

STAFF REPORT



ITEM NO. 12

CITY OF OCEANSIDE

DATE: October 11, 2006

TO: Chairman and Members of the Community Development Commission

FROM: Economic Development and Redevelopment Department

SUBJECT: **CONSIDERATION OF A RESOLUTION APPROVING TENTATIVE MAP (T-201-05), DEVELOPMENT PLAN (D-214-05), AND REGULAR COASTAL PERMIT (RC-205-05) FOR THE CONSTRUCTION OF AN ELEVEN-UNIT RESIDENTIAL CONDOMINIUM PROJECT LOCATED AT 504-508 NORTH PACIFIC STREET – SAM OCEANSIDE I – APPLICANT: SAM OCEANSIDE I, LLC**

SYNOPSIS

The item under consideration is a Tentative Map, Development Plan, and Regular Coastal Permit for the construction of an eleven-unit residential condominium project located at 504-508 North Pacific Street. Staff is recommending that the Commission approve the project and adopt the resolution as attached.

BACKGROUND

The subject site consists of two pre-existing legal parcels totaling 10,016 square feet in size that was part of the original A.J. Myers Addition subdivision of 1885. The subject site currently maintains four buildings (seven units) situated on two parcels which will be demolished as part of the development of this project.

The subject site topography is flat, with just over one-foot grade differential between the highest and lowest points of the site. Due to the proposed underground basement parking, approximately 7,700 cubic yards of soil will be exported.

The subject site is situated within the North Pacific Street corridor neighborhood, which consists of old apartment buildings interspersed with new single-family and condominium units.

There are seven units on the subject site that are over 45 years old; therefore, a Historic Assessment was prepared to determine its historical significance. The Historic Assessment is attached to the staff report.

Land Use and Zoning: The subject site is located within Subdistrict 5 of the "D" Downtown District. Subdistrict 5 is primarily intended to provide a high-density residential neighborhood in an urban setting in close proximity to shopping, employment, transportation and recreational facilities. Multifamily residences are permitted. The density within this zone ranges from 29-43 dwelling units per acre.

Regular Coastal Permit: This project is situated within the Coastal Zone and requires a Regular Coastal Permit. Under the provisions of the Local Coastal Plan the project site is designated as Mixed High-Density and Transient Residential. Multifamily and single-family are primarily the uses allowed within this land use designation.

The project is also situated within the Coastal Zone "appeal jurisdiction". Any local action by the City on this proposed coastal development permit may be appealed to the California Coastal Commission

Project Description: The project application consists of several components, which include a Tentative Map, Development Plan, and Regular Coastal Permit. Each discretionary request is described as follows:

Tentative Map and Development Plan: The project proposes a 3-story, 11-unit residential condominium with units ranging in size from 1,756 to 2,358 square feet to be situated on a 10,016-square-foot lot. In addition, the project proposes a two-level underground basement garage with 33 parking spaces, elevator and storage areas. The project is 35 feet high; however, there are architectural features that are up to 43 feet in height. These features represent approximately 8.5 percent of the ground area.

Outlined below is the residential unit breakdown:

Plan Type	Sq.Ft.	Bedrms.	Baths	Units
Plan 1	1,756	3	2.5	2
Plan 2	1,785	2	2	1
Plan 3	1,907	2	2.5	2
Plan 4	1,958	2	2.5	2
Plan 5	1,987	3	3	2
Plan 6	2,358	3	3	2

The proposed design is contemporary beach resort look with shutters and classic grey-colored stucco base with dark grey trim, grey metal roofing slate and rock masonry veneer. The project proposes that approximately 25 percent of the subject site is landscaped, with Japanese maple trees, shrubs including Lily of the Nile, Bird of Paradise and Honeysuckle, and groundcover consists of tall Fescue grasses.

Vehicular access to the units will be from the alley (Myers Street) located at the rear portion of the property. Pedestrian access will be provided from North Pacific Street.

Outlined below is a comparison chart summarizing the required development criteria with the proposed project:

	MINIMUM REQUIRED	PROPOSED
LOT SIZE	N/A (pre-existing lot)	N/A (pre-existing lot)
SETBACKS		
Front	10 feet	10 feet
Side	10 feet	10 feet
Corner Side	10 feet	10 feet
Rear	5 feet	5 feet
LANDSCAPING	25%	25%
COMMON/PRIVATE USABLE OPEN SPACE	2,200 square feet	10,500 square feet
PARKING	22 spaces	33 spaces
BUILDING HEIGHT	35 feet	35 feet
DENSITY	33 du. Ac. (base density)	32.2 du. Ac.

Regular Coastal Permit: A Regular Coastal Permit is required because the project is situated within the Coastal Zone and proposes new construction that requires discretionary action.

Pacific Street Vacation: The applicant has requested the vacation of the excess public street right-of-way along Pacific Street and Sportfisher as shown on exhibit 5. This property does not connect to any other street, public or private, and has not been used for street purposes for the last several years.

The project proposes to vacate a portion (approximately 4,836 square feet) of both North Pacific Street and Sportfisher Drive bringing the total site area to 14,852 square feet. The area of the proposed street vacation is remnant land from the realignment of Pacific Street which was completed in the late 1980s. In order for the City to consider vacating this portion of Pacific Street, it must be determined that the road is no longer necessary for public purpose and that abandoning the remnant piece of property is in the “public interest”. The underlying property is owned by the adjacent properties to the center line of the street. In situations where the City is the underlying fee owner, the City will have the property appraised and the developer would be required to pay the City fair market value. Due to the fact that the City is not the underlying fee owner; the City cannot require the developer to pay for the land, but must find “public benefit”.

By vacating this piece of property, the City will not have the maintenance obligation or

liability concerning this property. The proposed project will enhance the landscaping in the area in addition to providing pedestrian access and parking along Sportfisher that currently does not exist. In addition, the enhanced landscape promenade along Pacific Street will be consistent with the promenade fronting both the Pier Beach Resort and Oceanside Beach Resort Hotel located south of the subject site. The current units have no off-street parking; the proposed project not only provides the required parking, but provides an additional 11 spaces which allows for more on-street parking. Although the City cannot require the developer to pay for the land, the developer will donate \$100,000 to be utilized for enhancements in the Redevelopment Project Area. This donation will benefit downtown residents, visitors and the community further adding to the overall public benefit. These funds will be placed into an interest-bearing account to fund special projects within the downtown or beach area at the discretion of the Community Development Commission.

