be prepared by the
25 owner/developer's Civil Engineer. All stormwater documents shall be in compliance
26 with the latest edition of submission requirements.
- 27 40. The BMPs described in the project's approved SWMP shall not be altered in any way,
28 unless reviewed and approved to the satisfaction of the City Engineer. The determination
29 of whatever action is required for changes to a project's approved SWMP shall be made
by the City Engineer.

1 41. Following approval of the SWMP by the City Engineer and prior to issuance of grading
2 permits, the owner/developer shall submit and obtain approval of an Operation &
3 Maintenance (O&M) Plan, prepared to the satisfaction of the City Engineer. The O&M
4 Plan shall include an approved and executed Maintenance Mechanism pursuant to
5 Section 4.1 of the Interim Standard Urban Storm Water Mitigation Plan (ISUSMP). The
6 O&M shall satisfy the minimum Maintenance Requirements pursuant to Section 4.3 of
7 the ISUSMP. At a minimum the O&M Plan shall include the designated responsible
8 party to manage the stormwater BMP(s), employee training program and duties,
9 operating schedule, maintenance frequency, routine service schedule, specific
10 maintenance activities, copies of resource agency permits, cost estimate for
11 implementation of the O&M Plan, a security to provide maintenance in the event of
12 noncompliance to the O&M Plan, and any other necessary elements. The
13 owner/developer shall provide the City with access to site for the purpose of BMP
14 inspection and maintenance by entering into an Access Rights Agreement with the City.
15 The owner/developer shall complete and maintain O&M forms to document all
16 operation, inspection, and maintenance activities. The owner/developer shall retain
17 records for a minimum of five years. The records shall be made available to the City
upon request.

18 42. The owner/developer shall enter into the City-Standard Storm water Facilities
19 Maintenance Agreement with the City obliging the owner/developer to maintain, repair
20 and replace the Storm Water Best Management Practices (BMPs) identified in the
21 project's approved SWMP, as detailed in the O&M Plan into perpetuity. The
22 Agreement shall be approved by the City Attorney prior to issuance of any precise
23 grading permit and shall be recorded at the County Recorder's Office prior to issuance
24 of any building permit. Security in the form of cash (or certificate of deposit payable to
25 the City) or an irrevocable, City-Standard Letter of Credit shall be required prior to
26 issuance of a precise grading permit. The amount of the security shall be equal to 10
27 years of maintenance costs, as identified by the O&M Plan, but not to exceed a total of
\$25,000. The owner/developer's Civil Engineer shall prepare the O&M cost estimate.

28 43. At a minimum, maintenance agreements shall require the staff training, inspection and
29 maintenance of all BMPs on an annual basis. The owner/developer shall complete and

1 maintain O&M forms to document all maintenance activities. Parties responsible for the
2 O&M plan shall retain records at the subject property for at least five years. These
3 documents shall be made available to the City for inspection upon request at any time.

4 44. The Agreement shall include a copy of executed on-site and off-site access rights
5 necessary for the operation and maintenance of BMPs that shall be binding on the land
6 throughout the life of the project to the benefit of the party responsible for the O&M of
7 BMPs, satisfactory to the City Engineer. The agreement shall also include a copy of the
8 O&M Plan approved by the City Engineer.

9 45. The Owner/developer shall provide a copy of the title page of an approved SWMP with
10 the first engineering submittal package. The SWMP shall be prepared by the
11 owner/developer's Civil Engineer. All Storm water documents shall be in compliance
12 with the latest edition of submission requirements.

13 46. The BMPs described in the project's approved SWMP shall not be altered in any way,
14 unless reviewed and approved to the satisfaction of the City Engineer. The
15 determination of whatever action is required for changes to a project's approved SWMP
16 shall be made by the City Engineer.

17 47. The approval of the project shall not mean that closure, vacation, or abandonment of any
18 public street, right-of-way, easement, or facility is granted or guaranteed to the
19 owner/developer. The owner/developer is responsible for applying for all closures,
20 vacations, and abandonments as necessary. The application(s) shall be reviewed and
21 approved or rejected by the City of Oceanside under separate process (es) per codes,
22 ordinances, and policies in effect at the time of the application. The City of Oceanside
23 retains its full legislative discretion to consider any application to vacate a public street
24 or right of way.

