



# AGENDA NO. 7a

## STAFF REPORT

### OCEANSIDE HISTORIC PRESERVATION ADVISORY COMMISSION

DATE: February 9, 2010

TO: Chairman and Members of OHPAC

FROM: Development Services Department/Planning Division

SUBJECT: **CONSIDERATION OF A GENERAL PLAN AMENDMENT (GPA-3-07), ZONE AMENDMENT (ZA-2-07), DEVELOPMENT PLAN (D-6-07), CONDITIONAL USE PERMIT (C-9-07) AND HISTORIC PERMIT (H-3-07) TO CHANGE THE LAND USE DESIGNATION FROM SINGLE-FAMILY DWELLING RESIDENTIAL (SFD-R) TO PRIVATE INSTITUTIONAL (PI) AND CHANGE THE ZONING DESIGNATION FROM SINGLE-FAMILY RESIDENTIAL (RS) TO PUBLIC & SEMI-PUBLIC (PS) ALL WITH AN HISTORIC OVERLAY (H) IN ORDER TO ALLOW THE CONSTRUCTION OF A TWO-STORY, 16,591-SQUARE FOOT, 59-BED 24-HOUR NON-MEDICAL CARE DRUG AND ALCOHOL RECOVERY CENTER ON A 1.00-ACRE SITE. THE PROJECT SITE IS LOCATED NORTH OF CHAPTER WAY, SOUTH OF SAN LUIS REY MOBILE HOME PARK, AND EAST OF THE SAN LUIS REY PARISH CHURCH WITHIN THE MISSION SAN LUIS REY NEIGHBORHOOD – APPLICANT: THE FELLOWSHIP CENTER.**

### RECOMMENDATION

Staff recommends that the Oceanside Historic Preservation Advisory Commission adopt OHPAC Resolution No. 2010-H01 recommending denial of a General Plan Amendment (GPA-3-07), Zone Amendment (ZA-2-07), Development Plan (D-6-07), Conditional Use Permit (C-9-07) and Historic Permit (H-3-07) to the City Council for final action.

### PROJECT DESCRIPTION AND BACKGROUND

**Background:** On March 26, 2007, the City of Oceanside received an application for a General Plan Amendment (GPA-3-07), Zone Amendment (ZA-2-07), Development Plan (D-6-07), Conditional Use Permit (C-9-07) and Historic Permit (H-3-07) in order to change the subject properties General Plan and Zoning designations from single-family

residential to public & semi-public in order to allow for a 59-bed, 24-hour Non-Medical Care Drug and Alcohol Recovery Center on a one-acre site that is fully developed as a single-family residence.

On December 1, 2009, The Oceanside Historic Preservation Advisory Commission adopted OHPAC Resolution No. 2009-H03 overturning staff's recommendation of denial and recommending approval of a General Plan Amendment (GPA-3-07), Zone Amendment (ZA-2-07), Development Plan (D-6-07), Conditional Use Permit (C-9-07) and Historic Permit (H-3-07) to the City Council for final action. The commission's action to overturn staff's recommendation was based upon the finding that the request to change the General Plan and Zoning designations in order to develop the property with a 59-bed Drug and Alcohol Rehab Facility for men would not detract from the Historical Significance of the Mission San Luis Rey de Francia and was consistent with the intent of the Mission San Luis Rey Historic Area Development Program and Design Guidelines. Subsequent to the meeting, a procedural issue arose and resulted in the OHPAC action being nullified, and a no action determination being made by the City Attorney. The nullified action has resulted in this item being returned to OHPAC for a new hearing.

**Site Review:** The proposed project site is located within a Single-Family Residential-Historic Overlay (RS-H) zone district, and consists of a relatively flat pad that slopes downward to the northwest and fully developed with a single-family residence circa 1945. The site is located within the locally designated Mission San Luis Rey Historic Area, and therefore is subject to the Mission San Luis Rey Historic Area Development Program and Design Guidelines.

Adjacent land uses include the Parish Church and Mission San Luis Rey de Francia to the west just beyond a single-family residential parcel, vacant undeveloped land to the south that is owned by the Diocese of San Diego and is zoned as Public & Semi-Public, two parcels of Public & Semi-Public immediately east with single-family residential beyond that. Access to the one-acre site would occur via private easements off of Mission Avenue, and are referred to as Academy and Chapter Way.

**Project Description:** The project application is comprised of five components: a General Plan Amendment (GPA-3-07), Zone Amendment (ZA-2-07), Development Plan (D-6-07), Conditional Use Permit (C-9-07) and Historic Permit (H-3-07) as follows:

General Plan Amendment (GPA-3-07) represents a request for the following:

- (a) A request to change the Land Use Designation from Single-Family Detached Residential (SFD-R) to Private Institutional (PI) in order to accommodate a Residential Care – General land use.

Zone Amendment (ZA-2-07) represents a request for the following:

- (b) A request to change the Zoning Designation from Single-Family Residential Historic Overlay (RS-H) to Public & Semi-Public Historic Overlay (PS-H) in order to accommodate a Residential Care – General land use.

Development Plan (D-6-07) represents a request for the following:

- (c) A request to demolish the existing circa 1945 single-family residence and develop the one-acre site with a two-story 16,591-square foot, 59-bed 24-hour non-medical care drug and alcohol recovery center.

Site development would include on premise shared dining, laundry, and restroom facilities, with approximately 30 off-street parking spaces being provided on-site for residents and staff of the treatment center.

Architectural design provides an overall building layout that would incorporate a courtyard layout with four wings providing the makeup for the facility. The south wing facing Chapter Way and providing the entrance to the site would consist of a lobby, eight counseling rooms/offices, and a conference room. The west wing would house a large multi-purpose/dining room, a central kitchen, and restroom facilities. The north and east wings would contain approximately 20 bedrooms to house 59 residents, and would include central laundry facilities.

Conditional Use Permit (C-9-07) represents a request for the following:

- (d) A request to allow a Residential Care, General land use on a proposed Public & Semi- Public zoned parcel and in accordance with Article 16 Section 1620 Land Use Regulations for Public & Semi-Public parcels.

Historic Permit H-3-07 represents a request for the following:

- (e) A Historic Permit is required in order to permit the development of the one-acre site which is located within the boundaries of the Historic Overlay District pursuant to Article 21 Section 2111.

The project is subject to the following Ordinances and City policies:

1. General Plan
2. Mission San Luis Rey Historic Area Development Program and Design Guidelines
3. Zoning Ordinance
4. California Environmental Quality Act

## **ANALYSIS**

### **KEY PLANNING ISSUES**

#### **1. General Plan Conformance**

The project site is designated as Single-Family Detached Residential (SFD-R) on the Land Use Map, and the proposed General Plan Amendment (GPA) to change the Land Use Designation to Private Institutional (PI) is inconsistent with the goals and objectives of the City's General Plan, as follows:

##### **A. Land Use Element I. Community Enhancement**

Goal: The consistent, significant, long term preservation and improvement of the environment, values, aesthetics, character, and image of Oceanside as a safe, attractive, desirable, and well-balanced community.

##### **1.11Balanced Land Use**

Policy B: The City shall analyze proposed land uses for assurance that the land use will contribute to the proper balance of land uses within the community or provide a significant benefit to the community.

Staff has reviewed the request to change the Land Use and Zoning Designations from that of Single-Family Residential to a Private Institutional designation in order to allow for the development of a two-story, 16,591-square foot, 59-bed 24-hour non-medical care drug and alcohol rehabilitation center on a one-acre site, and have determined that the overall change in land use designation necessary to permit this type of facility is inconsistent with the overall vision that the area be maintained as a low intensity single-family residential land use that would not detract from the Historical Significance of the Mission San Luis Rey de Francia. Establishment of a facility of this intensity was never envisioned in the Historic Area Development Program and Design Guidelines land use patterns, and would conflict directly with the Land Use element general guidance for distribution of land uses within the Historic Area which are primarily residential along the periphery.

Staff in reviewing the overall balance of this type of proposed land use throughout the City of Oceanside has determined that typical facilities of this nature are provided in predominately urbanized areas within close proximity to major transportation corridors and public transit facilities. As of July 24, 2007 there were approximately two residential and six outpatient facilities dispersed throughout the City of Oceanside. Allowing for spot changes to the General Plan for the sole purpose of establishing a given land use would significantly detract and negatively impact the surrounding conforming land uses that are predominately single-family residential housing stock.

**2. Zoning Compliance**

This project site is located in the Single-Family Residential Historic Overlay (RS-H) zone district, and the applicant is proposing a Zone Amendment (ZA) to change the zoning to Public & Semi-Public Historic Overlay (PS-H). Development regulations shall be as specified by the use permit, provided that if the use permit fails to regulate an element regulated by an abutting base district, the regulations of the abutting base district shall apply to each portion of a PS district. The following table summarizes proposed and applicable development standards for the project site based upon the base district of Single-Family Residential (RS) and the development standards that would specified should a use permit be approved:

	REQUIRED PER (RS) ZONE DISTRICT *N/A in RS	PROPOSED
PARKING SPACES	*(Residential Care-General) 1 per 3 beds; plus additional specified by use permit.	30 Spaces
SETBACK FROM FRONT PROPERTY LINE	20'-0"	24'-7" Minimum to Building
SETBACK FROM REAR PROPERTY LINE	15'-0"	56'-5" Minimum to Building
SETBACK FROM SIDE PROPERTY LINES	7.5'	36'-6" Minimum West Side 6'-3" Minimum East Side
BUILDING HEIGHT	36'-0" Maximum	2 Stories/ 31'-10" Maximum
LOT COVERAGE	45%	23.5%
LANDSCAPING COVERAGE	*15% Typical for Commercial Projects	17%

Staff has reviewed the subject development proposal for consistency with the Mission San Luis Rey Historic Area Development Program and Design Guidelines, and has determined that the proposed development standards to be implemented into the 24-Hour Non-Medical Care Drug and Alcohol Recovery Center site design and proposed architectural design incorporate elements from the guidelines but remain inconsistent with the intent of the original objectives to maintain single-family residential around the periphery of the historic area and would detract from the Historical Significance of the Mission San Luis Rey.

### 3. Land Use Compatibility with surrounding developments

LOCATION	GENERAL PLAN	ZONING	LAND USE
Subject Site:	Proposed: Private Institutional (PI)	Proposed: Public & Semi-Public Historic Overlay (PS-H)	Residential Care-General
	Current: Single Family Detached Residential (SFD-R)	Current: Single Family Residential Historic Overlay (RS-H)	Single Family Residence
North of Subject Site:	Medium Density Residential –A (MDA-R)	Medium Density Residential –A (RM-A)	Mobile Home Park
East of Subject Site	Private Institutional(PI)	Public & Semi-Public Historic Overlay (PS-H)	Vacant Parcel & Alano Club Clubs And Lodges Land Use
South of Subject Site	Private Institutional(PI)	Public & Semi-Public Historic Overlay (PS-H)	Vacant Diocese of San Diego Property
West of Subject Site	Single Family Detached Residential (SFD-R)	Single Family Residential Historic Overlay (RS-H)	Single Family Residence

The proposed General Plan Amendment and Zone Change to allow the development of a two-story, 16,591-square foot, 59-bed 24-hour non-medical care drug and alcohol recovery center on a 1.00-acre site has been determined to be inconsistent with, and incompatible to, the surrounding built environment and the original Historic Area Development Program vision for the area; as well as, with the zoning of the site.

The overall land use has been identified as one that would provide an overall benefit to the community, but not in the current proposed location. Detailed review of similar type facilities throughout Oceanside do exist, and in close proximity to more urbanized areas developed with mass public transit necessary to accommodate a majority of the citizens that would benefit from such a facility.

### **DISCUSSION**

*Issue: Mission San Luis Rey Historic Area Development Program & Design Guidelines Consistency and Compatibility with the Long Range Goals and Objectives for the Mission San Luis Rey Historic Area*

The primary issue of compatibility with the Historic Mission San Luis Rey is derived from the fact that the Mission San Luis Rey remains a National Historic Landmark, with preservation and protection of the resource being the primary objective to be

considered in all development within the Historic Area, and more specifically within the periphery of the Historic Core Area. Staff has reviewed the proposed General Plan and Zone Amendment; as well as, the conceptual development proposal to construct a two-story, 16,591-square foot, 59-bed 24-hour non-medical care drug and alcohol rehabilitation center on a one-acre site with the Mission San Luis Rey Historic Area, and have determined that the while an overall design that integrates a California Mission Revival Style Architectural design into the overall architecture, is inconsistent with the intent of the Development Program and Design Guidelines for the area, the change in land use and zoning would detract from the historic significance of the Mission San Luis Rey and would not align with the original vision for the Mission's Historic setting to have the periphery maintained with low intensity single-family residential land uses.

### Recommendation

Staff recommends that OHPAC concur with staff's findings and conclusions that changing the Land Use and Zoning Designations for the sole purpose of allowing the development of a two-story, 16,591-square foot, 59-bed 24-hour non-medical care drug and alcohol rehabilitation center on a one-acre site would negatively impact surrounding land uses, and would significantly alter the historical significance of the Mission San Luis Rey by allowing spot zoning to allow intensified urbanized type land uses within the Mission San Luis Rey Historic Area.

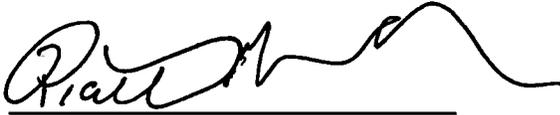
## **ENVIRONMENTAL DETERMINATION**

Pursuant to the California Environmental Quality Act of 1970 and State Guidelines thereto; the City of Oceanside acting as Lead Agency intends to disapprove the project and in accordance with CEQA Section 15270 "Projects Which are Disapproved" (b) allows for an initial screening of projects on the merits for quick disapprovals prior to initiation of the CEQA process where the agency can determine that the project cannot be approved. Should staff's recommendation to deny be overturned, the project would need to be returned to staff in order to conduct the required CEQA review prior to any discretionary action occurring.

## **RECOMMENDATION**

Staff recommends that the Oceanside Historic Preservation Advisory Commission adopt OHPAC Resolution No. 2010-H01 recommending denial of a General Plan Amendment (GPA-3-07), Zone Amendment (ZA-2-07), Development Plan (D-6-07), Conditional Use Permit (C-9-07) and Historic Permit (H-3-07) to the City Council for final action.

### **SUBMITTED BY:**

A handwritten signature in black ink, appearing to read 'Richard Greenbauer', written over a horizontal line.

Richard Greenbauer  
Senior Planner

### **Attachments:**

1. OHPAC Resolution No. 2010-H01
2. Department of Parks and Recreation Primary Record (Prepared by: Ruth Alter)
3. Letters and E-mails of Support and Opposition (Received up to January 29, 2010)

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OCEANSIDE HISTORIC PRESERVATION  
ADVISORY COMMISSION  
RESOLUTION NO. 2010-H01

A RESOLUTION OF THE OCEANSIDE HISTORIC PRESERVATION  
ADVISORY COMMISSION OF THE CITY OF OCEANSIDE,  
CALIFORNIA RECOMMENDING DENIAL OF A GENERAL PLAN  
AMENDMENT, ZONE AMENDMENT, DEVELOPMENT PLAN,  
CONDITIONAL USE PERMIT, AND HISTORIC PERMIT

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APPLICATION NO: GPA-3-07, ZA-2-07, D-6-07, C-9-07, H-3-07  
APPLICANT: The Fellowship Center  
LOCATION: North of Chapter Way, south of San Luis Rey Mobile Home Park, and  
east of the San Luis Rey Parish Church within the Mission San Luis Rey  
Neighborhood

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THE OCEANSIDE HISTORIC PRESERVATION ADVISORY COMMISSION OF THE  
CITY OF OCEANSIDE, CALIFORNIA DOES RESOLVE AS FOLLOWS:

WHEREAS, there was filed with this Commission a verified petition on the forms  
prescribed by the Commission requesting a General Plan Amendment, Zone Amendment,  
Development Plan, Conditional Use Permit, and Historic Permit under the provisions of  
Historic Preservation Ordinance (82-41) and Articles 17, 21, 30, 31, 40, and 43 of the Zoning  
Ordinance of the City of Oceanside to permit the following:

a change in the land use designation from Single-Family Dwelling Residential (SFD-R)  
to Private Institutional (PI) and change the zoning designation from Single-Family  
Residential (RS) to Public & Semi-Public (PS) all with an Historic overlay (H) in order  
to allow the construction of a two-story, 16,591-square foot, 59-bed 24-hour non-  
medical care drug and alcohol recovery center on a 1.00 acre site;

on certain real property described in the project description.

WHEREAS, the Oceanside Historic Preservation Advisory Commission, after giving the  
required notice, did on the 1st day of December, 2009, conduct a duly advertised public hearing as  
prescribed by law to consider said application.

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1           WHEREAS, On December 1, 2009, the Oceanside Historic Preservation Advisory  
2 Commission adopted OHPAC Resolution No. 2009-H03 overturning staff's recommendation of  
3 denial and recommending approval of a General Plan Amendment (GPA-3-07), Zone  
4 Amendment (ZA-2-07), Development Plan (D-6-07), Conditional Use Permit (C-9-07) and  
5 Historic Permit (H-3-07) to the City Council for final action. Subsequent to the meeting, a  
6 procedural issue arose and resulted in the OHPAC action being nullified, and a no action  
7 determination being made by the City Attorney. The nullified action has resulted in this item being  
8 returned to OHPAC for a new hearing

9           WHEREAS, the Oceanside Historic Preservation Advisory Commission, after giving the  
10 required notice, did on the 9th day of February, 2010, conduct a duly advertised public hearing as  
11 prescribed by law to consider said application.

12           WHEREAS, studies and investigations made by this Commission and on its behalf reveal  
13 the following facts:

14 FINDINGS:

- 15 1. A change in land use designation to Private Institutional (PI) would create a land use that  
16 would allow for more intensified land uses on the subject site, and that would be  
17 inconsistent with the Mission San Luis Rey Historic Area goals and objectives as identified  
18 within the "Mission San Luis Rey Historic Area Development Program and Design  
19 Guidelines" that provides for low intensity residential land uses along the periphery of the  
20 Historic Core Area.
- 21 2. A Private Institutional (PI) Land Use designation change from Single-Family Dwelling  
22 Residential (SFD-R) is inconsistent with the General Plan Land Use Element general  
23 guidance for distribution of land uses within the Historic Area and would negatively  
24 impact the historic significance of the Mission San Luis Rey de Francia and the  
25 surrounding properties within the Historic Area.

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1 NOW, THEREFORE, BE IT RESOLVED that the Oceanside Historic Preservation  
2 Advisory Commission does hereby recommend denial of General Plan Amendment (GPA-3-  
3 07), Zone Amendment (ZA-2-07), Development Plan (D-6-07), Conditional Use Permit (C-9-  
4 07) and Historic Permit (H-3-07) to the City Council.

5 PASSED AND ADOPTED Resolution No. 2010-H01 on February 9, 2010 by the  
6 following vote, to wit:

7 AYES:

8 NAYS:

9 ABSENT:

10 ABSTAIN:

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Lynn Paul Shoger, Chairman  
Oceanside Historic Preservation Advisory Commission

ATTEST:

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Richard Greenbauer, Secretary

I, RICHARD GREENBAUER, Secretary of the Oceanside Historic Preservation Advisory  
Commission, do hereby certify that this is a true and correct copy of Resolution No. 2010-H01.

Dated: February 9, 2010

PRIMARY RECORD

RECEIVED  
MAR 26 2007  
Planning Department

County # \_\_\_\_\_

HRI # \_\_\_\_\_

Trinomial \_\_\_\_\_

NRHP Status Code 6Z

Other Listings \_\_\_\_\_

Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 3

\*Resource Name or #: (Assigned by recorder) 4152 Mission Avenue

\*P1. Other Identifier: John P. and Josephine E. Lienert House

\*P2. Location:  Not for Publication  Unrestricted \*

\*a. County San Diego and (P2b and P2c or P2d. Attach a Location Map as necessary.)

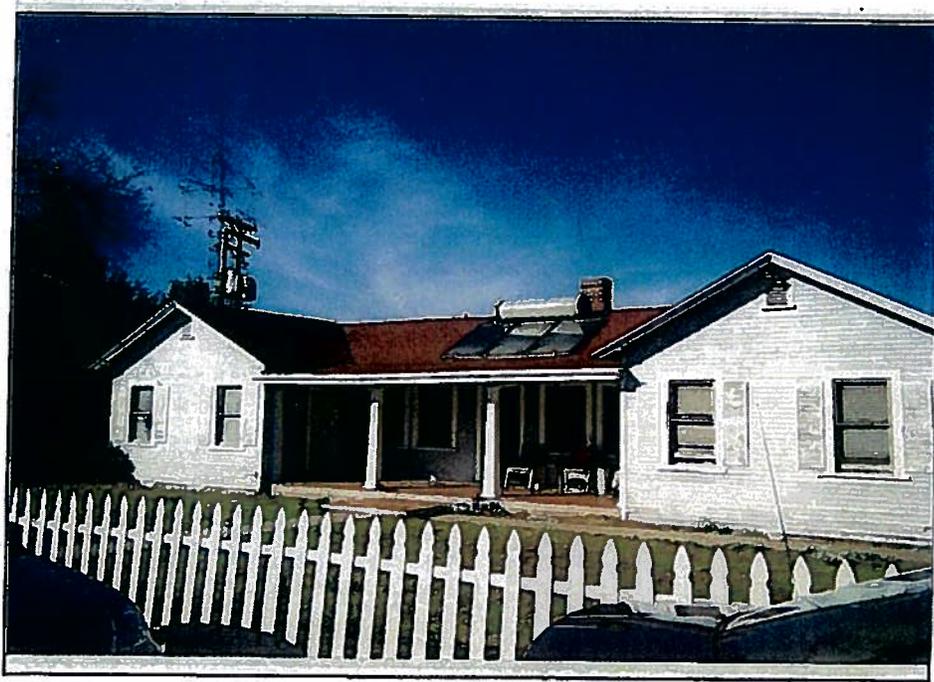
\*b. USGS 7.5' Quad San Luis Rey Date 1996 T 11S; R 4W;     % of     % of Sec 8; SB B.M.

\*c. Address 4152 Mission Avenue City Oceanside Zi02057

d. UTM: (Give more than one for large or linear resources) Zone 11; \_\_\_\_\_ Me/ \_\_\_\_\_ Mn

e. Other Locational Data (e.g., parcel #, directions to resource, elevation, etc., as appropriate): The Assessors Parcel Number is 158-070-08. The legal description of the subject property is a portion of Section 8, Township 11 South, Range 4 West, San Bernardino Meridian, Oceanside, California.

\*P3a. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries): The resource consists of a one story, U-shaped, frame, Ranch style house with a symmetrical facade. Constructed in 1945 per the Residential Building Record, the house rests on a concrete foundation. The exterior is clad with wood shiplap siding. The medium pitched double front gabled roof has narrow, boxed eaves and is covered with composition shingles. Horizontal louvered vents are present in the gable ends. An interior lipped brick chimney pierces the ridge crest. The fenestration consists of paired and single 1-over-1 wood framed double hung sash windows, with wide wood trim. The windows in the gable ends are flanked by wood shutters. The house is accessed from the street, through a low wood picket fence, to a concrete walkway, up one low step to the tiled porch. A shed roof supported by four truncated wood posts covers the porch, which is situated between the front gable ends. A solar panel rests atop the porch roof. Three single wood doors with recessed panels open onto the porch from the house. A shed addition is present on the rear (north-facing) facade. The addition has two sets of triple 1-over-1 double hungs set in a single surround. A one-car, composition shingle roofed, shiplap-clad detached garage, accessed from the street by a concrete driveway, is located east of the house. The garage has double hinged doors. The yard is minimally landscaped. Overall, the house appears to be in fair-to-good condition.



\*P3b. Resource Attributes: (List)  
HP-2 - Single-family  
property

\*P4. Resources Present:  Building  
 Structure  Object  Site   
 District  Element of District   
Other (Isolates, etc.)

P5b. Description of Photo: (View, date, accession #) Front facade,  
1/16/06, 995:1

\*P6. Date Constructed/ Age and Sources:  Historic  Prehistoric  
Built circa 1945 per  
Residential Building Record

\*P7. Owner and Address:  
Fellowship Center Inc.  
737 E. Grand Avenue  
Escondido, CA 92025

\*P8. Recorded by (Name, affiliation, and address): Ruth Alter,  
Archaeos, 11209 Golden  
Birch Way, San Diego, CA  
92131 \*P9. Date Recorded: 2/08/06

\*P10. Type of Survey: (Describe) Field check \*P11. Report Citation (Cite survey report and other sources, or enter "none".) None \*Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Resource Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
CONTINUATION SHEET

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

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\*Resource Name or # (Assigned by recorder) 4152 Mission Avenue

\*Recorded by Ruth Alter Date 2/08/06  Continuation  Update

The subject property passed through a number of owners prior to its development. According to the chain of title, in January, 1907, Sarah Griffin, the wife of Oceanside Supervisor John Griffin, sold the lot to John Van Kilsdonk, a native of The Netherlands. Van Kilsdonk, who operated a dairy in the San Luis Rey Valley, deeded the property to his wife Mary in September, 1917, and she, in turn, conveyed title to the couple's daughters Regina and Virginia in February, 1927.

In September, 1936, the property was acquired by The Franciscan Fathers of California, who were responsible for the operation of the neighboring Mission San Luis Rey. After retaining title for over six years, the Franciscans sold the land to Louis and Ruth Magee, in July, 1943. Mr. Magee was a member of a pioneering San Luis Rey family. The couple sold the property the same day to John P. Lienert, a native of Nebraska, and his wife Josephine. The Lienerts were responsible for the construction of the subject resource, which was built about 1945. Following her husband's death in 1971, Mrs. Lienert sold the house to Eldon and Alice Miller. The Miller's kept the house for about a year, selling it to Clyde and Laraine Detric in December, 1972.

In December, 1983, the property was acquired by Harold L. Childs. It was purchased from Childs by Michael and Mary Beth Vesper in March, 1985. David W. Figg took title in March 1992, and deeded the property to SCJ, Inc. in October, 1998. Title was transferred to the 1997 Jordan Family Limited Partnership shortly after. The current owner, The Fellowship Center, Inc., acquired the subject resource in January, 1999.

State of California — The Resources Agency  
 DEPARTMENT OF PARKS AND RECREATION  
 BUILDING, STRUCTURE, AND OBJECT RECORD  
 Page 3 of 3

HRI# \_\_\_\_\_ Primary # \_\_\_\_\_

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 4152 Mission Avenue

B1. Historic Name: John P. and Josephine E. Lienert House

B2. Common Name: None

B3. Original Use: Single-family residence B4. Present Use Single-family residence

\*B5. Architectural Style: Ranch

\*B6. Construction History: (Construction date, alternations, and date of alterations)

The house was constructed circa 1945 per the Residential Building Record. A shed roofed room addition was constructed at the rear of the house at an unknown time.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: Detached one-car garage

B9a. Architect: None b. Builder: Unknown

\*B10. Significance: San Luis Rey Valley Development Area Oceanside, California

Period of Significance 1880 to 1960 Property Type Residential Applicable Criteria N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.) The subject property is located in the San Luis Rey Valley, which was annexed to the City of Oceanside in December of 1958. The land was under the influence of the Mission San Luis Rey during the Spanish Period, and had been occupied for a thousand years prior by the Luiseno Indians. After the mission lands were secularized under the Mexican regime, in the 1830s and particularly following the American victory over the Mexican government in 1848, the Mesa Margarita lands began to be opened up to settlers. Lee Utt, a sheep rancher, was among the first Americans to stake a claim; other early settlers included Herbert Crouch, Simon Goldbaum, and the Kitching, Adams, Libby, Fletcher, Griffin, Graham, and Wild families. Many of these families originated in England and New England. They established a pattern of farming, dairying, and ranching that persisted into the 1970s. The community of San Luis Rey had its origins in the 1860 official survey of the former Mission lands conducted by Henry Hancock, prior to opening the land for settlement. The area proved so attractive that within 10 years, enough people had settled to organize a small town, now called San Luis Rey, formerly named Locksville after the initial purchaser of the land, E.G. Locke. A vestige of the early commercial center of the town lies southwest of the subject property adjacent to the Mission San Luis Rey, on San Luis Rey Avenue.

