



DATE: May 5, 2008 (Continued from the April 7, 2008 Planning Commission meeting)

TO: Chairman and Members of the Planning Commission

FROM: Development Services Department/Planning Division

SUBJECT: **CONSIDERATION OF CONDITIONAL USE PERMITS (C-33-06, C-34-06, C-35-06 AND C-57-06) FOR THE CONSTRUCTION OF A JOINT-USE COMMUNICATION FACILITY AND CONSTRUCTION ABOVE THE HEIGHT LIMIT. THE PROJECT SITE IS ZONED OS-SP (OPEN SPACE-SCENIC PARK) AND IS SITUATED WITHIN THE GUAJOME NEIGHBORHOOD. – GUAJOME REGIONAL PARK COMMUNICATION FACILITY MASTER PLAN – APPLICANT: VERIZON WIRELESS, SPRINT-NEXTEL AND CINGULAR WIRELESS**

RECOMMENDATION

Staff recommends that the Planning Commission by motion

- (1) Confirm issuance of a categorical exemption, pursuant to Class 3 “New construction or conversion of small structures” Section 15303 of the California Environmental Quality Act.
- (2) Adopt Planning Commission Resolution No. 2008-P27 approving Conditional Use Permits (C-33-06, C-34-06, C-35-06 and C-57-06) with findings and conditions of approval attached herein.

PROJECT DESCRIPTION AND BACKGROUND

Background: On August 4, 2006, Cingular and Sprint-Nextel submitted an application for a co-user communication facility within Guajome Regional Park. This application was eventually expanded to a joint-use communication facility application (C-33-06, C-34-06, C-35-06 and C-57-06). Submittals in response to staff’s comments were received on February 26, 2007; May 22, 2007; and January 3, 2008. The application was deemed complete on February 3, 2008 and scheduled for the April 7, 2008 Planning Commission Meeting. At the request of the applicants, this item was continued to the May 5, 2008 Planning Commission Meeting.

On August 28, 2006, the Planning Commission adopted Resolution 2006-P48 and denied without prejudice Verizon Wireless' (different applicant) application for a conditional use permit (C-26-04) to operate a stand-alone communication facility within Guajome Regional Park. The findings are that Verizon Wireless' proposal C-26-04 had not demonstrated a good-faith effort to cooperate with other communication service providers in the operation of a co-user communication facility; that the proposal did not sufficiently screen the antennas or provide suitable site-specific design; and the proposal is not compatible with the open space nature of Guajome Regional Park. Following Planning Commission's action in August of 2006, Verizon became a co-applicant with Cingular and Sprint-Nextel and have worked closely with City and County Staff to resolve all these issues and present a plan acceptable to all parties.

Site Review: The site is located adjacent to the northeastern entrance to Guajome Regional Park, 3000 Guajome Lake Road. The property owner is the County of San Diego. The primary land use at the site is 440.P *Park and recreation facilities*. Guajome Regional Park is approximately 400 acres and provides a variety of recreational activities, including camping, hiking, and equine trails.

Land uses associated with the operation of a public park (for example, camping and trails) on county lands are beyond the City of Oceanside's sphere of influence. Whereas, the operation of commercial land uses (i.e. communication facilities) are regulated locally. The County of San Diego Department of General Services leases a portion of land within the Guajome Regional Park to communication service providers. The development of communication facilities within the park requires a conditional use permit approved by the City of Oceanside.

The proposed location for the communication facilities is south of the park's entry bollards, lake, and interior entry roadway. The proposed equipment shelter will be situated along a low rising slope south of the lake and adjacent to the existing park maintenance area. The attached site plans indicate the location of the equipment shelter, faux trees, pathway, landscaping, and amphitheater.

Project Description: The project application is comprised of four conditional use permits for the construction, operation, and maintenance of a joint-use communication facility.

Conditional Use Permit C-33-06 represents a request for the following:

- (a) To permit the construction of a Stand-Alone Communication Facility consisting of three faux broad leaf trees having varied heights, a single equipment shelter, and landscaping pursuant to Section 3025.D.

Conditional Use Permit C-34-06 represents a request for the following:

- (a) To permit the construction and operation of Co-User Communication Facilities with a capacity of 36 panel antennas pursuant to Section 3025.D.4.

Conditional Use Permit C-35-06 represents a request for the following:

- (a) To permit the construction and operation of Co-User Communication Facilities with a capacity of 36 additional panel antennas pursuant to Section 3025.D.4.

Conditional Use Permit C-57-06 represents a request for the following:

- (a) To permit an exception to height limits pursuant to Section 3018.A.

The applicants (Cingular, Sprint-Nextel, and Verizon) and the County of San Diego Department of Parks and Recreation and Department of General Services are requesting the construction of a joint-use communication facility located within Guajome Regional Park.

This proposal includes joint-use of three faux broad leaf trees that disguise 72 panel antennas and joint-use of a consolidated equipment shelter by the communication services providers. Each faux tree has a capacity of two service providers each operating a maximum of 12 antennas. The antennas are between four and six feet in length.

All of the service providers will share one equipment shelter that is approximately 2,000 square feet in area. The applicants (Cingular, Sprint-Nextel, and Verizon) will provide communication services upon the completion of site construction. Future service providers shall operate under the adopted conditions and shall obtain a building permit prior to installing equipment at this site.

The joint-use communication facility will implement three techniques to obscure the antennas from public view. These techniques address the appearance of the entire site and minimize view impacts to the community. Techniques include site landscaping, architectural treatments, and mimicking the surrounding landscape. Examples include construction of an amphitheater, an equipment shelter clad with neutral colored stucco and stone veneer, and planting several native trees in proximity to the proposed three faux trees.

The project is subject to the following Laws, Ordinances, and City Policies:

1. General Plan Land Use Element
2. Zoning Ordinance
3. State of California Government Codes
4. California Environmental Quality Act

ANALYSIS

KEY PLANNING ISSUES

1. General Plan conformance

The General Plan Land Use Map designation for the subject property is Open Space (OS). The underlying land use, 440.P *Park and recreation facilities*, and the proposed project, a joint-use communication facility, is consistent with this designation and the goals and objectives of the City's General Plan as follows:

A. Land Use Element I. Community Enhancement

Goal: The consistent, significant, long term preservation and improvement of the environment, values, aesthetics, character and image of Oceanside as a safe, attractive, desirable and well-balanced community.

Objective 1.22 Landscaping: The enhancement of community and neighborhood identity through landscaping requirements that frame and soften the built environment consistent with water and energy conservation.

Policies:

- A. Existing mature trees shall be retained wherever possible.
- B. Mature trees removed for development shall be mitigated by replacement with an appropriate type, size, and number of trees.

The applicants do not propose to remove existing mature trees.

Notably, the proposed joint-use facility is designed to blend with its surroundings which include native plants and mature trees having heights between thirty and eighty feet.

The project has been specifically conditioned to address the potential loss of existing mature trees by requiring that they be replaced with an appropriate type, size, and number of trees. The schedule of replacement will be in conformance with City Policies and be completed to the satisfaction of the County of San Diego Department of Parks and Recreation and the City Engineer.

Objective 1.3 Special Management Areas: To provide special management of sensitive historical, cultural, recreational, and environmental areas and areas with unique planning considerations within the City.

Objective 1.37 Guajome Regional Park Sphere of Influence: To protect the valuable natural and cultural resources of Guajome Regional Park by insuring that future

development in areas adjacent to or visible from Guajome Regional Park will be compatible with its recreation and scenic areas.

Policies:

- A. The City shall recognize the sphere of influence boundary line established by the Cities of Oceanside and Vista, the Board of Supervisors of San Diego County and the Guajome Regional Park Area Planning and Coordinating Committee.
- B. The City shall solicit the Guajome Regional Park Area Planning and Coordinating Committee for comments and recommendations on proposed projects within the Guajome Regional Park Sphere of Influence during the development review process.
- C. Proposed projects within the Guajome Regional Park Sphere of Influence shall be subject to the following objectives and policies:

Objective: To ensure that structures shall be visually compatible with the open space nature of Guajome Regional Park.

Policies:

- D. Building exteriors shall have textured surfaces and extensive use of natural building materials for accents and treatments.
- E. The colors of exterior surfaces of structures shall be tones compatible with the surrounding landscape and not bright, glossy, or otherwise visually out of character with the natural setting.
- F. Structures shall not be permitted on slopes abutting Guajome Regional Park.
- G. Deep landscaped setbacks shall be maintained on yards abutting Guajome Regional Park and those abutting rights of way which border the park.
- H. Structures shall be oriented to preserve views from Guajome Regional Park, the development, and surrounding properties.

Objective: To ensure that property altered by development remains compatible with the environment of Guajome Regional Park.

Policies:

- I. Cut slopes visible from Guajome Regional Park shall be revegetated with a mixture of drought-tolerant and native plant species.
- J. Properties abutting Guajome Regional Park shall provide a transition area between landscaped areas and natural vegetation.

- K. Vegetation clearance shall only be conducted immediately prior to grading and replanting shall commence immediately afterward.
- L. Developments shall integrate features such as landscaping, open areas, and pathways with those of Guajome Regional Park while also establishing a clear demarcation between public and private property.

The City of Oceanside recognizes the sphere of influence boundary line established by the Cities of Oceanside and Vista, the Board of Supervisors of San Diego County and the Guajome Regional Park Area Planning and Coordinating Committee. The City Attorney's Office agrees with the County of San Diego Attorney's Office that a Communication Facility land use is subject to local codes, ordinances, and regulations. As such, conditional use permit (C-33-06, C-34-06, C-35-06 and C-57-06 and others) applications have been filed with the City of Oceanside.

This application has been conditioned to comply with General Plan Objectives 1.37.C. For example: (D) the proposed equipment shelter's exterior includes textured surfaces and extensive use of natural building materials for accents and treatments. The structure will be finished with colored-stucco, rough-sawn wood beams, and have a partial stone veneer. (E) The colors of the exterior surfaces of the structures shall be tones compatible with the surrounding landscape and not bright, glossy, or otherwise visually out of character with the natural setting. (F) The equipment shelter and communication facility structures will be located on slopes within Guajome Regional Park, but the slopes are shallow. (G) Extensive landscaping on lands surrounding the proposed communication facility is proposed. (H) The proposed equipment shelter is low-lying (having a maximum height of 15 feet) and situated to preserve views within the Park. The communication facility structures are designed to blend with the surrounding natural landscape. As such, the appearance of the facilities should not detract from the views of natural lands.

Every effort has been extended by the applicants to ensure that the property altered by the construction of the joint-use communication facility remains compatible with the underlying use of Guajome Regional Park. (I) Cut slopes shall be limited and revegetated with a mixture of drought-tolerant and native plant species like Oaks and California Lilacs. (J) The conceptual landscape plan fosters a transition between the natural vegetation, the primary uses within the park, and the proposed plantings that visually blend the communication facility structures within the area. (K) By condition, vegetation clearance shall only be conducted immediately prior to grading and replanting shall commence immediately afterward. (L) The proposal integrates such features as landscaping, open areas, pathways, and an amphitheater within the public areas of Guajome Regional Park.

B. Land Use Element II. Community Development

Goal: The continual long term enhancement of the community through the development and use of land which is appropriate and orderly with respect to type, location, timing, and intensity.

Objective 2.726 Communication Systems: To provide for the efficient and aesthetic functioning of communication systems within the City.

Policies:

- A. The City shall encourage planning for the future communication system needs of individual land developments or uses and the City in general.
- B. Communication facilities shall be required to conform visually with surrounding land uses and/or natural features.
- C. The City shall require the consolidation and joint-use of communication facilities and structures whenever possible.

The proposed joint-use communication facility complies with General Plan Community Development Goals by considering the efficient and aesthetic function of communication systems within the City. For example, the proposed joint-use communication facility is not limited to the service proposed by the three applicants. Rather, the proposal anticipates future demand for service from this location and requires the design to accommodate up to six different service providers with antennas distributed across three different communication facility structures (faux broadleaf trees) and sharing the use of one equipment shelter.

The design of the joint-use communication facility specifically considers the surrounding land use, a public park, and its natural features. The proposal visually conforms to the surrounding area because the faux broad leaf trees are similar in height to mature eucalyptus trees (between 30 and 80 feet in height). The proposal also includes the planting of native trees and shrubs, and the construction of an amphitheater. The proposed 24-inch box Coastal Live Oaks (*Quercus agrifolia*) and California Lilacs (*Ceanothus*) will further blend the three faux broadleaf trees into their surroundings. Finally, the proposal visually conforms to the surrounding park and recreational facilities because opportunities to congregate at the amphitheater enhance the use of a public park and optimizes the park's natural features.

The County of San Diego Department of Parks and Recreation and Department of General Services are pleased to support the applicants' proposal.

2. Zoning Ordinance Compliance

The project is located in the Open Space Scenic Park Overlay Districts (OS-SP) and complies with the requirements of Articles 15, 22, 30, 41 and 43.

Pursuant to Article 15 Open Space District, *Communication Facility* land use is permitted within the OS District with an approved use permit. The proposal complies with Article 15, because development regulations for the communication facility shall be as specified by the use permit.

Pursuant to Article 22 Scenic Park Overlay District, the land use and development regulations shall be those of the base district (which is Open Space) with which the SP district is combined. There are eight development regulations identified by Section 2204 of the Zoning Ordinance. These are reviewed in Table 1. The application has been designed and conditioned to comply with Article 22.

Table 1. Compares the proposed development to Section 2204 Development Regulations

Requirement	Proposal
A. General: compatibility with the surrounding area	The project has been designed to be compatible with the surrounding land use, topography, vegetation, and colors of the natural environment.
B. Grading limitations: minimize alterations to the natural landscape	The project has been designed to minimize alterations to the natural contours of land. Land altered by grading shall be planted with <i>Quercus agrifolia</i> and <i>Ceanothus</i>
C. View preservation: protect public reviews	The proposed improvements have been designed to blend with the surrounding landscape and underlying land use. The equipment shelter is low-lying and has a maximum elevation of 15-feet.
D. Building height: 25-feet maximum	The applicants have requested a use permit to exceed the base district height and propose two communication facilities with heights of 59-feet and 63-feet.
E. Building materials and finishes: use of natural materials and colors	The project has been specifically conditioned to comply with this regulation.
F. Parking and loading: orientation of on-site parking	Standard is not applicable to the proposed project.
G. Utilities: undergrounding of overhead utilities	Standard is not applicable to the proposed project.
H. Signs: Subject to Article 33	The project does not propose the use of signs.

The proposed joint-use communication facility has been designed to satisfy the requirements of the Open Space Scenic Park Overlay Districts (OS-SP). The proposal includes materials and colors that are visible within Guajome Regional Park. For example, the application of a stone veneer similar to the river rocks found on the two entry bollards of Guajome Regional Park. The proposal includes construction of an amphitheater; this project aspect is compatible with the primary land use of the site.

Pursuant to Section 3108 Exceptions to Height Limits, a structure may exceed the district height limit by 10 feet and a use permit may be approved for features extending more than 10 feet above the base district height limit. The applicants request that two of the faux tree disguises be constructed above the limitation of 35 feet. The proposal recommends a maximum height of 59 feet and 63 feet, and that the heights of each faux tree vary. (The proposed top of the antennas are six feet or more below the faux canopy.)

The existing mature trees within Guajome Regional Park and proposed site enhancements provide suitable examples of proportion and scale. Staff finds the proposed heights complementary to park's existing trees.

The applicants propose a capacity of two service providers on each of the three faux broad leaf trees. When stacking two antenna arrays on a structure, the lower array is typically installed at elevations between 35 and 45 feet. The upper and lower antenna arrays are typically separated by four to 12 feet. Intuitively, an upper antenna array would be installed at an elevation similar to that which is proposed by the applicants. Staff finds the request for additional height suitable for the type of development proposed. Staff finds that the existing stand-alone communication facilities in the park have an average overall height of 42 feet. These two faux palm tree disguises were designed with a capacity of a single user.

Pursuant to Section 3025 Reception Antennas and Communication Facilities, this application for a joint-use communication facility complies with local regulation of communication facilities. Communication facilities may be installed and operated within any zoning district subject to the categorical standards and process that are enumerated in Table 2.

Table 2. Compares the proposed development to Section 3025.D.3 and 3025.D.4

Requirement	Proposal
3025.D.3 Stand-Alone Communication Facilities. Shall be approved through a public hearing process pursuant to Article 41 and subject to subsection 3025.D.4	An application has been filed and recommended for the Planning Commission's consideration
3025.D.4 A Use permit term is limited	A ten-year term complies with State Codes
3025.D.4.B Requires reports within one-year of facility operation	A recommended condition of project approval
3025.D.4.C Reduction in the visual presence of the approved antenna and facility equipment	The proposal includes design features to blend the antennas and facility with the surrounding environs and underlying land use, including a broad leaf tree disguise, siting the facility in proximity to other tall trees and native landscaping, constructing an amphitheater, and limiting the height of the equipment shelter.
3025.D.4.D Cooperate with other communication providers	A joint-use communication facility satisfies this requirement.