25 48. Upon acceptance of any fee waiver or reduction by the owner/developer, the entire
26 project will be subject to prevailing wage requirements as specified by Labor Code
27 section 1720(b) (4). The owner/developer shall agree to execute a form acknowledging
28 the prevailing wage requirements prior to the granting of any fee reductions or waivers.

29 49. In the event that the conceptual plan does not match the conditions of approval, the
resolution of approval shall govern.

1 50. Landscape plans, shall meet the criteria of the City of Oceanside Landscape Guidelines
2 and Specifications for Landscape Development (latest revision), Water Conservation
3 Ordinance No. 91-15, Engineering criteria, City code and ordinances, including the
4 maintenance of such landscaping, shall be reviewed and approved by the City Engineer
5 prior to the issuance of building permits. Landscaping shall not be installed until bonds
6 have been posted, fees paid, and plans signed for final approval. The following
7 landscaping requirements shall be required prior to plan approval and certificate of
8 occupancy:

- 9 a) Final landscape plans shall accurately show placement of all plant material such
10 as but not limited to trees, shrubs, and groundcovers.
- 11 b) Landscape Architect shall be aware of all utility, sewer, storm drain easement
12 and place planting locations accordingly to meet City of Oceanside requirements.
- 13 c) All required landscape areas shall be maintained by owner. The landscape areas
14 shall be maintained per City of Oceanside requirements.
- 15 d) Proposed landscape species shall be native or naturalized to fit the site and meet
16 climate changes indicative to their planting location. The selection of plant
17 material shall also be based on cultural, aesthetic, and maintenance
18 considerations. In addition proposed landscape species shall be low water users
19 as well as meet all fire department requirements.
- 20 e) All planting areas shall be prepared with appropriate soil amendments, fertilizers,
21 and appropriate supplements based upon a soils report from an agricultural
22 suitability soil sample taken from the site.
- 23 f) Ground covers or bark mulch shall fill in between the shrubs to shield the soil
24 from the sun, evapotranspiration and run-off. All the flower and shrub beds
25 shall be mulched to a 3" depth to help conserve water, lower the soil temperature
26 and reduce weed growth.
- 27 g) The shrubs shall be allowed to grow in their natural forms. All landscape
28 improvements shall follow the City of Oceanside Guidelines.
- 29 h) Root barriers shall be installed adjacent to all paving surfaces, where a paving
surface is located within six feet of a trees trunk on-site (private) and within 10
feet of a trees trunk in the right-of-way (public). Root barriers shall extend five

1 feet in each direction from the centerline of the trunk, for a total distance of 10
2 feet. Root barriers shall be 24 inches in depth. Installing a root barrier around
3 the tree's root ball is unacceptable.

4 i) All fences, gates, walls, stone walls, retaining walls, and plantable walls shall
5 obtain planning department approval for these items in the conditions or
6 application stage prior to 1st submittal of working drawings.

7 j) For the planting and placement of trees and their distances from hardscape and
8 other utilities/ structures the landscape plans shall follow the City of Oceanside's
9 (current) Tree Planting Distances and Spacing Standards.

10 k) An automatic irrigation system shall be installed to provide coverage for all
11 planting areas shown on the plan. Low precipitation equipment shall provide
12 sufficient water for plant growth with a minimum water loss due to water run-
13 off.

14 l) Irrigation systems shall use high quality, automatic control valves, controllers
15 and other necessary irrigation equipment. All components shall be of non-
16 corrosive material. All drip systems shall be adequately filtered and regulated
17 per the manufacturer's recommended design parameters.

18 m) All irrigation improvements shall follow the City of Oceanside Guidelines and
19 Water Conservation Ordinance.

20 n) The landscape plans shall match all plans affiliated with the project.

21 o) Landscape plans shall comply with Biological and/or Geotechnical reports, as
22 required, shall match the grading and improvement plans, comply with SWMP
23 Best Management Practices and meet the satisfaction of the City Engineer.

24 p) Existing landscaping on and adjacent to the site shall be protected in place and
25 supplemented or replaced to meet the satisfaction of the City Engineer.