Although the property was owned by the Franciscan Fathers of California from 1936 until 1943, the resource itself is not directly associated with the Mission San Luis Rey. No known significant historic event or events occurred on this property and no historically important persons are directly associated with it. An architect was not involved in the design of the house, and it was probably carpenter-built. It is unlikely the building would yield important information relevant to local, state or national history, and its research potential has been exhausted with this study. The building was constructed on its present site and therefore retains its locational integrity. The design integrity, workmanship, materials, and feeling of the house have not been significantly compromised. The resource is not eligible for nomination for listing in the California Register of Historical Resources, and also is not eligible for listing in the local register.

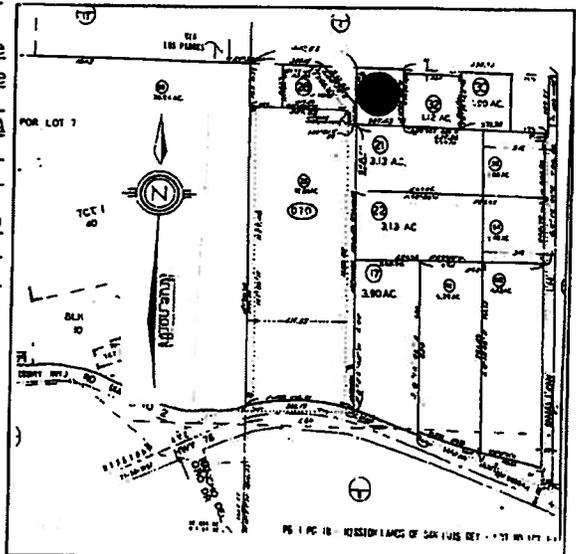
B11. Additional Resource Attributes: (List attributes and codes) None

\*B12. References: Hawthorne, K., Oceanside, Where Life is Worth Living, 2001, Donning Company Publishers, Virginia Beach, Virginia; McAlester, V. and L., A Field Guide to American Houses, 2000. Alfred A. Knopf, New York.

B13. Remarks:  
 \*B14. Evaluator: Ruth C. Alter, Archaeos, 11209 Golden Birch Way, San Diego, CA 92131

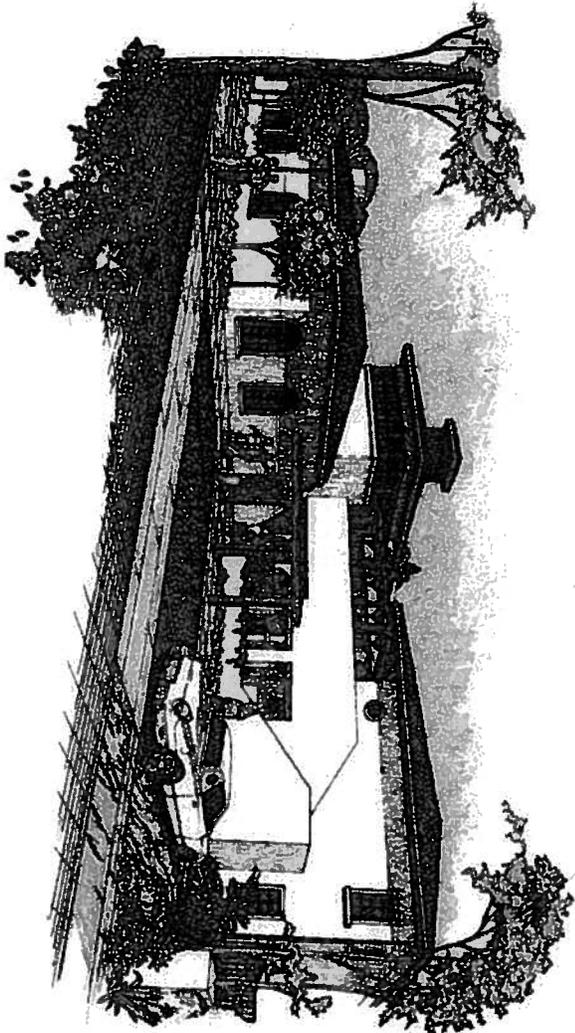
\*Date of Evaluation: 2/08/06

(This space reserved for official comments.)



# THE FELLOWSHIP CENTER

4152 MISSION AVE.  
OCEANSIDE, CALIFORNIA



**LANDSCAPE:**  
DR. PETER LANDSCAPE ARCHITECTURE  
3700 ROCKLAND DRIVE  
OCEANSIDE, CA 92054  
PHONE: (760) 431-3444  
FAX: (760) 431-3571

**CIVIL ENGINEER:**  
SERGE YATZ CIVIL ENGINEERING  
707 CIVIC CENTER DRIVE  
OCEANSIDE, CA 92054  
PHONE: (760) 431-3444  
FAX: (760) 431-3571

**SOILS:**  
CHINA HYDROLOGICAL ENGINEERING, INC.  
14000 S. GARDEN AVENUE  
RIVERSIDE, CA 92504  
PHONE: (951) 514-1814  
FAX: (951) 514-2050

**PLANNING CONSULTANT:**  
SERGE YATZ CIVIL ENGINEERING  
707 CIVIC CENTER DRIVE  
OCEANSIDE, CA 92054  
PHONE: (760) 431-3444

**ARCHITECT:**  
THE FELLOWSHIP CENTER  
4152 MISSION AVE  
OCEANSIDE, CA 92054  
PHONE: (760) 431-3444  
FAX: (760) 431-3571

## PROJECT INFORMATION:

LAND ACRES: 1.18  
ZONING: A-1.1, R-1  
PROJECT ADDRESS: 4152 MISSION AVE  
OCEANSIDE, CA 92054  
PROJECT ADDRESS: 4152 MISSION AVE  
OCEANSIDE, CA 92054  
PROJECT ADDRESS: 4152 MISSION AVE  
OCEANSIDE, CA 92054

## PROJECT ADDRESS:

A.P.N. 06-070-08

## LOCATION MAP:



## SHEET SCHEDULE

NO.	DESCRIPTION
01	COVER SHEET
02	GENERAL NOTES
03	FOUNDATION
04	FIRST FLOOR PLAN
05	SECOND FLOOR PLAN
06	DETAILED SITE PLAN
07	FOUNDATION
08	FOUNDATION
09	FOUNDATION

## GENERAL NOTES:

1. ALL CONDITIONS OF APPROVAL, TERMS ARE TO BE ADDRESSED DURING THE BUILDING PERMIT PROCESS OF THE PROJECT.
2. ALL THE CODES HEREIN ARE FOR IBC/A AND IBC/A, AND TO BE ADDRESSED DURING THE BUILDING PERMIT PROCESS OF THE PROJECT.

## DESCRIPTION OF WORK:

REVISIONS TO THE EXISTING BUILDING PERMIT, RESUBMIT THE EXISTING BUILDING PERMIT.

## SERVICES PROVIDER:

CITY OF OCEANSIDE  
CITY OF OCEANSIDE

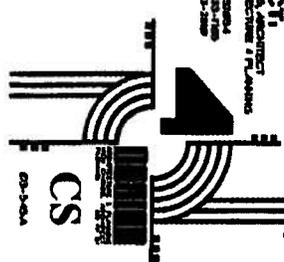
## OWNER / APPLICANT:

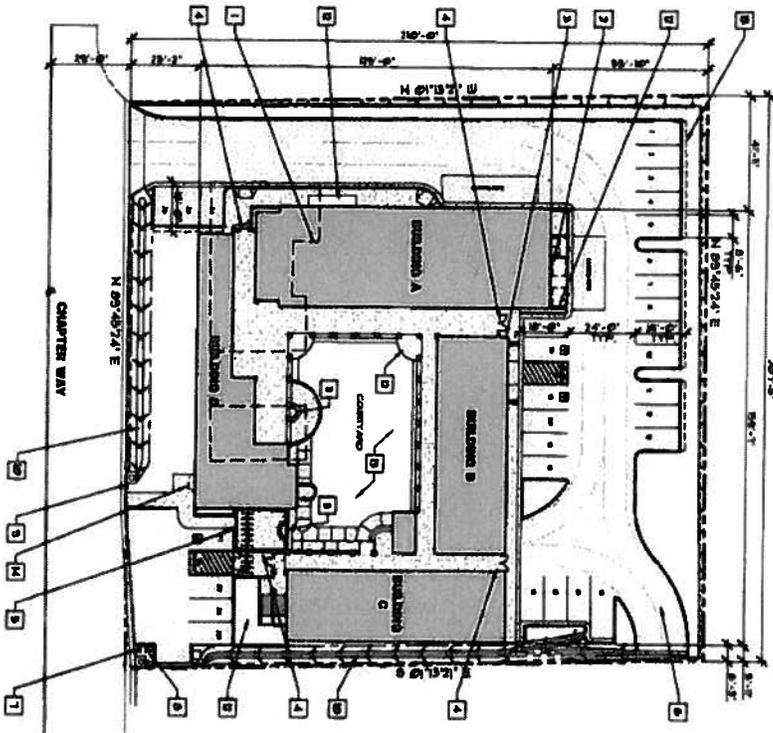
THE FELLOWSHIP CENTER  
4152 MISSION AVE  
OCEANSIDE, CA 92054

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Planning Department





# PRELIMINARY SITE PLAN



## LEGEND.

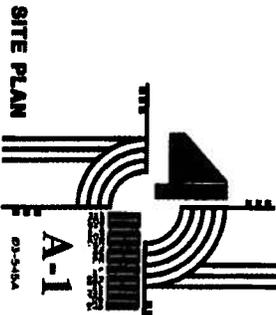
- GAS LINE
- CONCRETE
- EXISTING AND PROPOSED TO BE DEMOLISHED
- NEW HYDRO-PNEUMATIC TANK
- BACKFLOW PREVENTER
- APPROVAL
- RETAINING WALL
- CONCRETE CURB

## SITE PLAN NOTES:

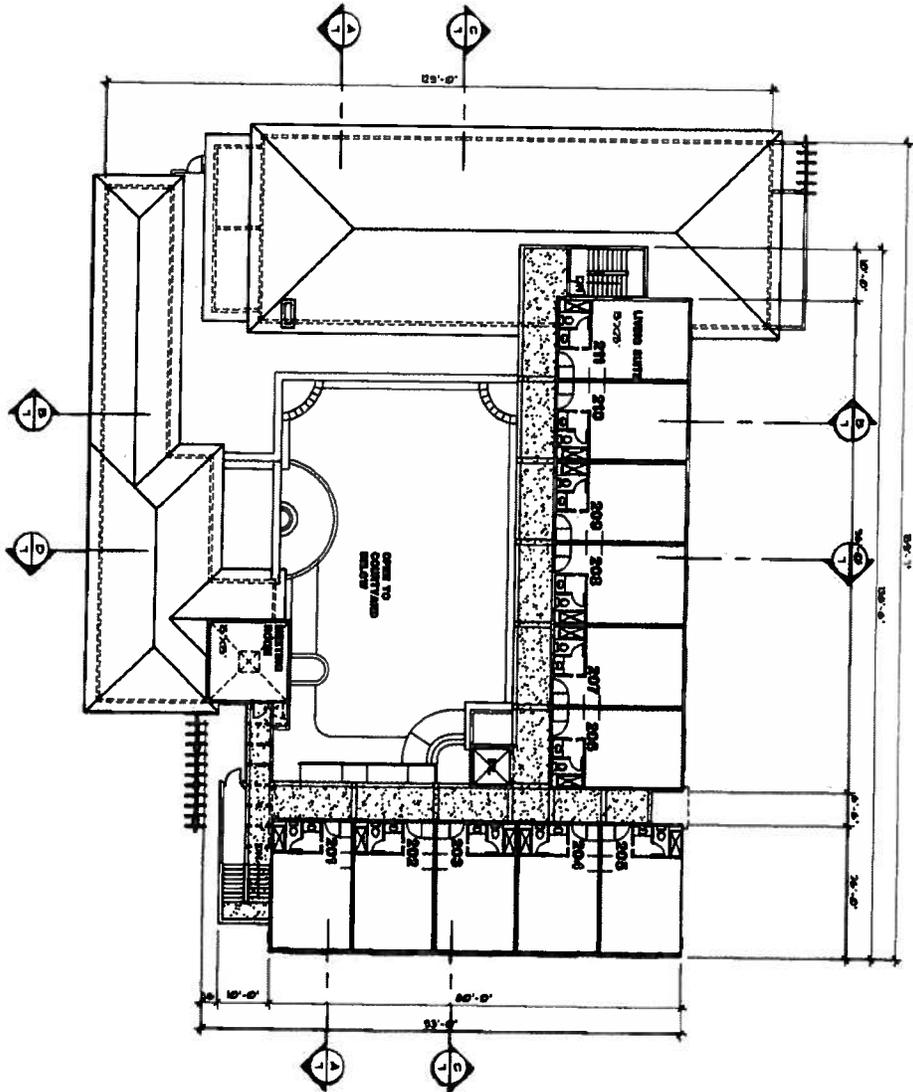
- 1 DOMESTIC SEWERAGE TO BE REMOVED.
- 2 TRASH ENCLOSURE SEE DETAILS ON LANDSCAPE CONCEPT PLAN.
- 3 PAVED LINE INDICATED FLOOR ABOVE.
- 4 ROAD DATE.
- 5 DECORATIVE TILE PAVING.
- 6 TRAMP JUMP AROUND. SEE CIVIL DRAWING.
- 7 WATER TOWER.
- 8 BACKFLOW PREVENTER DEVICE FOR THE SWANSON STREET.
- 9 WATER MET. SEE CIVIL DRAWINGS FOR INFORMATION.
- 10 DRAINAGE BASIN. SEE CIVIL DRAWINGS FOR INFORMATION.
- 11 OUTDOOR POSITION. SEE LANDSCAPE DRAWINGS FOR INFORMATION.
- 12 LANDSCAPE PLANTING. SEE LANDSCAPE DRAWINGS FOR INFORMATION.
- 13 OFFICE SERVICE TRUCK. SEE LANDSCAPE PLAN.
- 14 SEE BACK. SEE LANDSCAPE PLAN.
- 15 24" PERIMETER WALL OVERLAPS OVER LANDSCAPE AREA PER CITY ORDINANCE SECTION 502.

## GENERAL NOTES.

- 1 REFER TO THE CIVIL DRAWINGS FOR DIMENSIONS, GRADES, AND SHEDS FOR INFORMATION.
- 2 REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE INFORMATION.





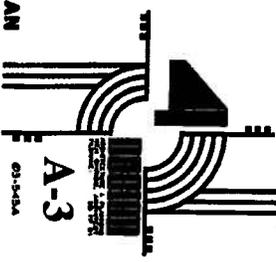


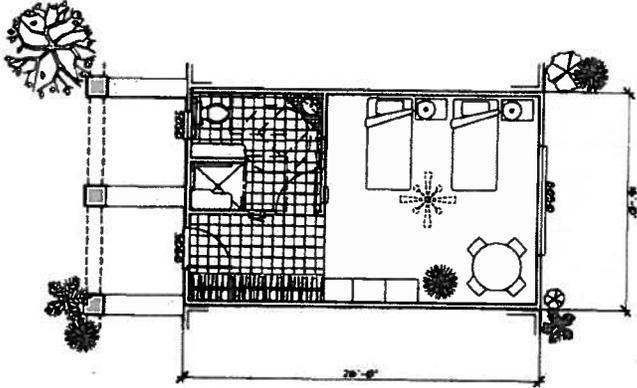
**PRELIMINARY SECOND FLOOR PLAN**

**BUILDING INFORMATION:**  
 BUILDING AREA:  
 FIRST FLOOR: 6,326 SQ. FT.  
 SECOND FLOOR: 6,326 SQ. FT.  
 TOTAL AREA: 12,652 SQ. FT.

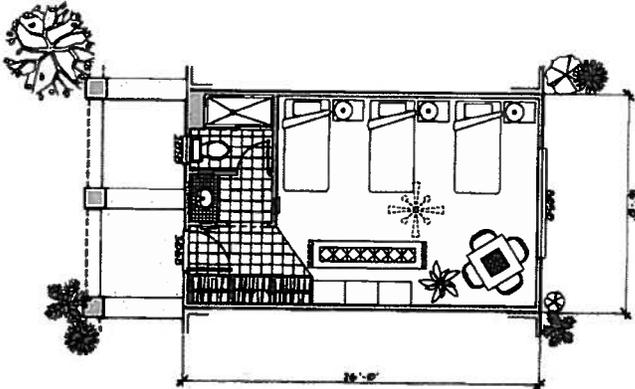


SECOND FLOOR PLAN





**PRELIMINARY  
ACCESSIBLE  
RESIDENTIAL  
SUITE**  
416 SQ.FT.  
SCALE: 1/4" = 1'-0"



**PRELIMINARY  
TYPICAL  
RESIDENTIAL  
SUITE**  
416 SQ.FT.  
SCALE: 1/4" = 1'-0"

**SUITE INTERIOR FINISHES**

**FLOORING**

VENTS, THE FLOORING TO BE INSTALLED AT BATH, DRESSING AREA, ENTRY AND CLOSET CLOSETS. THE VENT, THE SHALL BE INSTALLED OVER CARPETED AT THE SECOND FLOOR.

CARPET WITH PAD FLOORING TO BE INSTALLED AT THE ENTRY LIVING AREA.

BASE:

1" TONGUE BANNER BASE SHALL BE INSTALL IN ALL ENTRY AREAS.

ALL WALL FINISHES SHALL BE 5/8" THICK TYPE "X" GYPSUM BOARD WITH A SECOND LAYER FINISH TYPE AT THE BATH AND DRESSING AREAS. ALL WALLS SHALL BE PAINTED WITH TWO COATS OF 95% GLOSS EMERALD PAINT.

CEILING:

ALL CEILING FINISHES SHALL BE 5/8" THICK TYPE "X" GYPSUM BOARD WITH A SECOND LAYER FINISH TYPE AT THE BATH AND DRESSING AREAS. ALL CEILING SHALL BE PAINTED WITH TWO COATS OF 95% GLOSS EMERALD PAINT.

INSULATION:

FLOORING:

CEILING:

CABINETS:

8 1/2" IN LAVATORY CABINET IN THE DRESSING AREA SHALL BE A PLASTIC LAVATORY FINISH ON A BASE WITH A CERAMIC TILE COUNTERTOP.

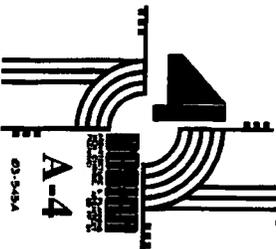
THOSE RECEIVED IMPROVED MEDICINE CABINETS SHALL BE INSTALLED IN THE DRESSING AREA.

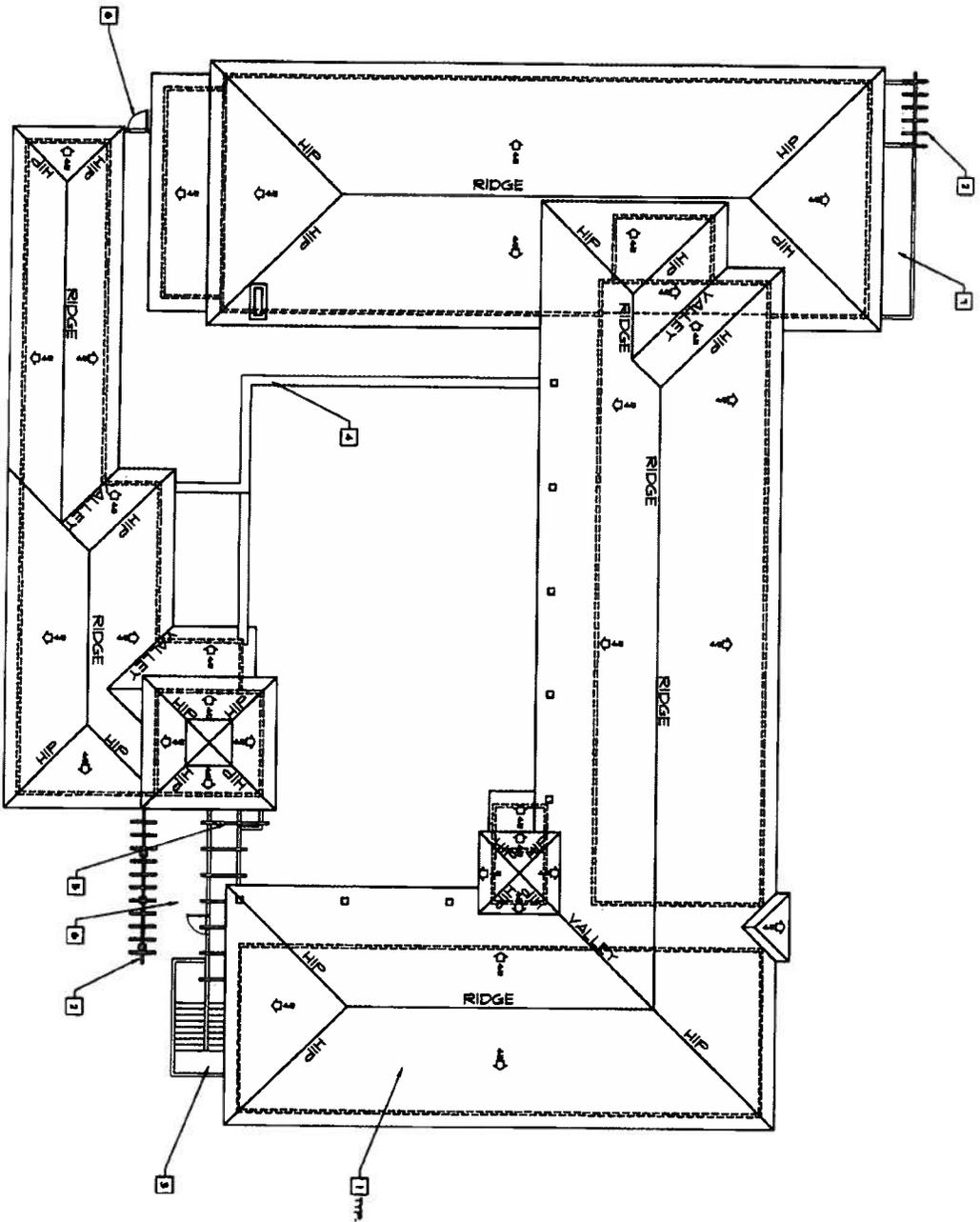
THOSE IMPROVED CABINETS SHALL BE PROVIDED AND INSTALLED IN EACH SUITE THESE FINISH SHALL BE OF A PLASTIC LAVATORY FINISH.

RENDERING:

OWNER TO PROVIDE UNDER A SEPARATE CONTRACT THE FLOORING, THE FINISH, CABINET, CEILING, AND BASE FINISH WITH CORE COATERS.

**ENLARGED  
SUITE PLAN**





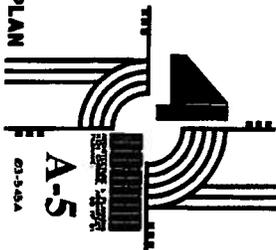
**PRELIMINARY ROOF PLAN**



SCALE: 1/8" = 1'-0"

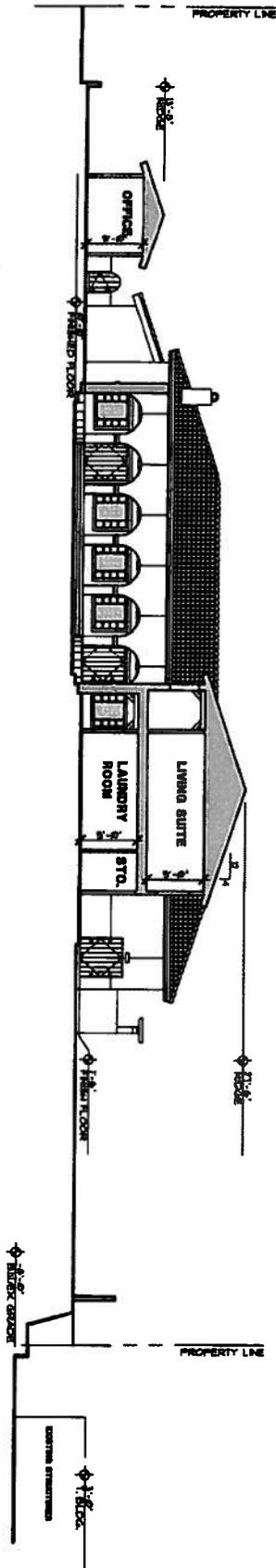
- ROOF PLAN NOTES:**
- 1 LIGHT-WEIGHT CONCRETE BAWELL, T&E
  - 2 TRUSLS BELOW
  - 3 STANS BELOW
  - 4 CORNER WALL
  - 5 TRUSLS
  - 6 GATE BELOW
  - 7 TRASH ENCLOSURE

ROOF PLAN





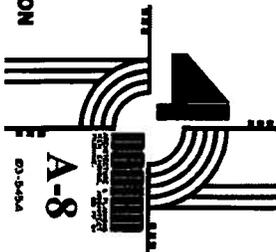




**SITE SECTION**

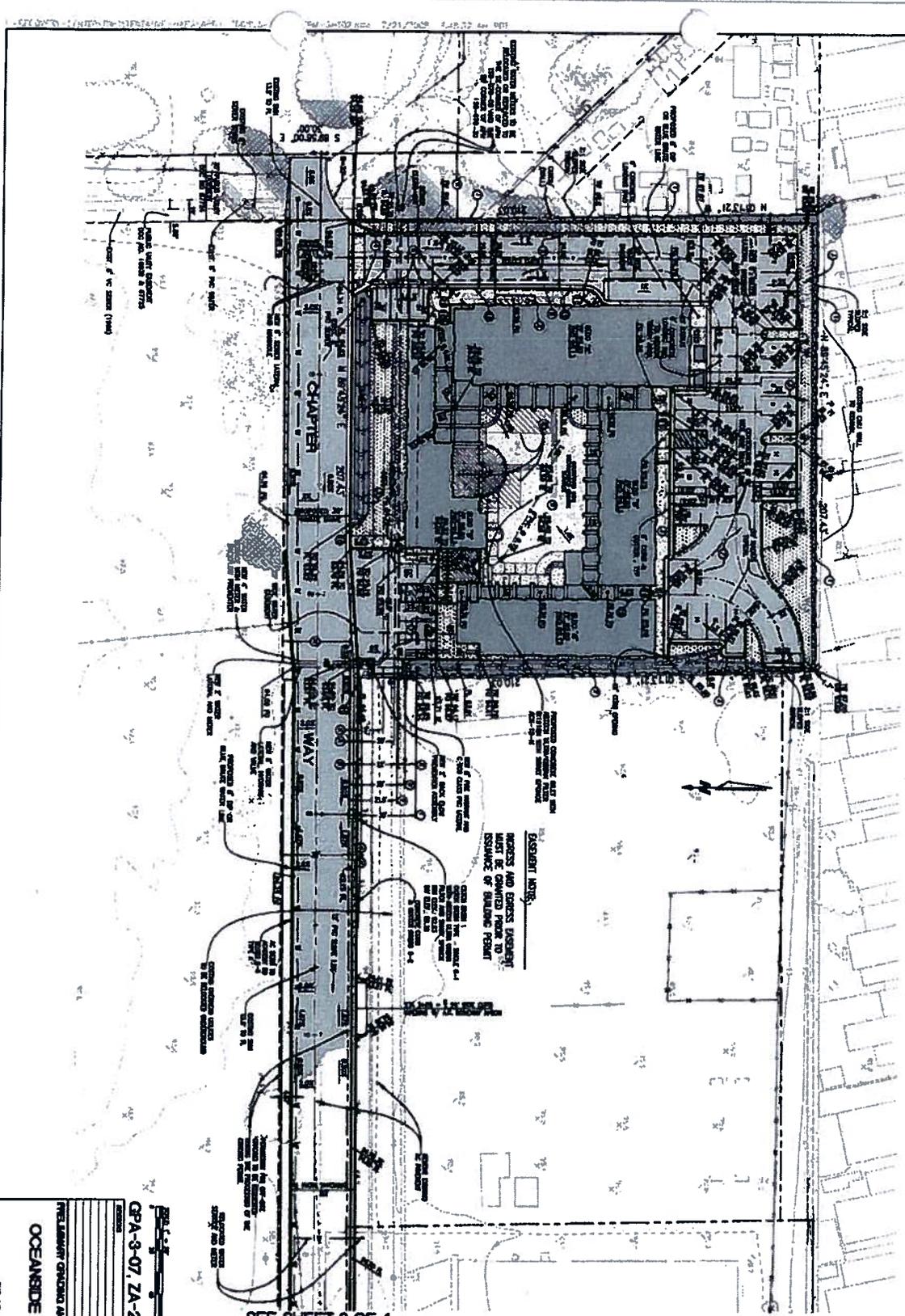


**SITE SECTION**





# PRELIMINARY GRADING AND DRAINAGE PLAN FOR OCEANSIDE RECOVERY CENTER THE CITY OF OCEANSIDE, CALIFORNIA



**ESSENTIAL NOTES:**  
 ALL GRADING AND DRAINAGE WORK MUST BE COMPLETED PRIOR TO THE ISSUANCE OF BUILDING PERMIT.

- ESSENTIAL NOTES:**
1. SEE SHEET 01-01 FOR GENERAL NOTES.
  2. SEE SHEET 01-02 FOR GENERAL NOTES.
  3. SEE SHEET 01-03 FOR GENERAL NOTES.
  4. SEE SHEET 01-04 FOR GENERAL NOTES.
  5. SEE SHEET 01-05 FOR GENERAL NOTES.
  6. SEE SHEET 01-06 FOR GENERAL NOTES.
  7. SEE SHEET 01-07 FOR GENERAL NOTES.
  8. SEE SHEET 01-08 FOR GENERAL NOTES.
  9. SEE SHEET 01-09 FOR GENERAL NOTES.
  10. SEE SHEET 01-10 FOR GENERAL NOTES.
  11. SEE SHEET 01-11 FOR GENERAL NOTES.
  12. SEE SHEET 01-12 FOR GENERAL NOTES.
  13. SEE SHEET 01-13 FOR GENERAL NOTES.
  14. SEE SHEET 01-14 FOR GENERAL NOTES.
  15. SEE SHEET 01-15 FOR GENERAL NOTES.
  16. SEE SHEET 01-16 FOR GENERAL NOTES.
  17. SEE SHEET 01-17 FOR GENERAL NOTES.
  18. SEE SHEET 01-18 FOR GENERAL NOTES.
  19. SEE SHEET 01-19 FOR GENERAL NOTES.
  20. SEE SHEET 01-20 FOR GENERAL NOTES.