Further, to prevent potential land speculation, should the project be approved, the street vacation is valid only with the proposed project, and the project must be built according to these entitlements. The street vacation will only be processed prior to the issuance of a grading plan or final map whichever comes first.

Environmental Determination: A Certificate of Exemption has been prepared for the project. Under the provisions of the California Environmental Quality Act, the Community Development Commission will consider the exemption during its hearing on the project.

The Historic Assessment has been prepared to determine the cultural significance of the subject site. The Historic Assessment chronicles the creation, ownership, and development of the subject site and concludes that the site does have a long and interesting ownership history; however, no significant cultural resources exist on the site today.

ANALYSIS

Staff's analysis focused on the compatibility of the project with existing development patterns of the area and the project's consistency with the underlying Redevelopment Plan, Zoning Ordinance, and the Local Coastal Program.

Since the proposed project is an infill project, staff's initial concerns centered on the project's compatibility with the existing residential patterns. The surrounding area consists of older apartments interspersed with some newer condominium development. Staff believes that the proposed 11-unit condominium is consistent with the surrounding neighborhood, especially with the newer condominium units.

Staff is also concerned with the project's architectural compatibility and scale with the surrounding neighborhood. Staff has inventoried the surrounding neighborhood and has found a varied housing stock with a variety of unit types and unit sizes. In comparing the project's product type and corresponding square footages to the unit types and square footages that exist in the area, it can be found that the proposed unit sizes are comparable

in size and would have a positive effect on the area.

Staff's review of the project examined the consistency of the development with the underlying zoning regulations and policies of the Local Coastal Program. The project is located within the "appealable area" which is defined as the first 300 feet east of The Strand (west side of Myers Street). The project provides a 10-foot front yard setback and 10-foot corner side yard setback which is consistent with the newer development located on North Pacific Street. Staff also evaluated the proposed residence and its effect on public coastal views. The applicant provided a View Corridor Study that depicted potential public view blockage along Sportfisher Way will be minimal from the surrounding residences.

Staff believes that the project is providing a quality development which is evident by orientation of the building, increased parking and common/private open space area, underground basement garage, and meeting or exceeding all development standards. In addition, the project was also evaluated with the not-yet-adopted residential guidelines and the project has met those guidelines as evident by the varied rooflines, tower elements, increased open space and low-pitched roofs.

It is recommended that the City Council declare the vacated right-of-way as excess real property and offer it to the adjoining property owners. Staff also believes that the project warrants the vacation of the remnant property from the Pacific Street realignment and is providing enough "public benefit" through the development of the project and the donation of funds by the developer.

In conclusion, staff believes that the project meets the intent of the Redevelopment Plan and goals, which encourage the development of new residential uses. The design of the project is consistent in both the height and scale of the surrounding neighborhood. The proposed project is consistent with the quality of design of the newer residences located along the North Pacific Street corridor. The proposed project is also consistent with the goals and the land use policies of the Local Coastal Plan.

COMMISSION OR COMMITTEE REPORTS

The Redevelopment Design Review Committee (RDRC) reviewed the project at its January 20, 2006, meeting and again at its February 17, 2006, meeting. After extensive review and discussion of the project, the Committee approved its layout and design.

The Redevelopment Advisory Committee (RAC) reviewed the project at its September 18, 2006, meeting. Their vote was 5-1 recommending the Commission approve the project.

FISCAL IMPACT

The proposed project will add approximately \$190,000 of tax increment yearly to the project area.

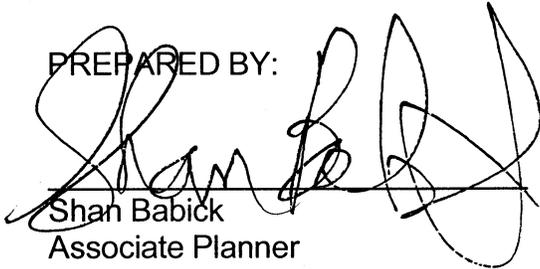
CITY ATTORNEY'S ANALYSIS

Pursuant to Oceanside Zoning Ordinance Article 4102, the Commission is authorized to hold a public hearing on this project's applications. Consideration of the project should be based on the evidence presented at the public hearing. After conducting the public hearing, the Commission shall approve, conditionally approve, or disapprove the project. The resolution has been reviewed and approved as to form by the City Attorney.

RECOMMENDATION

Staff recommends that the Commission adopt the resolution approving Tentative Map (T-201-05), Development Plan (D-214-05), and Regular Coastal Permit (RC-205-05) for the construction of an 11-unit residential condominium project located at 504-508 North Pacific Street.

PREPARED BY:


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SUBMITTED BY:


Barry E. Martin
Interim Executive Director

REVIEWED BY:

Michelle Skaggs Lawrence, Assistant to the City Manager
Mike Blessing, Deputy City Manager/Community Development
Kathy Baker, Redevelopment Manager



EXHIBITS/ATTACHMENTS

- 1. Resolution
- 2. Site Plan / Floor Plans / Elevations
- 3. Notice of Exemption
- 4. Historic Assessment
- 5. Street Vacation
- 6. View Corridor Study
- 7. Letters

RESOLUTION NO. 06-

A RESOLUTION OF THE COMMUNITY DEVELOPMENT COMMISSION OF THE CITY OF OCEANSIDE APPROVING A TENTATIVE MAP, DEVELOPMENT PLAN, AND REGULAR COASTAL PERMIT FOR THE CONSTRUCTION OF AN 11-UNIT RESIDENTIAL CONDOMINIUM PROJECT LOCATED AT 504-508 NORTH PACIFIC STREET - APPLICANT: SAM OCEANSIDE I, LLC

WHEREAS, on October 11, 2006, the Community Development Commission held its duly noticed public hearing, considered an application for a Tentative Map (T-201-05), Development Plan (D-214-05), and Regular Coastal Permit (RC-205-05) for the construction of a 11-unit residential condominium project located at 504-508 North Pacific Street;

WHEREAS, the Redevelopment Design Review Committee (RDRC) of the City of Oceanside did, on February 17, 2006, review and recommend approval of Tentative Map (T-201-05), Development Plan (D-214-05), and Regular Coastal Permit (RC-205-05);

WHEREAS, the Redevelopment Advisory Committee (RAC) of the City of Oceanside did, on September 18, 2006, review and recommend approval of Tentative Map (T-201-05), Development Plan (D-214-05), and Regular Coastal Permit (RC-205-05);

WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee, dedication, reservation or other exaction to the extent permitted and as authorized by law;

WHEREAS, a Categorical Exemption was prepared by the Resource Officer of the City of Oceanside for this application pursuant to the California Environmental Quality Act 1970 and the State Guidelines implementing the Act. The project is considered an infill development and will not have a detrimental effect on the environment;

WHEREAS, there is hereby imposed on the subject development project certain fees, dedications, reservations and other exactions pursuant to state law and city ordinance;

WHEREAS, pursuant to Government Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the Project is subject to certain fees, dedications, reservations and other exactions as provided below:

. . .