26 51. All landscaping, fences, walls, etc. on the site, in medians within the public right-of-way
27 and within any adjoining public parkways shall be permanently maintained by the
28 owner, his assigns or any successors-in-interest in the property. The maintenance
29 program shall include: a) normal care and irrigation of the landscaping b) repair and
replacement of plant materials c) irrigation systems as necessary d) general cleanup of
the landscaped and open areas e) parking lots and walkways, walls, fences, etc. Failure

1 to maintain landscaping shall result in the City taking all appropriate enforcement
2 actions including but not limited to citations. This maintenance program condition shall
3 be recorded with a covenant as required by this resolution.

4 52. In the event that the conceptual landscape plan (CLP) does not match the conditions of
5 approval, the resolution of approval shall govern.

6 **Fire:**

7 53. Submit a copy of as-built plans on a CD for all projects on the job site. A site plan
8 indicating the fire access and hydrant locations must also be submitted on CD Rom.

9 54. A minimum fire flow of 3,000 gallons per minute shall be provided.

10 55. The size of fire hydrant outlets shall be 2 ½ "X 2 ½ " X 4".

11 56. The fire hydrants shall be installed and tested prior to placing any combustible materials
12 on the job site.

13 57. Provide on-site hydrants and mains capable of supplying the required fire flow.

14 58. The developer shall supply the Fire Department with updated map and hydrant locations
15 in a digital format compatible with the Fire Department's mapping program upon
16 approval of final improvements plans.

17 59. Blue hydrant identification markers shall be placed as per Oceanside's Engineers Design
18 and Processing Manual Standard Drawing No. M-13.

19 60. All weather access roads shall be installed and made serviceable prior to and maintained
20 during time of construction.

21 61. A "Knox" key storage box shall be provided for all new construction.

22 62. Fire extinguishers are required and shall be included on the plans submitted for plan
23 check.

24 63. An approved fire sprinkler system must be installed throughout the building. The
25 system shall be designed per N.F.P.A. 13, and U.B.C. Standard 9-1. The sprinkler
26 system requires 24-hour supervision.

27 64. In accordance with the Oceanside Fire Code Section 505, approved addresses for
28 commercial, industrial, and residential occupancies shall be placed on the structure in
29 such a position as to be plainly visible and legible from the street or roadway fronting
the property. Numbers shall be contrasting with their background and meet the current
City of Oceanside size and design standard.

- 1 65. Single-family dwellings require four-inch address numbers. Commercial buildings and
2 multi-family dwellings require six-inch address numbers. Industrial buildings require
3 12-inch address numbers. Minimum specifications are set forth in Oceanside Fire Code
4 Section 505.1, and the Fire Marshal may establish other requirements as deemed
5 necessary.
- 6 66. Plans shall be submitted to the Fire Prevention Bureau for plan check review and
7 approval prior to the issuance of building permits.
- 8 67. Provide a horn strobe device on the exterior of the building to be activated by fire
9 sprinkler water flow.
- 10 68. Show duct detectors on the fire alarm plans.
- 11 69. Any new development that necessitates updating of emergency response maps by virtue
12 of new structures, hydrants, roadways or similar features, shall be required to provide
13 map updates in a format (PDF, GIS and/or CAD) as approved by the FAHJ or
14 compatible with current department mapping services. The Fire Department is
15 authorized to charge a reasonable fee for updating all response maps.
- 16 70. All water mains which support fire hydrants shall be looped as required by City of
17 Oceanside Engineer's Manual.

18 **Planning:**

- 19 71. The Development Plan shall expire on May 4, 2012, unless implemented in accordance
20 with the City of Oceanside Zoning Ordinance or unless a time extension is granted by the
21 Planning Commission.
- 22 72. This Development Plan (D-14-08) approves only one building totaling 56,700 square feet,
23 office building with a 4,000 square feet of the building being devoted to banking , and
24 parking lots as depicted on the plans and exhibits presented to the Planning Commission for
25 review and approval. No deviation from these approved plans and exhibits shall occur
26 without City Planner or Planning Commission approval. Substantial deviations shall
27 require a revision to the Development Plan or a new Development Plan.
- 28 73. The applicant, permittee or any successor-in-interest shall defend, indemnify and hold
29 harmless the City of Oceanside, its agents, officers or employees from any claim, action or
proceeding against the City, its agents, officers, or employees to attack, set aside, void or
annul an approval of the City, concerning Development Plan D-14-08. The City will

1 promptly notify the applicant of any such claim, action or proceeding against the City
2 and will cooperate fully in the defense. If the City fails to promptly notify the applicant
3 of any such claim action or proceeding or fails to cooperate fully in the defense, the
4 applicant shall not, thereafter, be responsible to defend, indemnify or hold harmless the
5 City.