Requirement	Proposal
3025.D.3 Stand-Alone Communication Facilities. Shall be approved though a public hearing process pursuant to Article 41 and subject to subjection 3025.D.4	An application has been filed and recommended for the Planning Commission's consideration
3025.D.4.F Address the appearance of the entire site	The proposal components address the land use and appearance of Guajome Regional Park. The applicants propose native plants, a public area to congregate, and disguising the joint-use facility as trees having heights similar to mature trees on-site.

As demonstrated in Table 2, the applicants' proposal satisfies categorical standards for the construction, operation, and maintenance of a joint-use communication facility situated within Guajome Regional Park. Each of the three faux broad leaf trees has a capacity of 24 panel antennas (between four and six feet in length). Staff anticipates that the applicants will construct two of the three faux trees. The third faux tree will be constructed when additional service providers seek opportunities to broadcast from this location.

A maximum of 12 GPS antennas shall be allowed and they shall be located within the equipment shelter. Dish (parabolic) antennas are prohibited.

The project is specifically conditioned to satisfy Section 3025.D.4.F prior to the installation of the faux trees and panel antennas. The applicants are required to address the appearance of the entire site (site landscaping, architectural treatments, amphitheater) before installing the communication equipment (faux trees, antennas). The recommended conditions are written to be flexible and allow the applicants to present to the City Planner a modified construction schedule. With limitations, this could allow large equipment on-site prior to planting (i.e. cement pours for the caissons or building pad).

Pursuant to Article 41 Use Permits and Variances, the applicants have suitably filed materials with the Planning Division for consideration of their conditional use permit application. The proposal has been specifically conditioned for compliance with this article. Staff has prepared findings for the Planning Commission's consideration.

Pursuant to Article 43 Development Plan Review, the applicants have suitably filed materials with the Planning Division for consideration of their proposal. Previously, the Planning Director found that the requirements of Section 3025 *Reception antennas and communication facilities* satisfy requirements for a development plan review pursuant to Articles 15 and 22. This is substantiated by Planning Commission Resolutions 2001-P03 and 2003-P04 that previously approved communication facilities at this site without a development plan application.

Please note that the construction of the proposed joint-use communication facility is subject to Section 4308 *Effective date; lapse of approvals; time extensions; changed*

plans. This allows the applicants to phase the installation of the faux broad leaf trees and the co-user communication equipment. These provisions are especially useful since the three applicants will occupy fifty-percent of the facility's capacity.

3. State of California Government Code 65850

California State Government Code 65850.6(b) states that a city shall not unreasonably limit the permitting term for collocating communication facilities. Limits of less than 10 years are presumed to be unreasonable absent public safety reasons or substantial land use reasons. Therefore, a 10-year term is a recommended condition of approval.

DISCUSSION

Issue: Site landscaping and amphitheater enhance the appearance of the site.

Recommendation: When the Planning Commission denied without prejudice Verizon Wireless' C-26-04 application, they indicated a preference that future communication facilities in the park be designed as a co-use, where the primarily land use was strongly associated with a public activity. After C-26-04 Verizon Wireless' application was denied without prejudice, Commissioner's Balma and Beach meet with staff, Greg Locke, and Jake Enriquez (County of San Diego staff members) at the project site. Incorporating a communication facility with the design of an amphitheater was discussed. Subsequently, the applicants proposed three different facility designs where the facility was secondary to an amphitheater activity area.

Issue: The proposed equipment shelter has 2,000 square feet of floor area.

Recommendation: The proposed equipment shelter is intended to house the equipment for six different service providers. Equipment includes CPUs, HVAC, generators, GPS antennas, and cables. The proposed exterior finish details for the structure include stone veneer, neutral colored stucco, and rough sawn wood that provide a suitable appearance for a large structure. The building's architecture will compliment its surroundings and satisfies the requirements of Article 22.

ENVIRONMENTAL DETERMINATION

The proposed project is categorically exempt pursuant to Class 3, New Construction or Conversion of Small Structures, Section 15303 of the California Environmental Quality Act. Class 3 consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures, and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure.

PUBLIC NOTIFICATION

Legal notice was published in the North County Times and notices were sent to property owners of record within a 1,500-foot radius of the subject property, individuals and or organizations requesting notification, applicant and other interested parties. As of April 30, 2008, staff received one telephone call regarding this application. The interested party did not indicate whether they supported the application.

SUMMARY

The proposed Conditional Use Permits C-33-06, C-34-06, C-35-06 and C-57-06, as conditioned, are consistent with the land use policies of the General Plan, the requirements of the Zoning Ordinance and State Government Codes. The project has been conditioned to meet or exceed all applicable land use and development standards. As such, staff recommends that the Planning Commission approve the project based on the findings and subject to the conditions contained in the attached Resolution. Staff recommends that the Planning Commission:

- Adopt Planning Commission Resolution No. 2008-P27 approving Conditional Use Permits (C-33-06, C-34-06, C-35-06 and C-57-06) with findings and conditions of approval attached herein.

PREPARED BY:

SUBMITTED BY:


Juliana von Hacht
Associate Planner


Jerry Hittleman
City Planner

REVIEWED BY: 
Richard Greenbauer, Senior Planner

JH/JH/fil

Attachments:

1. Site Plan and Elevations
2. Planning Commission Resolution No. 2008-P27

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PREPARED FOR
Sprint
TYPEFACE: HELVETICA
5761 COPLEY DRIVE, SUITE 100
SAN DIEGO, CA 92111

x cingular
WIRELESS
6925 LISK BOULEVARD
SAN DIEGO, CA 92121

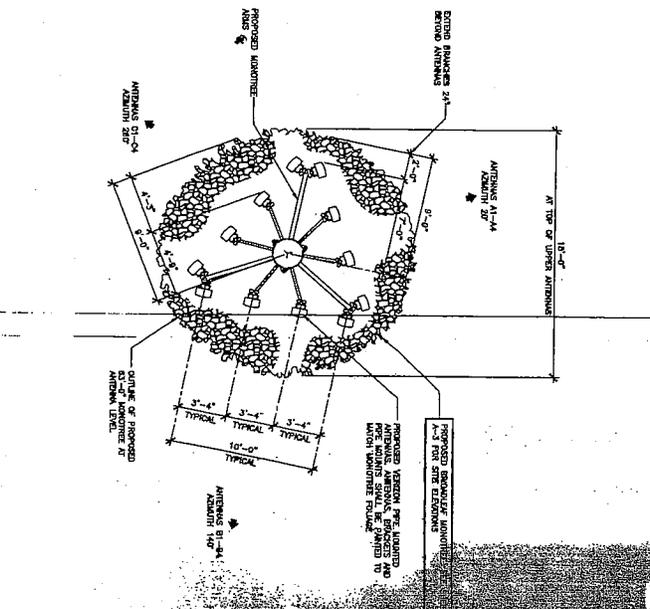
Verizon wireless
P.O. BOX 18107
RIVERSIDE, CA 92506
(951) 222-7000

PROJECT NAME
GUAJOME PARK
PROJECT NUMBER
NS0005-01
SPRINT/NETEL
859802288
3000 GUAJOME LAKE ROAD
OCCASIDE, CA 92037
SAN DIEGO COUNTY

DRAWING DATES
10/24/07 DESIGN DEVELOPMENT (45)
12/11/07 PRELIMINARY (15)
12/29/07 FINAL DESIGN (10)
1/23/08 CONSTRUCTION (10)

SHEET TITLE
**VERIZON & SPRINT/NETEL
ANTENNA PLANS**

PROJECTS AVAILABLE AT www.verizon.com
A-1.1

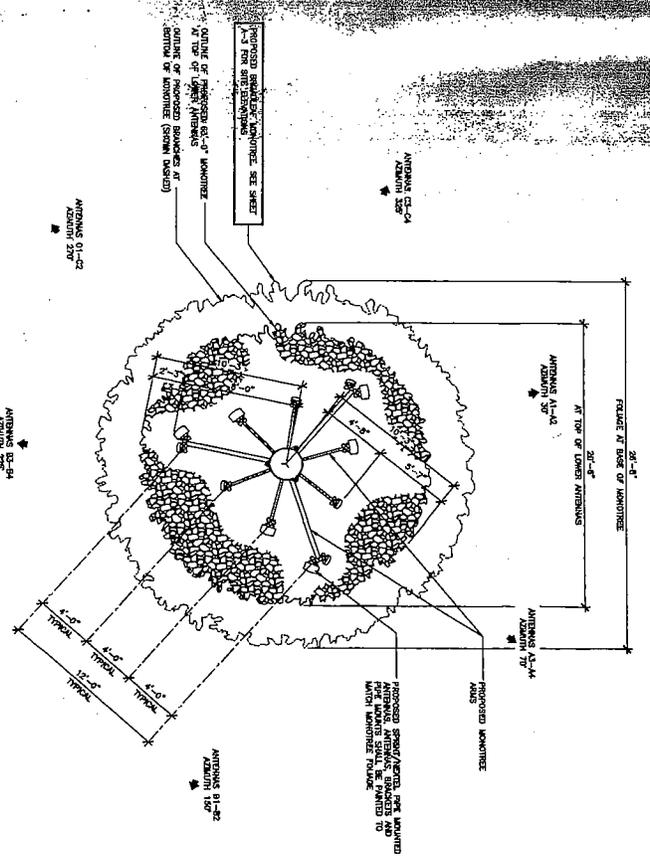


ANTENNA PLAN
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ANTENNA AND CABLE SCHEDULE

SECTION	DESCRIPTION	ANTENNA MODEL NUMBER	ORIENTED	ANGLE	SIZE & WEIGHT	NUMBER OF ANTENNAS PER SECTION	HEIGHT FROM GROUND	HEIGHT FROM ANTENNA LEVEL	HEIGHT FROM ANTENNA LEVEL	HEIGHT FROM ANTENNA LEVEL
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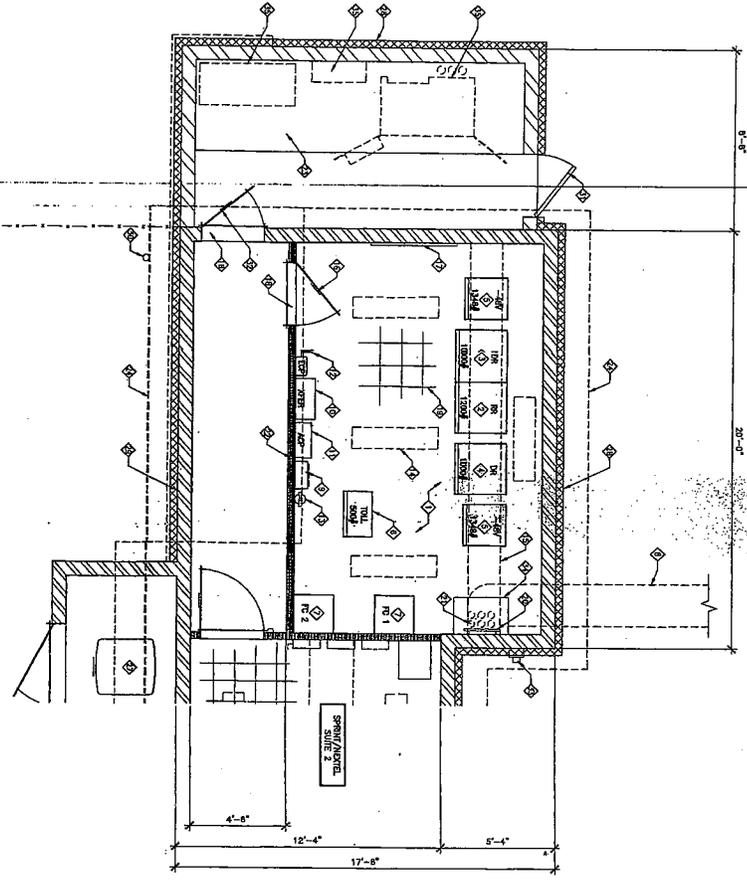


ANTENNA PLAN
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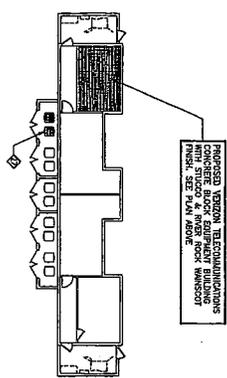
ANTENNA AND CABLE SCHEDULE

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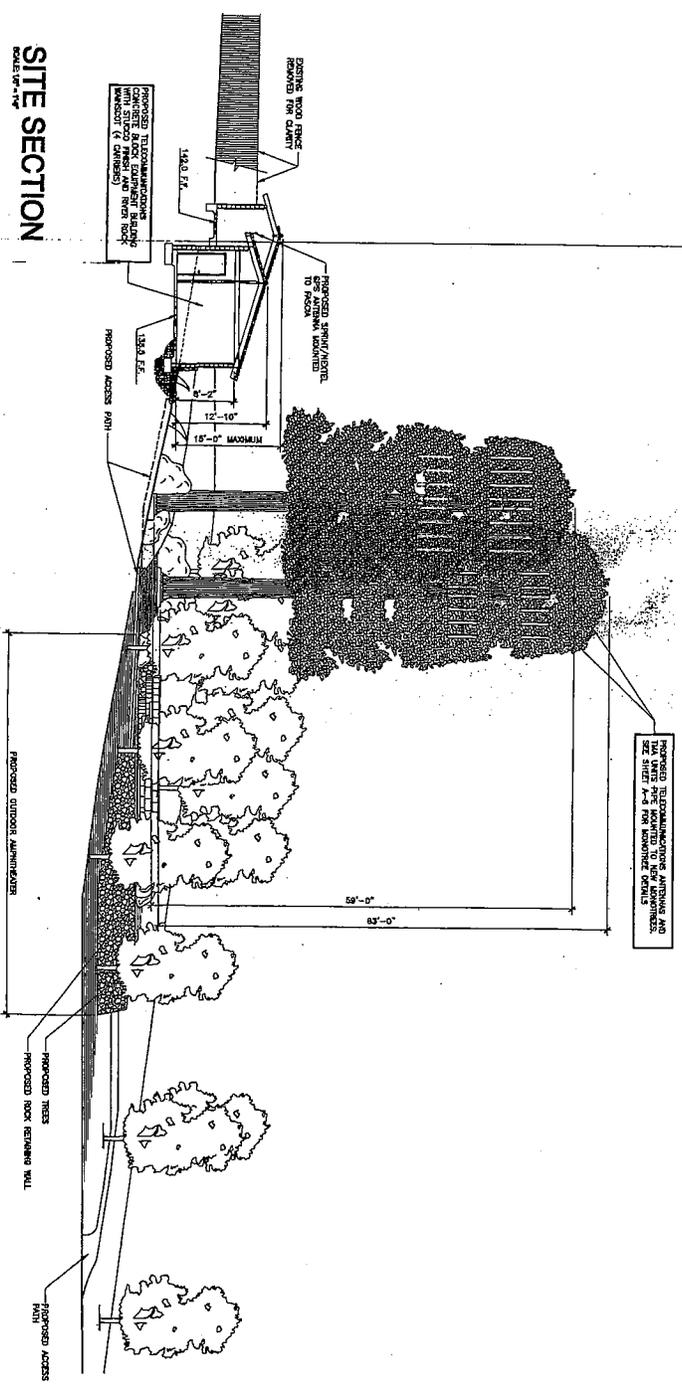
EQUIPMENT ROOM PLAN
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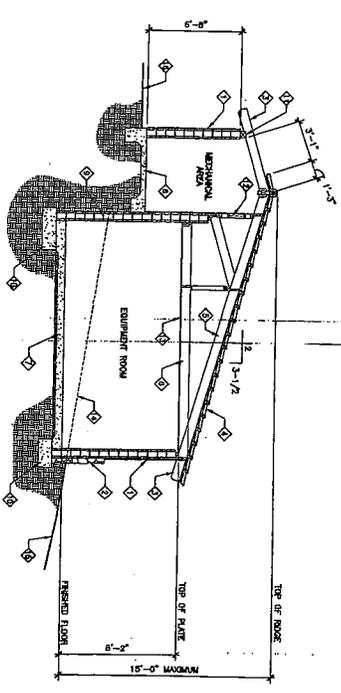
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KEYED NOTES:

- 1. PROPOSED VERIZON WIRELESS EQUIPMENT RACKS A
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- 100. PROPOSED VERIZON WIRELESS MOUNTING RACKS



SITE SECTION
 SCALE: 1/4" = 1'-0"

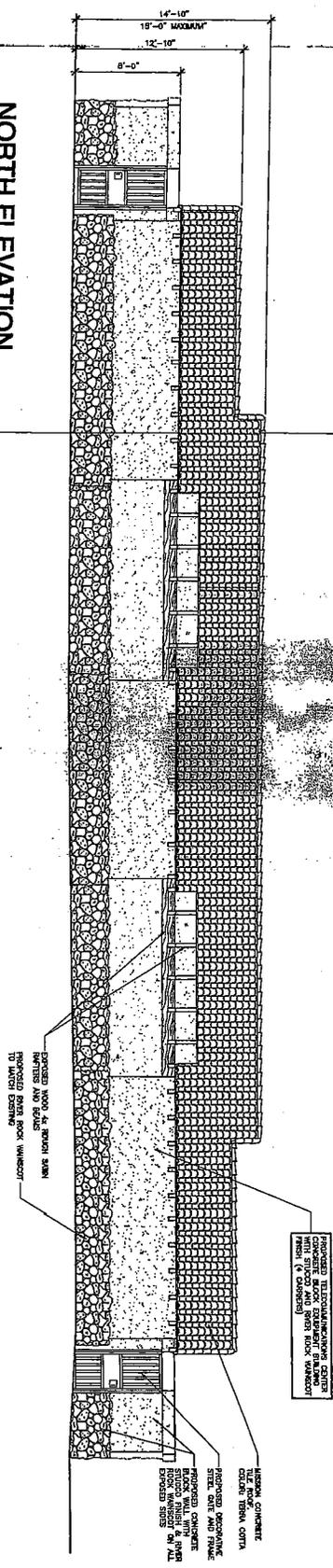


BUILDING SECTION
 SCALE: 1/4" = 1'-0"