1	<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or</u>
2			<u>Calculation Formula</u>
3			
4	Parkland Dedication/Fee	Ordinance No. 91-10	\$3,503 per unit
5		Resolution No. 05-R0628-1	
6	Drainage Fee	Ordinance No. 85-23	\$2,843 per acre
7		Resolution No. 05-R0628-1	
8	Public Facility Fee	Ordinance No. 91-09	\$2,072 per unit
9		Resolution No. 05-R0628-1	
10	School Facilities Mitigation	Ordinance No. 91-34	\$2.63 per square foot
11	Fee		
12	Traffic Signal Fee	Ordinance No. 87-19	\$15.71 per vehicle trip
13			
14	Thoroughfare Fee	Ordinance No. 83-01	\$255 per vehicle trip (based
15			on SANDAG trip generation
16			table available from staff and
17			from SANDAG)
18			
19	Water System Buy-in Fees	Oceanside City Code	Fee based on water meter
20		§37.56.1	size. Residential is typically
21		Resolution No. 87-96	\$3,746 per unit;
22		Ordinance No. 05-OR 0611-1	
23	Wastewater System Buy-in	Oceanside City Code §	Based on meter size.
24	fees	29.11.1	Residential is typically
25		Resolution No. 87-97	\$4,587 per unit;
26		Ordinance No. 05-OR 0610-1	
27			
28	San Diego County Water	SDCWA Ordinance No.	Based on meter size.

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<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
Authority Capacity Fees	2005-03	Residential is typically \$4,154 per unit

WHEREAS, the current fees referenced above are merely fee amount estimates of the impact fees that would be required if due and payable under currently applicable ordinances and resolutions, presume the accuracy of relevant project information provided by the applicant, and are not necessarily the fee amounts that will be owing when such fees become due and payable;

WHEREAS, unless otherwise provided by this resolution, all impact fees shall be calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside City Code and the City expressly reserves the right to amend the fees and fee calculations consistent with applicable law;

WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee, dedication, reservation or other exaction to the extent permitted and as authorized by law;

WHEREAS, pursuant to Government Code §66020(d)(1), NOTICE IS FURTHER GIVEN that the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction described in this resolution begins on the effective date of this resolution and any such protest must be in a manner that complies with Section 66020; and

WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes effective upon its adoption.

NOW, THEREFORE, the Community Development Commission of the City of Oceanside does resolve as follows:

For the Tentative Map:

1. The proposed subdivision creates parcels that are consistent with and exceed the requirements of the Subdistrict 5 zoning designation. The subdivision map is consistent with the General Plan of the City.

1 2. The proposed building on the site will conform to the topography of the site,
2 therefore, making it suitable for residential development. The 14,842 square foot site is physically
3 suitable to allow for the development of eleven residential condominium units.

4 3. The subdivision complies with all other applicable ordinances, regulations and
5 guidelines of the City.

6 4. The design of the subdivision or proposed improvements will not conflict with
7 easements, acquired by the public at large, for access through or use of property within the
8 subdivision.

9 5. The design of the subdivision or the proposed improvements will not cause
10 substantial environment damage or substantially and avoidably injure fish or wildlife or their
11 habitat.

12 **For the Development Plan:**

13 1. The site plan and physical design of the project as proposed is consistent with the
14 purposes of the City's Zoning Ordinance and the "D" Downtown District.

15 2. The Development Plan as proposed conforms to the Redevelopment Plan and
16 General Plan of the City.

17 3. The area covered by the Development Plan can be adequately, reasonably and
18 conveniently served by existing and planned public services, utilities and public facilities.

19 4. The project as proposed is compatible with the existing and potential
20 development on adjoining properties or in the surrounding neighborhood.

21 5. The location of the eleven residential condominium units and proposed
22 conditions under which this use will be operated or maintained will be consistent with the
23 General Plan and will not be detrimental to the public health, safety or welfare of persons
24 residing or working in or adjacent to the neighborhood of such use and will not be detrimental
25 to properties or improvements in the vicinity or the general welfare of the City.

26 6. The project and uses will comply with the provisions of the Zoning Ordinance,
27 including any specific condition required for such use in Subdistrict 5.

28 **For the Regular Coastal Permit:**

 1. The granting of the Regular Coastal Permit is consistent with the purposes of the
California Coastal Act of 1976.

1 2. The proposed project is consistent with the policies of the Local Coastal Program
2 as implemented through the City Zoning Ordinance. In addition, the project will not
3 substantially alter or impact the existing coastal views through the public rights-of-way view
4 corridors.

5 3. The proposed project will not obstruct any existing or planned public beach
6 access; therefore, the project is in conformance with the policies of Chapter 3 of the Coastal
7 Act.

8 SECTION 1. That Tentative Map (T-201-05), Development Plan (D-214-05) and Regular
9 Coastal Permit (RC-205-05) are hereby approved subject to the following conditions:

10 **Building:**

11 1. Applicable Building Codes and Ordinances shall be based on the date of
12 submittal for Building Department plan check.

13 2. The granting of approval under this action shall in no way relieve the
14 applicant/project from compliance with all State and local building codes.

15 3. Site development, common use areas, access and adaptability of apartments and
16 condominiums shall comply with the State's Disabled Accessibility Regulations (2001 CBC
17 Chapter 11A)

18 4. The building plans for this project are required by State law to be prepared by a
19 licensed architect or engineer and must be in compliance with this requirement prior to
20 submittal for building plan review.

21 5. All electrical, communication, CATV, etc. service lines, within the exterior lines
22 of the property shall be underground. (City Code Sec. 6.30)

23 6. All outdoor lighting must comply with Chapter 39 of the City Code. (Light
24 Pollution Ordinance) Where color rendition is important, high-pressure sodium, metal halide or
25 other such lights may be utilized and shall be shown on building and electrical plans.