- CONSTRUCTION NOTES:**
1. EXISTING CONCRETE PAVEMENT TO REMAIN.
  2. EXISTING ASPHALT PAVEMENT TO BE REPAIRED.
  3. EXISTING GRAVEL DRIVEWAY TO BE REPAIRED.
  4. EXISTING CONCRETE DRIVEWAY TO BE REPAIRED.
  5. EXISTING CONCRETE DRIVEWAY TO BE REPAIRED.
  6. EXISTING CONCRETE DRIVEWAY TO BE REPAIRED.
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  18. EXISTING CONCRETE DRIVEWAY TO BE REPAIRED.
  19. EXISTING CONCRETE DRIVEWAY TO BE REPAIRED.
  20. EXISTING CONCRETE DRIVEWAY TO BE REPAIRED.

**TAIT CONSULTING INC.**  
 1000 S. GARDEN STREET  
 OCEANSIDE, CA 92054  
 TEL: (760) 431-1111  
 FAX: (760) 431-1112  
 WWW.TAITCONSULTING.COM

**PRELIMINARY GRADING AND DRAINAGE PLAN**

**OCEANSIDE RECOVERY CENTER**

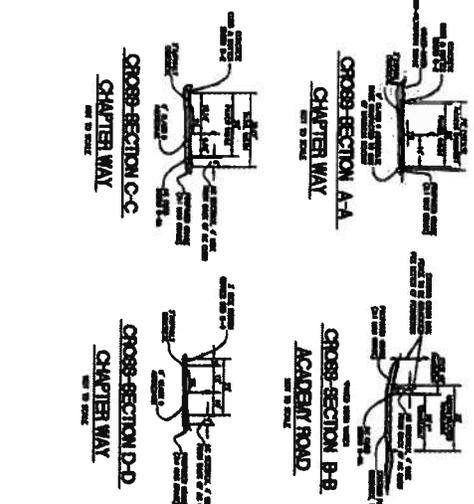
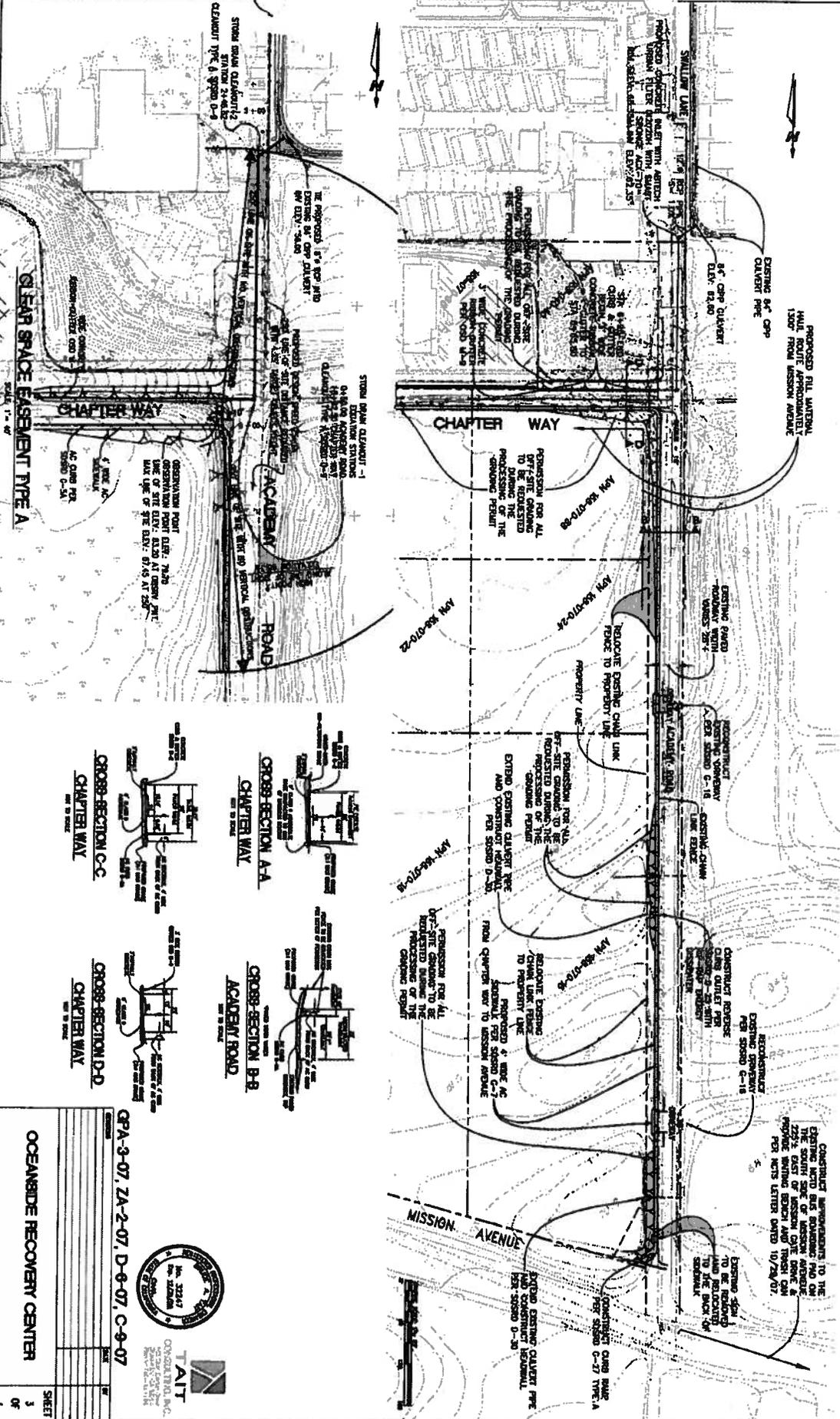
THE CITY OF OCEANSIDE, CALIFORNIA

**DATE:** 08-07-07  
**PROJECT:** OCEANSIDE RECOVERY CENTER  
**CLIENT:** THE CITY OF OCEANSIDE, CALIFORNIA  
**SCALE:** AS SHOWN  
**PROJECT NO.:** 08-07-07  
**DATE:** 08-07-07  
**PROJECT:** OCEANSIDE RECOVERY CENTER  
**CLIENT:** THE CITY OF OCEANSIDE, CALIFORNIA  
**SCALE:** AS SHOWN  
**PROJECT NO.:** 08-07-07  
**DATE:** 08-07-07

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	08-07-07
2	ISSUED FOR PERMIT	08-07-07
3	ISSUED FOR PERMIT	08-07-07
4	ISSUED FOR PERMIT	08-07-07

SHEET 3 OF 4

# PRELIMINARY GRADING AND DRAINAGE PLAN FOR OCEANSIDE RECOVERY CENTER THE CITY OF OCEANSIDE, CALIFORNIA



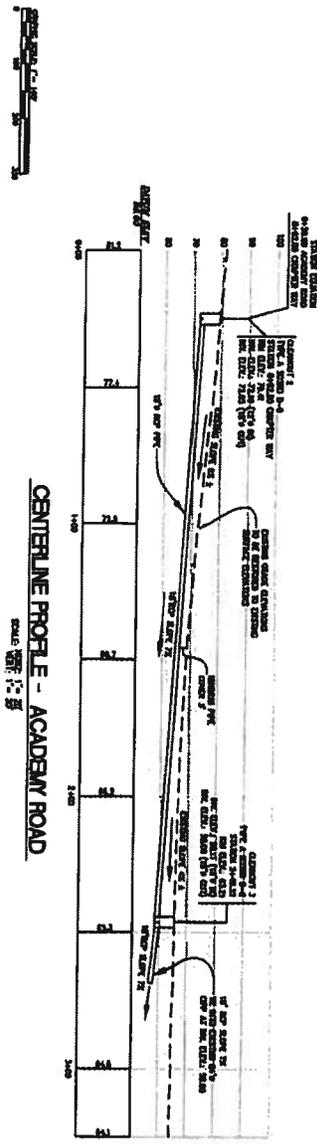
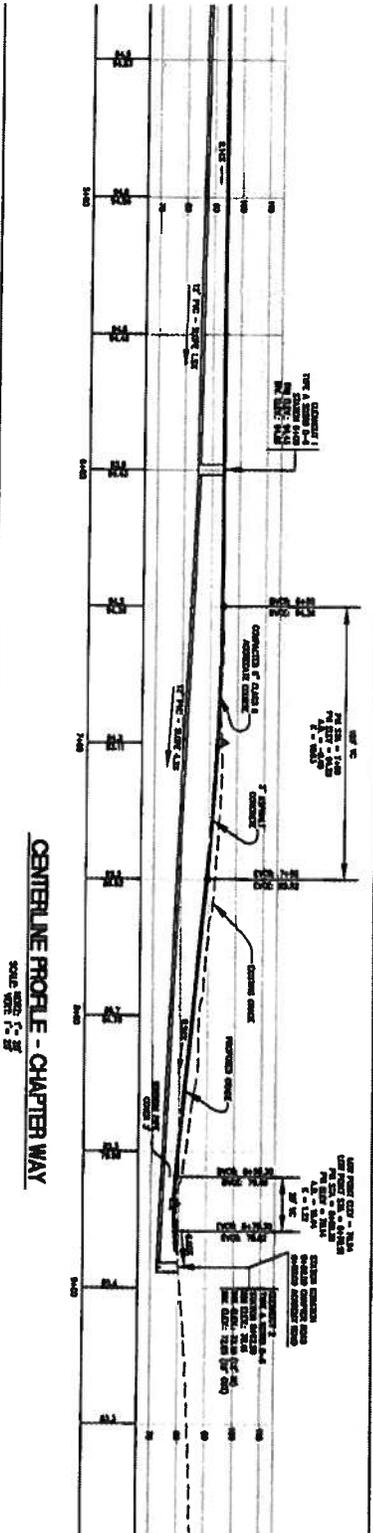
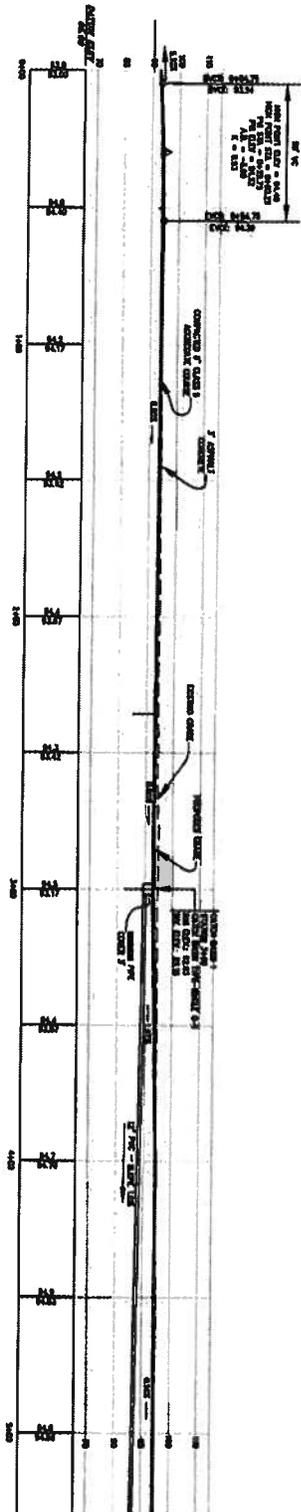
CPA-3-07, ZA-2-07, D-6-07, C-9-07

**TAIT**  
 CONSULTING, INC.  
 10000 S. DIABLO AVENUE, SUITE 100  
 DANA POINT, CA 92629  
 TEL: 949.441.1111  
 FAX: 949.441.1112  
 WWW.TAITCONSULTING.COM

OCEANSIDE RECOVERY CENTER	SHEET
1	3
2	4

THE CITY OF OCEANSIDE, CALIFORNIA

# PRELIMINARY GRADING AND DRAINAGE PLAN FOR OCEANSIDE RECOVERY CENTER THE CITY OF OCEANSIDE, CALIFORNIA



GRA-0-07, ZA-2-07, D-0-07, C-0-07

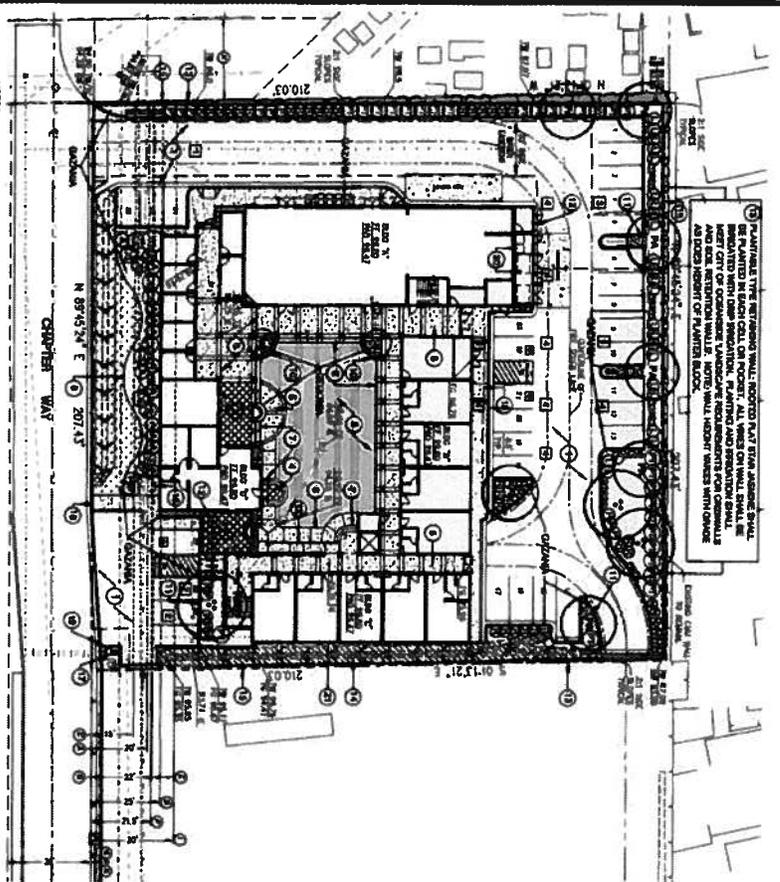
**OCEANSIDE RECOVERY CENTER**

THE CITY OF OCEANSIDE, CALIFORNIA

**TAIT**  
CONSULTING INC.  
3200 LA JOLLA VILLAGE DRIVE  
SAN DIEGO, CA 92108

NO.	DATE	BY	CHKD.	DESCRIPTION

SHEET  
4  
OF  
4



PLANTING: THE ENTIRE WALL, EXCEPT FOR THE 10' SECTION, SHOULD BE PLANTED IN EACH COLUMN FOOTING. ALL WALLS ON WALL SHALL BE PLANTED WITH ONE SPECIFIC PLANTING AND PROTECTION SHALL BE PROVIDED FOR EACH PLANTING. PLANTING AND PROTECTION SHALL BE PROVIDED FOR EACH PLANTING. PLANTING AND PROTECTION SHALL BE PROVIDED FOR EACH PLANTING. PLANTING AND PROTECTION SHALL BE PROVIDED FOR EACH PLANTING.

**NOTES:**

- The final landscape plan and assembly shall be submitted to the City of Oceanside.
- The Landscape Architect shall verify utility, sewer, storm, earth retention and other existing conditions in accordance with the City of Oceanside requirements.
- All required landscape items shall be indicated by Owner. The landscape items shall be indicated per City of Oceanside requirements.
- An automatic irrigation system shall be installed to provide coverage for all planting areas shown on this plan. Landscaping equipment shall provide adequate water pressure and flow for all planting areas. All equipment shall be installed in accordance with the City of Oceanside requirements. There shall be a minimum of 1/2" of water pressure at the end of each line. All equipment shall be installed in accordance with the City of Oceanside requirements. All irrigation equipment shall be installed in accordance with the City of Oceanside requirements.
- The selection of plant material shall be based on cultural, climatic, and maintenance considerations. All planting shall be indicated with plant symbols, and appropriate equipment shall be indicated with symbols shown on this plan. Owner's selection of plant material shall be based on a 2" x 2" scale to help owners and all other interested parties understand the plant material. The plants shall be shown in their natural form. All plant material shall be indicated on this plan. The City of Oceanside shall be notified of any changes to the plant material.
- Plants shall be indicated by symbol and height per City of Oceanside Landscaping Requirements for Commercial and Residential Walls. Planting and irrigation items shall be indicated and approved by City of Oceanside prior to installation.

**LANDSCAPE AREA SUMMARY**

Total Landscape Area:	7,697 sq. ft.
Total Irrigation:	12
Total Planting:	414
Total Equipment:	144

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Planning Department

**PLANT LIST**

SYMBOL	DESCRIPTION	QUANTITY	SIZE	NOTES
1	Agave attenuata	10	6 Gal	1" O.C. (Planted only)
2	Agave schottlandii	10	6 Gal	1" O.C. (Planted only)
3	Agave vivipara	10	6 Gal	1" O.C. (Planted only)
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70	Agave vivipara	10	6 Gal	1" O.C. (Planted only)

**CONCEPTUAL CONSTRUCTION SCHEDULE**

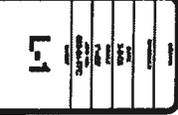
ITEM	DESCRIPTION	START DATE	END DATE	NOTES
1	Excavation and foundation work	08/01/08	08/15/08	
2	Foundation and wall construction	08/15/08	09/01/08	
3	Interior wall and ceiling construction	09/01/08	09/15/08	
4	Exterior wall and landscaping	09/15/08	10/01/08	
5	Final site preparation and paving	10/01/08	10/15/08	

**MATERIAL SCHEDULE**

ITEM	DESCRIPTION	QUANTITY	UNIT	NOTES
1	Concrete	1000	cu yd	
2	Rebar	100	lb	
3	Gravel	500	cu yd	
4	Soil	200	cu yd	
5	Planting	100	plants	
6	Equipment	10	units	
7	Materials	50	units	
8	Tools	20	units	
9	Labor	100	hrs	
10	Permits	1	set	
11	Design	1	set	
12	Construction	1	set	
13	Inspection	1	set	
14	Final	1	set	



**CONCEPTUAL LANDSCAPE PLAN**



**THE FELLOWSHIP CENTER**  
4125 MISSION AVE. • OCEANSIDE, CALIFORNIA

**CALIFORNIA LANDSCAPE**  
Professional Landscaping Services  
1234 Main St, Oceanside, CA 92054  
Phone: (619) 435-1234  
Fax: (619) 435-5678  
www.fellowshipcenter.com





**THE FELLOWSHIP CENTER  
GENERAL PLAN AMENDMENT, ZONE CHANGE AND  
CONDITIONAL USE PERMIT**

**PROJECT DESCRIPTION**

**Address:** 4152 Mission Avenue, Oceanside, CA 92056

**Contact:** Paul J. Savo, Executive Director, 760-745-9485

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JUL 22 2008

Planning Department

**The Fellowship Center**

The Fellowship Center (TFC) is a private non-profit organization licensed and certified by the California State Department of Alcohol and Drug Programs to operate residential alcohol and other drug treatment and recovery services for adults 18 years of age and older. The purpose of TFC is to provide to the Oceanside community a much needed alcohol and drug free environment with a structured rehabilitation program where participants learn to live alcohol and other drug (AOD) free. TFC is an abstinence-based program adhering to strict guidelines insuring sound management and good neighbor policies. TFC has over 45 years experience of successfully operating residential alcohol and other drug recovery facilities in residential neighborhoods.

The following actions are necessary to approve the project:

1. General Plan amendment from SFD-R Single Family Residential to PI, Private Institutional;
2. Zone change from RS, Single Family Residential to PS-H Public and Semipublic District with Historic District Overlay
3. Conditional Use Permit
4. Development Plan

The General Plan Amendment and Zone Change will bring the property into compliance with the undeveloped surrounding area. The Conditional Use Permit and the Development Plan are discretionary actions required of many single family, and virtually all multifamily, commercial and institutional uses.

**Existing Site Conditions:** The TFC one-acre site is located east of the San Luis Rey Parish Church, south of the San Luis Rey Homes Mobile Home Park and west of the Alano Club, a membership AOD free social club. The predominant zoning is Public/Semi-Public on three sides of the planned development site with General Plan land use designation of Private Institutional (see below). Access is from Mission Avenue via a private easement belonging to the Mission Parish Church and from a private easement along the south side of the land of the Alano Club connecting to Mission Avenue via Academy Road. The site is generally flat, sloping downward gently towards the northwest corner. The existing single-family home on the site is owned by The Fellowship Center, providing AOD free housing for six residents on a rental basis.

The adjacent **Zoning Districts** are:

East and South

The Alano Club and vacant lots owned by the Alano Club, San Diego Roman Catholic Diocese and the Parish Church: *"Public and Semi-Public with Historic Overlay"*

North

The mobile home park: *"Medium Density Residential with H/Overlay."*

Immediately West and Northwest

A small number of rental units: *"RS, Single Family Residential"* as well as additional *"Medium Density Residential with H/Overlay."*

West

*The Mission San Luis Rey and Serra Center in a PD-19-H Zone.*

The adjacent **General Plan Land Use Designations** are:

East, South and West

*"Private Institutional"*

North The mobile home park: *"Medium Density B, 10 – 15"*

Immediately West and Northwest

*"SFD-R Single Family Residential"* and *"Medium Density B, 10 – 15"*

**The Proposed Project**

The Fellowship Center proposes a 24 hour non-medical care facility for persons in need of personal services, supervision, and assistance essential for sustaining abstinence from alcohol and other drugs. The Fellowship Center's Oceanside Recovery Center on the one acre parcel will be constructed as a 16,591 square foot building with an interior courtyard. The south wing, facing the street, will house the lobby, eight counseling rooms/offices and a conference room. The west wing contains a large multi-purpose/dining room to be used by agency staff and residents, the kitchen and restrooms. The two-story north and east wings provide 20 bedrooms for 59 residents and a laundry room. The residents will live in bedrooms for three persons, sharing common bathrooms, laundry and dining room. The existing residence and garage on the site will be demolished.

Section 1630 of the Oceanside Zoning Ordinance specifies that the development regulations in the PS District shall be as specified by the Conditional Use Permit. The development regulations for this application are listed below:

Yards

Front Yard: 24.7 feet

Rear Yard: 56.5 feet

West side yards: 36.6 feet

East side yard: 06.3 feet

Building Lot Coverage

23.5 %

Building Floor Area

1<sup>st</sup> floor: 10,236 square feet

2<sup>nd</sup> floor: 6,355 square feet

Total: 16,591 square feet

Building Height

Single story wings: 22.6 ft.

Two-story wings: 27.6 ft.

Tower height: 31.10 ft.

A total of 30 parking spaces will be provided as follows: parking lot with 23 spaces for the residents will be provided at the rear of the building. Four additional spaces will be at the southeast corner of the site. Three more spaces will be at the southwest corner.

Three of the spaces are designated as handicapped only. The traffic study prepared by Federhart and Associates, which discusses traffic and parking in more detail, has been reviewed without objection by the City Traffic Division. Experience at The Fellowship Center in Escondido, which accommodates 117 persons demonstrates that approximately only 25% of residents bring their own vehicles with them while living at the facility. Based on both the traffic study and the experience of TFC operating the same type of residential program, more than sufficient parking is provided at the project.

TFC guidelines require that a maximum of one vehicle per resident is allowed and that all vehicles have current registration, proper insurance and residents have valid driver licenses. Motor homes, campers or "5<sup>th</sup> wheels" are not allowed. The Escondido site has also shown that one 12' x 20' loading space is adequate for a facility of that size. Delivery trucks visit The Fellowship Center in Escondido about twice each week. Therefore, this project provides one 10' x 35' loading space located on the west side of the kitchen wing and one 12' x 27' space at the trash enclosure in the rear of the building.

The architecture of the proposed building conforms to the Guidelines for the Oceanside Historic District Core Area. The building is in an attractive Mission style design. The exterior walls will be finished with off-white smooth stucco. The roofs will be of mission style red tiles. Windows and exterior doors will be made of wood and recessed 4" to 6". The top of the windows facing the front will form a full half circle. Wooden trellises will emphasize the major entrances and screen the trash enclosures. The trim on the facia will be of wood fiber with concrete for greater durability. Decorative floor tiles will be applied in key areas. The tiles surrounding the fireplace in the existing building are of great historical value and will be saved and installed in a prominent place in the new building.

**TFC Management and Operation:**

The State of California requires that all adult residential alcohol and drug treatment facilities be licensed by the State Department of Alcohol and Drug Programs (ADP)\*. The Fellowship Center in Escondido, in operation for over 45 years, is not only licensed but its program is certified by ADP. The proposed facility in Oceanside will likewise be both licensed and certified for a total of 59 residents. Licensure ensures that standards of health and safety for residents and the community are met with regard to living, dining, educational and recreational space including but not limited to fire and safety standards, space and comfort protocols, food service handling, preparation and storage requirements, reporting requirements, emergency preparedness, upkeep of buildings and grounds etc. Certification sets high standards that the Oceanside Recovery Center must maintain with regard to program operation including but not limited to personnel requirements, qualifications and screening; personnel and client record keeping; recovery and treatment services standards; fiduciary accountability and record keeping; assurance that the personal rights of those served are never undermined, etc.