- KEYED NOTES:**
- ◆ PROPOSED CONCRETE BLOCK WALL WITH STUCCO FINISH
 - ◆ PROPOSED REIN FOR ROCK WASCOST
 - ◆ PROPOSED 4x4 BUSHY SWAN RAFTER TALS
 - ◆ PROPOSED 1/2" TYPICAL TILE ROOF
 - ◆ PROPOSED RAFTERS
 - ◆ PROPOSED CEILING JOISTS
 - ◆ PROPOSED 4" THICK CONCRETE FLOOR SLAB
 - ◆ PROPOSED 4" THICK CONCRETE FLOOR SLAB
 - ◆ PROPOSED CONCRETE FLOORING
 - ◆ PROPOSED CONCRETE FLOORING
 - ◆ PROPOSED 4x4 BUSHY SWAN RAFTER TALS
 - ◆ PROPOSED STUCCO FINISH CONCRETE WALL WITH 4" AIR GAPS
 - ◆ PROPOSED 1/2" TYPICAL TILE ROOF
 - ◆ PROPOSED OUT SLAB (SHOWN DIMED)
 - ◆ EXISTING SLOPED GRADE
 - ◆ EXISTING GRADE AT MAINTENANCE YARD

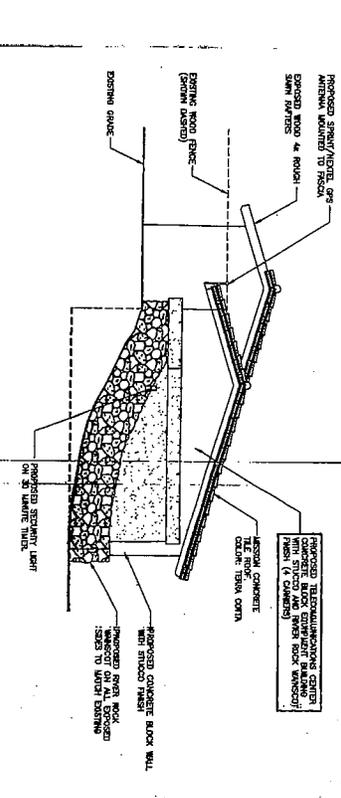
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



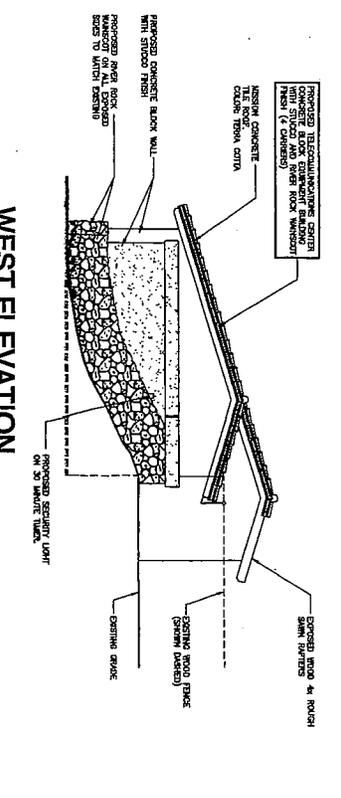
EAST ELEVATION

SCALE: 1/4" = 1'-0"



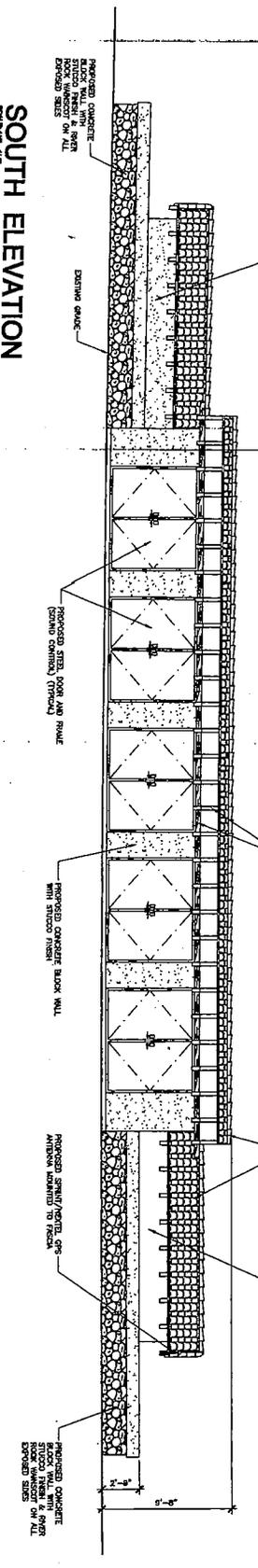
WEST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



BOOTH & SWARTZ
ARCHITECTURE ■ PLANNING
1000 K Street, Suite 1000, San Diego, CA 92101
Tel: 619.594.1100 Fax: 619.594.1101

PREPARED FOR
Sprint
Sprint with Intel
5781 CORNERS DRIVE, SUITE 100
SAN DIEGO, CA 92121

x circular
WIRELESS
8925 LISK BOULEVARD
SAN DIEGO, CA 92121

Verizon wireless
P.O. BOX 19707
IRVINE, CA 92619
(949) 222-7000

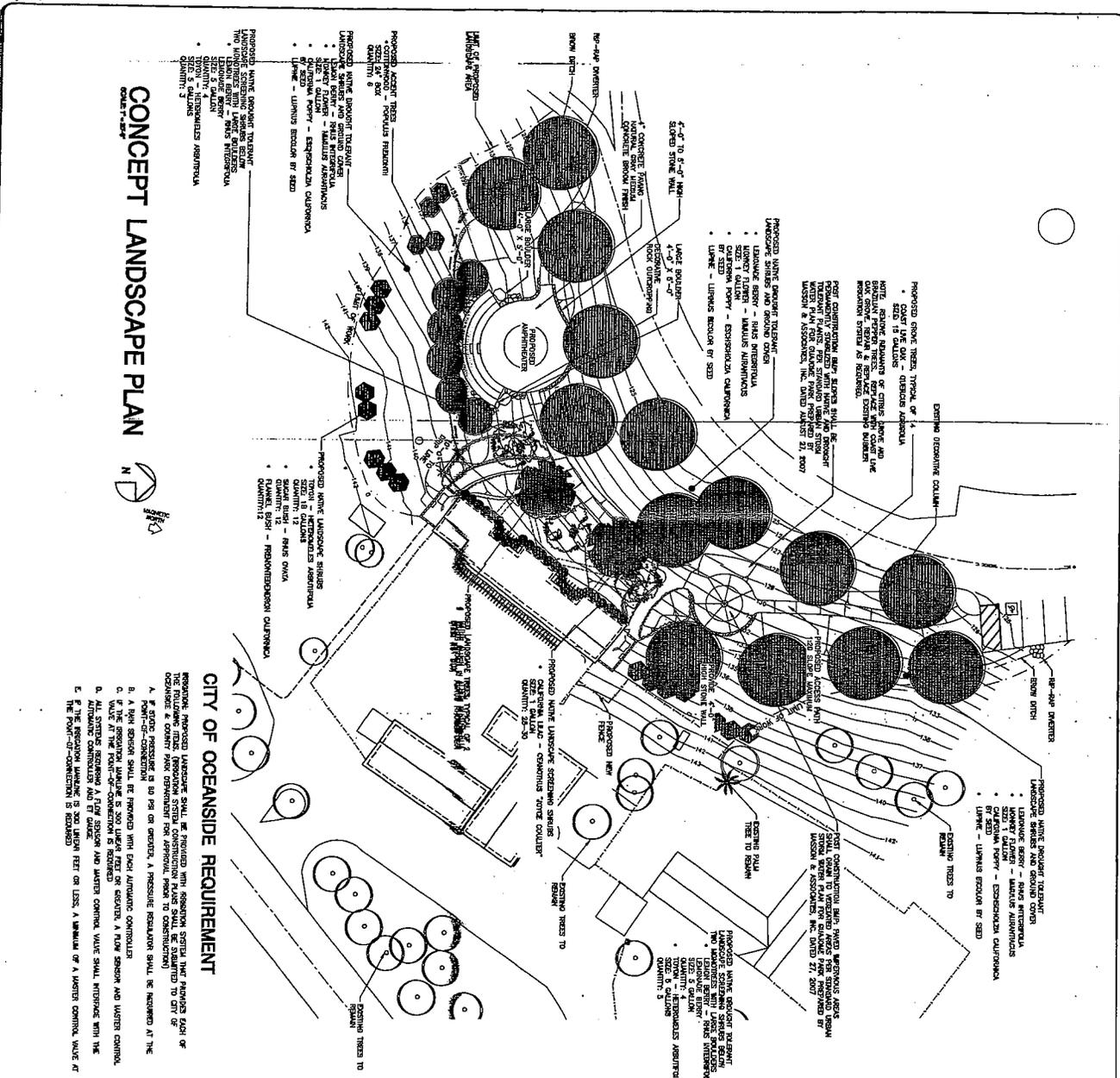
PROJECT NAME
GUAYOME PARK
PROJECT NUMBER
SR0000-01
CLIENT
SPT/IN/TEL
3000 GUAYOME LAKE ROAD
DEARBORNE, CA 92017
SAN DIEGO COUNTY

DRAWING DATES

10/24/02	DESIGN DEVELOPMENT (A)
12/23/02	FINAL DESIGN (A)
06/04/03	PERMITS SUBMITTAL (A)
12/11/03	CONSTRUCTION PERMITS (A)
02/01/07	REVISED 2D (A)
05/14/07	PLANNING COMMENTS (A)
12/07/07	CLIENT COMMENTS (A)

SHEET TITLE
TELECOMMUNICATIONS BUILDING EXTERIOR ELEVATIONS

PROJECT'S UNIQUE IDENTIFICATION NUMBER
A-5



CONCEPT LANDSCAPE PLAN



CITY OF OCEANSIDE REQUIREMENT

1. THE RESOLUTION NUMBER IS TO BE PLACED AT THE END OF EACH SECTION.
2. THE RESOLUTION NUMBER IS TO BE PLACED AT THE END OF EACH SECTION.
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10. THE RESOLUTION NUMBER IS TO BE PLACED AT THE END OF EACH SECTION.

PLANTING NOTES

1. PLANTING SHALL BE ACCORDING TO THE CITY OF OCEANSIDE PLANTING SPECIFICATIONS.
2. PLANTING SHALL BE ACCORDING TO THE CITY OF OCEANSIDE PLANTING SPECIFICATIONS.
3. PLANTING SHALL BE ACCORDING TO THE CITY OF OCEANSIDE PLANTING SPECIFICATIONS.
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WATER CONSERVATION NOTES

1. WATER CONSERVATION SHALL BE ACCORDING TO THE CITY OF OCEANSIDE WATER CONSERVATION SPECIFICATIONS.
2. WATER CONSERVATION SHALL BE ACCORDING TO THE CITY OF OCEANSIDE WATER CONSERVATION SPECIFICATIONS.
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10. WATER CONSERVATION SHALL BE ACCORDING TO THE CITY OF OCEANSIDE WATER CONSERVATION SPECIFICATIONS.

REVEGETATION REQUIREMENTS

1. REVEGETATION SHALL BE ACCORDING TO THE CITY OF OCEANSIDE REVEGETATION SPECIFICATIONS.
2. REVEGETATION SHALL BE ACCORDING TO THE CITY OF OCEANSIDE REVEGETATION SPECIFICATIONS.
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10. REVEGETATION SHALL BE ACCORDING TO THE CITY OF OCEANSIDE REVEGETATION SPECIFICATIONS.

Booth & Suarez
ARCHITECTURE & PLANNING
1000 LA JOLLA VILLAGE CENTER DRIVE, SUITE 100
SAN DIEGO, CA 92111
(619) 451-1111

Sprint
7815 LA JOLLA VILLAGE CENTER DRIVE, SUITE 100
SAN DIEGO, CA 92111
(619) 451-1111

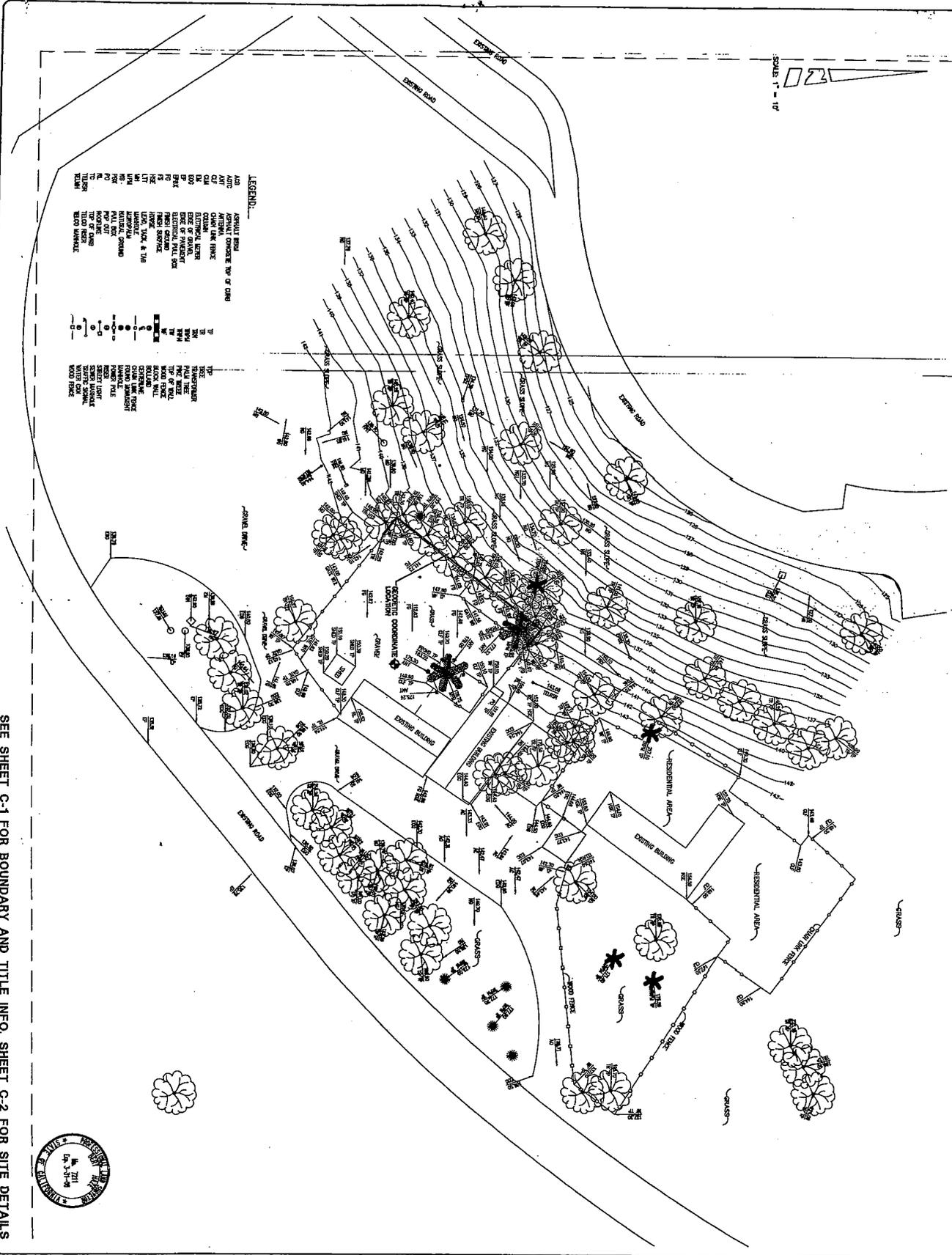
Verizon Wireless
P.O. BOX 19707
IRVINE, CA 92619
(949) 222-7000

Project Name: GUADALUPE PARK
Project Number: 1000000000
Client: 5100 GUADALUPE LANE ROAD
OCEANSIDE, CA 92057
SAN BRUNO COUNTY

DRAWING DATES
10/24/06 DESIGN DEVELOPMENT (A)
11/14/06 DESIGN DEVELOPMENT (B)
09/17/06 PRELIMINARY DESIGN (A)
10/17/06 PRELIMINARY DESIGN (B)
02/01/07 PRELIMINARY DESIGN (C)
05/02/07 PRELIMINARY DESIGN (D)
10/07/07 PRELIMINARY DESIGN (E)
12/07/07 PRELIMINARY DESIGN (F)