6 74. All mechanical rooftop and ground equipment shall be screened from public view as
7 required by the Zoning Ordinance. The roof jacks, mechanical equipment, screen and
8 vents shall be painted with non-reflective paint to match the roof. This information shall be
9 shown on the building plans.

10 75. A letter of clearance from the affected school district in which the property is located
11 shall be provided as required by City policy at the time building permits are issued.

12 76. Space Allocation: OCC 13.39, the requirement to designate adequate space for the
13 storage of solid waste and recycling containers on private property to include
14 appropriate bin enclosures to adequately provide for trash, green waste and other
recycling containers.

15 77. Recycling Services: OCC 13.16(h), the requirement to separate all recyclable material
16 from solid waste for separate collection.

17 78. Green Waste Services: The separation of all green waste from solid waste using the
18 approved city collection service and the collection of the material in compliance with
19 standards as identified in the city code.

20 79. A covenant or other recordable document approved by the City Attorney shall be prepared
21 by the developer and recorded prior to issuance of building permits. The covenant shall
22 provide that the property is subject to this resolution, and shall generally list the conditions
23 of approval.

24 80. Prior to the issuance of building permits, compliance with the applicable provisions of the
25 City's anti-graffiti (Ordinance No. 93-19/Section 20.25 of the City Code) shall be reviewed
26 and approved by the Planning Division. These requirements, including the obligation to
27 remove or cover with matching paint all graffiti within 24 hours, shall be noted on the
28 Landscape Plan and shall be recorded in the form of a covenant affecting the subject
29 property.

- 1 81. Prior to the transfer of ownership and/or operation of the site the owner shall provide a
2 written copy of the applications, staff report and resolutions for the project to the new
3 owner and or operator. This notification's provision shall run with the life of the project
4 and shall be recorded as a covenant on the property.
- 5 82. Failure to meet any conditions of approval for this development shall constitute a violation
6 of the Development Plan and Conditional Use Permit.
- 7 83. Unless expressly waived, all current zoning standards and City ordinances and policies in
8 effect at the time building permits are issued are required to be met by this project. The
9 approval of this project constitutes the applicant's agreement with all statements in the
10 Description and Justification Plan and other materials and information submitted with this
11 application, unless specifically waived by an adopted condition of approval.
- 12 84. The applicant, tenants, or successors in interest shall comply with the City's business
13 license requirements as necessary.
- 14 85. Elevations, siding materials, colors, roofing materials and floor plans shall be
15 substantially the same as those approved by the Planning Commission. These shall be
16 shown on plans submitted to the Building Division and Planning Division for permit
17 plan check, and prior to issuance of any building permit.

17 **Water Utilities:**

- 18 86. The developer will be responsible for developing all water and sewer utilities necessary to
19 develop the property. Any relocation of water and/or sewer utilities is the responsibility of
20 the developer and shall be done by an approved licensed contractor at the developer's
21 expense.
- 22 87. The property owner shall maintain private water and wastewater utilities located on private
23 property.
- 24 88. All Water and Wastewater construction shall conform to the most recent edition of the
25 Water, Sewer, and Reclaimed Water Design and Construction Manual or as approved by
26 the Water Utilities Director.
- 27 89. All public water and/or sewer facilities not located within the public right-of-way shall be
28 provided with easements sized according to the Water, Sewer, and Reclaimed Water
29 Design and Construction Manual. Easements shall be constructed for all weather access.

1 90. No trees, structures or building overhang shall be located within any water or wastewater
2 utility easement.