*\*California Code of Regulations (CCR), Title 9, Division 4, Chapter 5*

TFC specializes in recovery from alcohol and other drug addiction through long-term residential rehabilitation. Hours of the business operation will be Monday through Friday from 6:30 am to 9:30 pm and Saturday and Sunday from 10 am to 4 pm. The residential operation of the center will, of course, be open 24 hours each day with on-site staff. The

Oceanside Fellowship Center will employ a team of state credentialed, dedicated, experienced and knowledgeable professionals to serve 59 residents; a total of twelve staff will operate the program. Daily personnel on site will be: a facilities manager who lives on the property; four, full time, state-credentialed addiction rehabilitation specialists who will manage all phases of recovery services for the program residents. Two, full time food service specialists, plus a relief cook will tend to proper nutrition and healthy preparation of meals. A Program Director will have daily program oversight. An administrative assistant to the director, an office receptionist and a maintenance coordinator complete the team. TFC's professional staff is trained in the recovery from all drugs of abuse including alcohol. Staffing and management of the proposed facility will exhibit the same high standards of health, safety and program integrity as our Escondido facility has demonstrated for over 45 years.

All participation is voluntary, and all those seeking help are screened to ensure they are appropriate for the services. Those receiving services will enter into an alcohol and drug free environment and begin daily participation in proven substance abuse recovery and treatment methods. TFC uses group and individual counseling, learning skills related to living without dependence upon alcohol and other drugs and access to employment, education and other community services. The Center has strict guidelines with zero tolerance for criminal, threatening or violent behavior. As a result, the Escondido Center now has fewer incidents than the surrounding neighborhood. Such policies have been key to our successful provision of services since 1963. The Fellowship Center has experienced the value of working with other agencies - private, municipal, county and state- and builds working relationships with all services where benefit is mutual.

#### **USE DESIGNATION – Residential Care General**

This application has been modified to reflect a use designation that is much more consistent with the purpose of the proposed Oceanside Recovery Center. The application was initially submitted with a Group Residential designation. This has been changed to “Residential Care, General”.

The Fellowship Center will operate a state licensed “alcoholism and drug abuse recovery or treatment facility” that provides 24-hour nonmedical services to adults who are recovering from problems related to alcohol and/or drug abuse or misuse and who need recovery treatment. Health & Safety Code § 11834.02. The nonmedical services to be provided include counseling sessions, recovery or treatment planning. The Fellowship Center may also offer individualized services such as vocational and employment search training, volunteer opportunities, skills training, peer support and referrals for needed community services. Residential Care, General, describes a use that offers varying degrees of care, personal services and/or supervision. The Residential Care, General, use classification captures the programmatic element of care that is an essential part of The Fellowship Center’s proposed project.

The City of Oceanside has incorporated the state’s statutory language in developing its Residential Care, General, Classification. The state regulations that apply to both alcohol and drug programs and community care facilities (licensed residential care facilities) emphasize care of the residents at the dwelling. The City of Oceanside uses “. . . 24-hour non-medical care . . .” and “. . . assistance essential for sustaining the activities of daily living” both of which derive from the state licensing provisions.

In contrast, Group Residential only describes physical layout and lists the types of group living arrangements that come within this classification. The uses enumerated do not include the provision of programs or services that are part of the Fellowship Center mission.

In addition to Residential Care, General, accurately reflecting the proposed use for The Fellowship Center project, the designation also makes sense because the subject property is bordered on three sides by public and semi-public uses and residential care, general, is within the public and semi-public classification. Therefore, the use designation, land use and zoning would be compatible with the surrounding area.

## **PROJECT JUSTIFICATION**

Facilities for the rehabilitation of alcohol addiction are a necessary service in our society. Conservative estimates state approximately 14 million Americans (over 7% of the population) meet the diagnostic criteria for alcohol abuse or alcoholism. More than one-half of American adults have a close family member who has or has had a substance problem. However, since California has a higher percentage of adults who drink than the rest of the nation, the percentage of adults with alcohol abuse and alcoholism will be higher in this state. Additionally, in July of 2007, the National Institute on Alcohol Abuse and Alcoholism (NIAAA) reported a new study which presented two significant findings relating to this proposal. (1) That only 25% of those in this nation who need treatment for alcoholism receive it, and (2) that the incidence of those who drink who suffer from alcoholism or alcohol abuse is higher than was previous thought—as much as 30% of drinkers. These figures do not include the additional problems with legal and illegal drugs. However, alcohol always has been and remains today as the number one drug problem in the United States. There is a dramatic toll on our emergency rooms, police departments, social service agencies and workforce. The following are percentages of alcohol involved incidents: 25% of all emergency room visits, 33% of all suicides, 50% of domestic violence incidents, 50% of all homicides, 50% of all traffic fatalities. Alcohol and other drug abuse costs the American economy an estimated \$276 billion annually in lost productivity, health care, crime, motor vehicle crashes and other conditions.

(source: <http://www.niaaa.nih.gov>)

There is an increasing need for housing and treatment for people with disabilities including those in recovery for substance abuse. One in five Californians has a disability (including alcohol and other drug addiction) and this number is increasing<sup>1</sup>.

Statewide, there is a significant unmet need for treatment. Almost 24% of those needing rehabilitation services for alcohol abuse are not receiving it and almost 10% of those adults needing treatment for illicit drug use are not receiving it<sup>2</sup>. County-wide there were 352 deaths reported in 2003 due to substance abuse, 94 of those involved alcohol<sup>3</sup>.

In the City of Oceanside from April 1, 2007 through March 31, 2008, police recorded 961 driving under the influence arrests, 1,369 drunk in public/drunken and disorderly and 311 drug possession arrests<sup>4</sup>.

<sup>1</sup> Tootenlian & Gaedekc, *The Impact of Housing Availability Accessibility, and Affordability on People With Disabilities* (April 1999).

<sup>2</sup> U.S. Dept. of Health Services, Substance Abuse and Mental Health Services Administration (SAMHSA)

<sup>3</sup> Drug Abuse Warning Network (DAWN) 2003 Area Profiles of Drug-related Morality.

<sup>4</sup> City of Oceanside Police Department.

Locally, the availability of a state licensed residential alcohol and drug recovery programs for men is not met. While there are seven other state licensed rehabilitation programs within the area, only two are residential: a woman with children facility with a capacity for 55 women and up to 35 children and a six bed alcohol and drug detoxification facility for men and women with a maximum stay of 14 days<sup>5</sup>.

Without residential recovery services, the facts above will not get addressed in any permanent manner. A significant percentage of crime, homelessness and unemployment will continue to rise and family systems will continue to deteriorate. The Fellowship Center is requesting the City of Oceanside assist in addressing this formidable problem by accommodating The Fellowship Center to develop a time-tested, result oriented and economically feasible treatment program for people addicted to alcohol and other drugs. The location of this type of program is integral to successful treatment outcomes. The Fellowship Center's residential recovery and treatment programs create an environment where alcohol and drug use are not perceived as the norm. This is accomplished, in part, by providing a sense of community offering residents a familylike atmosphere where abstinent-based norms are an on-going part of the treatment and recovery process. Therefore, the project site was specifically chosen to help create the above described environment because of its proximity to community, religious and other nearby support services which have proven to enhance the rehabilitative process.

#### **For the General Plan Amendment**

From Single Family Residential to Private Institutional

#### **Land Use Element**

The proposed project is also consistent with the City's land use element, with respect to community values, balanced land use and land use compatibility. The Land Use Element calls for new projects to enhance the long-term community and neighborhood values through effective land use planning. One of the core values of the Fellowship Center is to enhance community values by provide a program where participants learn to once again flourish in the community and society. Furthermore, this project:

- A. Is attractively planned and will benefit the community in the ways discussed in other portions of this document.
- B. Will not significantly distract from nor negatively impact surrounding conforming land uses. Further details of how the Fellowship Center has benefited existing neighborhoods and will benefit this one are included in other sections of this Description and Justification.
- C. Provides social, economic and physical enhancements to the community which are also discussed above and below.

<sup>5</sup> Information regarding current providers of state licensed alcohol and drug recovery programs at [www.adp.ca.gov](http://www.adp.ca.gov)

- D. Is definitely consistent with widespread community values. In addition to providing an important service to the community, the Fellowship Center has a history of volunteering for assistance in community events. Please see letters which have been provided, from the Mayor of Oceanside thanking the Fellowship Center for their participation in community events and from the Escondido Chief of Police discussing the much needed service provided by the Fellowship Center.

The Land Use Element also calls for long-term provision of a balanced, self-sufficient and efficient community. One of the needs of such a community is a service that provides an alcohol and drug free environment with a structured rehabilitation program where participants learn to live alcohol and other drug (AOD) free. The proposed Oceanside Recovery Center will not only provide such a service, but will

- A. Continue to foster a sense of community as is does at the Fellowship Center in Escondido and Oceanside through its involvement with community service and events.
- B. Provide a significant service to the community.
- C. Will not have a significant impact on the City's circulation system.

In addition, the Land Use Element, in order to minimize conflicts with adjacent or related land uses, requires:

- A. Adequate setbacks, buffering and/or innovative site design for land uses that are incompatible with existing land uses. This Residential Care project is compatible with surrounding land uses. However, we have been careful to provide vertical separation, landscape buffers and large setbacks between the proposed building and the existing residential uses. The largest setback to the proposed building is on the north side and averages approximately 65 feet.
- B. Avoidance of negative visual impacts to surrounding land uses. A massing study has been provided which shows that, in addition to attractive architecture, compatible with the Mission Overlay, this project is well within the range of existing structure sizes in the community. Existing buildings within the San Luis Rey Mobile Home Park preclude most of the view of the project from the north. The site will present attractive, but unobtrusive views from more distant points such as Highway 76 and is perhaps less visible than other existing buildings in the area.
- C. Furthermore, the project will not subject the neighborhood to objectionable noise, odors, emissions or dangerous materials. The updated lighting study shows that no objectionable level of light will leave the perimeter of the site.

Private Institutional, as defined by the Land Use Element, includes private uses and facilities such as medical and hospice institutions. The Element permits various types of housing that supports the population of the development. Such housing would include Residential Care, General, with an approved Conditional Use Permit. The proposed General Plan Amendment would bring the TFC property into conformance with the majority of the surrounding land uses or land use designations, which are private or semi-public. Furthermore, this proposed use is compatible with the remaining surrounding uses, since it is comparable in intensity. It is also separated by elevation by a perimeter fence and by landscaping, from the areas to the north and west.

The Land Use Element of the City of Oceanside General Plan calls for institutional type projects to have landscaping that exceeds the typical development. This project has 8 trees in the perimeter areas, as well as approximately 95 shrubs. It will be surrounded by a plantable perimeter wall. Exterior lighting has been designed to be directed inward. The retaining wall on the north and west sides is to be a plantable wall covered with jasmine.

The Land Use Element further states that developments within this designation are also distinguished by a general inward orientation. This proposal includes a central courtyard, with a large percentage of the site activity occurring in this area. All of the residential rooms open onto this courtyard. The multi-purpose room and the offices also have entrances on the courtyard side.

This project meets these Land Use Element objectives and policies by proposing a residential alcohol and other drug treatment and recovery service.

### Housing Element

The proposed project furthers the unmet needs of people with disabilities, a mandate under California Housing Element Law. Additionally, the project assists the City of Oceanside in meeting its special needs housing goals.

The City of Oceanside Housing Element has several goals regarding providing housing for all segments of the population. The City wishes to encourage the development of a variety of housing opportunities, with special emphasis on providing (among other things): "Housing that meets the special needs of the elderly and persons with disabilities". In accordance with this goal, the City has established a policy to "Encourage both the private and public sectors to produce or assist in the production of housing with particular emphasis on housing affordable and accessible to lower-income households, **persons with disabilities**, elderly, large families, female-headed households, and homeless persons.

The Housing Element further states that two of the factors that significantly limit the supply of housing available to persons with disabilities are location and discrimination. An analysis of governmental constraints to the development and siting of housing for people with disabilities as required by Housing Element law would also potentially identify zoning restrictions as contributing to the lack of special needs housing.

The City of Oceanside Housing and Code Enforcement Divisions Consolidated Plan for 2005 – 2010 has Specific Special Needs Objectives that include:

1. Assisting housing developers to develop independent living and supportive housing opportunities for low-income persons with disabilities, which includes the support of the siting of group homes for persons with disabilities and/or special needs in residential areas throughout the City.
2. Assist organizations that provide programs and services to persons with disabilities that enable them to live independent lives, which includes providing supportive services that would assist them in obtaining employment.

3. Addressing Housing Element Constraints to housing development and addressing housing needs of special needs populations (including persons with disabilities).

### Historical Overlay

This proposal is consistent with the specific purposes of the overlay, since it would

1. Enhance the visual character of the city by allowing for the continued compatibility of architectural styles within the San Luis Rey historical area.
2. Stabilize and improve property values and increase economic and financial benefits to the city and its inhabitants;
3. Promote the private and public use of historical areas and sites for the education, prosperity and general welfare of the people.
4. Encourage development tailored to the character and significance of the areas Conservation Plan (Historic District Guidelines).

The proposed General Plan designation is more consistent with the history of the San Luis Rey Mission as a public and semi-public institution.

### For the Zoning Amendment – Public and Semi-Public

Among the specific purposes of a Public and Semi-Public Zone (PS) are: to allow consideration of such uses separately from an underlying base zoning that may or may not be appropriate in a combination with the PS use, to allow consideration of the establishment of a PS use at rezoning hearings rather than at use permit hearings only. The requested rezone would allow the Planning Commission to consider the use of this site for a PS project.

The proposed zone (PS) would be consistent with the purposes of the Zoning Ordinance in that it would:

1. Enhance the compatibility with the majority of the surrounding land uses.
2. Be compatible with the land use designations for the surrounding areas shown in the Land Use and Housing Elements of the General Plan. It would convert one of the two remaining, relatively low density residential sites to a use that is consistent with surrounding areas, which are institutional or relatively high density residential.
3. Promote the economic stability of existing land uses. Please see the project justification for a further discussion of the projects promotion of economic stability.
4. Allow for an occupancy density compatible with the surrounding area (20 to 45 bedrooms per acre).
5. Allow for a use that would continue to preserve the integrity and stability of the City.
6. Be consistent with the Mission San Luis Rey historic area and allow for development that is consistent in mass with surrounding land uses.
7. Allow for safe and convenient vehicular and pedestrian movements and sufficient parking.

8. Be consistent with infrastructure capacities and not be a burden on existing public facilities and infrastructure.
9. Promote housing of such types, sizes and cost as will allow city residents of whatever economic condition to reside in safe, sanitary dwelling units.

#### **For the Conditional Use Permit**

**The Planning Commission must make the following three findings to approve the Condition Use Permit:**

- 1. That the proposed location of the use is in accord with the objectives of this ordinance and the purposes of the district in which the site is located.**

The Zoning Ordinance defines The Fellowship Center as "Residential Care, General" which is a permitted use in the PS-H District upon the approval of a Conditional Use Permit. As the subject site is adjacent on two sides to the PS-H District, the zone change is merely a small addition to a large group of semi-public uses, which includes the Alano Club, the Mission San Luis Rey, the Mission San Luis Rey Parish, a Montessori School and the Casa de Amparo. The Zoning Ordinance defines "Residential Care, General" as "Twenty-four hour non-medical care for seven or more persons ... in need of personal services, supervision, protection or assistance essential for sustaining the activities of daily living. The proposed project closely follows this definition and therefore complies with the purposes of the district.

- 2. That the proposed location of the conditional use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.**

With the approval of the General Plan amendment and the zone change, the proposed project will be consistent with the General Plan.

As discussed in the above section regarding the General Plan Amendment, this project would be consistent with the General Plan, more specifically, the Land Use Element, the Housing Element and the Historic Element.

There are numerous sources of data locally and nationally that demonstrate that licensed residential alcohol and drug treatment programs are not a detriment to the communities in which they reside, but in fact actually contribute to community health and safety. These facilities are known to be well maintained, help some of their elderly neighbors maintain their properties, do not lower property values, serve as neighborhood watch, are alcohol and drug free, and in many communities actually act as crime deterrents. Study after study supports these claims. Many accusations to the contrary are often hurled at these programs by neighbors but no data is offered to support these negative projections.

On the contrary, this proposed project will provide for improvements to the area, such as improved access to the site and adjacent parcels, a sidewalk addition to Academy Road, improvements to the nearest bus stop, an improved public water supply system (looped), and a storm drain system for the neighborhood. The

center will provide a treatment program that will be beneficial to the general welfare of the city.

**3. That the proposed conditional use will comply with the provisions of this ordinance, including any specific conditions required for the proposed conditional use in the district in which it would be located.**

Careful conditioning of the proposed project combined with active enforcement of the conditions by the management of The Fellowship Center and by the city will assure that the conditional use will be conducted in compliance with the provisions of this ordinance. The applicant is aware that non-compliance with any of the applicable provisions of this ordinance or with the conditions of the approval of the conditional use, and failure to correct such non-compliance, may become a cause for the revocation of the conditional use permit. The exemplary record of the residential care facility operated by The Fellowship Center in Escondido is illustrated by the attached letter from the Escondido Police Chief and by opinions in and letters to the North County Times (also attached).

Under both the Federal Fair Housing Amendments Act of 1988 and California's Fair Employment and Housing Act, The Fellowship Center may seek from the City of Oceanside reasonable accommodations in land use and zoning regulations that may be necessary to provide housing for people with disabilities. While the City does not have a written reasonable accommodation procedure as required by California Housing Element law since 2001, The Fellowship Center may still make a request which the City must consider. At this time The Fellowship Center reserves the right to make a request for reasonable accommodations in the approval process and, may, choose to substitute a current application for approval within this submittal with a request for reasonable accommodation. A request for reasonable accommodation must be reviewed and determined pursuant to federal and state fair housing laws.

**For the Development Plan**

The purposes of a Development Plan are:

**1. To show that the architectural design of the structures and landscaping conform to the requirements of the Zoning Ordinance.**

The architectural design and landscaping presented in this proposal is upscale, while preserving the intent of the historical district by remaining in conformance with the Historic District Guidelines.

**2. To ensure that the new development will not create public service and facility demands exceeding the capacity of existing and planned infrastructure.**

The proposed development does not place demands on public service and facilities that exceed the capacity of existing and planned infrastructure. On the contrary, this proposed project will provide for improvements to the area, such as improved access to the site and adjacent parcels, a sidewalk addition to Academy Road, improvements to the nearest bus stop, an improved public water supply system (looped),

and a storm drain system for the neighborhood. The center will provide a treatment program that will be beneficial to the general welfare of the city, which would ultimately reduce the demands on public services.

**The Planning Commission must make the following three findings to approve the Development Plan:**

**1. The site plan and physical design of the project as proposed is consistent with the purposes of the Zoning Ordinance.**

This project complies with the requirements of the zoning ordinance by providing setbacks that meet or exceed standards, lot coverage of only 23%, landscaping coverage of over 40%, exceptional architecture that is consistent with the goals of the Historic District, parking that exceeds requirements, and improvements to access and infrastructure.

**2. The Development Plan as proposed conforms to the General Plan of the City.**

This Development Plan conforms to the General Plan, more specifically, the Land Use Ordinance, the Housing Ordinance and the Historic Overlay, as discussed above.

**3. The area covered by the Development Plan can be adequately, reasonably and conveniently served by existing and planned public services, utilities and public facilities.**

The proposed project will provide for improvements to the area, such as improved access to the site and adjacent parcels, a sidewalk addition to Academy Road, improvements to the nearest bus stop, an improved public water supply system (looped), and a storm drain system for the neighborhood. The center will provide a treatment program that will be beneficial to the general welfare of the city, which would ultimately reduce the demands on public services.

With proposed improvements, this project is reasonably and conveniently served by existing services and facilities.

**4. The project as proposed is compatible with existing and potential development on the adjoining properties or in the surrounding neighborhood.**

The adjoining properties and surrounding neighborhood consists of four general uses:

**a. vacant land zoned public and semi-public**

This project is compatible with the acknowledged future development intent of this area.

**b. existing public and semi-public uses (an addition to a large group of semi-public uses, which includes the Alano Club, the Mission San Luis Rey, the Mission San Luis Rey Parish, a Montessori School and Casa de Amparo)**

Experience with The Fellowship Center in Escondido, many other similar facilities and several studies verify that in spite of many

misperceptions the proposed project is compatible with these existing uses.

**c. The Mission San Luis Rey and Serra Center in a PD-19-H Zone.**

In keeping with its fine, historic tradition of providing help, services and assistance to the surrounding community, the Mission San Luis Rey has implemented a Planned Development Plan. The Fellowship Center's mission of providing assistance to people who have made a commitment to overcoming addiction and rehabilitating their lives to become productive members of the community runs parallel with the central purpose of any Mission.

This Mission San Luis Rey Planned Development Plan outlines the types of existing and proposed services at the site. These include:

- i. The friary with existing lodging for up to 20 people and common kitchen and dining facilities.
- ii. A cemetery – to be expanded
- iii. Community, / educational / institutional Use
- iv. A future retirement center
- v. Visitor serving commercial or lodging
- vi. Parking – to be expanded
- vii. An event area  
The event areas currently host events with performers and attendees numbering as many as 7500 people per day. Small, medium and large events are a normal activity in many public and semi-public sites and are considered acceptable by the community.
- viii. A retreat center with conference rooms with a total capacity of approximately 500, lodging for over 100 people and common kitchen and dining facilities.

The applicant for the Oceanside Recovery Center applauds and admires the public service provided by the Mission. The Planned Development Plan for the Mission illustrates and exemplifies the historic tradition of this group of public and semi-public zoned parcels. The proposed Recovery Center is consistent with this tradition and will provide housing, education and support for men in transition to recovery. The activities and services proposed for the Recovery Center, although on a smaller scale, are very similar to many of the laudable services provided by the Mission.

**d. The mobile home park: "Medium Density B, 10 – 15"**

Experience and studies have shown that recovery is more successful when the facility is located adjacent to a residential area. It is a part of the mission of The Fellowship Center to provide recovery services and transition in the vicinity of an existing residential area.

**5. The site plan and physical design of the project is:**

**a. consistent with the policies contained in Section 1.24 and 1.25 of the Land Use Element of the General Plan**

Section 1.24: To ensure that development preserves and enhances the unique beauty and character of the City's natural topographic features and does not contribute to slope instability, flooding or erosion hazards to life and property.

This project is to be on a site that has a mild slope. It proposes the least amount of grading possible to provide a useable site, while being

sensitive to existing drainage in the area. The project will implement the City of Oceanside Standard Urban Stormwater Mitigation Plan and Erosion Control Ordinance requirements to maximize storm water quality and minimize erosion. The development will comply with the City of Oceanside Grading Ordinance.

**Section 1.24: Undevelopable Lands**

There are no undevelopable lands at this site.

- b. the Development Guidelines for Hillsides and Section 3039 of the Zoning Ordinance

There are no "hillsides" on this site.

**Since this project will provide a much needed service for the neighborhood, community and City, will provide access and infrastructure improvements to the area, and is consistent with the General Plan, the Zoning Ordinance and other regulations of the City of Oceanside as mentioned above, improves drainage in the area, and continues the fine tradition of community service established by other development in the immediate area, we respectfully request your favorable consideration of this application.**

This petition was given to the City Council.  
We have 328 names in our Severn Community  
and 326 of our Residents do not want this site to  
be used for the project that is proposed.

Thank you

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1. Clara Douglas Clara Douglas 143 Swallow Ln.  
Print Name Signature Address Oceanside 92057

2. Carolyn R. Mason Carolyn Mason 128 Swallow  
Print Name Signature Address Oceanside 92057

3. INEZ LEE Inez Lee 164 Roadrunner  
Print Name Signature Address Oceanside 92057

4. Floria Johnson Floria Johnson 26 Hummingbird Lane  
Print Name Signature Address Oceanside 92057

5. Donald C. Johnson Donald C. Johnson 26 Hummingbird Lane  
Print Name Signature Address Oceanside 92057

6. BOBBY ABSTER Bobby J. Abster 257 STARKING LN  
Print Name Signature Address Oceanside 92057

7. Joe Martha Joe 38 Hummingbird Ln.  
Print Name Signature Address Oceanside 92057

3. CAROLYN SCHAFFNER Carolyn Schaffner 38 Hummingbird  
Print Name Signature Address Oceanside 92057

3. R D Warner R D Warner 40 Hummingbird  
Print Name Signature Address Oceanside 92057

10. Linda Warner Linda Warner 40 Hummingbird  
Print Name Signature Address Oceanside 92057

1. Stephanie Taylor Stephanie Taylor 308 Kilduck Lane  
Print Name Signature Address Oceanside 92057

2. Carolyn S. Shonker Carolyn Shonker 17 Chick Ln.  
Print Name Signature Address Oceanside 92057

3. Diana L. Teller Diana Teller 17 Chick Ln.  
Print Name Signature Address Oceanside 92057

4. Tom M. Johnson Tom M. Johnson 17 Chick Lane  
Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1. Sarah B. Hart Sarah B. Hart 91 Pleasant  
 Print Name Signature Address Oceanside 92057