PROJECT LANDSCAPE PLAN
SHEET TITLE
L-1

- LEGEND:**
- 1/4" = 1'00" (1/4" = 1'00")
 - 1/8" = 1'00" (1/8" = 1'00")
 - 1/16" = 1'00" (1/16" = 1'00")
 - 1/32" = 1'00" (1/32" = 1'00")
 - 1/64" = 1'00" (1/64" = 1'00")
 - 1/128" = 1'00" (1/128" = 1'00")
 - 1/256" = 1'00" (1/256" = 1'00")
 - 1/512" = 1'00" (1/512" = 1'00")
 - 1/1024" = 1'00" (1/1024" = 1'00")
 - 1/2048" = 1'00" (1/2048" = 1'00")
 - 1/4096" = 1'00" (1/4096" = 1'00")
 - 1/8192" = 1'00" (1/8192" = 1'00")
 - 1/16384" = 1'00" (1/16384" = 1'00")
 - 1/32768" = 1'00" (1/32768" = 1'00")
 - 1/65536" = 1'00" (1/65536" = 1'00")
 - 1/131072" = 1'00" (1/131072" = 1'00")
 - 1/262144" = 1'00" (1/262144" = 1'00")
 - 1/524288" = 1'00" (1/524288" = 1'00")
 - 1/1048576" = 1'00" (1/1048576" = 1'00")
 - 1/2097152" = 1'00" (1/2097152" = 1'00")
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SEE SHEET C-1 FOR BOUNDARY AND TITLE INFO. SHEET C-2 FOR SITE DETAILS

BOOTH & SWEET
 ARCHITECTURE & PLANNING
 1000 W. BROADWAY, SUITE 1000, SAN ANTONIO, TEXAS 78207
 TEL: 214.343.1000 FAX: 214.343.1001

PREPARED FOR
x cingular
 WIRELESS

6926 TELUS COURT
 SAN DIEGO, CA 92121

BERG HANSEN
 ARCHITECTS & ENGINEERS
 LAND SURVEYING & MAPPING
 1000 W. BROADWAY, SUITE 1000
 SAN ANTONIO, TEXAS 78207
 TEL: 214.343.1000 FAX: 214.343.1001

PROJECT NAME
GUADOME PARK

PROJECT NUMBER
NS0005-013

3000 GUADOME LANE ROAD
 OCEANSIDE, CA 92057
 SAN DIEGO

DRAWING DATES
 10/11/04
 10/20/06
 09/19/07

SHEET TITLE
TOPOGRAPHIC SURVEY

C-3

1 PLANNING COMMISSION
2 RESOLUTION NO. 2008-P27

3 A RESOLUTION OF THE PLANNING COMMISSION OF THE
4 CITY OF OCEANSIDE, CALIFORNIA APPROVING
5 CONDITIONAL USE PERMITS ON CERTAIN REAL
6 PROPERTY IN THE CITY OF OCEANSIDE

7 APPLICATION NO: C-33-06, C-34-06, C-35-06 and C-57-06
8 APPLICANTS: Verizon Wireless, Sprint-Nextel, and Cingular
9 LOCATION: 3000 Guajome Lake Road, Guajome Regional Park

10 THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES
11 RESOLVE AS FOLLOWS:

12 WHEREAS, there was filed with this Commission a verified petition on the forms
13 prescribed by the Commission requesting Conditional Use Permits under the provisions of
14 Articles 15, 22, 30, and 41 of the Zoning Ordinance of the City of Oceanside to permit the
15 following:

16 communication facilities (consolidated and having joint-use) and structures above the
17 height limit;

18 on certain real property described in the project description.

19 WHEREAS, the Planning Commission, after giving the required notice, did on the 7th day
20 of April, 2008 conduct a duly advertised public hearing as prescribed by law to consider said
21 application.

22 WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State
23 Guidelines thereto; this project has been found to be categorically exempt per Article 19 from
24 environmental review;

25 WHEREAS, there is hereby imposed on the subject development project certain fees,
26 dedications, reservations and other exactions pursuant to state law and city ordinance;

27 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that
28 the project is subject to certain fees, dedications, reservations and other exactions as provided
29 below:

<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
Parkland Dedication/Fee	Ordinance No. 91-10 Resolution No. 06-R0334-1	\$3,503 per unit
Drainage Fee	Ordinance No. 85-23 Resolution No. 06-R0334-1	Depends on area (range is \$2,843-\$15,964 per acre)
Public Facility Fee	Ordinance No. 91-09 Resolution No. 06-R0334-1	\$.713 per square foot or \$713 per thousand square feet for non-residential uses
School Facilities Mitigation Fee	Ordinance No. 91-34	\$.42 per square foot non-residential for Vista
Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 05-OR 0611-1	Fee based on water meter size. Non-residential is \$35,160 for a 2" meter.
Wastewater System Buy-in fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 05-OR 0610-1	Based on capacity or water meter size. Non-residential is \$48,280 for a 2" meter.
San Diego County Water Authority Capacity Fees	SDCWA Ordinance No. 2005-03	Based on meter size. Non-residential is \$22,495 for a 2" meter.

WHEREAS, the current fees referenced above are merely fee amount estimates of the impact fees that would be required if due and payable under currently applicable ordinances and resolutions, presume the accuracy of relevant project information provided by the applicant, and are not necessarily the fee amount that will be owing when such fee becomes due and payable;

WHEREAS, unless otherwise provided by this resolution, all impact fees shall be calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside City Code and the City expressly reserves the right to amend the fees and fee calculations consistent with applicable law;

WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee, dedication, reservation or other exaction to the extent permitted and as authorized by law;

1 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that
2 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction
3 described in this resolution begins on the effective date of this resolution and any such protest
4 must be in a manner that complies with Section 66020;

5 WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes
6 effective 10 days from its adoption in the absence of the filing of an appeal or call for review;

7 WHEREAS, the documents or other material which constitute the record of
8 proceedings upon which the decision is based will be maintained by the City of Oceanside
9 Planning Division, 300 North Coast Highway, Oceanside, California 92054.

10 WHEREAS, studies and investigations made by this Commission and in its behalf reveal
11 the following facts:

12 FINDINGS:

13 For Conditional Use Permit C-33-05 a stand-alone communication facility:

- 14 1. The proposed location of the stand-alone communication facility is in accord with the
15 objectives of the Zoning Ordinance, including Articles 15, 22, and 30, and the purposes
16 of the OS-SP District in which Guajome Regional Park is located. The project has been
17 designed and specifically conditioned to comply with the site requirements of Articles
18 15 and 22.
- 19 2. The proposed location of the stand-alone communication facility and the proposed
20 conditions under which it would be constructed, operated, and maintained will be
21 consistent with the General Plan, including Land Use Element goals 1.2, 1.22, 13, 1.37,
22 and 2.726. The stand-alone communication facility will not be detrimental to the public
23 health, safety or welfare of persons residing or working in or adjacent to the
24 neighborhood of such use. The stand-alone communication facility will not be
25 detrimental to properties or improvements in the vicinity or to the general welfare of the
26 city. The site design supports General Plan community enhancement goals regarding
27 preservation of mature trees and the special management area of Guajome Regional
28 Park. The proposal supports General Plan community development goals to provide for
29 the efficient and aesthetic functioning of communication systems within the City.

1 3. The proposed stand-alone communication facility will comply with the provisions of the
2 Zoning Ordinance, including Sections 2204, 3108, 3025, and Article 15, and any
3 specific condition required for the proposed use in the OS-SP District. The facility has
4 been designed to comply with development standards set forth by Sections 2204 and
5 3025. The use has been conditioned and designed to comply with the requirements for
6 the operation and maintenance of a joint-use communication facility.

7 For Conditional Use Permit C-34-06 a co-user communication facility:

8 1. The proposed location of the co-user communication facility – the operation of 36 panel
9 antennas -- is in accord with the objectives of the Zoning Ordinance, including Articles
10 15, 22, and 30, and the purposes of the OS-SP District in which Guajome Regional Park
11 is located. The project has been designed and specifically conditioned to comply with
12 the site requirements of Articles 15 and 22. The design includes several measures to
13 disguise the antennas and address the appearance of the entire site, including site
14 landscaping, architectural treatments, and other methods to minimize the visual impacts
15 to public areas.

16 2. The proposed location of the co-user communication facility and the proposed
17 conditions under which it would be constructed, operated, and maintained will be
18 consistent with the General Plan, including Land Use Element goals 1.2, 1.22, 1.3, 1.37,
19 and 2.726. The co-user communication facility will not be detrimental to the public
20 health, safety or welfare of persons residing or working in or adjacent to the
21 neighborhood of such use. The co-user communication facility will not be detrimental
22 to properties or improvements in the vicinity or to the general welfare of the city. The
23 facility design supports General Plan community enhancement goals for special
24 management areas, such as Guajome Regional Park. The proposal supports General
25 Plan community development goals to provide for the efficient and aesthetic functioning
of communication systems within the City.

26 3. The proposed co-user communication facility will comply with the provisions of the
27 Zoning Ordinance, including Sections 2204, 3108, 3025, and Article 15, and any
28 specific condition required for the proposed use in the OS-SP District. The facility has
29 been designed to comply with development standards set forth by Section 2204 and

1 3025. The use has been conditioned and designed to comply with the requirements for
2 the operation and maintenance of a join-use communication facility.

3 For Conditional Use Permit C-35-06 a co-user communication facility:

- 4 1. The proposed location of the co-user communication facility -- the operation of 36
5 additional panel antennas -- is in accord with the objectives of the Zoning Ordinance,
6 including Articles 15, 22, and 30, and the purposes of the OS-SP District in which
7 Guajome Regional Park is located. The project has been designed and specifically
8 conditioned to comply with the site requirements of Articles 15 and 22. The design
9 includes several measures to disguise the antennas and address the appearance of the
10 entire site, including site landscaping, architectural treatments, and other methods to
11 minimize the visual impacts to public areas.
- 12 2. The proposed location of the co-user communication facility and the proposed
13 conditions under which it would be constructed, operated, and maintained will be
14 consistent with the General Plan, including Land Use Element goals 1.2, 1.22, 13, 1.37,
15 and 2.726. The co-user communication facility will not be detrimental to the public
16 health, safety or welfare of persons residing or working in or adjacent to the
17 neighborhood of such use. The co-user communication facility will not be detrimental
18 to properties or improvements in the vicinity or to the general welfare of the city. The
19 facility design supports General Plan community enhancement goals for special
20 management areas, such as Guajome Regional Park. The proposal supports General
21 Plan community development goals to provide for the efficient and aesthetic functioning
22 of communication systems within the City.
- 23 3. The proposed co-user communication facility will comply with the provisions of the
24 Zoning Ordinance, including Sections 2204, 3108, 3025, and Article 15, and any
25 specific condition required for the proposed use in the OS-SP District. The facility has
26 been designed to comply with development standards set forth by Section 2204 and
27 3025. The use has been conditioned and designed to comply with the requirements for
28 the operation and maintenance of a join-use communication facility.
29

1 For Conditional Use Permit C-57-06 and structures above the height limit:

- 2 1. The proposed location of 59 and 63-foot tall faux broad leaf trees is in accord with the
3 objectives of the Zoning Ordinance, including Articles 15, 22, and 30, and the purposes
4 of the OS-SP District in which Guajome Regional Park is located. The surrounding
5 area includes existing landscape features with heights between 30 and 80 feet. The
6 height of the faux broad leaf trees will suitably blend with the heights of existing trees.
- 7 2. The proposed location of the 59 and 63-foot tall structures and the proposed conditions
8 under which the structures will be constructed and maintained will be consistent with
9 the General Plan, including Land Use Element Goals 1.2 and 2.726. These structures
10 exceeding the base district height will not be detrimental to the public health, safety or
11 welfare of persons residing or working in or adjacent to the neighborhood of the
12 structures. These structures will not be detrimental to properties or improvements in the
13 vicinity or to the general welfare of the City. The additional height is necessary for the
14 structures to accommodate a second service provider's antennas within the proposed
15 faux broad leaf tree.
- 16 3. The proposal to construct structures taller than the OS-SP District height limitation will
17 comply with the provisions of the Zoning Ordinance, including Sections 2204, 3018,
18 and 3025, and any specific condition required for the proposed use in the OS-SP
19 District.

20 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby
21 confirm issuance of a Categorical Exemption from the California Environmental Quality Act and
22 approve Conditional Use Permits C-33-06, C-34-06, C-35-06 and C-57-06 subject to the
23 following conditions:

24 **Building:**

- 25 1. Applicable Building Codes and Ordinances shall be based on the date of submittal for
26 Building Division plan check (Currently the 2007 California Building Standards Code).
- 27 2. The granting of approval under this action shall in no way relieve the applicant/project
28 from compliance with all State and Local building codes.
- 29 3. Site development, parking, and the amphitheater shall comply with the State's Disabled
Accessibility Regulations (2007 C.B.C. Chapter 11B).

- 1 4. The building plans for this project are required by State law to be prepared by a licensed
2 architect or engineer and must comply with this requirement prior to submittal for
3 building plan review.
- 4 5. All electrical, communication, CATV, etc. service lines within the exterior lines of the
5 property shall be underground (City Code Sec. 6.30).
- 6 6. All outdoor lighting must comply with Chapter 39 of the City Code (Light Pollution
7 Ordinance). Where color rendition is important, high-pressure sodium, metal halide or
8 other such lights may be utilized and shall be shown on building and electrical plans.
- 9 7. The developer shall monitor, supervise and control all building construction and
10 supporting activities so as to prevent these activities from causing a public nuisance,
11 including, but not limited to, strict adherence to the following:
- 12 a) Building construction work hours shall be limited to between 7:00 a.m. and 6:00
13 p.m. Monday through Friday from 7:00 a.m. to 6:00 p.m. for work that is not
14 inherently noise-producing. No work shall be permitted on Sundays and Federal
15 Holidays (New Year's Day, Memorial Day, July 4th, Labor Day, Thanksgiving
16 Day, Christmas Day) except as allowed for emergency work under the provisions
17 of the Oceanside City Code Chapter 38 (Noise Ordinance). Work on Saturday is
18 prohibited, unless otherwise approved by County of San Diego Department of
19 General Services.
- 20 b) The construction site shall be kept reasonably free of construction debris as
21 specified in Section 13.17 of the Oceanside City Code. Storage of debris in
22 approved solid waste containers shall be considered compliance with this
23 requirement. Small amounts of construction debris may be stored on-site in a neat,
24 safe manner for short periods of time pending disposal.
- 25 8. A separate unique address will be required to facilitate utility releases.
- 26 9. A soils report, structural calculations, and energy calculations must be submitted at the
27 time that the plans are submitted to the Building Division.
- 28 10. The plans submitted must meet all requirements of the recently adopted 2007 California
29 Building Code, California Mechanical Code, and California Electrical Code.

1 **Fire:**

- 2 11. Cell sites are required to have a final inspection by the Fire Department.
- 3 12. Fire Department Plan Review will require the quantity of lead acid batteries proposed.
- 4 In addition, the electrolyte volume will need to be provided for the batteries. Please
- 5 indicate the amounts on the plans.
- 6 13. Plans shall be submitted to the Fire Prevention Bureau for plan check review and
- 7 approval prior to the issuance of building permits.

8 **Engineering:**

- 9 14. If the project involves demolition of an existing structure or surface improvements, the
- 10 grading plans shall be submitted and erosion control plans be approved by the City
- 11 Engineer prior to the issuance of a demolition permit. No demolition shall be permitted
- 12 without an approved erosion control plan.
- 13 15. All right-of-way alignments, street dedications, exact geometrics and widths shall be
- 14 dedicated and improved as required by the City Engineer.
- 15 16. Design and construction of all improvements shall be in accordance with standard plans,
- 16 specifications of the City of Oceanside and subject to approval by the City Engineer.
- 17 17. The approval of the project shall not mean that closure, vacation, or abandonment of any
- 18 public street, right-of-way, easement, or facility is granted or guaranteed to the
- 19 applicant. The applicant is responsible for applying for all closures, vacations, and
- 20 abandonments as necessary. The application(s) shall be reviewed and approved or
- 21 rejected by the City of Oceanside under separate process(es) per codes, ordinances, and
- 22 policies in effect at the time of the application.
- 23 18. Prior to the issuance of a grading permit, the developer shall notify and host a
- 24 neighborhood meeting with all of the area residents located within 300 feet of the
- 25 project site, and residents of property along any residential streets to be used as a "haul
- 26 route", to inform them of the grading and construction schedule, haul routes, and to
- 27 answer questions.
- 28 19. The developer shall monitor, supervise and control all construction and construction-
- 29 supportive activities, so as to prevent these activities from causing a public nuisance,
- including but not limited to, insuring strict adherence to the following:

- 1 a) Dirt, debris and other construction material shall not be deposited on any public
2 street or within the City's storm water conveyance system.
- 3 b) All grading and related site preparation and construction activities shall be limited
4 to the hours of 7:00 a.m. to 6:00 p.m., Monday through Friday. No engineering
5 related construction activities shall be conducted on Saturdays, Sundays or legal
6 holidays unless written permission is granted by the City Engineer with specific
7 limitations to the working hours and types of permitted operations. All on-site
8 construction staging areas shall be as far as possible (minimum 100 feet) from any
9 existing residential development. Because construction noise may still be intrusive
10 in the evening or on holidays, the City of Oceanside Noise Ordinance also
11 prohibits "any disturbing excessive or offensive noise which causes discomfort or
12 annoyance to reasonable persons of normal sensitivity."