26 7. Compliance with the Federal Clean Water Act must be demonstrated on the plans.

27 8. The developer shall monitor, supervise and control all building construction and
28 supportive activities so as to prevent these activities from causing a public nuisance, including, but
not limited to, strict adherence to the following:

 a) Building construction work hours shall be limited to between 7 a.m. and

1 6 p.m. Monday through Friday, and on Saturday from 7 a.m. to 6 p.m. for work that is not
2 inherently noise-producing. Examples of work not permitted on Saturday are concrete and
3 grout pours, roof nailing and activities of similar noise-producing nature. No work shall be
4 permitted on Sundays and Federal Holidays (New Year's Day, Memorial Day, July 4th, Labor
5 Day, Thanksgiving Day, Christmas Day) except as allowed for emergency work under the
6 provisions of the Oceanside City Code Chapter 38. (Noise Ordinance)

7 b) The construction site shall be kept reasonably free of construction debris
8 as specified in Section 13.17 of the Oceanside City Code. Storage of debris in approved solid
9 waste containers shall be considered compliance with this requirement. Small amounts of
10 construction debris may be stored on-site in a neat, safe manner for short periods of time
11 pending disposal.

12 9. A complete soils report, structural and energy calculations will be required at
13 time of plans submittal to the Building Division for plan check.

14 10. A demolition permit shall be required for the demolition of the existing
15 structures. Plans for the demolition shall depict clearly all utilities are properly
16 terminated/capped in accordance with the requirements of the utility service provider.

17 11. A private sewer system design must be submitted to the Building Department
18 and approved prior to the construction of the sewer system. If a gravity flow system is not used,
19 an engineered mechanical system must be submitted and approved by all City of Oceanside
20 departments.

21 12. This design shall meet all the requirements of the recent code change; the 2002
22 NEC (as of August 1, 2005), 2005 Energy Standards (as of October 1, 2005).

23 13. As part of the applicant's plan check submittal for a building permit, submit a
24 plat drawing depicting the first floor elevations for each segment; the locations of the points
25 where the floor level is 6-feet above grade and lowest elevation within 5-feet from the building
26 for each segment.

27 14. Building levels below grade (on all sides) shall be provided with a mechanical
28 drainage system that provides drainage to an approved location/receptor.

 15. The 11-unit condominium must be designed to meet the Disabled Access
requirements of AB 1025, which requires that ten percent (10%) of the units must be designed

1 for ADA compatibility.

2 16. Fire sprinklers are required for condominiums that are three or more stories in
3 height.

4 **Engineering:**

5 17. Because the project involves demolition of existing structures or surface
6 improvements, the Public Works Director shall approve the grading plans prior to the issuance
7 of a demolition permit. No demolition shall be permitted without an approved erosion control
8 plan.

9 18. All right-of-way alignments, street dedications, exact geometrics and widths
10 shall be dedicated and improved as required by the Public Works Director.

11 19. Vehicular access rights to North Pacific Street and Sportsfisher Way shall be
12 relinquished to the City.

13 20. Design and construction of all improvements shall be in accordance with
14 standard plans, and specifications of the City of Oceanside and subject to approval by the Public
15 Works Director.

16 21. Prior to the issuance of a building permit, all improvement requirements shall be
17 covered by a development agreement and secured with sufficient improvement securities or
18 bonds guaranteeing performance and payment for labor and materials, setting of monuments,
19 and warranty against defective materials and workmanship.

20 22. Prior to issuance of a building permit a phasing plan for the construction of
21 public and private improvements including landscaping, shall be approved by the Public Works
22 Director.

23 23. The approval of the Tentative Map shall not mean that closure, vacation, or
24 abandonment of any public street, right-of-way, easement, or facility is granted or guaranteed to
25 the developer. The subdivider is responsible for applying for all closures, vacations, and
26 abandonments as necessary. The application(s) shall be reviewed and approved or rejected by
27 the City under separate process (es) per codes, ordinances, and policies in effect at the time of
28 the application. The City retains its full legislative discretion to consider any application to
vacate a public street or right-of-way.

24. Prior to approval of the Final Map, all improvement requirements, required by

1 the Public Works Director shall be covered by a subdivision agreement and secured with
2 sufficient improvement securities or bonds guaranteeing performance and payment for labor and
3 materials, setting of monuments, and warranty against defective materials and workmanship.

4 25. Where proposed off-site improvements, including but not limited to slopes, public
5 utility facilities, and drainage facilities, are to be constructed, the applicant shall, at his own
6 expense, obtain all necessary easements or other interests in real property and shall dedicate the
7 same to the City as required. The applicant shall provide documentary proof satisfactory to the City
8 that such easements or other interest in real property have been obtained prior to issuance of any
9 grading, building or improvement permit for the project. Additionally, the City, may at its sole
10 discretion, require that the applicant obtain at his sole expense a title policy insuring the necessary
11 title for the easement or other interest in real property to have vested with the City of Oceanside or
the applicant, as applicable.

12 26. Pursuant to the State Map Act, improvements shall be required at the time of
13 development. A covenant, reviewed and approved by the City Attorney, shall be recorded attesting
14 these improvements conditions and a certificate setting forth the recordation shall be placed on the
15 map.

16 27. Prior to the issuance of a grading permit, the Developer shall notify and host a
17 neighborhood meeting with all of the area residences located within 300-feet of the project site, and
18 residents of property along any residential streets to be used as a "haul route", to inform them of
19 the grading and construction schedule, haul routes and to answer questions.

20 28. The developer shall monitor, supervise and control all construction and
21 construction-supportive activities, so as to prevent these activities from causing a public
22 nuisance, including but not limited to, insuring strict adherence to the following:

23 a) Dirt, debris and other construction material shall not be deposited on any
public street or within the City's storm water conveyance system.

24 b) All grading and related site preparation and construction activities shall
25 be limited to the hours of 7 a.m. to 6 p.m., Monday through Friday. No engineering related
26 construction activities shall be conducted on Saturdays, Sundays or legal holidays unless written
27 permission is granted by the Public Works Director with specific limitations to the working hours
28 and types of permitted operations. Because construction noise may still be intrusive in the

1 evening or on holidays, the City of Oceanside Noise Ordinance also prohibits “any disturbing
2 excessive or offensive noise which causes discomfort or annoyance to reasonable persons of
3 normal sensitivity.”