2. CHARLA HOGUE Charla Hogue 268 Quail  
 Print Name Signature Address Oceanside 92057

3. JACK BRENNAN J. Brennan 267 Quail Ln.  
 Print Name Signature Address Oceanside 92057

4. ELEANOR BRENNAN Eleanor Brennan 267 Quail Ln.  
 Print Name Signature Address Oceanside 92057

5. TOM HODKINSON T. Hodkinson 265 Quail Ln.  
 Print Name Signature Address Oceanside 92057

6. BARBARA HODKINSON B. Hodkinson 265 Quail Ln.  
 Print Name Signature Address Oceanside 92057

7. Joyce Perdue Joyce Perdue 264 Quail Lane 92057  
 Print Name Signature Address Oceanside 92057

8. Les G. Perdue Les G. Perdue 264 Quail Lane 92057  
 Print Name Signature Address Oceanside 92057

9. STANLEY PERRY JR. Stanley Perry Jr. 263 Quail Ln.  
 Print Name Signature Address Oceanside 92057

10. Thaine Poley Thaine Poley 277 Quail  
 Print Name Signature Address Oceanside 92057

1. Patte R. Prentiss Patte R. Prentiss 276 Quail  
 Print Name Signature Address Oceanside 92057

2. Gerard R. Prentiss Gerard R. Prentiss 276 Quail  
 Print Name Signature Address Oceanside 92057

3. Randell Geary Randell Geary 275 Quail  
 Print Name Signature Address Oceanside 92057

4. Rose Geary Rose Geary 275 Quail  
 Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1. HAROLD FORD Harold Ford 93 PHEASANT LN Oceanside  
 Print Name Signature Address Oceanside 92057
2. OLGA K. LUCIEN Olga K. Lucien 89 Pheasant Ln 92057  
 Print Name Signature Address Oceanside 92057
3. Linda Gutshall Linda Gutshall 87 Pheasant Lane  
 Print Name Signature Address Oceanside 92057
4. James S Gutshall James S Gutshall 87 Pheasant Lane  
 Print Name Signature Address Oceanside 92057
5. DANIEL LABOJA Daniel Laboja 86 PHEASANT LN  
 Print Name Signature Address Oceanside 92057
6. EUNICE ANTHONY Eunice Anthony 85 Pheasant  
 Print Name Signature Address Oceanside 92057
7. LAWRENCE D. HAROLD Lawrence D. Harold 81 Pheasant Ln. Ocsid 92057  
 Print Name Signature Address Oceanside 92057
8. FRANCES FAIETA Frances Faeta 272 Quail  
 Print Name Signature Address Oceanside 92057
9. Vergie E. Sheehy Vergie E. Sheehy 271 Quail  
 Print Name Signature Address Oceanside 92057
10. ROBERT E. ROLES Robert E. Roles 271 QUAIL  
 Print Name Signature Address Oceanside 92057
11. ALBERTINE MARCHISIO Albertine Marchisio 273 D'ALLANE  
 Print Name Signature Address Oceanside 92057
12. ANN WAITE Ann Wait 274 QUAIL  
 Print Name Signature Address Oceanside 92057
13. JEDE CARL TENSEN Jede Carl Tensen 100 PHEASANT  
 Print Name Signature Address Oceanside 92057
14. ALLAN HATCH Allan Hatch 322 KILDEER LN O.  
 Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. **do not approve** of the proposal by The Fellowship Center, Inc. for a **2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center** to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1. ED PARNESS Edward Parness 107 Pheasant  
Print Name Signature Address Oceanside 92057
2. OLIVETE PARNESS Olivete Parness 107 Pheasant  
Print Name Signature Address Oceanside 92057
3. LUCILLE M. PEARCE Lucille M. Pearce 109 PHEASANT LN. OCEANSIDE 92057  
Print Name Signature Address Oceanside 92057
4. Robert Pearce ROBERT PEARCE 109 PHEASANT LN. OCEANSIDE  
Print Name Signature Address Oceanside 92057
5. AUDREY J. KLEIN Audrey J. Klein 108 Pheasant Lane  
Print Name Signature Address Oceanside 92057
6. William Klein William Klein 108 Pheasant Lane  
Print Name Signature Address Oceanside 92057
7. PATRICIA BUCHANAN Patricia Buchanan 106 PHEASANT LN  
Print Name Signature Address Oceanside 92057
8. David Adams David Adams 106 PHEASANT LN  
Print Name Signature Address Oceanside 92057
9. GEORGE CHRISTOPHIADIS George Christophiadis 104 PHEASANT LN OCEANSIDE, CA 92057  
Print Name Signature Address Oceanside 92057
10. ROBERT H MEDLIN Robert H Medlin 98 PHEASANT LN  
Print Name Signature Address Oceanside 92057
1. SUSAN FOX Susan Fox 97 Pheasant  
Print Name Signature Address Oceanside 92057
2. JACK DUNNAN Jack Dunnan 95 PHEASANT  
Print Name Signature Address Oceanside 92057
3. VALERIE P CABALFIN Valerie P 95 Pheasant Ln.  
Print Name Signature Address Oceanside 92057
1. LUCILE FORD Lucile Ford 93 Pheasant Ln.  
Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1. H. A. Fuhrmann Helmuth A. Fuhrmann 233 Robin Ln  
 Print Name Signature Address Oceanside 92057
2. Doris Fuhrmann Doris Fuhrmann 233 Robin Ln.  
 Print Name Signature Address Oceanside 92057
3. Clyde Vickers Clyde Vickers 332 Bluebird Ln Oceanside  
 Print Name Signature Address Oceanside 92057
4. SUNITA Lois Vickers Sunita Vickers 232 Bluebird Ln  
 Print Name Signature Address Oceanside 92057
5. CHEN Xu zhen, Tu Chen Xu zhen, Tu 229 Bluebird Ln  
 Print Name Signature Address Oceanside 92057
6. REN HONG TU Rong Tu 229 Bluebird Ln  
 Print Name Signature Address Oceanside 92057
7. JANE WOJTAJ Jane Wójcisz 226 BLUEBIRD  
 Print Name Signature Address Oceanside 92057
8. Julie Fouch Julie Fouch 225 Bluebird Ln.  
 Print Name Signature Address Oceanside 92057
9. BRIGITTE COTAVIANO Brigitte Cotaviano 223 Blue Bird Ln  
 Print Name Signature Address Oceanside 92057
10. ROBERT E. COTAVIANO Robert E. Cotaviano 223 BLUEBIRD LYN  
 Print Name Signature Address Oceanside 92057
11. W. R. Kirk W. R. Kirk 204 MEADOWS BIRD  
 Print Name Signature Address Oceanside 92057
12. PHYLLIS J. TRUCE Phyllis Truce 328 Hillcler Drive  
 Print Name Signature Address Oceanside 92057
13. Nancy W. Winters Nancy Winters 101 Meadowbird Lane  
 Print Name Signature Address Oceanside 92057
4. Al Toi Al Toi 190 Flicker  
 Print Name Signature Address Oceanside 92057



(7)

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1. JACQUES MORLEY Jacques Morley 42 Hummingbird Ln  
Print Name Signature Address Oceanside 92057
2. JOSEPH RILEY Joseph Riley 43 Hummingbird Ln  
Print Name Signature Address Oceanside 92057
3. RICHARD CUNY Richard Cuny 416 Hummingbird Ln  
Print Name Signature Address Oceanside 92057
4. DAVE CHAUDHURI Dave Chaudhuri 27-HUMMINGBIRD LN  
Print Name Signature Address Oceanside 92057
5. JACQUELINE SPENCER Jacquelyn Spencer 253 Starling  
Print Name Signature Address Oceanside 92057
6. BERT SPENCER Bert Spencer 253 Starling  
Print Name Signature Address Oceanside 92057
7. LLOYD VEEDER Lloyd Veeder 248 STARLING LN  
Print Name Signature Address Oceanside 92057
8. MARIAN VEEDER Marian Veeder 248 Starling Ln  
Print Name Signature Address Oceanside 92057
9. ALLEN KAY Allen Kay 245 STARLING  
Print Name Signature Address Oceanside 92057
10. Billie Simmons Billie Simmons 244 Starling  
Print Name Signature Address Oceanside 92057
11. Budd Toy Budd Toy 190 Flicker  
Print Name Signature Address Oceanside 92057
12. ELIZABETH W NULTY Elizabeth W Nulty 240 Blackbird  
Print Name Signature Address Oceanside 92057
13. George Weber George Weber 239 Blackbird  
Print Name Signature Address Oceanside 92057
14. Clemencia Valenzuela Weber (Weber) Clemencia Valenzuela Weber 239 Blackbird Ln  
Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1. Joseph H Riefler [Signature] 186 Flicker  
Print Name Signature Address Oceanside 92057

2. Clayton Preston [Signature] 189 Flicker  
Print Name Signature Address Oceanside 92057

3. Alma Preston [Signature] 135 Flicker  
Print Name Signature Address Oceanside 92057

4. Averill M. Penseyres [Signature] 188 Flicker  
Print Name Signature Address Oceanside 92057

5. Mary McLaughlin [Signature] 183 Flicker  
Print Name Signature Address Oceanside 92057

6. Thomas S George [Signature] 189 Flicker Ln  
Print Name Signature Address Oceanside 92057

7. Frances D. George [Signature] 189 Flicker Ln  
Print Name Signature Address Oceanside 92057

8. Edward D. Dias [Signature] 180 Flicker Ln  
Print Name Signature Address Oceanside 92057

9. Shirley Dias [Signature] 180 Flicker Ln  
Print Name Signature Address Oceanside 92057

10. Ed Fagundes [Signature] 179 Flicker Ln  
Print Name Signature Address Oceanside 92057

11. Shirley R. Brink [Signature] 177 Flicker E. side  
Print Name Signature Address Oceanside 92057

12. Quinn Thornton [Signature] 220 Mockingbird  
Print Name Signature Address Oceanside 92057

13. Mary [Signature] 202 Mockingbird Ln  
Print Name Signature Address Oceanside 92057

14. Barbara Farber [Signature] 203 Mockingbird Lane  
Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1. EDWARD F. WITHERROW Edward F. Witherrow 317 Killdeer Ln  
Print Name Signature Address Oceanside 92057

2. ANN W. WITHERROW Ann W. Witherrow 317 Killdeer Ln  
Print Name Signature Address Oceanside 92057

3. CARMELA PROVENZANO Carmela Provensano 259 STARLING LN, O'Side, CA 92057  
Print Name Signature Address Oceanside 92057

4. DON PROVENZANO - Mrs. Provenzano 259 STARLING LN  
Print Name Signature Address Oceanside 92057

5. EVA SWANSON Eva Swanson 318 Killdeer  
Print Name Signature Address Oceanside 92057

6. DAVID DUFFIELD David Duffield 255 Robin Ln.  
Print Name Signature Address Oceanside 92057

7. IRENE DUFFIELD Irene Duffield 222 Robin Lane  
Print Name Signature Address Oceanside 92057

8. VIRGINIA R. LAYNE Virginia R. Layne 282 Robin Lane  
Print Name Signature Address Oceanside 92057

9. Josephine Del'Homme Del'Homme 283 Robin Lane  
Print Name Signature Address Oceanside 92057

10. CORINE GRANT Corine Grant 285 Robin Lane  
Print Name Signature Address Oceanside 92057

11. DORIS ELLER Doris Eller 281 Robin Lane  
Print Name Signature Address Oceanside 92057

12. JOE MALLEY Joe Malley 378 Killdeer  
Print Name Signature Address Oceanside 92057

13. Edward Bouyea Edward Bouyea 310 Killdeer Ln  
Print Name Signature Address Oceanside 92057

14. WANDA BERRY Wanda Berry 264 Mission Ave  
Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1. DONALD F. FEEHAN Donald F. Feehan 80 SEAGULL LANE  
Print Name Signature Address Oceanside 92057

2. JEAN RAY FEEHAN Jean Ray Feehan 80 SEAGULL LANE  
Print Name Signature Address Oceanside 92057

3. Judith A Moffitt Judith A. Moffitt 81 Seagull Ln  
Print Name Signature Address Oceanside 92057

4. - 81 SEAGULL LN.  
Print Name Signature Address Oceanside 92057

5. Arnold Ewell Arnold Ewell 78 Seagull  
Print Name Signature Address Oceanside 92057

5. Rose ORAGOTTO Rose Oragotto 218 Modlinger Ln  
Print Name Signature Address Oceanside 92057

7. Keith Van Zandt Keith Van Zandt 295 Seagull Ln.  
Print Name Signature Address Oceanside 92057

3. Diane Van Zandt Diane Van Zandt 295 Seagull Lane  
Print Name Signature Address Oceanside 92057

3. DENNIS THOMAS Dennis Thomas 273 Seagull Ln  
Print Name Signature Address Oceanside 92057

0. JOHN MIDDLETON John Middleton 298 Seagull  
Print Name Signature Address Oceanside 92057

1. MABEL A. SIENOR Mabel A. Sienor 300 Seagull Ln  
Print Name Signature Address Oceanside 92057

2. Michelle Higgins Michelle Higgins 300 Seagull Ln  
Print Name Signature Address Oceanside 92057

3. Richard Connor Richard Connor 24 Oriole Lane  
Print Name Signature Address Oceanside 92057

4. Barbara B. O'Connor Barbara B. O'Connor 24 Oriole Lane  
Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

126 Swallow Ln

1. Alfred VARRICHO Alfred Varrichio 126 Swallow Ln  
 Print Name Signature Address Oceanside 92057
2. Lucille VARRICHO Lucille A. Varrichio 126 Swallow Ln  
 Print Name Signature Address Oceanside 92057
3. RON O'BRIEN Ron O'Brien 142 Swallow Ln  
 Print Name Signature Address Oceanside 92057
4. JOHN COBRIEN John C. O'Brien 142 Swallow Ln  
 Print Name Signature Address Oceanside 92057
5. CAROLYN HEDDY Carolyn Heddy 117 Swallow Lane  
 Print Name Signature Address Oceanside 92057
6. FRANK CHANDLER Frank Chandler 116 Swallow Ln  
 Print Name Signature Address Oceanside 92057
7. IRENE VESTENSEN Irene Vestesen 116 Swallow Ln  
 Print Name Signature Address Oceanside 92057
8. BOB Bob 130 Swallow Ln  
 Print Name Signature Address Oceanside 92057
9. JIM Jim 111 Swallow Ln  
 Print Name Signature Address Oceanside 92057
10. Douglas Douglas 112 Swallow Ln  
 Print Name Signature Address Oceanside 92057
11. PATRICIA HARVEY Patricia Harvey 125 Swallow  
 Print Name Signature Address Oceanside 92057
12. BOB Bob 130 Swallow Ln  
 Print Name Signature Address Oceanside 92057
13. BOB Bob 130 Swallow Ln  
 Print Name Signature Address Oceanside 92057
4. EGGY E HESTER Eggy E. Hester 133 Swallow Lane  
 Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1. FLOY E. MILLER Floy E. Miller 120 Swallow Lane  
 Print Name Signature Address Oceanside 92057
2. JAMES R. MILLER James R. Miller 120 Swallow Lane  
 Print Name Signature Address Oceanside 92057
3. BETTE L EDWARDS Bette L Edwards 119 Swallow Ln  
 Print Name Signature Address Oceanside 92057
4. ALBERTO DOMINGUEZ TAVIRA Alberto Dominguez 135 Swallow Ln  
 Print Name Signature Address Oceanside 92057
5. RICHARD BRITAIN Richard Brittain 121 Swallow  
 Print Name Signature Address Oceanside 92057
6. CHRISTINA BRITAIN Christina Brittain 121 Swallow Ln. O.S. CA. 92057  
 Print Name Signature Address Oceanside 92057
7. PIERSON VIRGINIE Piercion Virginia 122 Swallow Ln  
 Print Name Signature Address Oceanside 92057
3. ELIZABETH SIMON Betty Simon 123 Swallow Lane  
 Print Name Signature Address Oceanside 92057
3. PHILLIPS ROYCE Royce Phillips 118 Swallow Ln Oceanside  
 Print Name Signature Address Oceanside 92057
0. HARRY WOLCOTT Harry Wolcott 136 Swallow Oceanside  
 Print Name Signature Address Oceanside 92057
1. CARL WILCOCK Carl Wilcock 138 SWALLOW  
 Print Name Signature Address Oceanside 92057
2. MARK NOVACEK Mark Novacek 139 Swallow Ln  
 Print Name Signature Address Oceanside 92057
3. ROBERT MC FERRILL Robert McFerrill 140 Swallow Ln  
 Print Name Signature Address Oceanside 92057
1. ANTHONIA G. WHITE Antonia G. White 141 Swallow Ln  
 Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1. Georgia Johnson Georgia Johnson 51 Hummingbird Ln  
 Print Name Signature Address Oceanside 92057
2. NANCY COTTRELL Nancy Cottrell 26 Hummingbird  
 Print Name Signature Address Oceanside 92057
3. ROBERT CHASE Robert Chase 28 Hummingbird  
 Print Name Signature Address Oceanside 92057
4. MARTINA CHASE Martina Chase 22 Hummingbird  
 Print Name Signature Address Oceanside 92057
5. Martina Chase  
 Print Name Signature Address Oceanside 92057
6. Bessie Cesar Bessie Cesar 29 Hummingbird  
 Print Name Signature Address Oceanside 92057
7. MARY KENAN Mary E. Kenan 31 Hummingbird Ln  
 Print Name Signature Address Oceanside 92057
8. RICHARD BERTY Rich D Bert 32 Hummingbird Ln  
 Print Name Signature Address Oceanside 92057
9. ROBERT D MUIR Robert D Muir 34 Hummingbird Ln  
 Print Name Signature Address Oceanside 92057
10. JANET EDWARDS J M Edwards 36 Hummingbird  
 Print Name Signature Address Oceanside 92057
11. HERBERT SIGWELL H J Sigwell 39 Hummingbird Ln  
 Print Name Signature Address Oceanside 92057
12. HILDA M. VOKLAW Hilda M. Voklaw 39 Hummingbird Ln  
 Print Name Signature Address Oceanside 92057
13. LELANAE COLLIER Lelanae Collier 40 Hummingbird Ln  
 Print Name Signature Address Oceanside 92057
14. ARTHUR F. SMITH Arthur F. Smith 41 Hummingbird Ln  
 Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1. Patricia Costa *Patricia Costa* 234 Bluebird Ln  
Print Name Signature Address Oceanside 92057
2. Jack Costa *Jack Costa* 234 Bluebird Ln  
Print Name Signature Address Oceanside 92057
3. CATHERINE SERAFINI *Catherine Serafini* 719 Roadrunner  
Print Name Signature Address Oceanside 92057
4. MARJORIE WILSON *Marjorie Wilson* 319 Killdeer Ln  
Print Name Signature Address Oceanside 92057
5. Charles O Wilson *Charles O Wilson* 319 Killdeer Lane  
Print Name Signature Address Oceanside 92057
6. CAN M. CAKS *Can M Caks* 88 Pleasant  
Print Name Signature Address Oceanside 92057
7. MARY ANN CAK'S *Mary Ann Caks* 88 Pleasant  
Print Name Signature Address Oceanside 92057
8. JOHN GARWER *John Garwer* 300 KILLDEER LN  
Print Name Signature Address Oceanside 92057
9. JoAnn Ramoneda *JoAnn Ramoneda* 321 Killdeer Ln  
Print Name Signature Address Oceanside 92057
10. Rudy Ramoneda *Rudy Ramoneda* 321 Killdeer Ln  
Print Name Signature Address Oceanside 92057
11. Carl Holt *Carl Holt* 223 Killdeer Lane  
Print Name Signature Address Oceanside 92057
2. *Carl Holt* 223 Killdeer Lane  
Print Name Signature Address Oceanside 92057
3. PAULINE B. ... *Pauline B. ...* 321 Killdeer Lane  
Print Name Signature Address Oceanside 92057
4. EVIE COVES *Evie Coves* 325 Killdeer Lane  
Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1. LORNA NARDIZZI Lorna Nardizzi 30 Hummingbird Ln  
Print Name Signature Address Oceanside 92057
2. DOROTHY MARTIN Dorothy Martin 57 Hummingbird Ln  
Print Name Signature Address Oceanside 92057
3. Kathleen Talley Kathleen Talley 55 Hummingbird Ln  
Print Name Signature Address Oceanside 92057
4. Darrell Carver Darrell Carver 61 Hummingbird Ln  
Print Name Signature Address Oceanside 92057
5. DOUG D'ERMO Doug D'Ermo 74 Hummingbird Ln  
Print Name Signature Address Oceanside 92057
6. CAROL FERRARE Carol Ferrare 15 Hummingbird Ln  
Print Name Signature Address Oceanside 92057
7. Shirley Stubin Shirley Stubin 77 Hummingbird Ln  
Print Name Signature Address Oceanside 92057
8. ANN MUND Ann W. Mund 56 HUMMINGBIRD LAVE  
Print Name Signature Address Oceanside 92057
9. ANN SACK Ann Sack 56 HUMMINGBIRD LAVE  
Print Name Signature Address Oceanside 92057
10. Bob FLEETWOOD Bob Fleetwood 55 Hummingbird Ln  
Print Name Signature Address Oceanside 92057
11. Evelyn A. Thompson Evelyn A. Thompson 72 Hummingbird Ln  
Print Name Signature Address Oceanside 92057
12. Evelyn A. Thompson Evelyn A. Thompson 72 Hummingbird Ln  
Print Name Signature Address Oceanside 92057
13. Suzelope & Larry Hansen Suzelope & Larry Hansen 62 Hummingbird Ln  
Print Name Signature Address Oceanside 92057
14. Larry Hansen Larry Hansen 62 Hummingbird Ln  
Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1. VIRGINIA L. Russell [Signature] 302 Killdeer Lane  
Print Name Signature Address Oceanside 92057

2. Edith Shultz [Signature] 303 Killdeer Lane  
Print Name Signature Address Oceanside 92057

3. Richard Shultz [Signature] 303 Killdeer Lane  
Print Name Signature Address Oceanside 92057

4. VIRGINIA WAGNER [Signature] 304 Killdeer Lane  
Print Name Signature Address Oceanside 92057

5. CHARLES WAGNER [Signature] 304 Killdeer Ln  
Print Name Signature Address Oceanside 92057

6. DONALD ATKINSON [Signature] 305 KILDEER LANE  
Print Name Signature Address Oceanside 92057

7. VERA ATKINSON [Signature] 305 KILDEER LN  
Print Name Signature Address Oceanside 92057

8. URSULA SPEY [Signature] 306 Killdeer Lane  
Print Name Signature Address Oceanside 92057

9. JAMES MORAN [Signature] 309 Killdeer  
Print Name Signature Address Oceanside 92057

10. ROYCE COLWELL [Signature] 311 Killdeer 92057  
Print Name Signature Address Oceanside 92057

1. HAZEL CONROW [Signature] 312 Killdeer 92057  
Print Name Signature Address Oceanside 92057

2. Jean M. Terator [Signature] 315 Killdeer Ln  
Print Name Signature Address Oceanside 92057

3. MARY B Beck [Signature] 294 Robin Ln  
Print Name Signature Address Oceanside 92057

4. George E. Beck [Signature] 294 Robin Ln  
Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

- 1. MICHAEL KAPLAFKA Michael Kaplafka 158 Roadrunner Lane  
 Print Name Signature Address Oceanside 92057
- 2. ANN GUGH Ann Gough 159 Roadrunner  
 Print Name Signature Address Oceanside 92057
- 3. Shirley McCune Shirley McCune 157 Roadrunner Lane  
 Print Name Signature Address Oceanside 92057
- 4. Richard J McCune Richard J McCune 157 Roadrunner Lane  
 Print Name Signature Address Oceanside 92057
- 5. David H. Ferman David Ferman 156 Roadrunner  
 Print Name Signature Address Oceanside 92057
- 6. FRED WARRER Fred Warrer 155 Roadrunner Lane  
 Print Name Signature Address Oceanside 92057
- 7. WILLIAM R LUTZ William R. Lutz 154 Roadrunner  
 Print Name Signature Address Oceanside 92057
- 8. MARY LOU LUTZ Mary Lou Lutz 154 Roadrunner  
 Print Name Signature Address Oceanside 92057
- 9. JUDITH L. YOUNG Judith L. Young 156 Roadrunner Lane  
 Print Name Signature Address Oceanside 92057
- 10. GERALDINE HOWARD Geraldine Howard 167 Roadrunner Lane  
 Print Name Signature Address Oceanside 92057
- 11. Nora Larson Nora Larson 156 Roadrunner Lane  
 Print Name Signature Address Oceanside 92057
- 12. Edward P. Sietty Edward P. Sietty 152 Roadrunner Lane  
 Print Name Signature Address Oceanside 92057
- 3. RICHARD CORKA Richard Corka 18 Circle Ln  
 Print Name Signature Address Oceanside 92057
- 4. \_\_\_\_\_  
 Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. **do not approve** of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1. ARNOLD FARBER Arnold Farber 203 Mockingbird Lane  
 Print Name Signature Address Oceanside 92057
2. JOHN DEMERECKIS John Demereckis 208 Mockingbird  
 Print Name Signature Address Oceanside 92057
3. Dixie Cantrell Dixie Cantrell 311 Mockingbird Lane  
 Print Name Signature Address Oceanside 92057
4. M. T. Kelly M. T. Kelly 191 Flicker Ln 92257  
 Print Name Signature Address Oceanside 92057
5. RENE ORTEGA Rene Ortega 219 Mockingbird  
 Print Name Signature Address Oceanside 92057
6. SONIA ORTEGA Sonia L. Ortega 219 Mockingbird  
 Print Name Signature Address Oceanside 92057
7. ANDREY A. ... Andrey A. ... 210 Mockingbird Lane  
 Print Name Signature Address Oceanside 92057
8. PRISCILLA A. PATERSON Priscilla Paterson 184 Flicker  
 Print Name Signature Address Oceanside 92057
9. WILLIAM "BILL" PATERSON Bill Paterson 184 Flicker  
 Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. **do not approve** of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1. Jane RAZZANO Jane Razzano " 25 URIDLE LANE  
 Print Name Signature Address Oceanside 92057
2. DOMINICK RAZZANO Dominick Razzano " 35 URIDLE LANE  
 Print Name Signature Address Oceanside 92057
3. \_\_\_\_\_  
 Print Name Signature Address Oceanside 92057

(18)

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1. William Orr [Signature] 22 Oriole Ln  
Print Name Signature Address Oceanside 92057

2. CLAUDETTE ORR Claudette Orr 22 Oriole Ln  
Print Name Signature Address Oceanside 92057

3. Rose Havens Rose Havens 299 SEAGULL LN  
Print Name Signature Address Oceanside 92057

4. KAREN E HEMINGWAY Karen Hemingway 76 Hummingbird Lane  
Print Name Signature Address Oceanside 92057

5. William Roy [Signature] 236 Bluebird Ln  
Print Name Signature Address Oceanside 92057

6. Griseida Flanagan Griseida Flanagan 293 Robin Ln  
Print Name Signature Address Oceanside 92057

7. TERENCE M. FLANAGAN Terence M Flanagan 293 ROBIN LN  
Print Name Signature Address Oceanside 92057

8. \_\_\_\_\_  
Print Name Signature Address Oceanside 92057

9. \_\_\_\_\_  
Print Name Signature Address Oceanside 92057

10. \_\_\_\_\_  
Print Name Signature Address Oceanside 92057

11. \_\_\_\_\_  
Print Name Signature Address Oceanside 92057

12. \_\_\_\_\_  
Print Name Signature Address Oceanside 92057

3. \_\_\_\_\_  
Print Name Signature Address Oceanside 92057

4. \_\_\_\_\_  
Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

- 1. Patricia Hunt Patricia Hunt 193 Flicker Lane  
Print Name Signature Address Oceanside 92057
- 2. ~~X~~ WEN 4 ADAMSON ~~X~~ Wen Adams 10.5 Pleasant  
Print Name Signature Address Oceanside 92057
- 3. ~~X~~ WILBER B. ADAMSON ~~X~~ Wilber B. Adamson 185 Pleasant Ln  
Print Name Signature Address Oceanside 92057
- 4. Elizabeth Hanson Elizabeth Hanson 101 Pleasant  
Print Name Signature Address Oceanside 92057
- 5. SHIRLEY A. REBARDO Shirley A. Rebarbo 270 Muir Ln.  
Print Name Signature Address Oceanside 92057
- 6. DOROTHY M. LINDSEY Dorothy M. Lindsey 270 Muir Ln  
Print Name Signature Address Oceanside 92057

7. \_\_\_\_\_

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

- 1. JERRY OPPENBERG Jerry Oppenberg 280 Roswell  
Print Name Signature Address Oceanside 92057
- 2. LORVA OPPENBERG Lorva Oppenberg 280 Roswell  
Print Name Signature Address Oceanside 92057
- 3. DONALD R WILLIAMS Donald R Williams 111 Robin Ln  
Print Name Signature Address Oceanside 92057
- 4. \_\_\_\_\_  
Print Name Signature Address Oceanside 92057
- 5. \_\_\_\_\_  
Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Mer Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

- 1. MARGUERITE BOYLE Marguerite Boyle 2 Oriole Lane  
Print Name Signature Address Oceanside 92057
- 2. Bob Vollmer Robert Vollmer 10 Oriole Lane  
Print Name Signature Address Oceanside 92057
- 3. GRACE REDDERSON Grace Redderson 11 Oriole  
Print Name Signature Address Oceanside 92057
- 4. AURORA KELLERMAN Aurora Kellerman 15 ORIOLE LN  
Print Name Signature Address Oceanside 92057
- 5. Hazel Peter Hazel Peter #50 Oriole  
Print Name Signature Address Oceanside 92057
- 6. DARLENE JOHNSON Darlene Johnson 14 Oriole - 7  
Print Name Signature Address Oceanside 92057
- 7. Joanne Tipton JOANNE TIPTON 7 ORIOLE  
Print Name Signature Address Oceanside 92057
- 8. ETHEL D. NEIGHBORS Ethel D. Neighbors 3 ORIOLE  
Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

- 1. COINS Concepcion Concepcion coins 71 Hummingbird  
Print Name Signature Address Oceanside 92057
- 2. John John A. Concepcion 70 Hummingbird  
Print Name Signature Address Oceanside 92057
- 1. MARIE MARIE K. CONCEPCION 70 Hummingbird  
Print Name Signature Address Oceanside 92057
- Barbara Bradley Barbara Bradley 67 Hummingbird  
Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Mer Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