13 20. The construction site shall accommodate the parking of all motor vehicles used by
14 persons working at or providing deliveries to the site.

15 21. A haul route shall be obtained at least 7 days prior the start of hauling operations and
16 must be approved by the City Engineer. Hauling operations shall be 8:00 a.m. to 3:30
17 p.m. unless approved otherwise.

18 22. A traffic control plan shall be prepared according to the City traffic control guidelines
19 and be submitted to and approved by the City Engineer prior to the start of any work
20 within open City rights-of-way. Traffic control during construction of streets that have
21 been opened to public traffic shall be in accordance with construction signing, marking
22 and other protection as required by the Caltrans Traffic Manual and City Traffic Control
23 Guidelines. Traffic control plans shall be in effect from 8:00 a.m. to 3:30 p.m. unless
24 approved otherwise.

25 23. Approval of this development project is conditioned upon payment of all applicable
26 impact fees and connection fees in the manner provided in chapter 32B of the Oceanside
27 City Code. All drainage fees, traffic signal fees and contributions, highway
28 thoroughfare fees, park fees, reimbursements, and other applicable charges, fees and
29 deposits shall be paid prior to recordation of the map or the issuance of any building
permits, in accordance with City Ordinances and policies. The applicant shall also be

- 1 required to join into, contribute, or participate in any improvement, lighting, or other
2 special district affecting or affected by this project.
- 3 24. Sight distance requirements at the project driveway or street shall conform to the corner
4 sight distance criteria as provided by S.D.R.S.D. DS-20A and or DS-20B.
- 5 25. Any existing broken pavement, concrete curb, gutter or sidewalk or any damaged during
6 construction of the project, shall be repaired or replaced as directed by the City
7 Engineer.
- 8 26. Grading and drainage facilities shall be designed and installed to adequately
9 accommodate the local stormwater runoff and shall be in accordance with the City's
10 Engineers Manual and as directed by the City Engineer.
- 11 27. The applicant shall obtain any necessary permits and clearances from all public agencies
12 having jurisdiction over the project due to its type, size, or location, including but not
13 limited to the US Army Corps of Engineers, California Department of Fish & Game, US
14 Fish and Wildlife Service and/or San Diego Regional Water Quality Control Board
15 (including N.P.D.E.S.), San Diego County Health Department, prior to the issuance of
16 grading permits.
- 17 28. The approval of the project shall not mean that proposed grading or improvements on
18 adjacent properties (including any City properties/right-of-way or easements) is granted
19 or guaranteed to the developer. The developer is responsible for obtaining permission
20 to grade to construct on adjacent properties.
- 21 29. Prior to any grading of any part of the tract or project, a comprehensive soils and
22 geologic investigation shall be conducted of the soils, slopes, and formations in the
23 project. All necessary measures shall be taken and implemented to assure slope
24 stability, erosion control, and soil integrity. No grading shall occur until a detailed
25 grading plan, to be prepared in accordance with the Grading Ordinance and Zoning
26 Ordinance, is approved by the City Engineer.
- 27 30. This project shall provide year-round erosion control including measures for the site
28 required for the phasing of grading. Prior to the issuance of grading permit, an erosion
29 control plan, designed for all proposed stages of construction, shall be reviewed, secured
by the applicant with cash securities and approved by the City Engineer.

1 31. A precise grading plan shall be prepared, reviewed, secured and approved prior to the
2 issuance of any building permits. The plan shall reflect all pavement, flatwork,
3 landscaped areas, special surfaces, curbs, gutters, medians, striping, and signage,
4 footprints of all structures, walls, drainage devices and utility services. Parking lot
5 striping and any on-site traffic calming devices shall be shown on all Precise Grading
6 and Private Improvement Plans.

7 32. Landscaping plans, including plans for the construction of walls, fences or other
8 structures at or near intersections, must conform to intersection sight distance
9 requirements. Landscape and irrigation plans for disturbed areas must be submitted to
10 the City Engineer prior to the issuance of a preliminary grading permit and approved by
11 the City Engineer prior to the issuance of occupancy permits. Frontage and median
12 landscaping shall be installed prior to the issuance of any certificates of occupancy.
13 Any project fences, sound or privacy walls and monument entry walls/signs shall be
14 shown on, bonded for and built from the landscape plans. These features shall also be
15 shown on the precise grading plans for purposes of location only. Plantable, segmental
16 walls shall be designed, reviewed and constructed by the grading plans and
17 landscaped/irrigated through project landscape plans. All plans must be approved by
18 the City Engineer and a pre-construction meeting held, prior to the start of any
19 improvements.

20 33. The drainage design on the project is conceptual only. The final design shall be based
21 upon a hydrologic/hydraulic study to be approved by the City Engineer during final
22 engineering. All drainage picked up in an underground system shall remain
23 underground until it is discharged into an approved channel, or as otherwise approved
24 by the City Engineer. All public storm drains shall be shown on City standard plan and
25 profile sheets. All storm drain easements shall be dedicated where required. The
26 applicant shall be responsible for obtaining any off-site easements for storm drainage
27 facilities.

28 34. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and
29 disposed of in accordance with all state and federal requirements, prior to stormwater
discharge either off-site or into the City drainage system.

- 1 35. The development shall comply with all applicable regulations established by the United
2 States Environmental Protection Agency (USEPA) as set forth in the National Pollutant
3 Discharge Elimination System (N.P.D.E.S.) permit requirements for urban runoff and
4 stormwater discharge and any regulations adopted by the City pursuant to the
5 N.P.D.E.S. regulations or requirements. Further, the applicant may be required to file
6 a Notice of Intent with the State Water Resources Control Board to obtain coverage
7 under the N.P.D.E.S. General Permit for Storm Water Discharges Associated with
8 Construction Activity and may be required to implement a Storm Water Pollution
9 Prevention Plan (S.W.P.P.P.) concurrent with the commencement of grading activities.
10 S.W.P.P.P.s include both construction and post construction pollution prevention and
11 pollution control measures and identify funding mechanisms for post construction
12 control measures. The developer shall comply with all the provisions of the Clean
13 Water Program during and after all phases of the development process, including but
14 not limited to: mass grading, rough grading, construction of street and landscaping
15 improvements, and construction of dwelling units. The applicant shall design the
16 Project's storm drains and other drainage facilities to include Best Management
17 Practices to minimize non-point source pollution, satisfactory to the City Engineer.
- 18 36. Upon acceptance of any fee waiver or reduction by the applicant, the entire project will
19 be subject to prevailing wage requirements as specified by Labor Code section
20 1720(b)(4). The applicant shall agree to execute a form acknowledging the prevailing
21 wage requirements prior to the granting of any fee reductions or waivers.
- 22 37. The applicant shall provide a copy of the title cover page of either an approved
23 S.W.M.P. or Runoff Assessment Report (R.A.R.) with the first engineering submittal
24 package. If the project triggers the City's stormwater requirements but no approved
25 stormwater document (S.W.M.P. or R.A.R.) exists, the appropriate document shall be
26 submitted for review and approval by the Public Works Department. The R.A.R. or
27 S.W.M.P. shall be prepared by the applicant's Civil Engineer. All stormwater
28 documents shall comply with the latest edition of submission requirements.
- 29 38. Landscape plans, shall be prepared to the satisfaction of County of San Diego
Department of Parks and Recreation and shall meet the criteria of the City of Oceanside

1 Landscape Guidelines and Specifications for Landscape Development, Water
2 Conservation Ordinance No. 91-15, Engineering criteria, City code and ordinances,
3 including the maintenance of such landscaping, shall be reviewed and approved by the
4 City Engineer prior to the issuance of building permits. Landscaping shall be installed
5 prior to the issuance of Building Permits. Landscaping shall not be installed until bonds
6 have been posted, fees paid, and plans signed for final approval. The following special
7 landscaping requirements shall be required prior to plan approval:

- 8 a) Final landscape plans shall accurately show placement of all plant material such as
9 but not limited to trees, shrubs, and groundcovers.
- 10 b) The applicant's Landscape Architect shall verify utility, sewer, storm drain
11 easement and place planting locations accordingly to meet City of Oceanside
12 requirements.
- 13 c) All required landscape areas shall be maintained by the County of San Diego
14 Department of Parks and Recreation. The landscape areas shall be maintained per
15 City of Oceanside requirements.
- 16 d) Proposed landscape species shall be native or naturalized to fit the site and meet
17 climate changes indicative to their planting location. The selection of plant
18 material shall also be based on cultural, aesthetic, and maintenance considerations.
19 In addition proposed landscape species shall be low water users as well as meet all
20 Fire Prevention Bureau requirements.
- 21 e) All planting areas shall be prepared with appropriate soil amendments, fertilizers,
22 and appropriate supplements based upon a soils report from an agricultural
23 suitability soil sample taken from the site.
- 24 f) Ground covers or bark mulch shall fill in between the shrubs to shield the soil
25 from the sun, evapotranspiration and run-off. All the flower and shrub beds shall
26 be mulched to a 3" depth to help conserve water, lower the soil temperature and
27 reduce weed growth.
- 28 g) The shrubs shall be allowed to grow in their natural forms. All landscape
29 improvements shall follow the City of Oceanside Guidelines.

- 1 h) Proposed screening shrub Ceanothus 'Joyce Coulter' – California Lilac – at one-
2 gallon size has a tendency to die out too quickly as opposed to some other
3 screening shrubs. An alternate screening shrub shall be proposed to be 5-gallon in
4 size that is more rugged, hardy, and has more longevity for this location.
- 5 i) Proposed grove trees Quercus agrifolia – Coast Live Oak – are an excellent choice
6 for this application. Unfortunately, Coast Live Oak is a slow growing tree and will
7 take awhile to grow into the 'grove' as proposed from 15-gallon container stock.
8 Coast Live Oak shall be upgraded to be planted as 24" box trees.
- 9 j) Root barriers shall be installed adjacent to all paving surfaces, where a paving
10 surface is located within six feet of a tree's trunk. Root barriers shall extend five
11 feet in each direction from the centerline of the trunk, for a total distance of 10
12 feet. Root barriers shall be 24 inches in depth. Installing a root barrier around the
13 tree's root ball is unacceptable.
- 14 k) All fences, gates, walls, stone walls, retaining walls, and plantable walls shall
15 obtain the City Planner's approval for these items in the conditions or application
16 stage prior to 1st submittal of working drawings.
- 17 l) For the planting and placement of trees and their distances from hardscape and
18 other utilities and or structures, the landscape plans shall follow the City of
19 Oceanside's Tree Planting Distances and Spacing Standards.
- 20 m) An automatic irrigation system shall be installed to provide coverage for all
21 planting areas shown on the plan. Low precipitation equipment shall provide
22 sufficient water for plant growth with a minimum water loss due to water run-off.
- 23 n) Irrigation systems shall use high quality, automatic control valves, backflow
24 preventers, controllers and other necessary irrigation equipment. All components
25 shall be of non-corrosive material. All drip systems shall be adequately filtered
26 and regulated per the manufacturer's recommended design parameters.
- 27 o) All irrigation improvements shall follow the City of Oceanside Guidelines and
28 Water Conservation Ordinance.
- 29 p) The landscape plans shall match all plans affiliated with the project.

1 q) Landscape plans shall comply with Biological and/or Geotechnical reports, as
2 required, shall match the grading and improvement plans, comply with S.W.M.P.
3 Best Management Practices and meet the satisfaction of the City Engineer.

4 r) Existing landscaping on and adjacent to the site shall be protected in place and
5 supplemented or replaced to meet the satisfaction of the City Engineer.

6 39. All landscaping, fences, walls, etc. on the site, in medians within the public right-of-way
7 and within any adjoining public parkways shall be permanently maintained by the
8 owner, his assigns or any successors-in-interest in the property. The maintenance
9 program shall include: a) normal care and irrigation of the landscaping b) repair and
10 replacement of plant materials c) irrigation systems as necessary d) general cleanup of
11 the landscaped and open areas e) parking lots and walkways, walls, fences, etc. Failure
12 to maintain landscaping shall result in the City taking all appropriate enforcement
13 actions including but not limited to citations.

14 40. In the event that the conceptual landscape plan (CLP) does not match the conditions of
15 approval, the resolution of approval shall govern.

16 **Planning:**

17 41. Conditional Use Permits C-33-06, C-34-06, C-35-06 and C-57-06 are for a joint-use
18 communication facility consisting of a maximum of six-communication service
19 providers; a maximum of 24 panel antennas mounted to any one stand-alone
20 communication structure; a maximum of three stand-alone communication structures
21 disguised to look similar to broad leaf trees; an equipment shelter; and associated site
22 enhancements, including landscaping.

23 42. The Conditional Use Permit C-33-06 is granted for the following: the construction and
24 operation of a stand-alone communication facility, subject to the requirements set forth
25 in Section 3025.D.4 and the conditions adopted herein.

26 a) The stand-alone communication facility shall consist of (1) three-faux broadleaf
27 tree structures and the cladding applied to disguise the antennas. The stand-alone
28 communication facility shall consist of a maximum of three such structures within
29 Guajome Regional Park, as shown on Sheet A-1 of the plans and exhibits
presented to the Planning Commission for their review and approval. The stand-

1 alone facility shall also consist of (2) a single 2,006-square foot equipment shelter
2 and (3) an amphitheater.

- 3 b) Appropriate building permits shall be obtained prior to the construction,
4 replacement, or repair of stand-alone communication facility.
- 5 c) The conditional use permit shall be limited to a term of 10 years. However, the
6 conditional use permit may be renewed in accordance with the provisions of the
7 Zoning Ordinance.
- 8 d) The permittee(s) shall exercise a good-faith effort to incorporate the best available
9 equipment technology to effect a reduction in the visual presence of the approved
10 antenna and facility equipment. The change-out and retrofit of equipment shall be
11 conducted by the permittee(s) after such equipment becomes available and exhibits
12 common use at similar facilities. Upon the City's request and discretion, the
13 permittee(s) shall be required to provide an independently prepared technical
14 analysis demonstrating compliance with this condition. The permittee(s) inability
15 to demonstrate the use of current technologies may be grounds for the institution
16 of revocation proceedings of the Conditional Use Permit.
- 17 e) The permittee(s) shall exercise a good-faith effort to cooperate with other
18 communication providers and services in the operation of a co-user facility,
19 provided such shared usage does not impair the operation of the approved facility.
20 Upon the City's request and discretion, the permittee(s) shall provide an
21 independently prepared technical analysis to substantiate the existence of any
22 practical technical prohibitions against the operation of a co-use facility. The
23 permittee(s)' non-compliance with this requirement may be grounds for the
24 institution of revocation proceedings of the Conditional Use Permit.
- 25 f) The approved facility shall address the appearance of the entire site and shall
26 upgrade or repair physical features as a means of minimizing view impacts to the
27 community. Such techniques shall include, but shall be limited to, site
28 landscaping, architectural treatments, painting, and other methods to minimize
29 visual impacts to the public streetscape.

1 g) In the situation where (1) a grading permit has been issued and grading has been
2 substantially completed and or a building permit has been issued, and construction
3 diligently pursued or (2) an occupancy permit has been issued and (3) the site
4 activity has commenced and completed in earlier phases of the overall site
5 development but no site grading or building permit activity had occurred on the
6 remaining undeveloped portion of the site for a period of five years, a new
7 conditional use permit must be obtained.

8 43. The Conditional Use Permit C-34-06 is granted for the following: the operation of 36
9 panel antennas as part of a joint-use communication facility that is subject to the
10 requirements set forth in Section 3025.D.4 and the conditions adopted herein.

- 11 a) The conditional use permit C-34-06 regulates the installation of 36 panel antennas
12 and three service providers (Cingular, Sprint-Nextel, and Verizon Wireless)
13 operating within Guajome Regional Park, as shown on the plans and exhibits
14 presented to the Planning Commission for review and approval. A maximum of
15 two communication services may be installed on any one stand-alone faux
16 broadleaf tree structure. Each service provider is limited to 12 panel antennas that
17 are between four and six feet in length.
- 18 b) The conditional use permit shall be limited to a term of 10 years. However, the
19 conditional use permit may be renewed in accordance with the provisions of the
20 Zoning Ordinance.
- 21 c) Upon one year of facility operation, and upon any change-out of facility
22 equipment, the permittee(s) shall provide to the City Planner a statement of radio-
23 frequency radiation output and output compliance with the limitations of
24 governing licensing authorities.
- 25 d) Appropriate building permits shall be obtained prior to the addition of any new or
26 replacement antennas.
- 27 e) The permittee(s) shall exercise a good-faith effort to incorporate the best available
28 equipment technology to effect a reduction in the visual presence of the approved
29 antenna and facility equipment. The change-out and retrofit of equipment shall be
conducted by the permittee(s) after such equipment becomes available and exhibits

1 common use at similar facilities. Upon the City's request and discretion, the
2 permittee(s) shall be required to provide an independently prepared technical
3 analysis demonstrating compliance with this condition. The permittee(s) inability
4 to demonstrate the use of current technologies may be grounds for the institution
5 of revocation proceedings of the Conditional Use Permit.