3 91. All lots with a finish pad elevation located below the elevation of the next upstream
4 manhole cover of the public sewer shall be protected from backflow of sewage by installing
5 and maintaining an approved type backwater valve, per the Uniform Plumbing Code
6 (U.P.C.).

7 92. A separate irrigation meter and approved backflow prevention device is required and shall
8 be displayed on the plans.

9 93. An Inspection Manhole, described by the Water, Sewer, and Reclaimed Water Design and
10 Construction Manual, shall be installed in each building sewer lateral and the location shall
11 be called out on the approved Improvement Plans.

12 94. Water and Wastewater Buy-in fees and the San Diego County Water Authority Fees are to
13 be paid to the City and collected by the Water Utilities Department at the time of Building
14 Permit issuance.

15 PASSED AND ADOPTED Resolution No. 2009-P20 on May, 4 2009 by the following
16 vote, to wit:

17 AYES:

18 NAYS:

19 ABSENT:

20 ABSTAIN:

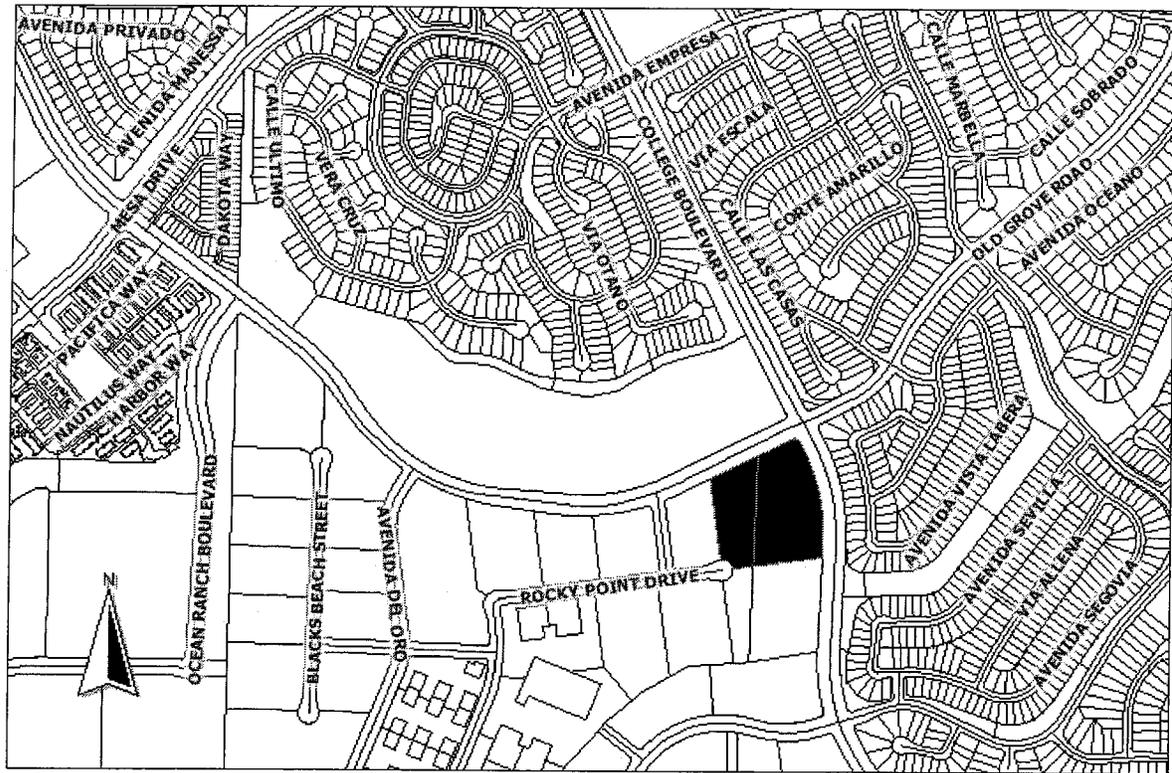
21 _____
22 Claudia Troisi, Chairperson
23 Oceanside Planning Commission

24 ATTEST:

25 _____
26 Jerry Hittleman, Secretary

27 I, JERRY HITTLEMAN, Secretary of the Oceanside Planning Commission, hereby certify that
28 this is a true and correct copy of Resolution No. 2009-P20.