- |  |                             |                         |                |                 |
|--|-----------------------------|-------------------------|----------------|-----------------|
| 1.   | Frank Hayes                 |                         | 301 Killdeer   | Oceanside 92057 |
|  | Print Name                  | Signature               | Address        |                 |
| 2.   | Bernice Hayes               | B Hayes                 | 301 Killdeer   | Oceanside 92057 |
|  | Print Name                  | Signature               | Address        |                 |
| 3.   | Estate                      |                         | 307            | KILLDEER        |
|  | Print Name                  | Signature               | Address        | Oceanside 92057 |
| 4.   | <del>Bob Fleetwood</del>    | SIGNED<br>Bob Fleetwood | <del>313</del> | KILLDEER        |
|  | Print Name                  | Signature               | Address        | Oceanside 92057 |
| 5.   |                             |                         | 314            | KILLDEER        |
|  | Print Name                  | Signature               | Address        | Oceanside 92057 |
| 6.   | Estate                      |                         | 316            | KILLDEER        |
|  | Print Name                  | Signature               | Address        | Oceanside 92057 |
| 7.   | George Brown                | George Brown            | 327            | KILLDEER LN.    |
|  | Print Name                  | Signature               | Address        | Oceanside 92057 |
| 8.   | Glenda BROWN                | Glenda Brown            | 327            | Killdeer Dr     |
|  | Print Name                  | Signature               | Address        | Oceanside 92057 |
| 9.   |                             |                         | 305            |                 |
|  | Print Name                  | Signature               | Address        | Oceanside 92057 |
| Avenue and also known as APN 158-070-08-00 |                             |                         |                |                 |
| 1.   | N/A                         |                         | 79             | Seagull         |
|  | Print Name                  | Signature               | Address        | Oceanside 92057 |
| 2.   | N/A                         |                         | 82             | SEAGULL         |
|  | Print Name                  | Signature               | Address        | Oceanside 92057 |
| 3.   | N/A                         |                         | 82             | SEAGULL         |
|  | Print Name                  | Signature               | Address        | Oceanside 92057 |
| 4.   | No                          |                         | 296            | SEAGULL         |
|  | Print Name                  | Signature               | Address        | Oceanside 92057 |
|  | Peggy Jacobs<br>Annie Pratt |                         |                |                 |
| 5.   | Has signed                  |                         | 297            | SEA GULL        |
|  | Print Name                  | Signature               | Address        | Oceanside 92057 |

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

- |    |                        |                 |                 |                 |
|----|------------------------|-----------------|-----------------|-----------------|
| 1. | <del>_____</del>       | NOT SURE        | 163             | Podrunner NH    |
|    | Print Name             | Signature       | Address         | Oceanside 92057 |
| 2. | _____                  | YES             | 165             |                 |
|    | Print Name             | Signature       | Address         | Oceanside 92057 |
| 3. | _____                  | YES             | 168             |                 |
|    | Print Name             | Signature       | Address         | Oceanside 92057 |
| 4. | _____                  | VACANT          | 169             | empty           |
|    | Print Name             | Signature       | Address         | Oceanside 92057 |
| 5. | _____                  | VACANT          | 169             | empty           |
|    | Print Name             | Signature       | Address         | Oceanside 92057 |
| 6. | GARY L. WYMAN          | Gary L. Wyman   | 170             |                 |
|    | Print Name             | Signature       | Address         | Oceanside 92057 |
| 7. | Mangie Hernandez       | M. Hernandez    | 172             |                 |
|    | Print Name             | Signature       | Address         | Oceanside 92057 |
| 8. |                        |                 |                 |                 |
| 1. | MELVIA L. UNRUH        | Melvia L. Unruh | 194             | Flicker         |
|    | Print Name             | Signature       | Address         | Oceanside 92057 |
| 2. | JETSUKO DEBLARE        | Jetukio Deblare | 195             |                 |
|    | Print Name             | Signature       | Address         | Oceanside 92057 |
| 3. | IRENE MORRIS           | Irene Morris    | 196             |                 |
|    | Print Name             | Signature       | Address         | Oceanside 92057 |
| 4. | _____                  | _____           | _____           |                 |
|    | Print Name             | Signature       | Address         | Oceanside 92057 |
| 5. | _____                  | _____           | 170 (Sally) 198 |                 |
|    | Print Name             | Signature       | Address         | Oceanside 92057 |
| 6. | Not here - out of town | _____           | _____           | Bob Signore     |
|    | Print Name             | Signature       | Address         | Oceanside 92057 |
| -  | _____                  | _____           | 175             | Oceanside 92057 |

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men' Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

- |    |                        |                         |         |                 |                 |
|----|------------------------|-------------------------|---------|-----------------|-----------------|
| 1. | <del>_____</del>       | NOT SURE                | 163     | Roadrunner      | NE              |
|    | Print Name             | Signature               | Address | Oceanside 92057 |                 |
| 2. | _____                  | YES                     | 165     |                 |                 |
|    | Print Name             | Signature               | Address | Oceanside 92057 |                 |
| 3. | _____                  | YES                     | 168     |                 |                 |
|    | Print Name             | Signature               | Address | Oceanside 92057 |                 |
| 4. | _____                  | VACANT                  | 169     |                 | empty           |
|    | Print Name             | Signature               | Address | Oceanside 92057 |                 |
| 5. | _____                  | VACANT                  | 169     |                 | empty           |
|    | Print Name             | Signature               | Address | Oceanside 92057 |                 |
| 6. | GARY L. WYMAN          | Gary L. Wyman           | 170     |                 |                 |
|    | Print Name             | Signature               | Address | Oceanside 92057 |                 |
| 7. | Mangie Hernandez       | M. Hernandez            | 172     |                 |                 |
|    | Print Name             | Signature               | Address | Oceanside 92057 |                 |
| 8. |                        |                         |         |                 |                 |
| 1. | MELVIA L. UNRUH        | Melvia L. Unruh         | 194     | Flicker         |                 |
|    | Print Name             | Signature               | Address | Oceanside 92057 |                 |
| 2. | JETSUKO DEBLARE        | Jetsuko Deblare         | 195     |                 |                 |
|    | Print Name             | Signature               | Address | Oceanside 92057 |                 |
| 3. | IRENE MORRIS           | Irene Morris            | 196     |                 |                 |
|    | Print Name             | Signature               | Address | Oceanside 92057 |                 |
| 4. | _____                  | _____                   | _____   | _____           |                 |
|    | Print Name             | Signature               | Address | Oceanside 92057 |                 |
| 5. | _____                  | 4-170 (Sally Jo Willos) | 198     |                 |                 |
|    | Print Name             | Signature               | Address | Oceanside 92057 |                 |
| 6. | Not here - out of town | _____                   | _____   | Bob Signore     |                 |
|    | Print Name             | Signature               | Address | Oceanside 92057 |                 |
| -  | _____                  | _____                   | 195     |                 | Oceanside 92057 |
|    | Print Name             | Signature               | Address | Oceanside 92057 |                 |

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Mer Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1.	TRUENAN CUNNINGHAM	<i>Truenan Cunningham</i>	224	<i>Bluebird</i>
	Print Name	Signature	Address	Oceanside 92057
2.	LOIS R. CUNNINGHAM	<i>Lois R Cunningham</i>	224	<i>Bluebird</i>
	Print Name	Signature	Address	Oceanside 92057
3.		<i>- estate -</i>	226	
	Print Name	Signature	Address	Oceanside 92057
4.	<i>N/A</i>		228	
	Print Name	Signature	Address	Oceanside 92057
5.	<i>N/A</i>		228	
	Print Name	Signature	Address	Oceanside 92057
6.	SHARON TURNER	<i>Sharon Turner</i>	230	
	Print Name	Signature	Address	Oceanside 92057
7.	RICHARD MIRO	<i>undecided</i>	231	
	Print Name	Signature	Address	Oceanside 92057
8.	THELMA WINN	<i>Thelma Winn</i>	235	
	Print Name	Signature	Address	Oceanside 92057
9.	<i>N/A</i>		237	
	Print Name	Signature	Address	Oceanside 92057
10.	<i>N/A</i>		238	
	Print Name	Signature	Address	Oceanside 92057
11.	Enid A. Parr	<i>Enid A. Parr</i>	241	
	Print Name	Signature	Address	Oceanside 92057
12.	<i>N/A</i>		242	
	Print Name	Signature	Address	Oceanside 92057
13.	<i>N/A</i>		246	
	Print Name	Signature	Address	Oceanside 92057
14.		<i>- estate -</i>	247	
	Print Name	Signature	Address	Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Mer Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

- |     |                             |                             |                    |
|-----|-----------------------------|-----------------------------|--------------------|
| 1.  | <u>Vacant</u>               | <u>199</u>                  | <u>Mockingbird</u> |
|     | Print Name                  | Signature                   | Address            |
|     |                             |                             | Oceanside 92057    |
| 2.  | <u>Norman L. Stone</u>      | <u>Norman L. Stone</u>      | <u>200 N</u>       |
|     | Print Name                  | Signature                   | Address            |
|     |                             |                             | Oceanside 92057    |
| 3.  | <u>PETTA</u>                | <u>MIKE Mike Petta</u>      | <u>201</u>         |
|     | Print Name                  | Signature                   | Address            |
|     |                             |                             | Oceanside 92057    |
| 4.  | <u>PATRICIA L. FERGUSON</u> | <u>Patricia L. Ferguson</u> | <u>205</u>         |
|     | Print Name                  | Signature                   | Address            |
|     |                             |                             | Oceanside 92057    |
| 5.  | <u>out of town</u>          |                             | <u>206</u>         |
|     | Print Name                  | Signature                   | Address            |
|     |                             |                             | Oceanside 92057    |
| 6.  |                             |                             | <u>206</u>         |
|     | Print Name                  | Signature                   | Address            |
|     |                             |                             | Oceanside 92057    |
| 7.  | <u>ROBERT Biffin</u>        | <u>Robert Biffin</u>        | <u>207</u>         |
|     | Print Name                  | Signature                   | Address            |
|     |                             |                             | Oceanside 92057    |
| 8.  | <u>DON FOLK</u>             | <u>Don Folk</u>             | <u>209</u>         |
|     | Print Name                  | Signature                   | Address            |
|     |                             |                             | Oceanside 92057    |
| 9.  | <u>estate</u>               |                             | <u>213</u>         |
|     | Print Name                  | Signature                   | Address            |
|     |                             |                             | Oceanside 92057    |
| 10. | <u>Janice Hecksel</u>       | <u>Janice Hecksel</u>       | <u>214</u>         |
|     | Print Name                  | Signature                   | Address            |
|     |                             |                             | Oceanside 92057    |
| 11. | <u>Lloyd McDaniel</u>       | <u>Lloyd McDaniel</u>       | <u>215</u>         |
|     | Print Name                  | Signature                   | Address            |
|     |                             |                             | Oceanside 92057    |
| 12. | <u>out of town</u>          |                             | <u>217</u>         |
|     | Print Name                  | Signature                   | Address            |
|     |                             |                             | Oceanside 92057    |
| 13. |                             |                             | <u>217</u>         |
|     | Print Name                  | Signature                   | Address            |
|     |                             |                             | Oceanside 92057    |
| 4.  | <u>KAREN CRAWFORD</u>       | <u>Karen Crawford</u>       | <u>222</u>         |
|     | Print Name                  | Signature                   | Address            |
|     |                             |                             | Oceanside 92057    |

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

- |     |                    |                 |         |                 |
|-----|--------------------|-----------------|---------|-----------------|
| 1.  | KEITH GREEN        | Keith Green     | 262     | Starling        |
|     | Print Name         | Signature       | Address | Oceanside 92057 |
| 2.  | KAREN GREEN        | Karen Green     | 262     | Starling        |
|     | Print Name         | Signature       | Address | Oceanside 92057 |
| 3.  | OUT OF TOWN        |                 | 266     | Quail NH        |
|     | Print Name         | Signature       | Address | Oceanside 92057 |
| 4.  | N/A                |                 | 269     | Quail NH        |
|     | Print Name         | Signature       | Address | Oceanside 92057 |
| 5.  | RUCIA S. GANALINBA |                 | 278     |                 |
|     | Print Name         | Signature       | Address | Oceanside 92057 |
| 6.  | YES - YES          |                 | 279     |                 |
|     | Print Name         | Signature       | Address | Oceanside 92057 |
| 7.  | N/A                |                 | 284     | Robin NH        |
|     | Print Name         | Signature       | Address | Oceanside 92057 |
| 8.  | N/A                |                 | 287     | NH              |
|     | Print Name         | Signature       | Address | Oceanside 92057 |
| 9.  | MARY BURNS         | Mary Burns      | 289     |                 |
|     | Print Name         | Signature       | Address | Oceanside 92057 |
| 10. | PICKENS ESTHER     | Starley Pickens | 290     |                 |
|     | Print Name         | Signature       | Address | Oceanside 92057 |
| 11. | estate             |                 | 292     |                 |
|     | Print Name         | Signature       | Address | Oceanside 92057 |
| 12. | ELEANOR BRENNAN    | Eleanor Brennan | 267     | QUAIL           |
|     | Print Name         | Signature       | Address | Oceanside 92057 |
| 13. | JOHN BRENNAN       | John Brennan    | 267     | QUAIL           |
|     | Print Name         | Signature       | Address | Oceanside 92057 |
| 14. |                    |                 |         |                 |
|     | Print Name         | Signature       | Address | Oceanside 92057 |

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

- |     |                     |             |         |                 |
|-----|---------------------|-------------|---------|-----------------|
| 1.  | N/H                 |             | 246     | Starling N      |
|     | Print Name          | Signature   | Address | Oceanside 92057 |
| 2.  | VACANT              |             | 247     | for so NH       |
|     | Print Name          | Signature   | Address | Oceanside 92057 |
| 3.  | N/A                 |             | 249     |                 |
|     | Print Name          | Signature   | Address | Oceanside 92057 |
| 4.  | NOT SURE            |             | 250     | NH              |
|     | Print Name          | Signature   | Address | Oceanside 92057 |
| 5.  | L.E. Pearce         | L.E. Pearce | 251     |                 |
|     | Print Name          | Signature   | Address | Oceanside 92057 |
| 6.  | G.H. PEARCE         | G.H. Pearce | 251     |                 |
|     | Print Name          | Signature   | Address | Oceanside 92057 |
| 7.  | VACANT              |             | 254     |                 |
|     | Print Name          | Signature   | Address | Oceanside 92057 |
| 8.  | NO (won't sign) YES |             | 255     |                 |
|     | Print Name          | Signature   | Address | Oceanside 92057 |
| 9.  | NO (won't sign) YES |             | 256     |                 |
|     | Print Name          | Signature   | Address | Oceanside 92057 |
| 10. | 11                  |             | 256     | NH              |
|     | Print Name          | Signature   | Address | Oceanside 92057 |
| 11. | NO (won't sign)     |             | 258     | NH              |
|     | Print Name          | Signature   | Address | Oceanside 92057 |
| 12. | NO won't sign       |             | 260     |                 |
|     | Print Name          | Signature   | Address | Oceanside 92057 |
| 13. | NO won't sign       |             | 261     |                 |
|     | Print Name          | Signature   | Address | Oceanside 92057 |
| 14. | NO won't sign       |             | 261     |                 |
|     | Print Name          | Signature   | Address | Oceanside 92057 |

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1.	<i>No</i>		83	<i>P. Pleasant</i>
	Print Name	Signature	Address	Oceanside 92057
2.	<i>No</i>		<del>83</del>	
	Print Name	Signature	Address	Oceanside 92057
3.	VACANT		90	
	Print Name	Signature	Address	Oceanside 92057
4.	N/A		92	
	Print Name	Signature	Address	Oceanside 92057
5.	OUT OF TOWN		94	
	Print Name	Signature	Address	Oceanside 92057
6.	OUT OF TOWN		94	
	Print Name	Signature	Address	Oceanside 92057
7.	JOSEPH E. GALLAGHER	<i>Joseph E. Gallagher</i>	96	
	Print Name	Signature	Address	Oceanside 92057
8.	FRANCES A. GALLAGHER	<i>Frances A. Gallagher</i>	96	
	Print Name	Signature	Address	Oceanside 92057
9.	OUT OF TOWN		99	
	Print Name	Signature	Address	Oceanside 92057
10.	OUT OF TOWN		99	
	Print Name	Signature	Address	Oceanside 92057
11.	VACANT		102	
	Print Name	Signature	Address	Oceanside 92057
12.	DON'T CARE		103	
	Print Name	Signature	Address	Oceanside 92057
13.	"		103	
	Print Name	Signature	Address	Oceanside 92057
14.				
	Print Name	Signature	Address	Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1. NO ANSWER N/A  
 Print Name \_\_\_\_\_ Signature \_\_\_\_\_ Address 64 Hamminghill  
 Oceanside 92057
2. OUT OF TOWN  
 Print Name \_\_\_\_\_ Signature \_\_\_\_\_ Address 65  
 Oceanside 92057
3. OUT OF TOWN  
 Print Name \_\_\_\_\_ Signature \_\_\_\_\_ Address 65 re pher  
 Oceanside 92057
4. OUT OF TOWN  
 Print Name \_\_\_\_\_ Signature \_\_\_\_\_ Address 66  
 Oceanside 92057
5. VACANT  
 Print Name \_\_\_\_\_ Signature \_\_\_\_\_ Address 68  
 Oceanside 92057
6. VACANT  
 Print Name \_\_\_\_\_ Signature \_\_\_\_\_ Address 69  
 Oceanside 92057
7. ROBERT BABER Robert Baber  
 Print Name \_\_\_\_\_ Signature \_\_\_\_\_ Address 73  
 Oceanside 92057
8. ANN GOUGH Ann Gough  
 Print Name \_\_\_\_\_ Signature \_\_\_\_\_ Address 159  
 Oceanside 92057
9. SHIRLEY MCCLUNE Shirley McClune  
 Print Name \_\_\_\_\_ Signature \_\_\_\_\_ Address 157  
 Oceanside 92057
10. ~~MASON MACKLEY~~ ~~Mason R. Mackley~~  
 Print Name \_\_\_\_\_ Signature \_\_\_\_\_ Address \_\_\_\_\_  
 Oceanside 92057
1. JOHN & JEAN KOPP Jean Kopp  
 Print Name \_\_\_\_\_ Signature \_\_\_\_\_ Address 23 DEJOLE  
 Oceanside 92057
2. \_\_\_\_\_  
 Print Name \_\_\_\_\_ Signature \_\_\_\_\_ Address \_\_\_\_\_  
 Oceanside 92057
3. \_\_\_\_\_  
 Print Name \_\_\_\_\_ Signature \_\_\_\_\_ Address \_\_\_\_\_  
 Oceanside 92057
4. \_\_\_\_\_  
 Print Name \_\_\_\_\_ Signature \_\_\_\_\_ Address \_\_\_\_\_  
 Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. **do not approve** of the proposal by The Fellowship Center, Inc. for a **2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center** to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1.	<i>Joseph [unclear]</i>	<i>[Signature]</i>	33	<i>Hummerbird</i>
	Print Name	Signature	Address	Oceanside 92057
2.	EUGENE BERGER	<i>[Signature]</i>	35	
	Print Name	Signature	Address	Oceanside 92057
3.	<i>Eugene Berger</i>	<i>[Signature]</i>	<i>[unclear]</i>	
	Print Name	Signature	Address	Oceanside 92057
4. ✓	VACANT		40	
	Print Name	Signature	Address	Oceanside 92057
5.	NOT HOME		45	
	Print Name	Signature	Address	Oceanside 92057
6.	YES		47	
	Print Name	Signature	Address	Oceanside 92057
7.	YES		47	
	Print Name	Signature	Address	Oceanside 92057
8.	YES		48	
	Print Name	Signature	Address	Oceanside 92057
9.	TOM BERGER	<i>Thomas Berger</i>	49	
	Print Name	Signature	Address	Oceanside 92057
10.	No		50	
	Print Name	Signature	Address	Oceanside 92057
11.	<i>[unclear] Estate</i>	<i>[unclear]</i>	52	
	Print Name	Signature	Address	Oceanside 92057
12.	VACANT		58	
	Print Name	Signature	Address	Oceanside 92057
13.	AMES W. THORNTON	<i>AMES W. THORNTON</i>	59	
	Print Name	Signature	Address	Oceanside 92057
14.	DONALD SCHUTT, SR.	<i>Donald Schutt Sr</i>	63	
	Print Name	Signature	Address	Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

1. LAURENCE A. PRUSSO *Laurence A. Prusso* <sup>173</sup> *Flicker Ln*  
 Print Name Signature Address Oceanside 92057

2. LILLIE L. PRUSSO *Lillie Prusso* <sup>173</sup> *FLICKER LN*  
 Print Name Signature Address Oceanside 92057

3. *(dont care) Keit from Board*  
 Print Name Signature Address Oceanside 92057

4. *(dont care)*  
 Print Name Signature Address Oceanside 92057

5. *out time / who lives next to them*  
 Print Name Signature Address Oceanside 92057

6. *estate*  
 Print Name Signature Address Oceanside 92057

7. *J. Wilson Kelly J. Wilson*  
 Print Name Signature Address Oceanside 92057

8. *(dont care)*  
 Print Name Signature Address Oceanside 92057

9. *not for it or against it (dont care)*  
 Print Name Signature Address Oceanside 92057

10. *wants to know more and read about it*  
 Print Name Signature Address Oceanside 92057

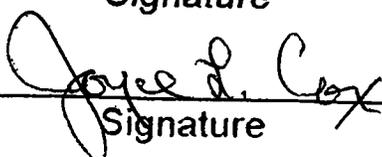
1. *(Signature)*  
 Print Name Signature Address Oceanside 92057

2. *(Signature)*  
 Print Name Signature Address Oceanside 92057

3. *(Signature)*  
 Print Name Signature Address Oceanside 92057

1. *(Signature)*  
 Print Name Signature Address Oceanside 92057

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc **do not approve** of the proposal by The Fellowship Center, Inc. for a **2-story 59-bed Mer Residential Drug and Alcohol Rehabilitation Center** to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

- |     |              |   |   |                               |
|-----|--------------|---|---|-------------------------------|
| 1.  | DAVE L. CARR |    | 112   | Swallow                       |
|     | Print Name   | Signature   | Address   | Oceanside 92057               |
| 2.  | NO           |   | 113   |                               |
|     | Print Name   | Signature   | Address   | Oceanside 92057               |
| 3.  |              | — Estate —  | 114   |                               |
|     | Print Name   | Signature   | Address   | Oceanside 92057               |
| 4.  | LIN DAVIS    |    | 115   |                               |
|     | Print Name   | Signature   | Address   | Oceanside 92057               |
| 5.  | N/C          |   | 123   |                               |
|     | Print Name   | Signature   | Address   | Oceanside 92057 <sup>NH</sup> |
| 6.  | NO           |   | 124   |                               |
|     | Print Name   | Signature   | Address   | Oceanside 92057               |
| 7.  | out of town  |   | 127   |                               |
|     | Print Name   | Signature   | Address   | Oceanside 92057 <sup>NH</sup> |
| 8.  | N/A          |   | 131   |                               |
|     | Print Name   | Signature   | Address   | Oceanside 92057 <sup>NH</sup> |
| 9.  |              | — Estate —  | 132   |                               |
|     | Print Name   | Signature   | Address   | Oceanside 92057               |
| 10. |              |   |  |                               |
|     | Print Name   | Signature   | Address   | Oceanside 92057               |
| 11. |              | — Estate —  | 134   |                               |
|     | Print Name   | Signature   | Address   | Oceanside 92057               |
| 12. |              | — Estate —  | 137   |                               |
|     | Print Name   | Signature   | Address   | Oceanside 92057               |
| 13. | Joyce L. Cox |  | 197   | FRICKER                       |
|     | Print Name   | Signature   | Address   | Oceanside 92057               |
| 14. |              |   |   |                               |
|     | Print Name   | Signature   | Address   | Oceanside 92057               |

We the undersigned Home Owners in the Senior Community of San Luis Rey Homes, Inc. do not approve of the proposal by The Fellowship Center, Inc. for a 2-story 59-bed Men's Residential Drug and Alcohol Rehabilitation Center to be located at 4152 Mission Avenue and also known as APN 158-070-08-00.

- |     |                               |                           |               |                 |
|-----|-------------------------------|---------------------------|---------------|-----------------|
| 1.  | <u>Estate</u>                 | <u>[Signature]</u>        | <u>4</u>      | <u>Prisk</u>    |
|     | Print Name                    | Signature                 | Address       | Oceanside 92057 |
| 2.  | <u>DOES NOT CARE</u>          | <u>[Signature]</u>        | <u>8</u>      |                 |
|     | Print Name                    | Signature                 | Address       | Oceanside 92057 |
| 3.  | <u>estate</u>                 | <u>[Signature]</u>        | <u>12</u>     |                 |
|     | Print Name                    | Signature                 | Address       | Oceanside 92057 |
| 4.  | <u>VACANT</u>                 | <u>[Signature]</u>        | <u>13</u>     |                 |
|     | Print Name                    | Signature                 | Address       | Oceanside 92057 |
| 5.  | <u>LINDA SORENSEN</u>         | <u>Linda Sorenson</u>     | <u>16</u>     | <u>Proxy</u>    |
|     | Print Name                    | Signature                 | Address       | Oceanside 92057 |
| 6.  | <u>LUCIENNE AUSTIN</u>        | <u>Lucienne Austin</u>    | <u>20</u>     |                 |
|     | Print Name                    | Signature                 | Address       | Oceanside 92057 |
| 7.  | <del>HORN BULLWOOD ROAD</del> | <del>[Signature]</del>    | <del>21</del> |                 |
|     | Print Name                    | Signature                 | Address       | Oceanside 92057 |
| 8.  |                               | <u>[Signature]</u>        | <u>22</u>     |                 |
|     | Print Name                    | Signature                 | Address       | Oceanside 92057 |
| 9.  |                               | <u>[Signature]</u>        | <u>23</u>     |                 |
|     | Print Name                    | Signature                 | Address       | Oceanside 92057 |
| 10. | <u>KATH SIMON</u>             | <u>KATH SIMON</u>         | <u>24</u>     |                 |
|     | Print Name                    | Signature                 | Address       | Oceanside 92057 |
| 11. | <u>Bill Paterson</u>          | <u>Bill Paterson</u>      | <u>184</u>    |                 |
|     | Print Name                    | Signature                 | Address       | Oceanside 92057 |
| 12. | <u>Priscilla Paterson</u>     | <u>Priscilla Paterson</u> | <u>184</u>    |                 |
|     | Print Name                    | Signature                 | Address       | Oceanside 92057 |
| 13. |                               | <u>[Signature]</u>        | <u>184</u>    |                 |
|     | Print Name                    | Signature                 | Address       | Oceanside 92057 |
| 4.  |                               | <u>[Signature]</u>        | <u>184</u>    |                 |
|     | Print Name                    | Signature                 | Address       | Oceanside 92057 |

Mr. Greenbaugh,

Nov. 15, 2009

as my husband and I are residents of San Luis Rey Homes we oppose the building of men's Residential Drug Rehab.

This project should be located in an area not close to so many schools and students, plus a large residential area and next to SLRH.

We hope the Planning Department denies this request.

Sincerely

John & Elizabeth Hornell  
228 Bluebird Lane  
Oceanside, Ca 92057

Received

NOV 18 2009

Planning Division

## Richard Greenbauer

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**From:** oceanelly@cox.net  
**Sent:** Sunday, November 22, 2009 2:14 PM  
**To:** Richard Greenbauer  
**Subject:** Fellowship Center

Dear Mr Greenbauer,

Regarding the fellowship center. My name is Elly Miller and I live in the park below the site for the center that is in conflict about having this built.

I am a recovering alcoholic and not the only one in this park. We are in favor of having this center built.

I lived in Chula Vista for over 20 years they have a men's recovery center across from an apartment complex and several condominiums that have been there over 20 years.

The name is the Pioneers if you would like to contract these people they can give you a detailed account of their experiences and success with their center.  
No complaints from the local residents because people in recovery are not dangerous and are watched 24/7 by their officials.