6 f) The permittee(s) shall exercise a good-faith effort to cooperate with other
7 communication providers and services in the operation of a co-user facility,
8 provided such shared usage does not impair the operation of the approved facility.
9 Upon the City's request and discretion, the permittee(s) shall provide an
10 independently prepared technical analysis to substantiate the existence of any
11 practical technical prohibitions against the operation of a co-use facility. The
12 permittee(s)' non-compliance with this requirement may be grounds for the
13 institution of revocation proceedings of the Conditional Use Permit.

14 g) The approved communication facility shall be subject to, and governed by, any and
15 all licensing authority by any governmental agency having jurisdiction. The City's
16 local approval of a communication facility shall not exempt the permittee(s) from
17 any such pre-emptive regulations.

18 h) The approved facility shall address the appearance of the entire site and shall
19 upgrade or repair physical features as a means of minimizing view impacts to the
20 community. Such techniques shall include, but shall be limited to, site
21 landscaping, architectural treatments, painting, and other methods to minimize
22 visual impacts to the public streetscape.

23 44. The Conditional Use Permit C-35-06 is granted for the following: the operation of 36
24 additional panel antennas as part of a joint-use communication facility that is subject to
25 the requirements set forth in Section 3025.D.4 and the conditions adopted herein.

26 a) The conditional use permit C-35-06 regulates the installation of 36 panel antennas
27 and three future service providers operating within Guajome Regional Park, as
28 shown on the plans and exhibits presented to the Planning Commission for review
29 and approval. A maximum of two communication services may be installed on
any one stand-alone faux broadleaf tree structure. Each service provider is limited

1 to 12 panel antennas that are between four and six feet in length. The conditional
2 use permit shall be limited to a term of 10 years. However, the conditional use
3 permit may be renewed in accordance with the provisions of the Zoning
4 Ordinance.

- 5 b) Upon one year of facility operation, and upon any change-out of facility
6 equipment, the permittee(s) shall provide to the City Planner a statement of radio-
7 frequency radiation output and output compliance with the limitations of
8 governing licensing authorities.
- 9 c) Appropriate building permits shall be obtained prior to the addition of any new or
10 replacement antennas.
- 11 d) The permittee(s) shall exercise a good-faith effort to incorporate the best available
12 equipment technology to effect a reduction in the visual presence of the approved
13 antenna and facility equipment. The change-out and retrofit of equipment shall be
14 conducted by the permittee(s) after such equipment becomes available and exhibits
15 common use at similar facilities. Upon the City's request and discretion, the
16 permittee(s) shall be required to provide an independently prepared technical
17 analysis demonstrating compliance with this condition. The permittee(s) inability
18 to demonstrate the use of current technologies may be grounds for the institution
19 of revocation proceedings of the Conditional Use Permit.
- 20 e) The permittee(s) shall exercise a good-faith effort to cooperate with other
21 communication providers and services in the operation of a co-user facility,
22 provided such shared usage does not impair the operation of the approved facility.
23 Upon the City's request and discretion, the permittee(s) shall provide an
24 independently prepared technical analysis to substantiate the existence of any
25 practical technical prohibitions against the operation of a co-use facility. The
26 permittee(s)' non-compliance with this requirement may be grounds for the
27 institution of revocation proceedings of the Conditional Use Permit.
- 28 f) The approved communication facility shall be subject to, and governed by, any and
29 all licensing authority by any governmental agency having jurisdiction. The City's

1 local approval of a communication facility shall not exempt the permittee(s) from
2 any such pre-emptive regulations.

3 g) The approved facility shall address the appearance of the entire site and shall
4 upgrade or repair physical features as a means of minimizing view impacts to the
5 community. Such techniques shall include, but shall be limited to, site
6 landscaping, architectural treatments, painting, and other methods to minimize
7 visual impacts to the public streetscape.

8 45. The Conditional Use Permit C-57-06 is granted for the following: structural features
9 extending more than 10 feet above the base district height limit.

10 a) The overall height of the two faux broadleaf tree disguises is limited to 59 feet and
11 63 feet respectively (as shown on Sheet A-4 of the plans presented to the Planning
12 Commission for their review and approval).

13 b) A future, third faux broadleaf tree disguise is limited to the maximum height of the
14 OS-SP District. Heights similar to those approved by Condition 46.a may be
15 reviewed in accordance with Section 4109 Changed Plans of the Zoning
16 Ordinance.

17 46. Conditional Use Permits C-33-06, C-34-06, C-35-06 and C-57-06 shall lapse two years
18 after the effective date of approval unless implemented as provided in Section 4108.A
19 of the Zoning Ordinance and as provided in the conditions as adopted herein.

20 47. Conditional Use Permits C-33-06, C-34-06, C-35-06 and C-57-06 shall be called for
21 review by the Planning Commission if complaints are filed and verified as valid by the
22 City Planner or the Code Enforcement Officer concerning the violation of any of the
23 approved conditions or the project assumptions demonstrated under the application
24 approval.

25 48. The validity of Conditional Use Permits C-33-06, C-34-06, C-35-06 and C-57-06 shall
26 not be affected by changes in ownership or tenants.

27 49. Conditional Use Permits C-33-06, C-34-06, C-35-06 and C-57-06 shall lapse if the
28 exercise of rights granted by it is discontinued for six consecutive months.
29

1 50. Conditional Use Permits C-33-06, C-34-06, C-35-06 and C-57-06 that are exercised in
2 violation of a condition of approval or a provision of the Zoning Ordinance may be
3 revoked, as provided in Section 4706.

4 51. A request for changes in conditions of approval for a use permit or a change to the
5 approved plans that would affect a condition of approval shall be treated as a new
6 application. The City Planner may waive the requirements for a new application if the
7 changes requested are minor, do not involve substantial alterations or addition to the
8 plan or the conditions of approval, and are consistent with the intent of the project's
9 approval or otherwise found to be in substantial conformance.

10 52. Conditional Use Permits C-33-06, C-34-06, C-35-06 and C-57-06 may be revised or
11 renewed in accordance with the provisions of the Zoning Ordinance. The application
12 for Conditional Use Permit revision or renewal shall also be evaluated against the
13 existing land use policies and any site area and neighborhood changes.

14 53. The faux broadleaf tree disguise shall be applied to all communication facility structures
15 within Guajome Regional Park, as shown on the plans and exhibits presented to the
16 Planning Commission for their review and approval and as described in the following
17 detail:

- 18 a) The maximum height of the disguise is specified by C-57-06 and condition 45, as
19 adopted herein.
- 20 b) The outward reach of the canopy shall extend past the antennas to satisfactorily
21 hide the appearance of all communication antennas.
- 22 c) The shape of the faux broadleaf tree shall suitably mimic the shape of a real tree.
23 There shall be variation in the branch shapes and lengths to better mimic the
24 appearance of a broadleaf tree. The branches shall further branch or fork, similar
25 to the appearance of naturally occurring tree branches.
- 26 d) A heavy density of faux leaves that are similar in color and shape to a broadleaf
27 tree shall be applied to the disguise.
- 28 e) The installation of faux tree branches shall be eight feet above the ground and their
29 placement staggered along the vertical length of the trunk. A 59-foot tall structure
shall have a minimum of 118 branches installed. A 63-foot tall structure shall

1 have a minimum of 126 branches installed. Future faux tree construction shall
2 implement a branch density of 2.7 braches for each lineal foot of the overall height
3 of the faux tree (ground to top of canopy).

4 f) A fiberglass, reinforced faux boulder shall cover the cable port. The boulder shall
5 be finished to mimic the appearance of other natural boulders or rock outcroppings
6 within the Guajome Regional Park.

7 g) The texture and appearance of the faux broadleaf tree trunk shall mimic the color,
8 appearance, and texture of a real broadleaf tree. The disguise shall be extended to
9 all surfaces of the trunk and branches of the faux tree.

10 h) The lowest branch and leaves of the faux broadleaf tree may reach as low as 10
11 feet above existing grade. The lowest branch and leaves of the faux broadleaf tree
12 shall be no higher than 15 feet above existing grade. The 0.5-foot, shown on Sheet
13 A-6, is not in addition to this requirement.

14 i) The loss of existing mature trees shall be mitigated on-site to the satisfaction of the
15 City Planner, City Engineer and County of San Diego Department of Parks and
16 Recreation. The replacement schedule shall be in accord with Oceanside's tree
17 mitigation schedule and policies. The existing trees shown on Sheet A-3 with
18 heights between 30 feet and 80 feet shall be maintained in good condition. Prior to
19 the removal of these trees, a licensed arborist's assessment of the tree's caliper
20 shall be submitted to the City Planner and City Engineer for their review and
21 approval.

22 54. The proposed faux broadleaf tree disguise shall be maintained in a like-new condition at
23 all times. Maintenance shall include, but is not limited to, replacing trunk bark,
24 branches, leaves, and faux leaf material sock coverings. Upon the City's request and
25 discretion, the permittee(s) shall provide an aesthetic analysis, including current,
26 detailed photographs, to substantiate the like-new appearance of the proposed project,
27 within 90 days of the request. The permittee(s)' non-compliance with this requirement
28 shall be grounds for the institution of revocation proceedings of the Conditional Use
29 Permit.

1 55. An amphitheater shall be constructed as shown on the plans and exhibits presented to
2 the Planning Commission for their review and approval. This construction shall be
3 completed to the satisfaction of the City Planner, City Engineer, and the County of San
4 Diego Department of Park and Recreation prior to the issuance of a building permit for
5 a communication service facility.

6 56. A single equipment shelter shall house all ancillary equipment associated with the
7 operation of any communication facility situated within Guajome Regional Park. This
8 structure shall be 2,006 square feet in area. The use of this structure shall not result in
9 noise levels that exceed local municipal code requirements. The structure shall be
10 constructed as shown on the plans and exhibits presented to the Planning Commission
11 for their review and approval and as described in the following detail:

- 12 a) All necessary mechanical equipment shall be located within this structure.
- 13 b) Dividing the interior area shall be at the discretion of the property owner.
- 14 c) There may be a total of 12 GPS antennas associated with this site. Any GPS
15 antenna installed shall be below the roofline of the structure and shall not be
16 visible from the exterior facade of the structure.
- 17 d) The roofing material is concrete tile with a terra cotta color.
- 18 e) The exposed beams and rafters shall be rough sawn wood.
- 19 f) The peak of the equipment shelter shall not exceed 15 feet above the existing
20 grade.
- 21 g) The facade shall be clad with stone (river rock) similar in color to those found on
22 the two entry bollards to Guajome Regional Park.
- 23 h) The building's architecture shall be finished with a mission detail (color and
24 texture of stucco) to the satisfaction of the City Planner.
- 25 i) Air condition units, generators, and other equipment shall operate within the noise
26 limits set forth by the City of Oceanside Municipal Codes, Chapter 38.

27 57. Prior to issuance of a building permit for the faux broad leaf trees or the co-user
28 communication facilities, the applicant shall comply with Section 3025.D.4.F. This
29 shall include installing the landscaping shown on the plans and exhibits presented to the

1 Planning Commission for their review and approval, including Sheets GP-01, GP-02, A-
2 1, L-1. These sheets detail the landscaping and amphitheater design.

- 3 a) The permittee(s) may present a construction schedule for the review and approval
4 of the City Planner.
- 5 b) The City Planner may consider a construction schedule proposing building permits
6 for limited work prior to the completion of the landscaping. Examples of work
7 needing building permits prior to landscaping are installing caissons or the
8 building pad.
- 9 c) The applicant shall provide to the City Planner a letter stating that the
10 amphitheater has been constructed to the satisfaction of County of San Diego
11 Department of Parks and Recreation

12 58. The co-user communication facility called "Verizon" on Sheet A-6 shall be consistent
13 with the plans and exhibits presented to the Planning Commission for their review and
14 approval and shall comply with the following design restrictions:

- 15 a) These design requirements shall be complied with regardless of the ownership of
16 the antennas called-out on the plans as "Verizon."
- 17 b) The maximum height of the antennas is 55 feet above grade.
- 18 c) The centerline height of the antennas shall not exceed 53 feet above grade.
- 19 d) The maximum length of the antennas shall not exceed six feet. The pole antenna
20 size is four inches diameter. No whip antennas or dish antennas are allowed.
21 Parabolic antennas are prohibited.
- 22 e) The distance from the centerline of the monopole and the antenna face shall not
23 exceed seven feet and shall be typically 4.75 feet (as shown on Sheet A1.1).
- 24 f) There shall be no more than 12 antennas installed at this location.
- 25 g) The antennas shall be pipe mounted to radial arms or cobra-style arms.
- 26 h) The antennas, hardware, and support structures shall be painted to match the color
27 of the broadleaf tree disguise.
- 28 i) The diversity of the antennas shall not exceed 10 feet.
- 29

- 1 j) The faux broadleaf disguise shall extend at least two feet beyond the face of the
- 2 antennas and shall typically extend 4.25 feet or more past the face of the antennas
- 3 (as shown on Sheet A-1.1).
- 4 k) If determined by the City Planner as suitable for the site, faux leaves (also known
- 5 as socks) shall be applied to the antennas and their support structures.
- 6 l) A letter from the City Planner, stating that the installation has been satisfactorily
- 7 completed, shall be provided prior to Final Inspection by the Building Division.

8 59. The co-user communication facility called "Cingular Wireless" Sheet A-6 shall be
9 consistent with the plans and exhibits presented to the Planning Commission for their
10 review and approval and shall comply with the following design restrictions:

- 11 a) These design requirements shall be complied with regardless of the ownership of
- 12 the antennas called-out on the plans as "Cingular Wireless."
- 13 b) The maximum height of the antennas is 53.5 feet above grade.
- 14 c) The centerline height of the antennas shall not exceed 50.5 feet above grade.
- 15 d) The dimensions of the antennas shall not exceed 6.75 feet by one-foot by 0.5 feet.
- 16 The antennas shall be no longer than 6.75 feet. The pole antenna size is four
- 17 inches diameter. No whip antennas or dish antennas are allowed. Parabolic
- 18 antennas are prohibited.
- 19 e) The distance from the centerline of the monopole and the antenna face shall not
- 20 exceed seven feet and shall be typically 4.75 feet (as shown on Sheet A1.2).
- 21 f) There shall be no more than 12 antennas installed at this location.
- 22 g) The antennas shall be pipe mounted to radial arms or cobra-style arms.
- 23 h) The antennas, hardware, and support structures shall be painted to match the color
- 24 of the broadleaf tree disguise.
- 25 i) The diversity of the antennas shall not exceed 10 feet.
- 26 j) The faux broadleaf disguise shall extend at least two feet beyond the face of the
- 27 antennas and shall typically extend 4.25 feet or more past the face of the antennas
- 28 (as shown on Sheet A-1.2).
- 29 k) If determined by the City Planner as suitable for the site, faux leaves (also known
- as socks) shall be applied to the antennas and their support structures.

- 1 l) A letter from the City Planner, stating that the installation has been satisfactorily
2 completed, shall be provided prior to Final Inspection by the Building Division.
- 3 60. The co-user communication facility called "Sprint/Nextel" on Sheet A-6 shall be
4 consistent with the plans and exhibits presented to the Planning Commission for their
5 review and approval and shall comply with the following design restrictions:
- 6 a) These design requirements shall be complied with regardless of the ownership of
7 the antennas called-out on the plans as "Sprint/Nextel."
- 8 b) The maximum height of the antennas is 45 feet above grade.
- 9 c) The centerline height of the antennas shall not exceed 43 feet above grade.
- 10 d) The antenna dimensions shall not exceed six feet by one-foot by 0.75 feet. The
11 pole antenna size is four inches diameter. No whip antennas or dish antennas are
12 allowed. Parabolic antennas are prohibited.
- 13 e) The distance from the centerline of the monopole and the antenna face shall not
14 exceed eight feet and shall be typically 4.75 feet (as shown on Sheet A1.2).
- 15 f) There shall be no more than 12 antennas installed at this location.
- 16 g) The antennas shall be pipe mounted to radial arms or cobra-style arms.
- 17 h) The antennas, hardware, and support structures shall be painted to match the color
18 of the broadleaf tree disguise.
- 19 i) The diversity of the antennas shall not exceed 12 feet.
- 20 j) The faux broadleaf disguise shall extend at least 2.25 feet beyond the face of the
21 antennas and shall typically extend 5.5 feet or more past the face of the antennas
22 (as shown on Sheet A-1.1).
- 23 k) If determined by the City Planner as suitable for the site, faux leaves (also known
24 as socks) shall be applied to the antennas and their support structures.
- 25 l) A letter from the City Planner, stating that the installation has been satisfactorily
26 completed, shall be provided prior to Final Inspection by the Building Division.
- 27 61. Future co-user communication facilities shall be consistent with the conditions adopted
28 herein and shall comply with the following design restrictions:
- 29 a) These design requirements shall be complied with regardless of communication
service provider operating at this site.