29 Dated: May 4, 2009



File Number: D-14-08

Applicant: Pacific Marine Credit Union

Description:

DEVELOPMENT PLAN (D-14-08) to permit the development of a 56,700-square foot office building with 4,000 square feet of the building be devoted to banking located on the south west corner of Old Grove Road and College Boulevard. The project site is zoned PD-1 (Rancho Del Oro Planned Unit Development) and is situated within the Ivey Ranch Rancho Del Oro Neighborhood. – **PACIFIC MARINE CREDIT UNION**

Environmental Determination:

The project is exempt from the California Environmental Quality Act.

City of Oceanside, Planning Division
300 N. Coast Highway
Oceanside, CA 92054 (760) 435-3520

Pacific Marine Credit Union @ Lot 25



Application for Public Hearing

Community Development Department / Planning Division
 (760) 435-3520
 Oceanside Civic Center 300 North Coast Highway
 Oceanside, California 92054-2885

Received
 DEC 23 2008
 Planning Division

STAFF USE ONLY

ACCEPTED	BY
12/23/08 Received	SK
DEC 23 2008	
Planning Division	

Please Print or Type All Information

PART I - APPLICANT INFORMATION

1. APPLICANT Pacific Marine Credit Union	2. STATUS Owner
3. ADDRESS P.O. Box 555325 Camp Pendleton, CA 92055	4. PHONE/FAX/E-mail 760-430-7511
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing) BHA, Inc. (Mike Smith)	
6. ADDRESS 5115 Avenida Encinas #L, Carlsbad, CA 92008-4387	7. PHONE/FAX/E-mail 760-931-8700

HEARING
GPA
MASTER/SP.PLAN
ZONE CH.
TENT. MAP
PAR. MAP
DEV. PL. D-14-08
C.U.P.
VARIANCE
COASTAL
O.H.P.A.C.

PART II - PROPERTY DESCRIPTION

8. LOCATION Rocky Point Drive and Trestle Street		
10. GENERAL PLAN	11. ZONING	12. LAND USE Vacant

9. SIZE 6.49
13. ASSESSOR'S PARCEL NUMBER 161-512-35

PART III - PROJECT DESCRIPTION

REV - 2/17/09

14. GENERAL PROJECT DESCRIPTION

15. PROPOSED GENERAL PLAN N/A	16. PROPOSED ZONING n/A	17. PROPOSED LAND USE Office	18. NO. UNITS N/A	19. DENSITY N/A
20. BUILDING SIZE	21. PARKING SPACES	22. % LANDSCAPE	23. % LOT COVERAGE or FAR	

PART IV - ATTACHMENTS

<input checked="" type="checkbox"/> 24. DESCRIPTION/JUSTIFICATION	<input checked="" type="checkbox"/> 25. LEGAL DESCRIPTION	<input checked="" type="checkbox"/> 26. TITLE REPORT
<input checked="" type="checkbox"/> 27. NOTIFICATION MAP & LABELS	<input checked="" type="checkbox"/> 28. ENVIRONMENTAL INFO FORM	<input checked="" type="checkbox"/> 29. PLOT PLANS
<input checked="" type="checkbox"/> 30. FLOOR PLANS AND ELEVATIONS	<input checked="" type="checkbox"/> 31. CERTIFICATION OF POSTING	<input checked="" type="checkbox"/> 32. OTHER (See attachment for required reports)

PART V - SIGNATURES

33. APPLICANT OR REPRESENTATIVE (Print): David L. Davis	34. DATE 12-18-08	SIGNATURES OF ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).
Sign: David L. Davis	35. OWNER (Print) David L. Davis	
I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.		36. DATE 12-18-08
		Sign: David L. Davis

SCOTT

**PACIFIC MARINE CREDIT UNION
SITE DEVELOPMENT PLAN
PACIFIC COAST BUSINESS PARK PARCEL 25**

**DESCRIPTION AND JUSTIFICATION
DECEMBER 11, 2008**

Received
DEC 23 2008
Planning Division

Pacific Marine Credit Union is proposing the development of Parcel 25 of the Pacific Coast Business Park. Pacific Coast Business Park is part of the industrially designated area within the central portion of the City of Oceanside, and encompasses 127.39 acres located west of College Boulevard and south of Old Grove Road. The property is located within the Rancho Del Oro Specific Plan, in the area referred to as Industrial Unit 2, and is adjacent to the north of the original Rancho Del Oro Technology Park. The Ocean Ranch industrial development is adjacent to the west.