4 c) A haul route shall be obtained at least 7 days prior to the start of hauling
5 operations and must be approved by the Community Development Director. Hauling operations
6 shall be 8:00 a.m. to 3:30 p.m. unless approved otherwise.

7 29. Approval of this development project is conditioned upon payment of all
8 applicable impact fees and connection fees in the manner provided in chapter 32B of the
9 Oceanside City Code. All drainage fees, traffic signal contributions, highway thoroughfare
10 fees, park fees, reimbursements, and other applicable charges, fees and deposits shall be paid
11 prior to recordation of the map or the issuance of any building permits, in accordance with City
12 Ordinances and policies. The developer shall also be required to join into, contribute, or
13 participate in any improvement, lighting, or other special district affecting or affected by this
14 project. Approval of the project shall constitute the developer's approval of such payments, and
15 his agreement to pay for any other similar assessments or charges in effect when any increment
16 is submitted for final map or building permit approval, and to join, contribute, and/or participate
17 in such districts.

18 30. A traffic control plan shall be prepared according to the City traffic control
19 guidelines and be submitted to and approved by the Community Development Director prior to
20 the start of work within open City rights-of-way. Traffic control during construction of streets
21 that have been opened to public traffic shall be in accordance with construction signing,
22 marking and other protection as required by the Caltrans Traffic Manual and City Traffic
23 Control Guidelines. Traffic control plans shall be in effect from 8:00 a.m. to 3:30 p.m. unless
24 approved otherwise.

25 31. Sight distance requirements at the project driveway shall conform to the corner
26 sight distance criteria as provided by the California Department of Transportation Highway
27 Design Manual.

28 32. Streetlights shall be maintained on North Pacific Street and Sportsfisher Way and
along the frontage of the project. The system shall provide uniform lighting, and be secured
prior to building permit issuance, if a map is not recorded. The developer shall pay all

1 applicable fees, energy charges, and/or assessments associated with City-owned (LS-2 rate
2 schedule) streetlights and shall also agree to the formulation of, or the annexation to, any
3 appropriate street lighting district.

4 33. Prior to approval of the grading plans, the developer shall contract with a
5 geotechnical engineering firm to perform a field investigation of the existing street section on
6 all streets adjacent to the project boundary. The limits of the study shall be half-street plus
7 twelve (12) feet along the subdivision's frontage. The field investigation shall determine
8 whether the street meets current City Standards. The Subdivider shall remove and reconstruct
9 the pavement section as determined by the pavement analysis submittal process.

10 34. Upon review of the pavement investigation the Public Works Director shall
11 determine whether the Subdivider shall: 1) Repair all failed pavement sections, header cut and
12 grind per the direction of the Transportation/Development Inspector, and construct a two (2)
13 inch thick rubberized AC overlay; or 2) Perform R-value testing and submit a study that
14 determines if the existing pavement meets current City standards/traffic indices. Should the
15 study conclude that the pavement does not meet current requirements, rehabilitation/mitigation
16 recommendations shall be provided in a pavement analysis report, and the Subdivider shall
17 reconstruct the pavement per these recommendations, subject to approval by the Public Works
18 Director.

19 35. The street vacation located within the right-of-way of Pacific Street and
20 Sportfisher shall be recorded prior to issuance of grading permit or approval of the final map,
21 whichever occurs first. The approval of the Tentative Map, Regular Coastal Permit and
22 Development Plan is expressly contingent on the approval of the street vacation for the portion
23 of the project located within the right-of-way of Pacific Street and Sportfisher Drive. The City
24 retains its complete discretion in acting on the proposed vacation. Should the vacation be
25 denied, the Tentative Map, Regular Coastal Permit, and Development Plan shall no longer be
26 effective.

27 36. Any existing broken pavement, concrete curb and gutter, or sidewalk or any
28 damaged during construction of the project, shall be repaired or replaced as directed by the
Public Works Director.

37. The developer shall comply with all the provisions of the City's cable television

1 ordinances including those relating to notification as required by the Public Works Director.

2 38. Grading and drainage facilities shall be designed and installed to adequately
3 accommodate the local storm water runoff and shall be in accordance with the City's Engineers
4 Manual and as directed by the Public Works Director.

5 39. Prior to any grading of any part of the tract or project, a comprehensive soils and
6 geologic investigation shall be conducted of the soils, slopes, and formations in the project. All
7 necessary measures shall be taken and implemented to assure slope stability, erosion control,
8 and soil integrity. No grading shall occur until a detailed grading plan, to be prepared in
9 accordance with the Grading Ordinance and Zoning Ordinance, is approved by the Public
10 Works Director.

11 40. This project shall provide year-round erosion control including measures for the
12 site required for the phasing of grading. Prior to the issuance of grading permit, an erosion
13 control plan, designed for all proposed stages of construction, shall be reviewed, secured by the
14 applicant with cash securities and approved by the Public Works Director.

15 41. Precise grading and private improvement plans shall be prepared, reviewed,
16 secured and approved prior to the issuance of any building permits. The plan shall reflect all
17 pavement, flatwork, landscaped areas, special surfaces, curbs, gutters, medians, striping,
18 signage, footprints of all structures, walls, drainage devices and utility services. Parking lot
19 striping and any on site traffic calming devices shall be shown on all Precise Grading and
20 Private Improvement Plans.

21 42. Landscaping plans, including plans for the construction of walls, fences or other
22 structures at or near intersections, must conform to intersection sight distance requirements.
23 Landscape and irrigation plans for disturbed areas must be submitted to the Public Works
24 Director prior to the issuance of a preliminary grading permit and approved by the Public Works
25 Director prior to the issuance of building permits. Frontage and median landscaping shall be
26 installed prior to the issuance of any building permits. Any project fences, sound or privacy
27 walls and monument entry walls/signs shall be shown on, bonded for and built from the
28 landscape plans. These features shall also be shown on the precise grading plans for purposes
of location only. Plantable, segmental walls shall be designed, reviewed and constructed by the
grading plans and landscaped/irrigated through project landscape plans.

1 43. All landscape plans must be approved by the Public Work Director and a pre-
2 construction meeting held, prior to the start of any improvements.

3 44. Open space areas and down-sloped areas visible from a collector-level or above
4 roadway and not readily maintained by the property owner, shall be maintained by a homeowners'
5 association that will insure installation and maintenance of landscaping in perpetuity. These areas
6 shall be indicated on the final map and reserved for an association.
7 Future buyers shall be made aware of any estimated monthly costs. The disclosure, together with
8 the CC&R's, shall be submitted to the Public Works Director for review prior to the recordation of
9 final map. In the event the homeowner's association dissolves, responsibility for irrigation and
10 maintenance of the slopes (open space areas) adjacent to each property shall become that of the
individual property owner.