- 1 b) The maximum height of the antennas shall be six feet or more below the crown of
2 the faux broadleaf tree disguise.
- 3 c) There shall be no more than 12 antennas per service provider. A maximum of two
4 service providers may install antennas on any one faux broad leaf tree.
- 5 d) The antenna dimensions shall not exceed six feet by one-foot by 0.75 feet. The
6 antennas shall be no longer than six feet. The pole antenna size is four inches
7 diameter. No whip antennas or dish antennas are allowed. Parabolic antennas are
8 prohibited.
- 9 e) The antennas shall be pipe mounted to radial arms or cobra arms.
- 10 f) The antennas, hardware, and support structures shall be painted to match the color
11 of the broadleaf tree disguise. All arms, antennas, antenna pipe mounts and any
12 other exposed hardware shall be painted to be disguised against the background of
13 the branches and trunk.
- 14 g) The diversity of the antennas shall not exceed 10 feet.
- 15 h) The faux broadleaf disguise shall extend at least 2.25 feet beyond the face of the
16 antennas and shall typically extend 5.5 feet or more past the face of the antennas.
17 (A request for changes in conditions of approval for a use permit or a change to the
18 approved plans that would affect a condition of approval shall be treated as a new
19 application. The City Planner may waive the requirements for a new application if
20 the changes requested are minor, do not involve substantial alterations or addition
21 to the plan or the conditions of approval, and are consistent with the intent of the
22 project's approval or otherwise found to be in substantial conformance.)
- 23 i) If determined by the City Planner as suitable for the site, faux leaves (also known
24 as socks) shall be applied to the antennas and their support structures.
- 25 j) A letter from the City Planner, stating that the installation has been satisfactorily
26 completed, shall be provided prior to Final Inspection by the Building Division.

26 62. The facility shall be inspected and a letter of clearance shall be prepared by the City
27 Planner prior to final inspection of the facility by the Building Division.

28 63. Prior to the transfer of ownership and/or operation of the use and/or prior to the addition
29 of a co-user, the owner and/or operator shall provide a written copy of the application,

1 staff report, and resolution for the project to the new owner and/or operator and/or co-
2 user. The notification requirement shall run with the life of the project.

3 64. Unless expressly waived, all current zoning standards and City ordinances and policies
4 in effect at the time building permits are issued are required to be met by this project.
5 The approval of this project constitutes the applicant's agreement with all statements in
6 the project Description and Justification and other materials and information submitted
7 with this application, unless specifically waived by an adopted condition of approval.

8 65. Prior to the issuance of building permits, compliance with the applicable provisions of
9 the City's anti-graffiti (Ordinance No. 93-19/Section 20.25 of the City Code) shall be
10 reviewed and approved by the Planning Division. These requirements, including the
11 obligation to remove or cover with matching paint all graffiti within 24 hours, shall be
12 noted on the Landscape Plan and shall be included in the applicant's amendment to their
13 lease.

14 66. Any apparent inconsistency resulting from the construction of the approved facility shall
15 be a basis for a call for the review of the Conditional Use Permit.

16 67. Upon termination of the approved communication facility use, the permittee and or
17 tenant and or property owner shall be responsible to removing the entire facility from
18 the premises and repairing the site to its original condition. (A request for changes in
19 conditions of approval for a use permit or a change to the approved plans that would
20 affect a condition of approval shall be treated as a new application. The City Planner
21 may waive the requirements for a new application if the changes requested are minor, do
22 not involve substantial alterations or addition to the plan or the conditions of approval,
23 and are consistent with the intent of the project's approval or otherwise found to be in
substantial conformance.)

24 68. The final design, aesthetic devices, and construction of any future co-user on this facility
25 shall be in accordance with the plans representing the approved project. These
26 requirements shall be shown and demonstrated on the plans submitted for building
27 permits and shall be reviewed and approved by the City Planner prior to the issuance of
28 building permits. The following requirements shall be met:

- 1 a) Installation of communication equipment on the faux broadleaf tree structure shall
2 be limited to two communication services.
- 3 b) The addition of another communication service shall in no way relieve other
4 communication services from compliance with all conditions of this resolution.
- 5 c) The additional communication services shall be required to comply with all
6 current zoning standards and City ordinances and policies in effect at the time
7 building permits are issued.
- 8 d) Any damage to structures, the disguise, and or landscaping during installation of
9 additional communication services shall be repaired and/or replaced prior to Final
10 Inspection by the Building Division.
- 11 e) No whip antennas or satellite dishes shall be permitted at any time.

12 69. All lighting showcasing building architecture shall be shown on the building plans.

13 70. Any existing broken pavement, concrete curb, gutter or sidewalk or any damaged during
14 construction of the project, shall be repaired or replaced as directed by the City
15 Engineer.

16 71. The proposed equipment shelter shall have textured surfaces and extensive use of
17 natural building materials for accents and treatments. The structure will be finished
18 with colored-stucco, rough-sawn wood beams, and have a partial stone veneer.

19 72. The colors of the exterior surfaces of the structures shall be tones compatible with the
20 surrounding landscape and not bright, glossy, or otherwise visually out of character with
21 the natural setting.

22 73. Extensive landscaping on lands surrounding the proposed communication facility is
23 required.

24 74. The proposed equipment shelter is low-lying (having a maximum height of 15 feet) and
25 situated to preserve views within the Park. The communication facility structures are
26 designed to blend with the surrounding natural landscape. As such, the appearance of
27 the facilities should not detract from the views of the natural lands.

28 75. On lands adjacent to the joint-use communication facility, cut slopes shall be limited
29 and revegetated with a mixture of drought-tolerant and native plant species.

1 76. Vegetation clearance shall only be conducted immediately prior to grading and
2 replanting shall commence immediately afterward.

3 77. The joint-use communication facility shall include such features as landscaping, open
4 areas, pathways, and an amphitheater within the public areas of Guajome Regional Park
5 as shown on the plans submitted for review and consideration by the Planning
6 Commission.

7 78. Final Inspection for Conditional Use Permits C-33-06, C-34-06 and C-56-06 shall be
8 within two years of the effective date of approval.

9 **Water:**

10 79. The developer will be responsible for developing all water and sewer utilities necessary
11 to develop the property. Any relocation of water and/or sewer utilities is the
12 responsibility of the developer and shall be done by an approved licensed contractor at
13 the developer's expense.

14 80. The following conditions shall be met prior to the approval of engineering design plans.
15 No trees, structures or building overhang shall be located within any water or
16 wastewater utility easement.

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28 ///////////////
29 ///////////////

1 81. The following conditions shall be met prior to the approval of engineering design plans.
2 If landscaping is required as part of this development and the intent is to connect to the
3 existing separate irrigation system for this system, then an agreement letter between the
4 developer and the property owner shall be provided to the Water Utilities Department
5 indicating the property owner's permission for an irrigation service tie-in.

6 PASSED AND ADOPTED Resolution No. 2008-P27 on May 5th, 2008 by the
7 following vote, to wit:

8 AYES:

9 NAYS:

10 ABSENT:

11 ABSTAIN:

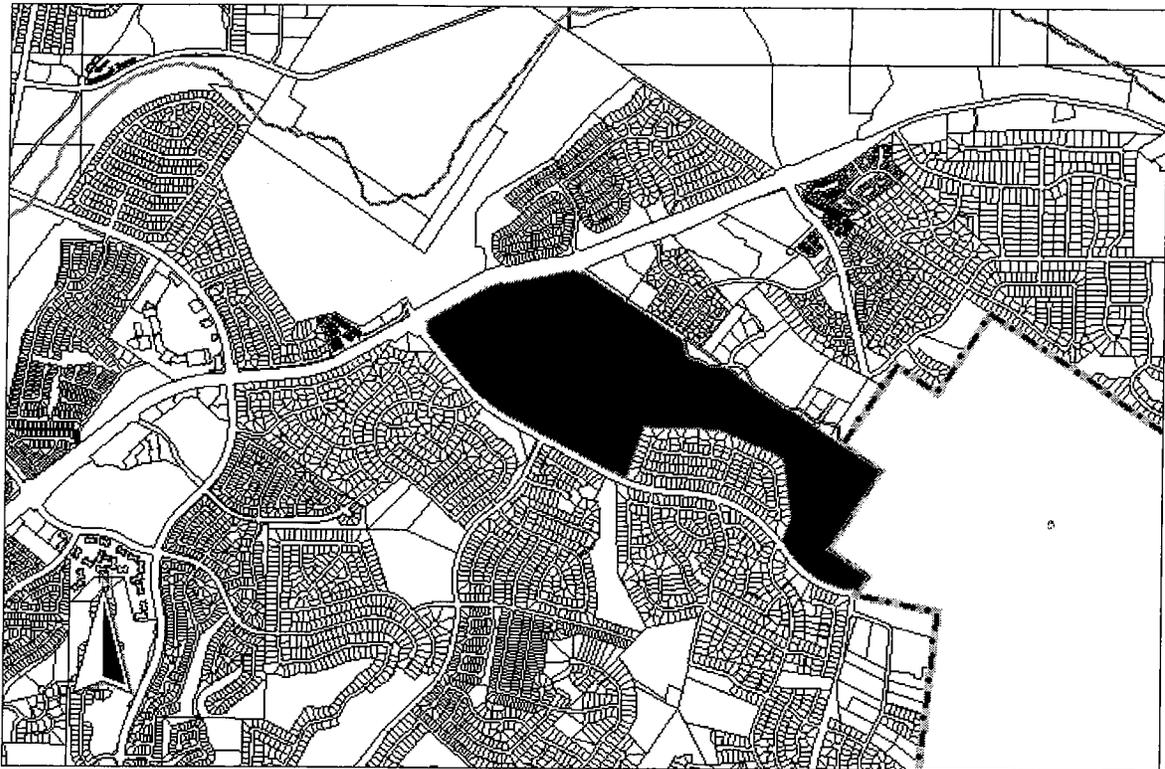
12
13 _____
14 Dennis Martinek, Chairman
Oceanside Planning Commission

15 ATTEST:

16
17 _____
18 Jerry Hittleman, Secretary

19 I, JERRY HITTLEMAN, Secretary of the Oceanside Planning Commission, hereby certify that
20 this is a true and correct copy of Resolution No. 2008-P27.

21
22 Dated: May 5, 2008



File Number: C-33-06, C-34-06, C-35-06, C-57-06

Applicant: Verizon Wireless, Cingular Wireless, Sprint Nextel

Description:

Consideration of **CONDITIONAL USE PERMITS (C-33-06, C-34-06, C-35-06 and C-57-06)** for the construction of a joint-use communication facility and construction above the height limit. The project site is zoned OS-SP (Open Space-Scenic Park) and is situated within the Guajome Neighborhood. – **GUAJOME REGIONAL PARK COMMUNICATION FACILITY MASTER PLAN**

Environmental Determination:

The project is exempt from the California Environmental Quality Act.

City of Oceanside, Planning Division
300 N. Coast Highway
Oceanside, CA 92054 (760) 435-3520

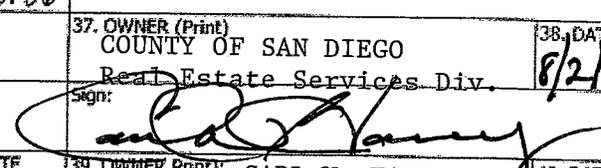
Application For Planning Commission Hearing				STAFF USE ONLY	
Planning Department (760) 435-3520 Oceanside Civic Center 300 North Coast Highway Oceanside, California 92054-2885				RECEIVED MAY 24 2007 Planning Department	
Please Print or Type All Information				ACCEPTED	BY
PART I - APPLICANT INFORMATION				HEARING	
1. APPLICANT		2. STATUS		GPA	
Verizon Wireless		Lessee		MASTER/SP.PLAN	
3. ADDRESS		4. PHONE/FAX		ZONE CH.	
1505 Sand Canyon Ave. Bldg D, Irvine, CA 92618		760-807-1850		TENT. MAP	
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing)				PAR. MAP	
Ted Marioncelli, Plancom, Inc.				DEV. PL.	
6. ADDRESS		7. PHONE/FAX		C.U.P. C-33, 34, 35-06, C-57-06	
302 State Place, Escondido, CA 92029		760-807-1850 760-735-4913		VARIANCE	
PART II - PROPERTY DESCRIPTION				COASTAL	
8. LOCATION				O.H.P.A.C.	
Guajome Regional Park, 3002 Guajome Lake Rd., Oceanside				9. SIZE	
				212.89 ac.	
10. GENERAL PLAN	11. ZONING	12. LAND USE	13. ASSESSOR'S PARCEL NUMBER		
Open Space	O-S	Regional Park	159-060-38		
PART III - PROJECT DESCRIPTION REV-1/3/08					
14. GENERAL PROJECT DESCRIPTION					
Installation of one additional telecommunication facility consisting of a 53-ft. mono-broadleaf tree and ground mounted equipment.					
15. PROPOSED GENERAL PLAN	16. PROPOSED ZONING	17. PROPOSED LAND USE	18. NO. UNITS	19. DENSITY	
Open Space	O-S	cell site	n/a	n/a	
20. BUILDING SIZE	21. PARKING SPACES	22. % LANDSCAPE	23. % LOT COVERAGE		
1844 S.F.	n/a	parkland - 89%	2.2%		
PART IV - ATTACHMENTS					
ALL APPLICATIONS			DEV. PLANS, C.U.P.s & TENT. MAPS		
24. DESCRIPTION/JUSTIFICATION		25. LEGAL DESCRIPTION		30. FLOOR PLANS AND ELEVATIONS	
26. 300-FT. RADIUS MAP		27. PROPERTY OWNERS' LIST		31. CONSTRUCTION SCHEDULE	
28. ENVIRONMENTAL ASSESSMENT		29. PLOT PLANS		32. OTHER	
PART V - SIGNATURES					
THE APPLICANT OR HIS/HER REPRESENTATIVE MUST BE PRESENT AT THE HEARING. FAILURE TO BE PRESENT MAY RESULT IN DENIAL OF THE APPLICATION.			SIGNATURES OF ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).		
33. APPLICANT OR REPRESENTATIVE (Print):		34. DATE	37. OWNER (Print)		38. DATE
TED MARIONCELLI		5-9-07			
Sign: Ted Marioncelli		Sign:			
I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.			Sign:		
35. APPLICANT (Print):		36. DATE	39. OWNER (Print):		40. DATE
TED MARIONCELLI		5-9-07			
Sign: Ted Marioncelli		Sign:			

JK

C-33-06 stand alone
 C-34-06 co-user
 C-35-06 height

Cingular + Sprint / 3000 Guajome Lake Road

CO Applicant
 Sprint
 5741 Copley Dr.
 San Diego CA
 92111
 658-650-4253
 658-650-4202 (f)

Application For Planning Commission Hearing				STAFF USE ONLY	
Planning Department (760) 435-3520 Oceanside Civic Center 300 North Coast Highway Oceanside, California 92054-2885				ACCEPTED	BY
Please Print or Type All Information				8-4-06	
PART I - APPLICANT INFORMATION				HEARING	
1. APPLICANT		2. STATUS		GPA	
Cingular Wireless / Sprint / Nextel				MASTER/SP.PLAN	
3. ADDRESS		4. PHONE/FAX		ZONE CH.	
6925 Lusk Blvd. San Diego CA 92121				TENT. MAP	
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing)				PAR. MAP	
Karen Adler Agent - Plan Com Inc.				DEV. PL.	
6. ADDRESS		7. PHONE/FAX		C.U.P. C-33-06, C-34-06, C-35	
302 State Place Escondido CA 92029		760-715-3416 760-735-4913 fax		VARIANCE	
PART II - PROPERTY DESCRIPTION				COASTAL	
8. LOCATION			9. SIZE		
3000 Guajome Lake Road			212.89 acres		
10. GENERAL PLAN	11. ZONING	12. LAND USE	13. ASSESSOR'S PARCEL NUMBER		
	OS-SP	County Park	159-060-38		
PART III - PROJECT DESCRIPTION					
14. GENERAL PROJECT DESCRIPTION: Installation of a new, 53' high mono-broadleaf tree with 12 antennas, co-located with the relocated existing Sprint antennas. Remove existing monopalm. Installation of 8 outdoor equipment cabinets inside an 8-foot-high wood fence enclosure.					
15. PROPOSED GENERAL PLAN	16. PROPOSED ZONING	17. PROPOSED LAND USE	18. NO. UNITS	19. DENSITY	
no change	OS-SP	County Park	n/a	n/a	
20. BUILDING SIZE	21. PARKING SPACES	22. % LANDSCAPE	23. % LOT COVERAGE		
n/a	n/a	park land 89%	2.2%		
PART IV - ATTACHMENTS REV-2/26/07, 5/22/07					
ALL APPLICATIONS				DEV. PLANS, C.U.P.s & TENT. MAPS	
24. DESCRIPTION/JUSTIFICATION		25. LEGAL DESCRIPTION		30. FLOOR PLANS AND ELEVATIONS	
26. 300-FT. RADIUS MAP		27. PROPERTY OWNERS' LIST		31. CONSTRUCTION SCHEDULE	
28. ENVIRONMENTAL ASSESSMENT		29. PLOT PLANS		32. OTHER	
PART V - SIGNATURES					
THE APPLICANT OR HIS/HER REPRESENTATIVE MUST BE PRESENT AT THE HEARING. FAILURE TO BE PRESENT MAY RESULT IN DENIAL OF THE APPLICATION.			SIGNATURES OF ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).		
33. APPLICANT OR REPRESENTATIVE (Print):		34. DATE		37. OWNER (Print)	
Karen Adler, Agent		7-31-06		COUNTY OF SAN DIEGO	
Sign: Karen Adler, Agent				Real Estate Services Div.	
I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.			Sign: 		
35. APPLICANT (Print):		36. DATE		39. OWNER (Print):	
Karen Adler, Agent		7-31-06		CARL W. HARRY	
Sign: Karen Adler, Agent				Supervising Real Property Agent	
				40. DATE	
				8/2/06	

RECEIVED
 AUG 04 2006
 Planning Department



RECEIVED
MAY 24 2007
Facilities Department

PROJECT DESCRIPTION & JUSTIFICATION

MASTER PLAN FOR WIRELESS FACILITIES
FOR
GUAJOME REGIONAL PARK

Guajome Park

Guajome Lake Road & Old Ranch Road
Oceanside, CA 92054

Prepared for:

City of Oceanside

Department of Planning
300 North Coast Highway
Oceanside, CA 92056

County of San Diego

Real Property Services Division
5555 Overland Avenue
San Diego, CA 92123

Prepared by:

PlanCom, Inc.