I believe we could have the same relationship with our community.

Sincerely,

Elly

**Richard Greenbauer**

---

**From:** Steve Sevigny [steve@dtitrans.com]  
**Sent:** Monday, November 23, 2009 9:18 AM  
**To:** Richard Greenbauer  
**Subject:** General Plan Amendment 3-07

*Mr Greenbauer,*

*While I commend any program that attempts to help people rehabilitate their lives and become contributing members of society, I seriously question the logic in building the proposed facility only 200 feet from a Montessori school and track & field location where children play? Seriously, would you support such a measure if your child was going to a school or participated in sports so close to a rehabilitation facility of this type?*

*I am not against such a facility being built in Oceanside, but I am against where it is presently being considered. PLEASE research further and choose a proposed location that is at least one mile from any location where children go to school or participate in sporting events.*

*Thanks for your consideration.*

Steve Sevigny

**DTI** Transportation

4021 Avenida De La Plata #502

Oceanside CA 92056

Ph 760-754-8829

Fx 760-754-9702

[www.dtitrans.com](http://www.dtitrans.com)

**PRESENTED FOR  
HISTORICAL PRESERVATION COMMISSION  
December 1, 2009**

Chairman Shoger, Commissioners, My Name is Donald F. Robb, I reside at 242 Bluebird Lane, Oceanside, 92057

First I want to thank you for the opportunity to express my opinion and to emphasize we are not opposed to such a facility, in fact agree with the need; however, this is not the location for this project.

You have heard or will hear of the numbers of persons that have been helped by the Escondido facility; however, the Escondido location and this proposed location are so very, very different, one an industrial area versus a school/church residential area in the historical San Luis Rey Mission area.

The Planning Department is recommending "No" based on land compatibility, general plan zoning and interest of the surrounding community. I strongly urge the Commission to support that position I respectfully request this Commission to carefully review Zoning Ordinance; Article 1-130 A (1) & (2) and I. Article 21 H Historic Overlay District Section 2111 procedures. Due to the 3 minute limitation I will not quote that data but will submit them in a packet of documents to you.

*\*Zoning Ordinance: 1. Preserve the character and quality of the residential neighborhoods;  
2. Foster convenient, harmonious and workable relationships among land uses;--  
1. Conserve and enhance key visual features of Oceanside's setting. Including the Mission San Luis Rey Historic area, consistent with the land use element of the general Plan*

*Article 21 Historic Overlay district, Section 2111 Procedures  
The Historic Preservation Advisory Commission shall not grant design approval for new construction or alterations unless it finds that the proposed new construction or alteration will be compatible with and help achieve the purposes of the H district.*

I urge the Commission to find the Fellowship Project is NOT compatible, nor in the best interest of the surrounding community.

This project will create additional traffic, both pedestrian, bicycle and vehicles. It is only logical that the shortest distance will be used for access to Mission Ave. As such, traffic will be down Via Santa Maria, a Private Church road, passing in front of the Casa de Lampora, Montessori Pre-school, Montessori School, the in-line skating facility and Knights of Columbus and not down the Street marked Chapter Way (Project Proposed name) to Academy Road. This new traffic will pose a significant increased danger to all

San Luis Rey Mobile Home Park



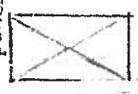
FELLOWSHIP PROJECT



ALANON



Montessori School



Children's Playground



Casa de Lahipora

Bus Stop West

Via Santa Maria



Inline skating rink



Soccer/Track Field

Mission Ave

Bus Stop East

Academy Road



NOT TO SCALE

- Fellowship Project to: 40 feet
- Soccer/Track Field 105 feet
- Montessori School 116 feet
- Inline Skating Rink 290 feet
- Day Care Playground

**NOTE: MOST PROBABLE FOOT AND VEHICLE TRAFFIC ROUTE IS DOWN VIA SANTA MARIA ROAD NOT ACADEMY ROAD**



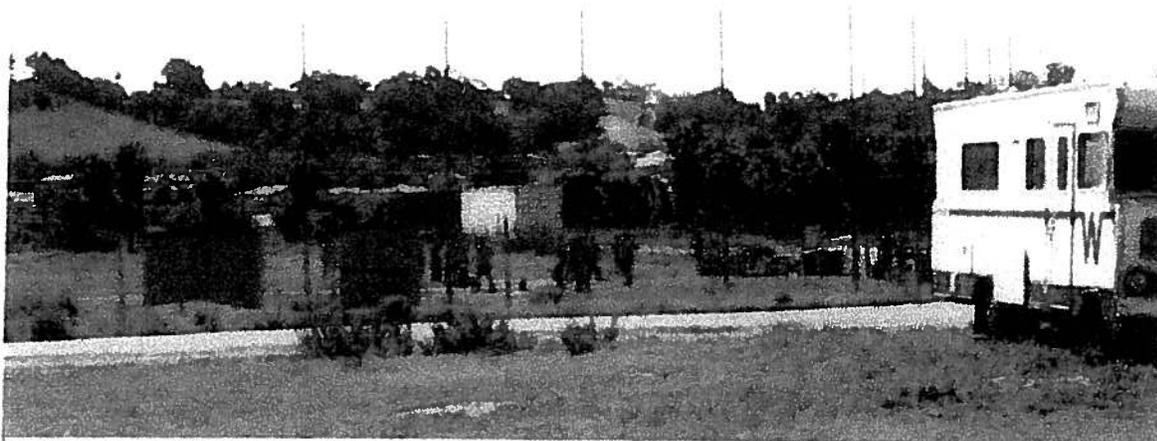
**FELLOWSHIP PROJECT TO MONTESSORI PRIMARY SCHOOL AROUND 105'**



**FELLOWSHIP PROJECT TO DAY CARE/MONTESSORI PLAYGROUND AROUND 290'**



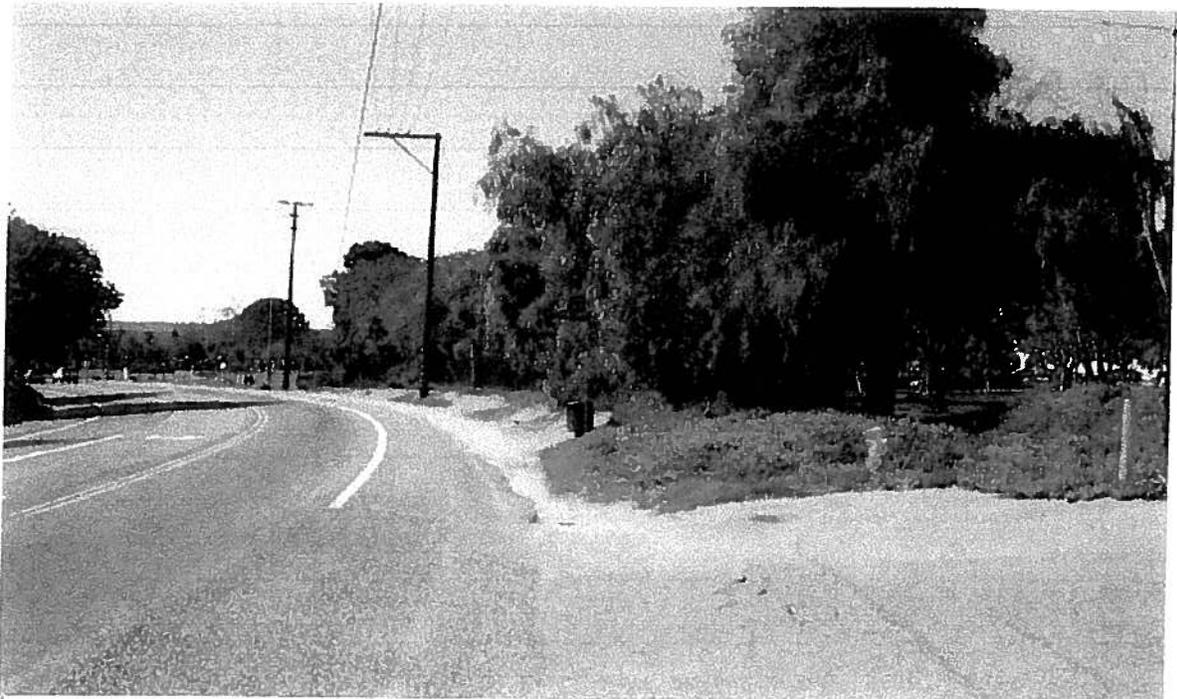
**FELLOWSHIP PROJECT TO INLINE SKATING RINK AROUND 116'**



**FELLOWSHIP PROJECT TO SOCCER/TRACK FIELD AROUND 40'**



**BUS STOP EAST APPROXIMATELY 390' FROM VIA SANTA MARIA ON MISSION**



**BUS STOP WEST APPROXIMATELY 18' FROM VIA SANTA MARIA & MISSION**



FELLOWSHIP PROJECT TO MISSION AVENUE AND VIA SANTA MARIA AROUND 475'

FELLOWSHIP NORTH PROPERTY LINE LOOKING NORTH ONTO SAN LUIS REY MOBILE HOME PARK



## Richard Greenbauer

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**From:** Nikki [Nikkirubio@cox.net]  
**Sent:** Wednesday, December 02, 2009 10:09 AM  
**To:** Richard Greenbauer  
**Subject:** General Plan Amendment 3-07

Dear Mr. Greenbauer:

I was unable to attend last night's meeting regarding the drug and alcohol treatment facility. My children attend the school next to the proposed site for this facility, and I believe that it would be a mistake to approve the building project at this site. Upon careful reading of last night's agenda, it seems that the Oceanside Historic Preservation Advisory Commission feels the same way I do. Would you please respond with the outcome of last night's meeting?

Thank you,

Nikki Rubio

(760) 966-1664

## **Richard Greenbauer**

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**From:** Jennifer Smigels [jennifersmigels@yahoo.com]  
**Sent:** Wednesday, December 02, 2009 10:35 AM  
**To:** Richard Greenbauer  
**Subject:** General Plan Amendment 3-07

Mr. Greenbauer,

I was unable to attend the meeting regarding the proposed Fellowship Center on Chapter Way. The idea that a drug and alcohol rehabilitation facility is even under consideration, with the knowledge that our children's school is a mere 200 feet away is horrifying to me and my family. My husband and I moved to Oceanside 6 years ago, with the hope that this city embraces our values-most importantly the focus on family. There are a few private schools to choose from, and we sacrifice to send our daughter to OMMS. We do so because we believe it is the best school for her and us in Oceanside. I simply cannot believe that I have to write to inform a senior planner that this facility is not appropriate-to be located across from a preschool. Honestly, you had to meet to discuss this?! Please remember that all of us have choices and opportunities to make the world a better place for our children. Keep this school a haven for children, respect the families that sacrifice to send our children to OMMS. Preserve our school and choose children first. Let's ensure their voices are heard in this as well. Once you choose hope-anything's possible and the hope of our future rests in the children. Memories of a drug and alcohol facility across from where they play and learn simply isn't right. You should know this.

Respectfully,

Jennifer and Eric Smigels

## **Richard Greenbauer**

---

**From:** Valerie Hillhouse [vhillhouse@cox.net]  
**Sent:** Friday, December 04, 2009 6:34 PM  
**To:** Richard Greenbauer  
**Subject:** General Plan Amendment 3-07

Hi Mr. Greenbauer,

I wanted to share my opinion with you about the General Plan Amendment 3-07. I do not believe that this location is a good site for a drug and alcohol treatment facility due to its proximity to Old Mission Montessori School as well as the historic site nearby. There are many other locations (ideally within business districts) that would not put fragile youngsters near fragile adults in need of rehabilitation. When one measures the needs of our young against the needs of those with drug and alcohol issues, my opinion is that the children should win out and the adults should go elsewhere. A business area seems perfect as children and families seldom frequent those areas and with the current economic downturn there should be some space available for the business of rehabilitating adults. I hope you weigh the communities' needs as a whole when making these decisions.

Respectfully,  
Valerie Hillhouse-Shokes  
Parent  
Home-owner  
Teacher  
Voter

## Richard Greenbauer

---

**From:** Norman Frederick [normanf@qualcomm.com]  
**Sent:** Wednesday, December 09, 2009 9:50 AM  
**To:** Richard Greenbauer  
**Subject:** Proposed Fellowship Rehap Center

Dear Mr. Greenbauer:

Please investigate all potential sites for this proposed facility. I am strongly against building this near the OMMS school. This school is the only safe place available for my children. My current neighborhood here in North County has two "half way" houses. Due to this we have many new temporary visitors to our neighborhood who wander the streets during the day and evenings, walking to and from the corner liquor store. Late in the evenings some of these visitors have been spotted sitting on the low wall along my front yard leaving beer cans and cigarette butts behind. We also have several sex offenders in my neighborhood. The only place where my children can play safely outside is on the grounds of their school. They go to school there, are in day care and participate in after school activities there. Please do not take this away from my children.

I realize that you would now state that the people staying in a "Fellowship Center" are safe, but sometimes the government makes mistakes. Several months ago a parolee with a violent record was released early to a half way house in Los Angeles. They provided him a day pass to go out for the day. The first thing which he does is finds a 17 year old girl, robs her, kills her than uses her money to buy illicit narcotics. With more pressure to release prisoners early, more parolees with violent histories will make it to these "Fellowship Centers'" or "Half Way Houses".

Please find either a commercial or industry zoned location for this facility.

Thank you,  
Norman Frederick

## Richard Greenbauer

---

**From:** Chris Schroh [cjschroh@cox.net]  
**Sent:** Monday, December 14, 2009 9:32 PM  
**To:** Richard Greenbauer  
**Cc:** mschroh@yahoo.com; cjschroh@cox.net  
**Subject:** General Plan Amendment 3-07 Proposed Fellowship Center

Dear Mr. Greenbauer,

I am writing you to express my concern over the location of the Proposed Fellowship Center due to the proximity of its location to the Old Mission Montessori School grounds. I first want to say that this is not a "Not In My Backyard" protest of this facility. I am 100% behind any individual that is sincerely trying to conquer the hold that alcohol or drugs may have on their life. I think facilities like this proposed one is important and should be built...just not next to a school with young children. It is my opinion that placing people that may still be under the terrible grasp of alcohol or drugs near a school could have catastrophic consequences. My hope is that anyone that enters a treatment facility such as this one will be successful in their recovery but reality tells me that this is not the case with many and I fear the absolute worst could come to fruition at the expense of my children and/or others that attend the school.

With that being said I hope you take this email and weigh these points heavily before making your decision. Please feel free to contact me if you have any questions or rebuttal.

Respectfully,

Chris Schroh  
4775 Calligraphy Court  
Oceanside, CA 92057  
760 845 8990

Planning Commission  
City of Oceanside

Received  
JAN 11 2010  
Planning Division

January 11, 2010

From Jose Elaner, 4108 Mission Ave. #C, Oceanside, CA  
Re: Oceanside Recovery Center, Halfway House

- I object to this project being built next door to my home and my six income units <sup>this project</sup> and would:
1. Take away our quiet enjoyment of living here on a quiet, secluded acre, a total of 8 people
  2. Block our view of the Eastern Sunrise and the Palomar Mountains. Note: The buildings are 2 story high and are on an elevated lot.
  3. Take away our privacy. All of the windows on the west side of one building face and overlook <sup>the front doors of</sup> my units A & B and C which is my home. We can be seen every time we step outside. Their west side is only 20 feet from my <sup>property line</sup> ~~property~~ and next
  4. Hear all of their cars coming and going <sup>out</sup> of the driveway to their parking places.
  5. Add to our fears of living next to 59 men most of whom are just out of prison
  6. Would be hard to rent my six units, I need the income.
  7. My property would lose value. How many people would want to live next door to 59 fellows?
  8. Would force the City of Oceanside to change the General Plan and to rezone this acre to a spot zone.

I love living here - in Oceanide. The cool ocean breezes, no smog. I love to hear the mission bells ring, gives me a peaceful feeling - I love my quiet, hidden acre which joins the San Luis Rey Mission - I like <sup>the</sup> hearing the children playing soccer, music from special events, but most of all, the mission bells.

I have attended numerous meetings about this project. In every meeting, dozens of people - seniors, parents, <sup>and</sup> residents, have protested this project in our midst. These people represent thousands of people, including children who live and attend the numerous schools within a six block radius.

Yet, Mr. Savo doesn't understand "No". He continues to try to force his project in our neighborhood. Why does Mr. Savo not take "No" for an answer? Are Mr. Savo's <sup>desires and</sup> wants to expand his programs greater <sup>rights of</sup> the hundreds of residents who have already protested?

Oceanide Planning department has rejected this project for many good reasons.

This is the worst possible location in Oceanide. Please reject this project.

God grant me the  
**SERENITY**  
to accept the things  
I cannot change  
The **COURAGE**  
to change  
the things I can  
And the **WISDOM**  
to know the difference.

Mr Greenbauer

My husband & I have  
involved with a  
group for over 3 yrs  
recognize the need for  
job centers. But  
the people involved  
in the problem are really  
their way of  
doing things  
it is difficult to  
the proposed job  
centers to

Received  
JAN 11 2010  
Planning Division

a montessori school  
and our senior park.  
Thank You  
Mr & Mrs Arnold  
Farber  
300 Academy Road  
Oceanside, CA 92057

David Clark, Trustee Elsner Real Estate Trust  
1241 Tamarack Ave, Carlsbad, CA 92008

Received  
JAN 11 2010  
Planning Division

January 8, 2010

To: Planning Commission, Oceanside, CA , c/o Mr. Greenbauer, Chief Planner, City Hall  
Subject: Opposition to Proposed Felony Half Way House & Zoning Change of the  
Property at 4152 Mission Ave, Oceanside, CA 92057, "Subject Property".

Dear Commissioners:

I am a Co-Owner of the seven Unit Apartments, located on the adjoining west side of Subject Property. Our property address is 4108 Mission Ave., Oceanside, CA 92057. As an owner of the adjoining Property to the Subject Property, I **strongly oppose** the building of any Felony Half Way House next door to my Units. My reasonable opposition is based on the following:

1. The entire surrounding Community is made up of Retired Senior Citizens, Single Family Residences, Low Density Apartments, Child Day Care Facilities, Elementary Schools, Child Playgrounds and a Church. Zoning is "Residential". This "innocent population and community" needs to be safe from a horde of fifty nine (59) irresponsible Criminals and Felons. Further, by placing fifty nine (59) Felons in the "center" of innocent, peaceful children and elderly shows a wanton disregard for this Community and the welfare of these individuals; elderly and children alike. Therefore, the Planning Commission, and its Members, will be directly responsible for the destruction of our peaceful Community; one which should be, "Protected" not "Victimized".
2. The consequential Social and Financial Damage to this Community will be irreversible. All peace loving individuals will now live in constant fear from the presence of the "tidal wave of Crime and Drug Induced Felons". Fear of these Felons will be ever present... This "Fear" will cause a reduction in schools and sports attendance. My Rental Units will be impacted by an immediate loss of tenants, which will cause irreparable financial losses.
3. The Subject Property, a prison like structure, is massive in stature and will destroy the scope of the existing surrounding structures. It will not blend, but dominate. This "block house" will destroy our views of the mountains and Mount Palomar. It will dwarf the surrounding residences and will stare menacingly straight down into apartments of several single women on my Property. Last, the Subject Facility should be re-located in a Commercial or Prison locality.

With Regards, Please protect our Community,

  
David Clark, Owner

January 7, 2009

Received  
JAN 11 2010  
Planning Center

Karen Crawford  
222 Mockingbird Lane  
Oceanside, CA 92057

Richard Greenbauer, Senior Planner  
City of Oceanside City Council Chambers, 2<sup>nd</sup> Floor  
300 N. Coast Hwy  
Oceanside, Ca 92054

Re; Planning Commission Meeting, January 25, 2010 at 7:00 PM for Hearing of 92 bed Men's Rehab Center

Dear Mr Greenbauer;

I am a senior citizen who lives in San Luis Rey Homes, which is adjacent to the proposed 92 Bed Men's Residential Rehab Center. One of the reasons I was drawn to this Park is the safety element. We are built back off the main road, Mission, and can't even be seen back here. We have a safe community.

I am against this rehab facility being built here. I know personally, the risk of living near those who suffer from addictions. Yes, they may be moving here voluntarily to get off alcohol and drugs, but meanwhile they still have the problem.

We all know that the most vulnerable people today are senior citizens and children, and both exist heavily in this area. We also know that for those who want help, there will be those who fail at it, and will be in need of whatever is their pleasure, and they will need money to purchase their choice of drug or alcohol for their addiction. I was once told by an addict, "A person will steal from their own Mother to support their habit." I know this to be true. I don't want to live in the fear that when I leave my home, it won't be safe. I don't want to leave in fear that someone has come in and stolen things that are precious to me. With these types of people, I know this will be putting everyone in this park, at risk.

We have lived our lives, and sacrificed all along the way, but why when we are old, do we have to live in fear. We shouldn't have to do this.

Also, we have an elementary School here, and those children will be subject to walk past that 92 bed home each time they walk to and from the School. Will the Facility be doing background checks to see whether or not they are a Pedophile, or a California Sex Offender? If so, would that man not be allowed, or would they just overlook it? Or,

would they not even be checked? A child shouldn't have to be in fear because his/her parents had to talk to them about the type of people who live there, and having to express to the child to always keep up their guard. Our children should be able to feel safe when attending School, especially on the grounds of a Church. That safety will be replaced with fear. Should our children be put in that kind of jeopardy?

I'm not against the people from getting help. I'm against them doing it so close to our Senior Citizen's and our children. Surely this man knows our fears because, many have proposed to him not to build this Rehab Center here. It seems he is doing this to spite everyone who has appealed to him not to do this. We feel he has no regard for us or the fear it will put upon us.

Aren't their laws that would keep this from happening because it is too close to the elementary School children in this area??? There must be..... and if not, then we need to change them. Please don't allow this facility to be built here. Thank you in advance.

Karen Crawford

**Richard Greenbauer**

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**From:** Carolyn Shumaker [csbeachgramma@gmail.com]  
**Sent:** Monday, January 11, 2010 3:31 PM  
**To:** Richard Greenbauer  
**Subject:** PROPOSED 92 BED MEN'S RESIDENTIAL REHAB CENTER

**I presently live at 17 Oriole Lane which is directly in back of where the proposed Residential Rehab for 92 Bed Men's Residential Center. How could you begin to even consider letting this happen in an area where there are senior citizens residing directly behind the proposed facility? I am a 75 year old lady who lives with another lady and we are terribly frightened to think that 92 men will be looking directly into our backyard every single day. How can we feel safe from being intruded upon or robbed? How can we be assured they will not be using drugs in and on the property? How can we be assured that drug dealers will not be hanging out in the parking lot directly behind my property selling their drugs? Next, we have the Montessori school for children on the mission grounds right next to this proposed facility. How can this be? We also have the Inline Hockey arena where games are played every weekend by many young men and boys. What road would be used to access the proposed facility? The only one is 300 Academy Rd which leads directly into our San Luis Rey Mobile Home Park. We all ready have the excess traffic on this little road on Sunday with church goers exiting the Mission.**

**There must be another site for this facility where senior citizens, children and a historical Mission is not in their backyard.**

**PLEASE DO NOT ALLOW THIS PROPOSED 92 BED MEN'S RESIDENTIAL REHAB CENTER TO PASS.**

Received

JAN 12 2010

Planning Division

1/9/2010

Dear Sir:

As a retired nurse I  
am familiar with the  
operation of a rehab. center  
and I have no objection  
to the 92 bed men's  
residential rehab. center.

Helene Liddell  
147 Roadrunner Lane  
Oceanside, Ca

To the Planning Commission,

The Fellowship Center offers a great service in Escondido and it is commendable that there is a desire to do more. However their ownership of this particular site does not dictate that a Historic very vast Residential area with many schools is ok for this commercial development. Zone and general plan changes are not a right of a property owner. Mr. Savo claims that this city has no facility similar to his project, as if this site was the only place in the whole city or even in the whole surrounding area to put his project. Is it required that any city must approve a project without regard to the proposed area, just because to date there is none? Areas desired for such projects are part of the city's plan and should be utilized

Mr. Savo found a single family home in 1970's next to the Alano Club to use as a half way house at a good price. That does not mean that today it is suitable for 59 men to be housed in a huge two story dormitory. Additionally Mr. Savo's commercial business is not significant historically by any stretch of the imagination and does not belong in this centuries old historic area.

The Mission is in an area of homes and schools primarily. A high school directly up the road about 1 ½ miles, 2 middle schools 1 to 2 miles, 3 elementary schools, about ½ mile, 1 mile and less than 2 miles with the Montessori school about 100 feet. It is completely different from the Fellowship property in Escondido which is a commercial area within about 2 blocks of the Hospital. It is on Grand Avenue, a very busy street, and is surrounded by many Medical Arts, Real Estate, and other businesses. There is only one school and it is not really near the Escondido Fellowship property.

In Oceanside, the address for the Fellowship property is inaccurate because the property is not located on Mission Ave. The Fellowship property is back off Mission Ave. to the north with open acreage being in front and located on Mission Ave. The Mission caretaker's home [as it is known] is what the Fellowship owns and uses for its half way house and it is about 400 feet from the Mission grounds. It is only steps away from some of the historic Montessori school buildings and not far from the San Luis Rey Parish Church historic buildings.

The men that the Fellowship Center will house deserve a more appropriate site for their major life changes. In all of Oceanside there is no more inappropriate site than this one acre site the Fellowship owns and wants to develop. The men that will be coming have a long road to acquiring a life that is beneficial to themselves and society. They have had years of being a burden to society and must acknowledge this. They come to rehab with numerous hurdles: personal, family, medical, financial and legal and they will need counseling on all types of issues and many have aggressive behavior problems additionally. They cannot drive as a rule and must walk and ride bikes since their driver's license have often been revoked and are very expensive to acquire especially when tickets have gone to warrant as is usual.

I am concerned, as some cities seem to be these days, that the Fellowship's commercial building could be abandoned for lack of Government funds or for any other unforeseen reason. Especially since they get almost half of their funds from Government and very little from donations. The Fellowship Center in Escondido started small and it kept acquiring surrounding parcels and added them to its operation. This, I fear, is the plan here in Oceanside as well. If this proposed zone and general plan change would go through then there will be more of the same huge buildings coming in the future by anyone that could afford the cost. Would the city want this area to be additionally burdened with more large commercial buildings?

Those of us who will have to be burdened living adjacent, near or having children near this men's dormitory have legitimate concerns and they have not been acknowledge in anyway by Mr. Savo. We have only reaped his bullying tactics that he has plenty of experience dishing out over the last 30 years in his type of business.

Thank you,

Bob Fleetwood  
313 Killdeer Lane  
Oceanside, CA 92057

**Richard Greenbauer**

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**From:** Michele Barton [jbandmichele@cox.net]  
**Sent:** Tuesday, January 12, 2010 7:41 PM  
**To:** Richard Greenbauer  
**Subject:** General Plan Amendment 3-07

**Although the Fellowship Center might be necessary, the proposed location at Mission San Luis Rey is a preposterous idea.**

**My children have been students of Old Mission Montessori school for 3 years now. They started at 2 and half years of age and played on the playground facing the new Fellowship Center. They travel the gravel lot two to four times a week for physical education/sports practice and should never have to deal with the heightened vehicle traffic, foot traffic and noise that will begin with the Center. There are way too many trusting and innocent children near by who do not deserve to be so close to an environment that goes along with this type of business.**

**I am beyond angry that this Center has found this location to be acceptable. I would like to make it perfectly clear to you that IF this center is built at Mission San Luis Rey Parish, my children will be pulled out Old Mission Montessori School immediately for fear of their safety. Please contact us if you have any questions.**

**Jeff & Michele Barton  
Oceanside Residents  
San Luis Rey Parish parishioner  
Old Mission Montessori School parents**

## **Richard Greenbauer**

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**From:** Cheri Bell [cheri\_bell@cox.net]  
**Sent:** Tuesday, January 12, 2010 5:37 PM  
**To:** Richard Greenbauer  
**Cc:** Vickie Prosser; OMMS - office  
**Subject:** Fellowship center

**Importance:** High

Even though the Fellowship Center might be necessary, the proposed location at Mission San Luis Rey is a preposterous idea.