11 45. The drainage design on the project Tentative Map is conceptual only. The final
12 design shall be based upon a hydrologic/hydraulic study to be approved by the Public Works
13 Director during final engineering. All drainage picked up in an underground system shall remain
14 underground until it is discharged into an approved channel, or as otherwise approved by the
15 Public Works Director. All public storm drains shall be shown on City standard plan and profile
16 sheets. All storm drain easements shall be dedicated where required. The applicant shall be
17 responsible for obtaining any off-site easements for storm drainage facilities.

18 46. Storm drain facilities shall be designed and located such that the inside travel lanes
19 on streets with Collector or above design criteria shall be passable during conditions of a 100-year
20 frequency storm.

21 47. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and
22 disposed of in accordance with all state and federal requirements, prior to storm water discharge
either off-site or into the City drainage system.

23 48. Unless determined to be exempt, this development shall comply with any
24 applicable regulations established by the United States Environmental Protection Agency
25 (USEPA) as set forth in the National Pollutant Discharge Elimination System (N.P.D.E.S.)
26 permit requirements for urban runoff and storm water discharge and any regulations adopted by
27 the City pursuant to the N.P.D.E.S. regulations or requirements. Further, the applicant may be
28 required to file a Notice of Intent with the State Water Resources Control Board to obtain

1 coverage under the N.P.D.E.S. General Permit for Storm Water Discharges Associated with
2 Construction Activity and may be required to implement a Storm Water Pollution Prevention
3 Plan (SWPPP) concurrent with the commencement of grading activities. SWPPP include both
4 construction and post construction pollution prevention and pollution control measures and
5 identify funding mechanisms for post construction control measures.

6 49. The developer shall comply with all the provisions of the Clean Water Program
7 during and after all phases of the development process, including but not limited to: mass
8 grading, rough grading, construction of street and landscaping improvements, and construction
9 of dwelling units. The applicant shall design the Project's storm drains and other drainage
10 facilities to include Best Management Practices to minimize non-point source pollution,
11 satisfactory to the Public Works Director.

12 50. Upon acceptance of any fee waiver or reduction by the Subdivider, the entire
13 project will be subject to prevailing wage requirements as specified by Labor Code section
14 1720(b) (4). The Subdivider shall agree to execute a form acknowledging the prevailing wage
15 requirements prior to the granting of any fee reductions or waivers.

16 51. The Subdivider shall prepare and submit an Operations & Maintenance (O&M)
17 Plan to the Community Development Department with the first submittal of engineering plans.
18 The O&M Plan shall be prepared by the applicant's Civil Engineer. It shall be directly based on
19 the project's Storm Water Mitigation Plan (SWMP) previously approved by the project's
20 approving authority Community Development Commission. The O&M Plan shall be approved
21 by the Public Works Director prior to approval of any plans. At a minimum the O&M Plan
22 shall include the designated responsible parties to manage the storm water Best Management
23 Practices (BMPs), employee's training program and duties, operating schedule, maintenance
24 frequency, routine service schedule, specific maintenance activities, copies of resource agency
25 permits, cost estimate for implementation of the O&M Plan and any other necessary elements.

26 52. The Subdivider shall enter into City-Standard Storm water Facilities
27 Maintenance Agreement (SWFMA) obliging the project proponent to maintain, repair and
28 replace the storm water BMPs identified in the project's approved SWMP, as detailed in the
O&M Plan into perpetuity. The Agreement shall be approved by the City Attorney prior to
issuance of any precise grading permit and shall be recorded at the County Recorder's Office

1 prior to issuance of any building permit. Security in the form of cash (or certificate of deposit
2 payable to the City) or an irrevocable, City-Standard Letter of Credit shall be required prior to
3 issuance of a precise grading permit. The amount of the security shall be equal to 10 years of
4 maintenance costs, as identified by the O&M Plan. The applicant's Civil Engineer shall prepare
5 the O&M cost estimate. The O&M cost estimate shall be approved by the Public Works
6 Director prior to approval of any engineering plans for the project.

7 53. At a minimum, maintenance agreements shall require the staff training,
8 inspection and maintenance of all BMPs on an annual basis. The project proponent shall
9 complete and maintain O&M forms to document all maintenance activities. Parties responsible
10 for the O&M plan shall retain records at the subject property for at least 5 years. These
11 documents shall be made available to the City for inspection upon request at any time.

12 54. The SWFMA shall include a copy of executed onsite and offsite access
13 easements necessary for the operation and maintenance of BMPs that shall be binding on the
14 land throughout the life of the project to the benefit of the party responsible for the O&M of
15 BMPs, until such time that the storm water BMP requiring access is replaced, satisfactory to the
16 Public Works Director. The agreement shall also include a copy of the O&M Plan approved by
17 the Public Works Director.

18 55. The BMPs described in the project's approved Storm Water Mitigation Plan
19 (SWMP) shall not be altered in any way; shape or form without formal approval by the project's
20 final approving authority Community Development Commission at a public hearing, if such
21 hearing was required for the approval of the project.

22 56. All existing overhead utility lines within the frontage subdivision or within any full
23 width street or right-of-way abutting a new subdivision and all new extension services for the
24 development of the project, including but not limited to, electrical, cable and telephone, shall be
25 placed underground per Section 901.G. of the Subdivision

26 57. Sportfisher Drive shall be improved as delineated on the tentative map with a 10'
27 parkway area between Pacific Street and Myers Street.

28 58. The existing palm trees along Pacific Street shall be relocated into the new parkway

1 area along the frontage of the project. The parkway along Pacific Street shall be improved to be
2 consistent with surrounding area and include a 10' landscaped area adjacent to the curb along
3 Pacific Street.

4 **Fire:**

5 59. Fire Department Requirements shall be placed on plans in the notes section.

6 60. Smoke detectors are required, and detector locations must be indicated on the
7 plans.

8 61. A minimum fire flow of 2,500 gallons per minute shall be provided.

9 62. The size of fire hydrant outlets shall be 2 ½" X 4".

10 63. All proposed and existing fire hydrants within 400 feet of the project shall be
11 shown on the site plan.