This application is for a Site Development Plan for a 56,700 square foot office building for Pacific Marine Credit Union. 4,000 square feet of the building will be devoted to banking. Parcel 25 is 6.49 acres in size and is located off of Rocky Point Drive cul-de-sac. Parcel 25 backs onto Old Grove Road and College Boulevard.

The building pad and all of the necessary infrastructure has been constructed. The finish grade of the building will be at grade with the intersection of Old Grove Road and College Boulevard.

Development Plan

The proposed project is a 56,700 square foot office building that will house the corporate offices of Pacific Marine Credit Union. There will be minimal grading to prepare the site for building construction. Approximately 1,550 cubic yards of grading will occur. The building coverage is only ten percent (10%) of the site.

Architecture

The proposed design is a contemporary architectural style associated with Class A office buildings. The building is two (2) stories and will be LEEDS certified. The building will be concrete tilt-ups with formed in architectural relief. The main portion or entry area on the ground floor will have stone veneer while the remainder of the building will be painted. Both the stone veneer and the paint will be earth tones. Blue storefront glazing will be used throughout the building. The entries will be predominately glass with a more transparent look and a different height than the overall building. All of the glass will have horizontal elements to add relief, shades and shadows for depth.

Landscape Concept Plan

The proposed landscaping will compliment the site layout and architectural design. Landscaping is located along the site perimeters, and throughout the parking lot, with accent plantings adjacent to the proposed building. As designed, fifty percent (50%) of the site will be landscaped, which exceeds the required minimum of fifteen percent (15%) landscaping on site.

The slopes surrounding the site are being established with the mass grading of the entire business park. The slopes have been planted with a variety of trees, small shrubs, and groundcovers, providing expanded setbacks and visual separation from the streets. Trees have been placed throughout the parking lot areas. Shrubs and groundcovers have been included adjacent to all of the building fronts, complementing the architecture and softening the lines and mass of the buildings.

There is one (1) outdoor employee area provided with tables and trash receptacles.

Irrigation

The project is attempting to reduce irrigation water usage fifty percent (50%) below baseline.

Circulation

There is a 30-foot-wide driveway off Rocky Point to access the proposed project. Access is looped on site with using a 28 feet wide drive aisle for fire access.

Parking

The project exceeds minimum parking requirements. A total of 1 parking space per 250 square feet is required for the banking facility and 1 parking space per 300 square feet for the office use. As proposed, the project provides a total of 268 parking spaces, with eight (8) spaces designated for disabled parking. Additionally, there will be three (3) parking spaces dedicated to the ATM.

Justification

The proposed project will provide an attractive and useful facility to the community. It will not only comply, but exceed required development regulations and therefore not requesting deviations from the City's established standards. Project benefits include:

1. Providing parking in excess of the amount required.
2. A building design with a 32 foot high building, when a maximum of 80 foot building height is permitted.
3. Fifty percent (50%) of landscaping when only fifteen percent (15%) is required.

4. A lower lot coverage of ten percent (10%), when seventy five percent (75%) is the permitted maximum lot coverage.
5. Minimum building setbacks of 25 feet from Old Grove Road when 15 feet is required.
6. Minimum building set back of 73 feet from College Boulevard when 15 feet is required.
7. Minimum building setbacks of 400 feet from Rocky Point Drive when 10 feet is required.

LEGAL DESCRIPTION

Parcel 25 of Parcel Map no. 20306, in the City of Oceanside, County of San Diego, State of California, according to map thereof filed in the office of the County Recorder of San Diego County July 24, 2007 as File No. 2007-0494309, Official Records and amended by Certificate Of Correction recorded June 20, 2008 as File No. 2008-0333755, Official Records.

Assessor's Parcel Number: 161-512-35

The underlying tax parcel numbers are 161-512-06 and 161-512-09

Received
DEC 23 2008
Planning Division

END OF LEGAL DESCRIPTION