Contractor Representatives for

Verizon Wireless

302 State Place
Escondido, CA 92029

Contact: Ted Marioncelli, Planning Consultant
(760) 807-1850

May 9, 2007



PROJECT DESCRIPTION/HEIGHT JUSTIFICATION

Verizon Wireless (VZW), in conjunction with the County of San Diego as part of a Joint Agency project, Cingular Wireless (CW) and SprintNextel Corp. (SNC) are proposing to construct, operate, and maintain a multi-user, collocatable wireless PCS facility at Guajome Regional Park. The master plan facility will consist of a total of three 53-foot high broadleaf style monotrees (or mono-broadleaf or elm), a multi-user equipment building for radio equipment and a 50-60 seat amphitheater for park use. Extensive landscaping in and around the area of the proposed monotrees, new equipment building and amphitheater is also being proposed. The initial Verizon/Cingular/Sprint/Nextel project will consist of a total of thirty-six (36) antennas, two sets of four (4) antennas each in two (3) antenna arrays with approximately 10 feet of vertical separation on the westernmost monotree; Verizon's antennas will be placed on a separate monotree. The proposed project will implement a portion of a master planned wireless facility at the park. An additional two trees, both 53-feet high and the same mono-broadleaf style are proposed in the master plan; these two trees can accommodate four more wireless carriers. There are two existing monopalm trees owned by SNC and T-Mobile USA in the maintenance yard area. The proposed project will replace the existing SNC monopalm and add two new wireless telecommunication facilities, one by Verizon and one by Cingular Wireless. Photo simulations are provided with the application for review.

All associated radio equipment for all carriers will be contained within a new 18'x86' x13' equipment building. The new equipment building will be located immediately north and adjacent to the existing park ranger maintenance yard and will screen the maintenance yard from the main park area. The appearance of the building will be a stucco finish with a river rock wainscot and exposed wood beams in the roof eaves and a mission concrete tile roof. All construction will be of concrete block to maximize self protection of the equipment in case of fire. The specific location and design of the proposed facility is illustrated in further detail on the site plan and elevation drawings.

PROJECT/HEIGHT JUSTIFICATION

Verizon Wireless, Cingular Wireless and SprintNextel are each a public utility, licensed and regulated by the Federal Communications Commission (FCC) and informally by the California Public Utilities Commission (CPUC), and authorized to develop and operate a new wireless, digital PCS and CDMA/iDEN networks, respectively, throughout California and parts of Nevada. VZW, CW and SNC engineers responsible for the overall design and operation of the PCS and CDMA/iDEN networks want to ensure that network coverage is available throughout the County of San Diego. The proposed site location is essential to meeting the networks' current capacity and coverage needs in this area. At present, there is very little or no PCS or CDMA/iDEN network coverage to the roadways



and homes located in this portion of the County of San Diego. The proposed facility is intended to address this need, and by design will interface with neighboring sites to provide high quality, consistent network operations to VZW, CW and SNC customers.

Verizon, Sprint/Nextel and Cingular have exhausted site searches in the area of Guajome Regional Park. Alternate locations would include primarily residential properties which would not be preferred if alternate sites are available. Existing commercial locations in the area indicated they would not participate in locating a wireless facility on their property. The selection of Guajome Regional Park as a wireless facility location was based on the county's willingness to participate and its central location to the surrounding residential area and Highway 76, which are primary coverage objectives.

The height limitation for buildings in the SP overlay zone is 25 feet within 100 feet of the boundaries of the park. The antennas will be mounted on camouflage mono-broadleaf tree structures that are more than 100 feet from the perimeter of the park and situated within an area of vegetation and tree canopy that will visually obstruct the monotrees from surrounding properties. The tree canopy at the rear of the park on the south side is 80 feet or more in most cases; a larger stand of trees to the west of the proposed site is also in excess of 80 feet in height. The additional height of the monotrees is necessary to provide coverage to the primary objective areas and to provide opportunities for co-location of additional wireless facilities in the park. The 53-foot height requested is in character with surrounding trees and vegetation of the park, thus creating no further visual impact to the surrounding properties.

SITE CHARACTERISTICS

The underlying land use designation of the proposed site is OS/SP, Open Space/Scenic Park. The existing land use is Guajome Regional County Park, which provides day-camping and year-round use of camp-sites for motor homes, travel trailers and campers with tents. Several nature-interpretation programs are operated at Guajome Park and the park is used frequently by schools for field trips and class outings. A park ranger's office and maintenance yard are also on the property. Additionally, T-Mobile and SNC have existing wireless facilities on site.

The surrounding land uses are as follows:

North:	Park and day parking lot
South:	Ranger office and maintenance yard
East:	Parkland
West:	Parkland & campsite area



OPERATION & MAINTENANCE

Once constructed and operational, the communications facility will provide 24-hour service to its users seven (7) days a week. Apart from initial construction activity, a VZW, CW and/or SNC technician will service the facility on an as-needed basis. Generally, this is likely to occur once per month during normal working hours, although a computer may handle much of the operational adjustments remotely. A VZW, CW and/or SNC technician in a service van or pickup truck-size vehicle will perform the routine maintenance operation. Beyond this routine maintenance service, VZW, CW and SNC typically require 24-hour access to the facility to ensure that technical support is immediately available if and when warranted during an emergency.

LANDSCAPING

Extensive landscaping is proposed to be added in the area north and west of the equipment building and mono-trees; 14 trees will be planted to re-establish the old grove that existed years ago in this area. Accent trees are proposed around the rear of the amphitheater and accent shrubs are proposed on the northeast side of the new equipment building. Additional groundcover and lower plantings will be of native varieties. The concept landscape plan is shown in more detail on Sheet L-1 of the plan drawings.

HAZARDOUS MATERIALS

Sealed lead acid batteries are used for back-up power in the event of a power failure on most Cingular Wireless facilities. The batteries are often referred to as "gel cell" type batteries. Specifications for the batteries are provided as an attachment to this application.

LEASE AREA

The lease area is shown on the plot plan drawings.

ALTERNATE DESIGNS AND MASTER PLAN APPROACH

While CW and SNC believe that a tree design is the least obtrusive and most setting-friendly for the public as well as what the County of San Diego will accept, in an effort to comply with the direction of the City of Oceanside Planning Department and to offer



options for the proposed collocated site, SprintNextel and Cingular Wireless have considered and investigated alternative designs to the collocatable faux broadleaf tree. Given the park setting of Guajome Park, the opportunities for non-tree antenna facilities is limited. Designs that are traditionally acceptable alternatives, such as ballpark lights, parking lot lights and flagpoles are not practical as they would stand out as inconsistent with the environs of the park.

In conjunction with the County Parks Division, County Real Property and the City of Oceanside Planning Department, a master plan approach was undertaken to determine the most compatible type of antenna structure and style of building to house the radio equipment for the park setting. Alternate designs consisted of a water tower, bell towers, barn structures, and light poles. The decision for the final design of the mono-broadleaf trees was the consensus of several design reviews by County Parks and Real Property Department staff; it was determined the monotrees were the least intrusive design and most compatible with park usage. Likewise, the design of the equipment building attempts to build on existing architectural elements within the park, although there are admittedly few existing buildings with distinct architectural elements. However, the ranch style architecture and river rock façade are elements which exist in the park. Furthermore, at the direction of the County of San Diego, the plan includes the addition of an outdoor amphitheater to be located adjacent to the wireless facility. The amphitheater is provided as a contribution to the community by the carriers.

As part of the overall master plan, and as previously agreed by SprintNextel, the existing SprintNextel site will be dismantled and removed from the County Parks Ranger Station maintenance yard as soon as this proposed plan is approved for construction and completed for occupancy. While the initial agreement between the City of Oceanside and SprintNextel was limited to 6 months from application, the process was interrupted to accommodate the Joint Agency design process. Due to the length of time required to obtain the necessary Agency departmental review and approval for resubmittal, SprintNextel reiterates its good-faith efforts to create an acceptable site design and its desire to remain on-air until this process is completed.

OPERATIONAL FREQUENCY CRITERIA

The FCC has allocated a portion of the radio spectrum to VZW, CW and SNC for the provision of PCS, and CDMA/iDEN. The proposed communications facility will transmit at a frequency range of between 805 MHz and 1950 MHz. The power required to operate the facility typically does not exceed 200 watts per channel. By design, the VZW/CW/SNC facility is a low-power system. Depending upon characteristics of the site, the actual power requirements maybe reduced. When operational, the transmitted signals from the site will consist of non-ionizing waves generated at less than one (1) microwatt per square centimeter, which is significantly lower than the Federal



Communications Commission (FCC) standard for continuous public exposure of 900 microwatts per square centimeter. The proposed communications facility will operate in full compliance with the standards for radio frequency emissions as adopted by the FCC.

PLANNING/ZONING CONSISTENCY

The location, size, design, and operating characteristics of the proposed communications facility will not create unusual noise, traffic, or other conditions or situations that may be objectionable, detrimental, or incompatible with other permitted uses in the vicinity. The following supports this determination:

1. The equipment associated with the communication structure operates quietly or virtually noise free.
2. The equipment does not emit fumes, smoke, dust, or odors that could be considered objectionable.
3. The communications facility is unmanned and only requires periodic maintenance, which equates to approximately one vehicle trip per month per wireless facility for a total of three potential vehicle trips per month.

Further, the proposed communications facility will not result in conditions or circumstances contrary to the public health, safety and welfare, in that:

1. The proposed communications facility will operate in full compliance with the U.S. standards for radio frequency emissions as adopted by the FCC.
2. The radio frequency emissions emitted by the proposed wireless communications facility will fall within the portion of the electromagnetic spectrum, which transmits non-ionizing radio waves. Non-ionizing electromagnetic emissions, at the low levels associated with this type of wireless technology, are not harmful to living cells. Among the items that result in non-ionizing electromagnetic emissions are police/fire/EMS radios, television broadcasts, CB radios, microwave ovens, and a variety of common household electronics including garage door openers and baby monitors. Conversely, items that transmit ionizing electromagnetic emissions include ultra-violet light, medical x-rays, and gamma rays.
3. Data currently available on the effects of electromagnetic transmissions on public health indicate that there is not the likelihood of negative impacts to public health and safety.

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Planning Department

EXHIBIT "A"

All that certain real property situated in the County of San Diego, State of California, described as follows:

Those portions of the Rancho Guajome, designated as Lot 5, on the Partition Map attached to and made a part of the Report of the Referees, in the Partition of said Rancho and adjoining lands, in that certain Action in the Superior Court of San Diego County, wherein Susie G. Coutts was the Plaintiff and Richard O'Neill, et al, were the defendants, which Report and Map are on file in the office of the Clerk of said Superior Court (Case No. 10201) and to which Map and Final Decree in said Action, reference is hereby made for a more particular description of said Lot 5, and of that certain parcel of land situated in the Rancho Guajome marked "Thomas Hay, 40 acres" on the said Partition Map above referred to, described as follows:

Beginning at the Northeasterly corner of said Lot 5, said corner being marked by a $\frac{3}{4}$ inch pipe which replaced an old redwood stake as shown on Record of Survey No. 3382 on file in the office of the County Recorder of said County;

Thence along the Northerly line of said Lot 5, North $56^{\circ} 49' 10''$ West a distance of 3744.30 feet to a point in said Northerly line of said Lot 5, said point being distant South $56^{\circ} 49' 10''$ East, 680.62 feet from the most Northerly corner of said Lot 5;

Thence South $32^{\circ} 26'$ West along the Easterly line of the land conveyed to Jerome Buteyn, by Deed dated May 5, 1944, recorded June 13, 1944, in Book 1704, page 32 of Official Records of said County, a distance of 2113.96 feet to a point in the center line of Road Survey No. 392, as shown on Map on file in the office of the County Surveyor of said County, distant thereon North $64^{\circ} 17'$ West 298.05 feet from the Northwesterly end of a 1521.75 foot radius curve and a central angle of $6^{\circ} 44'$;

Thence along said center line, along the Northeasterly line of said Buteyn land, South $64^{\circ} 17'$ East 298.05 feet to the beginning of a tangent curve concave Southwesterly and having a radius of 1521.75 feet;

Thence Southeasterly along the arc of said curve, through a central angle of $6^{\circ} 44'$ an arc distance of 178.84 feet to the end of said curve;

Thence along a line tangent to said last mentioned curve at said last mentioned point, South $57^{\circ} 33'$ East, a distance of 447.43 feet to the beginning of a tangent curve concave Northerly and having a radius of 800.00 feet;

Thence Easterly along the arc of said curve, through a central angle of $28^{\circ} 25'$ an arc distance of 396.77 feet to the end of said curve;

Thence along a line tangent to said last mentioned curve at said last mentioned point, South 85° 58' East, 615.35 feet to the beginning of a curve concave Southerly and having a radius of 1000.00 feet;

Thence Southeasterly along the arc of said curve, through a central angle of 26° 42' an arc distance of 466.00 feet to the end of said curve;

Thence along a line tangent to said last mentioned curve at said last mentioned point, South 59° 16' East 320.09 feet to the beginning of a tangent curve concave Southwesterly and having a radius of 1000.00 feet;

Thence Southeasterly along the arc of said curve, through a central angle of 18° 50' an arc distance of 328.70 feet to the end of said curve;

Thence along a line tangent to said last mentioned curve at said last mentioned curve at said last mentioned point South 40° 26' East 591.90 feet to the beginning of a tangent curve concave Northeasterly and having a radius of 500.00 feet;

Thence Southeasterly along the arc of said curve, through a central angle of 22° 28' an arc distance of 196.06 feet to the end of said curve;

Thence along a line tangent to said last mentioned curve at said last mentioned point South 62° 54' East, 367.61 feet to the beginning of a tangent curve concave Northeasterly and having a radius of 1000.00 feet;

Thence Southeasterly along the arc of said curve, through a central angle of 18° 42' an arc distance of 326.38 feet to the end of said curve;

Thence along a line tangent to said last mentioned curve at said last mentioned point, South 81° 36' East a distance of 10.00 feet to a point in said center line of said Road Survey No. 392, said point being the Southwesterly corner of the land conveyed to Ross E. McDaniel and wife, by Deed dated March 24, 1953, and recorded in Book 4827, page 35 of Official Records of said County;

Thence leaving said center line of said Road Survey No. 392, North 33° 10' 10" East along the Northwesterly line of said McDaniel lien a distance of 290.65 feet to the Southwesterly line of the Estate of A. McWhirter Tract and Northeasterly line of said Lot 5, above referred to;

File No: 09000182

Thence North 56° 48' 40" West along the line of the Estate of A. McWhirter Tract,
and along the Northeasterly line of said Lot 5, a distance of 660.00 feet;

Thence North 33° 10' 50" East, 1319.72 feet to the point of beginning.



NOTICE OF EXEMPTION

City of Oceanside, California

Post Date:
Removal:
(30 days)

1. **APPLICANTS:** Verizon Wireless, Cingular Wireless, Sprint/Nextel
2. **ADDRESS:** 302 State Place, Escondido, CA 92029
3. **PHONE NUMBER:** (760) 807-1850
4. **LEAD AGENCY:** City of Oceanside
5. **PROJECT MGR.:** Juliana von Hacht
6. **PROJECT TITLE:** Guajome Regional Park Communication Facility Master Plan
7. **DESCRIPTION:** Consideration of Conditional Use Permits (C-33-06, C-34-06, C-35-06 AND C-57-06) for the construction of a joint-use communication facility and construction above the height limit.

DETERMINATION: Planning Division staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA), 1970. Based on that review, the Environmental Coordinator finds that the proposed project constitutes construction and location of limited numbers of new, small facilities or structures; therefore, the Environmental Coordinator has determined that further environmental evaluation is not required because:

- "The activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA" (Section 15061(b)(3)); or,
- The project is statutorily exempt, Section_____, <name> (Sections 15260-15277); or,
- The project is categorically exempt, Class 3, (Section 15303 construction and location of limited numbers of new, small facilities or structures)
- The project does not constitute a "project" as defined by CEQA (Section 15378).

Date: 5-May-2008

Juliana von Hacht, Associate Planner

cc: Project file Counter file Library Posting: County Clerk \$50.00 Admin. Fee