12 64. The fire hydrants shall be installed and tested prior to placing any combustible
13 materials on the job site.

14 65. Fire extinguishers are required and shall be included on the plans submitted for
15 plan check.

16 66. Provide a 13R fire sprinkler system. The system shall be designed per N.F.P.A.
17 13R and U.B.C. standard 9-3. Installation of sprinkler systems in residential occupancies up to
18 and including four stories in height.

19 67. The Fire Department connection shall not be affixed to the building. The Fire
20 Department connection shall be located at least 40 feet away from the building, within 40 feet of
21 a fire hydrant and on the address side of the building unless otherwise determined by the Fire
22 Department. The hydrant shall be located on the same side of the street as the Fire Department
23 connections.

24 68. Provide a fire alarm system as required per C.F.C. Article 10 and N.F.P.A. 72,
25 1999 edition.

26 69. In accordance with the California Fire Code Sec. 901.4.4, City approved
27 addresses for residential occupancies shall be placed on the structure in such a position as to be
28 plainly visible and legible from the street or roadway fronting the property. Numbers shall be
contrasting with their background.

70. Multifamily dwellings require 6 inch address numbers.

1 71. Plans shall be submitted to the Fire Prevention Bureau for plan check review and
2 approval prior to the issuance of building permits.

3 72. Buildings shall meet Oceanside Fire Departments current codes at the time of
4 building permit application.

5 **Planning:**

6 73. This Tentative Map (T-201-05), Development Plan (D-214-05), and Regular
7 Coastal Permit (RC-205-05) shall expire on October 11, 2008, unless implemented as required
8 by the Zoning Ordinance.

9 74. This Tentative Map, Development Plan, and Regular Coastal Permit approves
10 only for the construction of an 11-unit residential condominium project as shown on the plans
11 and exhibits presented to the Community Development Commission for review and approval.
12 No deviation from these approved plans and exhibits shall occur without Planning Department
13 approval. Substantial deviations shall require a revision to the Tentative Map, Development
14 Plan, and Regular Coastal Permit or a new Tentative Map, Development Plan, and Regular
15 Coastal Permit.

16 75. The applicant, permittee or any successor-in-interest shall defend, indemnify and
17 hold harmless the City of Oceanside, its agents, officers or employees from any claim, action or
18 proceeding against the City, its agents, officers, or employees to attack, set aside, void or annul
19 an approval of the City, concerning Tentative Map (T-201-05), Development Plan (D-214-05),
20 and Regular Coastal Permit (RC-205-05). The City will promptly notify the applicant of any
21 such claim, action or proceeding against the City and will cooperate fully in the defense. If the
22 City fails to promptly notify the applicant of any such claim action or proceeding or fails to
23 cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend,
24 indemnify or hold harmless the City.

25 76. All mechanical rooftop and ground equipment shall be screened from public
26 view as required by the Zoning Ordinance. That is, on all four sides and top. The roof jacks,
27 mechanical equipment, screen and vents shall be painted with non-reflective paint to match the
28 roof. This information shall be shown on the building plans.

 77. Landscape plans, meeting the criteria of the City's Landscape Guidelines and
Water Conservation Ordinance No. 91-15, including the maintenance of such landscaping, shall

1 be reviewed and approved by the City Engineer and City Planner prior to the issuance of
2 building permits. Landscaping shall not be installed until bonds have been posted, fees paid,
3 and plans signed for final approval.

4 78. All landscaping, fences, walls, etc. on the site, in medians in the public right-of-way and
5 in any adjoining public parkways shall be permanently maintained by the owner, his assigns or
6 any successors in interest in the property. The maintenance program shall include normal care
7 and irrigation of the landscaping; repair and replacement of plant materials; irrigation systems
8 as necessary; and general cleanup of the landscaped and open areas, parking lots and walkways,
9 walls, fences, etc. Failure to maintain landscaping shall result in the City taking all appropriate
10 enforcement actions by all acceptable means including but not limited to citations and/or actual
11 work with costs charged to or recorded against the owner. This condition shall be recorded with
12 the covenant required by this resolution.

13 79. Front yard landscaping with a complete irrigation system, in compliance with
14 Water Conservation Ordinance No. 91-15, shall be required.

15 80. All multi-family unit dwelling projects shall dispose of or recycle solid waste in
16 a manner provided in City Ordinance 13.3.

17 81. A letter of clearance from the affected school district in which the property is
18 located shall be provided as required by City policy at the time building permits are issued.

19 82. A covenant or other recordable document approved by the City Attorney shall be
20 prepared by the applicant developer and recorded prior to the issuance of building permits. The
21 covenant shall provide that the property is subject to this resolution, and shall generally list the
22 conditions of approval.

23 83. Prior to the issuance of building permits, compliance with the applicable
24 provisions of the City's anti-graffiti (Ordinance No. 93-19/Section 20.25 of the City Code) shall
25 be reviewed and approved by the Planning Division. These requirements, including the
26 obligation to remove or cover with matching paint all graffiti within 24 hours, shall be noted on
27 the Landscape Plan and shall be recorded in the form of a covenant affecting the subject
28 property.

84. Prior to the transfer of ownership and/or operation of the site the owner shall
provide a written copy of the applications, staff report and resolutions for the project to the new

1 owner and or operator. This notification's provision shall run with the life of the project and
2 shall be recorded as a covenant on the property.

3 85. Failure to meet any conditions of approval for this development shall constitute a
4 violation of the Tentative Map (T-201-05), Development Plan (D-214-05), and Regular Coastal
5 Permit (RC-205-05).

6 86. Unless expressly waived, all current zoning standards and City ordinances and
7 policies in effect at the time building permits are issued are required to be met by this project.
8 The approval of this project constitutes the applicant's agreement with all statements in the
9 Description and Justification, and other materials and information submitted with this
10 application, unless specifically waived by an adopted condition of approval.

11 87. The developer's construction of all fencing and walls associated with the project
12 shall be in conformance with the approved Development Plan. Any substantial change in any
13 aspect of fencing or wall design from the approved Development Plan shall require a revision to
14 the Development Plan or a new Development Plan.

15 88. If any aspect of the project fencing and walls is not covered by an approved
16 Development Plan, the construction of fencing and walls shall conform to the development
17 standards of the City Zoning Ordinance. In no case, shall the construction of fences and walls
18 (including combinations thereof) exceed the limitations of the zoning code, unless expressly
19 granted by a Variation or other development approval.