My children have been students of Old Mission Montessori school for 6 years now. They started at 2 and half years of age and played on the playground facing the new Fellowship Center. They travel the gravel lot two to four times a week for physical education/sports practice and should never have to deal with the heightened vehicle traffic, foot traffic and noise that will begin with the Center. There are way to many trusting and innocent children near by who do not deserve to be so close to this type of business. The environment that goes along with this type of business is not for children, pre-teens and teens to be exposed to.

I am beyond angry that this Center has found this location to be acceptable. It just goes to show how inconsiderate and self centered they are. I would like to make it perfectly clear to you that IF this center is built at Mission San Luis Rey Parish, then my children will be pulled out Old Mission Montessori School immediately because fear for their safety.

Please contact me if you have any questions.

Cheri Bell  
760-724-6010  
Oceanside Resident  
San Luis Rey Parish parishioner  
Old Mission Montessori School parent

David Clark 4108 Mission Ave. #C, Oceanside CA 92057 Phone 760.529.7858

January 13, 2010

Page 1 of 2

To: Claudia Troisi, Chairperson, Planning Commission, City of Oceanside

John P. Mullen, City Attorney, City of Oceanside

300 North Coast Highway

Oceanside, CA 92054

Received

JAN 15 2010

Planning Division

**Subject: Conflict of Interest, Professional Misconduct of Mr. Gregory R. Root, Vice-Chair, Oceanside Historic Preservation Advisory Commission**

RE: Proposed Zone Amendment, The Fellowship Center, Inc., 4152 Mission Ave., Oceanside, CA 92057 and Pending General Meeting, Planning Commission, January 25, 2010.

Dear Messer's Troisi and Mullen:

On January 9, 2010, a Mr. Gregory R. Root approached, in person, the Owners of the adjacent property located at 4108 Mission Ave., Oceanside, CA 92057. He introduced himself as an "employee" of Mr. Paul Savo, CEO, The Fellowship Center, Inc. Further, he was a public relations Representative of Mr. Savos' Company; and that they also were "personal friends". Further, that, his purpose was to gain our support for the Project known as The Fellowship Center, next door. Mr. Root made **no mention** of the fact that he also was the Vice-Chair of the Oceanside Historic Preservation Advisory Commission.

The Agenda of the Oceanside Historic Preservation Advisory Commission dated a few weeks ago on December 1, 2009, gave its Approval of the Project with Mr. Root Vice-Chair voting in Favor of the Project. However, Mr. Root has a 'Financial Interest' in the Project.

We communicated to Mr. Root that we **Strongly Opposed** the Project on the basis that the Project is a gross violation of the General Plan, it requires a Zoning Change, and requires a Conditional Use Permit. More importantly, that the permanent introduction of no less than **fifty nine (59) Alcoholics, Drug Addicts, Child Molesters', Felons, and/or Parolees** is a Social Issue of staggering proportions. That is, to the extent that the entire immediate surrounding Community of young Children, Schools, Playgrounds, Single Women, Retired Adults, and Families will thereafter live in constant fear of harm, crime or molestation. The peace and quiet of the neighborhood will be destroyed. This Project will destroy the community; further, we will have an exodus of quality tenants resulting in huge financial losses.

Therein, Mr. Root proceeded to make "offers of inducements". One inducement was along the line of: "to plant more trees" to mask the huge block house type structure and reduce the noise from delivery and trash trucks along our common fence, only 30" tall.

Therefore, this letter shall serve as a request for investigation as to the acts and conduct of Mr. Root and Mr. Paul Savo. He (Root) has signed the required Fair Political Practices Commission, California Form 700, "Statement of Interests" on March 24, 2009. Therein, he states "No reportable interests on any schedule" of income or business positions. His "Statement" and employment appears to be in direct conflict with the requirements of the State of California Government Code. **Section § 18438.7 Prohibition and Disqualification Under Government Code Section 84308.**

(a) An Officer knows or has reason to know that a person (he) has a financial interest in the decision in a proceeding if:

(1) (2) The person is a party, or the person is a participant and reveals facts in his written or oral support before the agency which make the person's interest apparent. **Section § 18703.3. Economic Interest, Defined: Source of Income.**

(a)(1) For purposes of *Disqualification* under Government Code sections 87100 and 87103, a public official has an economic interest in any person from whom he received income, including commission income, incentive income and incentive compensation as defined in this regulation...including income promised to the public official but not yet received by him.

**Oceanside, California, Code of Ordinances, Article XI-Conflict of Interest Code.**

**Sec. 2.63. Disclosure.** Members of city boards, commissions and committees subject to conflict of interest disclosure requirements.

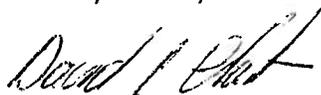
(b) Income...or gifts of fifty dollars (\$50.00) in any business entity with an employer... Statements...required.

Reasonable Conclusion and Request:

Based on the forgoing, the conclusion can be drawn that a bona fide Conflict of Interest exists. Logic follows that:

1. The Oceanside Historic Preservation Advisory Commission recommendation dated December 1, 2009 shall be deemed an "invalid recommendation"; further, the Document shall be removed from the Public Record.
2. Mr. Gregory R. Root is in Violation of the above referenced Codes, Laws, and Ordinances. He should be investigated for Conflict of Interest, Ethical Issues relating to a public figure, and his improper Conduct. Subsequently, he should resign his position as Vice-Chairman.

Thank you for your consideration,



David Clark, Owner/Trustee

## **Richard Greenbauer**

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**From:** Shirley McClune [smcclune@att.net]  
**Sent:** Friday, January 15, 2010 1:23 PM  
**To:** Richard Greenbauer  
**Subject:** Proposed Residential Rehab Center

This is in response to the meeting on Monday, January 25th regarding the proposed Men's Residential Rehab Center off Academy Road.

As a resident of the San Luis Rey Homes, Inc., my husband and I strongly disapprove of this location due to the presence of all the children attending school at the Mission and the elderly residents of the park.

We agree this is a worthy and much needed facility however this location is extremely undesirable. It belongs in a business district or on a outlying area; it does not belong where children attend school & senior citizens reside. The seniors deserve to live in a community where it is gated & they feel a sense of security. That is the reason they live here & now they are feeling very vulnerable should this facility be built.

We strongly urge you to OPPOSE this project.

Thank you for your attention in this matter & please, please think this through thoroughly before you vote.

Shirley & Richard McClune  
157 Roadrunner Lane  
San Luis Rey Homes, Inc.

Saturday, January 16, 2010

To the Oceanside City Council

Jim Woods, Mayor [jwood@ci.oceanside.ca.us](mailto:jwood@ci.oceanside.ca.us)  
Ester Sanchez [esanchez@ci.oceanside.ca.us](mailto:esanchez@ci.oceanside.ca.us)  
Jerome Kern [jkern@ci.oceanside.ca.us](mailto:jkern@ci.oceanside.ca.us)  
Jack Feller [jfeller@ci.oceanside.ca.us](mailto:jfeller@ci.oceanside.ca.us)

To City Staff

Richard Greenbauer, Planner [rgreenbauer@ci.oceanside.ca.us](mailto:rgreenbauer@ci.oceanside.ca.us)  
Jerry Hittleman, Planner [jhittleman@ci.oceanside.ca.us](mailto:jhittleman@ci.oceanside.ca.us)  
John P. Mullen, City Attorney [jmullen@ci.oceanside.ca.us](mailto:jmullen@ci.oceanside.ca.us)  
Leslie Gallagher, Assistant City Attorney [lgallagher@ci.oceanside.ca.us](mailto:lgallagher@ci.oceanside.ca.us)

Subject: Conflict of Interest of Greg Root, Vice Chair of  
Oceanside's Historic Preservation Advisory Commission  
RE: Hearing 12/1/2009 General plan amendment GPA 3-07 & zone amendment ZA 2-07  
On the Fellowship Center's Proposed 59 Men's Bed Residential Rehab

Dear Elected Representatives and Staff Members of the City of Oceanside,

I am writing again about the unethical behavior of Greg Root and the reason is because I have just heard that Mr. Root said it is ok for him to promote a project once it has gone through the Commission he is serving on. In my opinion he continues to hurt the City of Oceanside by his actions and remarks. He is biased, unethical, and dishonest plus he has no integrity, does not fairly work for the common good, and has demonstrated a conflict of interest.

In promoting this project he **has not** identified himself as a member of the Commission and has instead stated he was a friend and employee of Mr. Savo. He has visited many of those that have property around the proposed project. His overwhelming support of this project, friendship and employ by Mr. Savo demanded that he abstain from voting on the project when it came before the Commission he is Vice Chair of. Since he did not I therefore am again calling for Mr. Root to be removed from the Commission and his vote to be rescinded. I believe he should be fined and a law procedure taken up against him.

I have heard that there is some trying to discount the account Ione Elsner has given of the unsolicited visit she had from Mr. Root. Since there was no one else present at this meeting those trying to say her age makes her account not accurate well this is shirr discrimination. She is a very sharp business woman of many years, she is a licensed Real Estate Broker, she is a Property Manager and she is still driving to mention just a few things people need to know about her. On top of that she is an honest woman.

We have a big problem in America with unethical behavior and here in the City of Oceanside the action of Mr. Root needs to be addressed promptly to give the city a reputation of not condoning this type of behavior. In fact when the city takes this up and makes it right then the city will have demonstrated that it will demand that its Commissioners must be honest and above board. There are many books written on the subject of Ethics and many should be reading up on what needs to be done to be ethical.

Please see the following web site: [www.ci.oceanside.ca.us/pdf/PC\\_codeofethics.pdf](http://www.ci.oceanside.ca.us/pdf/PC_codeofethics.pdf)  
This is the Planning Commissions Code of Ethics. These ethical standards apply to all of the City of Oceanside in my opinion and I expect those elected to lead by demanding all that work for the citizens of Oceanside do so ethically and fairly. Action, ethical or unethical, would permeate all city servants and would spread to the citizens of Oceanside.

Sincerely,

Kathleen Talley 55 Hummingbird Lane, Oceanside, CA 92057

Character is what you have left when you've lost everything you can lose. - Evan Esar

## **Richard Greenbauer**

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**From:** Shirley McClune [smcclune@att.net]  
**Sent:** Saturday, January 16, 2010 11:34 AM  
**To:** Richard Greenbauer  
**Subject:** Proposed Oceanside Recovery Center - Fellowship Center

This is in response to the meeting on Monday, January 25th regarding the proposed Men's Residential Rehab Center on Chapter Road. As a resident of the San Luis Rey Homes, Inc., my husband and I strongly disapprove of this location due to the presence of all the children attending school at the Mission and the elderly residents of the park. We agree this is a worthy and much needed facility however this location is extremely undesirable. It belongs in a business district or in an outlying area; it DOES NOT belong where children attend school and senior citizens reside. The seniors deserve to live in a community where it is gated and they feel a sense of security. That is the reason they bought here and now they are feeling very vulnerable should this facility be built.

We strongly urge you to OPPOSE this project

Thank you for your attention in this matter and PLEASE, PLEASE think this through thoroughly before you vote.

Shirley & Richard McClune  
157 Roadrunner Lane  
San Luis Rey Homes, Inc.

## Richard Greenbauer

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**From:** joyforus@cox.net  
**Sent:** Monday, January 18, 2010 2:54 PM  
**To:** Richard Greenbauer  
**Subject:** Fellowship Rehabilitation Center

January 18, 2010

Dear Commissioner

Re: Fellowship Rehabilitation Project First of all, I would like to thank you for your invaluable assistance to our City.

Since the zone change requests for the Fellowship Project are so incompatible with the area in so many respects. I am making the following suggestions and comments.

Since Mr. Savo and his group feel that the Escondido site is so successful, perhaps they should try to replicate it in some area of Oceanside or Vista in which there are several vacant buildings that have the same or similar zoning designation as the site in Escondido, which is zoned Hospital/Professional. In this economy it should not be difficult to find such an area.

This solution would be a win-win for the surrounding children, schools, communities and State and Federal taxpayers.

Are the State and Federal Taxpayers to pay for the millions and millions of dollars that it will cost to construct this building? With essential services like police, fire, medical, etc. being reduced, along with school, library, and park services being reduced in so many cities and states, why is the funding still available for a project like this?

According to Mr. Savo's own brochure, the statistics for funding he receives are as follows: 47% of funds come from "Government"

28% of funds come from "Participant fees" (however the brochure states that those without income or financial assistance are not denied. So where does this 28% actually come from since the brochure states that 82% of the men were unemployed and 55% were homeless when admitted to the program?) Do some of these funds also come indirectly from the Taxpayer?

20% are "Private Contracts" What does that mean? Are these funds ultimately also from the Taxpayer?

2% from "other"

Only 3% are from "Donations"

Mr. Savo's brochure also states that 68% of the discharged participants had jobs, and the remaining were in school or employment training, which is quite a surprising statistic. I am quite sure this will not be the case in this economy.

The brochure is evidently using 2005 statistics. I looked on the web for something more recent, however, it seems that his web site has not been available for quite some time.

Why do they need a new building? Numerous facilities that serve many more people have needed new buildings for many years, such as Tri-City Hospital, schools, medical centers, etc. and they are not able to have new buildings.

It seems that most of the proponents for this project are in some way making money from the Rehabilitation Project being built at this site. I do not believe any of these people live anywhere near this area.

Sincerely,

Patricia Hunt, 193 Flicker Lane, Oceanside, 722-5404

Received

JAN 19 2010

Planning Division

January 18, 2010

Dear Commissioners

**Re: Fellowship Rehabilitation Project**

First of all, I would like to thank you for your invaluable assistance to our City.

Since the zone change requests for the Fellowship Project are so incompatible with the area in so many respects. I am making the following suggestions and comments.

Since Mr. Savo and his group feel that the Escondido site is so successful, perhaps they should try to replicate it in some area of Oceanside or Vista in which there are several vacant buildings that have the same or similar zoning designation as the site in Escondido, which is zoned Hospital/Professional. In this economy it should not be difficult to find such an area.

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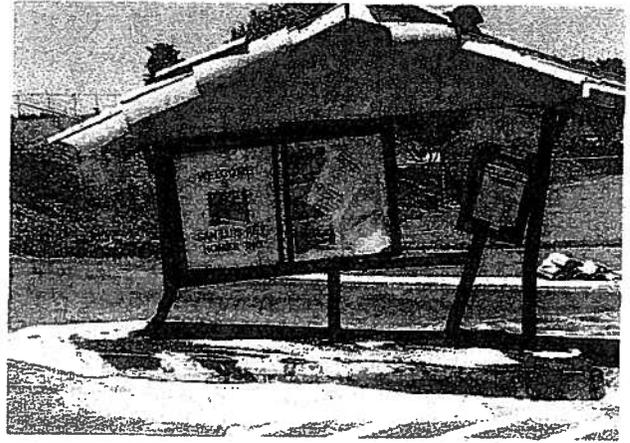
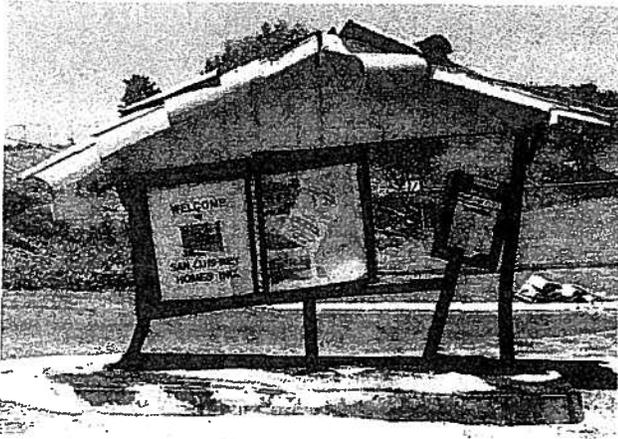
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It seems that most of the proponents for this project are in some way making money from the Rehabilitation Project being built at this site. I do not believe any of these people live anywhere near this area.

Sincerely,

A handwritten signature in cursive script that reads "Patricia Hunt". The signature is written in black ink and is positioned above the typed name.

Patricia Hunt, 193 Flicker Lane, Oceanside, 722-5404



Received

JAN 19 2010

Planning Division

Received

STATE OF CALIFORNIA  
NARRATIVE/SUPPLEMENTAL  
CHP 556 (Rev 7-90) OPI 042

JAN 19 2010

3 of 4

Date of Incident/Occurrence 7/10/2009	Time(2400) 2030	NCIC NUMBER 3710	OFFICER ID # 1355	NUMBER 09-011495	Planning Division
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Facts:

Notification:

On 07-10-2009, at about 2046 hours, I received a radio call of a collision at 300 Academy Rd. I responded from SR-76 westbound and Frazee Rd., and arrived at about 2050 hours. All speeds and measurements are approximate, and all measurements were obtained using rollatape.

Scene Description:

Academy Rd. is a north-south asphalt roadway terminating in the northbound direction at 300 Academy Rd. When approaching 300 Academy Rd. northbound, there is one lane in each direction with a large sign dividing the lanes facing eastbound. Directly next to the sign is a control box to open the gate to 300 Academy Rd. There are three yellow burms in a north-south direction between the lanes of traffic preceding the sign. There are also several street lights approximately 20 feet from the sign illuminating the area around the sign.

Parties:

P1 - Myers was identified by CDL (A8109982) and was determined to be the driver by Officer Ewing. The vehicle was disabled after the impact with the sign. The vehicle was splitting the two lanes of traffic. I did not observe any prior mechanical defects on the vehicle.

Physical Evidence:

There was debris and vehicle fluid directly under the vehicle next to the sign where the vehicle had impacted the sign. No skid marks were observed.

Other Factual Information:

P1 - Myers has a restricted license and a driver's license probation.

Statements:

Statement of Michael Myers:

While talking to Myers, he essentially told me the following: Myers was driving to the Alano Club to play bingo and missed the turn. Myers continued straight on Academy Rd. and failed to see the sign. Myers stated he failed to stop in time and collided with the sign.

Opinions and Conclusions:

Summary:

P1 - Myers was travelling northbound on Academy Rd. approaching 300 Academy Rd. when P1 - Myers missed his turn to head to the Alano Club. VI collided with a fixed object (sign) on the private property of 300 Academy Rd. due to P1 - Myers' level of intoxication. P1 - Myers failed to see the sign and slow or stop to avoid the collision.

AOI:

The AOI was determined from the point of rest of the disabled vehicle and from debris in the roadway. The AOI was approximately 50'8" north of the south curb line of the private property of 300 Academy Rd., and approximately 14'8" west of the east curb line of 300 Academy Rd.

Released Per  
Government Code 6254(f)

PREPARER'S NAME AND I.D. NUMBER B. HENDRIX 1355	DATE 7/11/2009	REVIEWER'S NAME	DATE
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Received

JAN 19 2010

Planning Division

STATE OF CALIFORNIA  
NARRATIVE/SUPPLEMENTAL

CHP 556 (Rev 7-90) OPI 042

4 of 4

Date of Incident/Occurrence 7/10/2009	Time(2400) 2030	NCIC NUMBER 3710	OFFICER ID # 1355	NUMBER 09-011496
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46 **Intoxication Narrative:**

47 Officer Ewing contacted the driver and was able to smell the odor of alcohol from P1 – Myers. Officer Ewing  
48 conducted standardized field sobriety tests and determined P1 – Myers to be under the influence of alcohol. P1  
49 – Myers was arrested for violating CVC 23152(a) – DUI.  
50

51 **Cause:**

52 I determined P1 – Myers was at fault for the accident due to being in violation of CVC 23152(a) - DUI and  
53 being unable to safely operate VI.  
54

55 **Recommendations:**

56 Forward to the District Attorney's office with arrest report (OPD report: 09011496), by Officer Ewing, for  
57 prosecution of CVC 23152(a) – DUI.

Released Per  
Government Code 6254(f)

RECEIVED  
JUL 14 2009  
BY: \_\_\_\_\_

PREPARER'S NAME AND I.D. NUMBER B. HENDRIX 1355	DATE 7/11/2009	REVIEWER'S NAME	DATE
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**Richard Greenbauer**

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**From:** Vincent Dang [vxdang@yahoo.com]  
**Sent:** Wednesday, January 20, 2010 4:18 PM  
**To:** Richard Greenbauer  
**Subject:** Concern regarding THE OCEANSIDE RECOVERY CENTER by Applicant: The Fellowship Center

Dear Mr. Richard Greenbauer,

My name is Vincent Dang and my family reside in the River Ranch community next to the area being considered for THE OCEANSIDE RECOVERY CENTER.

First of all, I would like to emphasize that THE OCEANSIDE RECOVERY CENTER location will pose a huge risk and danger to the children and people of our community as well as children and people who attend or work at Nichols Elementary school, San Luis Rey Parish Church, and nearby parks.

Our community has been very peaceful with children and people walking to school, church, park, and the nearby riverbank. If THE OCEANSIDE RECOVERY CENTER location is approved, it will be located right at the middle of the places where our children and families visit daily, and interfere with our daily activities and endanger to all of us by bringing people with drug and alcohol abuse into contact with our community.

Because of the safety of our children and our families, my family and all our neighbors strongly voice our objection of THE OCEANSIDE RECOVERY CENTER location, and would like the Planning Commission to disapprove this project.

Sincerely,  
The Dang family and neighbors

January 24, 2010

Dear Mr. Greenbauer, will you please ensure that the following people receive this letter. Thank you so much

Re: Commissioner Root and the Fellowship Rehabilitation Project

To: City of Oceanside City Council Members, City Planning Commission Members, Historical Preservation Commission Members, Attorney John Mullen and anyone else who has an interest in the Fellowship Project

Since Greg Root, a member of the Historical Preservation Advisory Commission, has been admonished by City Attorney John Mullen, for working for/with Paul Savo, Director of the Fellowship Center, and therefore committed a conflict of interest and breached the Code of Ethics by being paid by Paul Savo, he should not be allowed to continue his duties and should be removed from the Commission. After all, since his actions were unethical and illegal there should be more severe consequences other than he just won't be allowed to vote the next time this petitioner comes before the Commission.

Additionally, Paul Savo, who says he has been in business for 48 years, certainly must know his hiring a sitting City Commissioner was unethical if not illegal. In fact he has also created the conflict of interest and lack of ethics by hiring Greg Root in the first place. Are there any consequences or sanctions for him and his Rehabilitation project?

I do not want our City of Oceanside to be looked upon in a negative way and incur additional adverse publicity because of the unacceptable actions and conduct of Greg Root and Paul Savo.

I would like advice and counsel about what my next step should be in regard to these unethical and possibly illegal issues.

Sincerely,

A handwritten signature in cursive script that reads "Patricia Hunt".

Patricia Hunt, 193 Flicker Lane, Oceanside

To the Planning Commission of Oceanside concerning The Fellowship Center hearing 1/25/2010,

I would like to make the Planning Commission aware of the actions of Mr. Savo at the previous hearing in front of the Historic Preservation Advisory Commission. After a room full of people had spoke very calmly about their legitimate concerns Mr. Savo began his rebuttal with threats. We the neighbors feel this is a precursor to what is in store if the project goes through. He threatened the city saying they [the Fellowship Center] could not be stopped from building this building because the men that would be coming to live in his rehab were Disable and/or Handicapped. So first I believe the City needs to be very careful with any project that has a person threatening the City and that the City needs to look at points of law that rebuts his claims. I do not believe that his claims are legitimate and even in areas that could possibly be on the fringe of possibly being lawful there are always opposite points of law to put forth that could unseat any claim he may make. I strongly urge the Legal staff to look into all aspects of any claim Mr. Savo makes.

Another claim Mr. Savo spouts off about is Fair Housing. I again believe this is a matter to be looked into at length since this is another very complex legal area. The research I have done talks about CA Fair Employment and Housing Act [FEHA] with a good deal of that dealing with housing employers provide. It did not look to me like there were legal areas that applied to a Residential Rehab.

From the research I have done there is no blanket statement that can be made that every man coming to this or any Rehab would be officially classified as Disabled or Handicapped. Each man would be evaluated individually and it looks to me like this would take some time before a determination could be made. I even wonder if the purported 5 month stay would be long enough to get each man through the system and these could easily end in denial. It seems to me that there is a double standard being used. These men want us to believe that are working toward being productive individuals with jobs yet they want to claim they are disabled or handicapped. This does not appear to me to be men that are taking responsibility for their past actions and for where they find themselves today.

There is more than one agency that gives financial aid and the all have different qualifications. To qualify for financial aid under California FEHA is argues and a lengthy process. The Social Security Administration has its SSI and SSDI programs and to be qualified as handicapped or disabled is very complex. I believe that some of these aid programs were set up to give financial aid to those working to recover addictions and not set up so a person could have a placard for handicapped parking or to get them a classification that would eliminate the just needs of Children and Seniors. Children and Seniors have historically been protected from perceived dangers and this practice should be continue. The men coming to this Rehab in no way have shown society that they will eventually become honest productive citizens. They must demonstrate this before they are allowed close association with so very many vulnerable children and seniors.

In closing our neighborhood already has 3 properties that serve recovered addicts. The Alano Club operates all day 7 days a week with many people helped daily, the McAlister Institutes half way house or sober living for 6 men at 4010 Via Serra and the Fellowship Center's house for 6 men. The McAlister's house [1 block west] and the Alano Club [1 block east] from the Fellowship Center house so all 3 are within 2 blocks of each other. This is enough community service for our residential area.

Here are but a few web pages to look at. I hope Oceanside's legal staff must have some favorites to look at.  
[http://www.ssa.gov/OP\\_Home/rulings/di/01/SSR82-60-di-01.html](http://www.ssa.gov/OP_Home/rulings/di/01/SSR82-60-di-01.html)  
<http://www.sheppardmullin.com/publications-articles-79.html>  
[http://finduslaw.com/california\\_fair\\_employment\\_and\\_housing\\_act\\_feha\\_government\\_code\\_12900\\_12996](http://finduslaw.com/california_fair_employment_and_housing_act_feha_government_code_12900_12996)

Thank you

Carol Stuart  
60 Hummingbird Lane  
Oceanside, CA 92057

January 27, 2010

Mr. Richard Greenbauer  
Planning Department  
300 N. Coast Highway  
Oceanside, CA 92054

JAN 27 2010

Planning Department

Dear Mr. Greenbauer;

In the December 2009 meeting of the Historical Preservation Advisory Commission there was a question that the storm drain issue had not been resolved, and would have to be addressed when it was again heard by this Commission, or the Planning Commission.

On January 19, 2010 in the mid to late afternoon, when the rains were subsiding, I took the pictures showing the runoff of rain down Charter Way toward the East, down Academy Road to the North entering the San Luis Rey Mobile Home Park. Attachments (11- 4X6" photographs)

Some members of our Park have recently discussed the curbing and other issues pending for the Fellowship Project with some of the City Agencies. It is my understanding the proposed storm drain, to be developed by petitioner, will join a 4-inch pipe and drain down Academy Road to Mission Avenue in a southerly direction. As the pictures show, water flows from Charter Way to Academy and into San Luis Rey Mobile Home Park. During mild to heavy rains, the corner of Swallow Lane and Killdeer Lane is flooded. In my opinion, the water from the Fellowship lot, upon completion, will add to the flow of water since it will now runoff rather than soak into the ground.

It is unclear to me if the proposed drain and curbing will be on the South side of Charter Way or the North side. In either case, it is apparent that additional storm water will flow through San Luis Rey Park to the storm drain on the corner of Swallow Lane and Killdeer Lane.

I strongly urge the Planning and Engineering Departments to carefully review this storm drain issue taking into full account the current storm water flow through the San Luis Rey Mobile Home Park.

Sincerely;



Donald F. Robb  
242 Bluebird Lane  
Oceanside, CA 920957

cc: Engineering Department City of Oceanside