20 89. The following unit type and floor plan mix, as approved by the Community
21 Development Commission, shall be indicated on plans submitted to the Building Division and
22 Planning Division for building permit:

	Sq.Ft.	# Bedrms	# Baths	# Units	%
23 Plan 1	1,756	3	2.5	2	18
24 Plan 2	1,785	2	2	1	10
25 Plan 3	1,907	2	2.5	2	18
26 Plan 4	1,958	2	2.5	2	18
27 Plan 5	1,987	3	3	2	18
28 Plan 6	2,358	3	3	2	18

29 90. Side and rear elevations and window treatments shall be trimmed to substantially
30 match the front elevations. A set of building plans shall be reviewed and approved by the

1 Planning Division prior to the issuance of building permits.

2 91. Elevations, siding materials, colors, roofing materials and floor plans shall be
3 substantially the same as those approved by the Community Development Commission. These
4 shall be shown on plans submitted to the Building Division and Planning Division.

5 92. This project is subject to the provisions of the Local Coastal Plan for Coastal
6 Housing. The developer shall obtain a Coastal Affordable Housing Permit from the Director of
7 Housing and Neighborhood Services prior to issuance of building permits or recordation of a
8 final map, whichever occurs first.

9 93. An association of homeowners (HOA) shall be formed and Covenants,
10 Conditions and Restrictions (CC&R's) shall provide for the maintenance of all common open
11 space, and commonly owned fences and walls and adjacent parkways. The maintenance shall
12 include normal care and irrigation of landscaping, repair and replacement of plant material and
13 irrigation systems as necessary; and general cleanup of the landscaped and open area, parking
14 lots and walkways. The CC&R's shall be subject to the review and approval of the City
15 Attorney prior to the approval of the final map. The CC&R's are required to be recorded prior
16 to or concurrently with the final map. Any amendments to the CC&R's in which the association
17 relinquishes responsibility for the maintenance of any common open space shall not be
18 permitted without the specific approval of the City of Oceanside. Such a clause shall be a part
19 of the CC&R's. The CC&R's shall also contain provisions for the following:

20 a) The subterranean garage parking shall be exclusive to the residential
21 occupancy of the site and shall not be shared or used by any other occupancy.

22 b) Prohibition of parking or storage of recreational vehicles, trailers, or boats.

23 c) Maintenance of all common areas, and on-site and frontage landscaping.

24 d) Trash collection either at street level or within a subterranean garage and the
25 funding mechanism.

26 94. A trash enclosure must be provided as required by Chapter 13 of the City Code
27 and shall also include additional space for storage and collection of recyclable materials per
28 City standards. Recycling is required by City Ordinance and State Law. The enclosure must be
built in a flat, accessible location as determined by the City Engineer. The enclosure shall meet
City standards including being constructed of concrete block, reinforced with Rebar and filled

1 with cement. A concrete slab must be poured with a berm on the inside of the enclosure to
2 prevent the bin(s) from striking the block walls. The slab must extend out of the enclosure for
3 the bin(s) to roll out onto. Steel posts must be set in front of the enclosure with solid metal
4 gates. All driveways and service access areas must be designed to sustain the weight of a
5 50,000-pound service vehicle. Trash enclosures and driveways and service access areas shall be
6 shown on both the improvement and landscape plans submitted to the City Engineer. The
7 specifications shall be reviewed and approved by the City Engineer. The City's waste disposal
8 contractor is required to access private property to service the trash enclosure. A service
9 agreement must be signed by the property owner with the City's waste disposal contractor and
10 shall remain in effect for the life of the project. All trash enclosures shall be designed to
11 provide user access without the use and opening of the service doors for the bins. Trash
12 enclosures shall have design features such as materials and trim similar to that of the rest of the
13 project. If the developer chooses to incorporate the trash enclosures below the street level,
14 within an underground or podium parking structure, it will be the developer's responsibility and
15 cost to get the trash and recycling bins to the street level on the trash collection days. It will
16 also be the developer's responsibility to have the trash and recycling bins removed from the
17 street within three hours of the pick up of the trash. The handling of all of the trash and
18 recycled materials within a project will be clearly identified within the Management Plan is
19 subject to the review and approval of the Planning Department and Waste Management prior to
20 the issuance of a building permit, and shall be recorded as CC&R's against the property. This
21 design shall be shown on the landscape plans or the architecture plans and shall be approved by
22 the Planning Department. The proposed location of the trash enclosure (below grade) may also
23 require additional services from Waste Management which may result in higher fees.

22 95. The applicant shall deposit \$100,000 with the City to be used for enhancements
23 in the Redevelopment Project Area, which benefits the downtown residents, visitors and the
24 community. These funds shall be placed into an interest bearing account to fund special
25 projects within the downtown beach area at the discretion of the Community Development
26 Commission, prior to the recordation of the street vacation or a grading permit, which ever
27 occurs first.

1 **Water Utilities:**

2 96. All public water and/or sewer facilities not located within the public right-of-way
3 shall be provided with easements sized according to the City's Engineers Manual. Easements
4 shall be constructed for all weather access.

5 98. No trees, structures or building overhang shall be located within any water or
6 wastewater utility easement.

7 99. The property owner will maintain private water and wastewater utilities located
8 on private property.

9 100. A separate irrigation meter and approved backflow prevention device is required.

10 101. The developer shall construct a public reclamation water system that will serve
11 the project site in accordance with the City of Oceanside Ordinance No. 91-15. The proposed
12 reclamation water system shall be located in the public right-of-way or in a public utility
13 easement.

14 102. A water and sewer study shall be prepared by the developer at the developer's
15 expense and reviewed and approved by the Water Utilities Department.

16 103. Water services and sewer laterals constructed in existing right-of-way locations
17 are to be constructed by approved and licensed contractors at developer's expense.

18 104. The developer will be responsible for developing all water and sewer utilities
19 necessary to develop the property. Any relocation of water and/or sewer utilities is the
20 responsibility of the developer and shall be done by an approved licensed contractor at the
21 developer's expense.

22 105. All lots with a finish pad elevation located below the elevation of the next
23 upstream manhole cover of the public sewer shall be protected from backflow of sewage by
24 installing and maintaining an approved type backwater valve, per the Uniform Plumbing Code
25 (U.P.C.).

26 106. Water and Wastewater Buy-in fees and the San Diego County Water Authority
27 Fees are to be paid to the City and collected by the Water Utilities Department at the time of
28 Building Permit issuance.

107. All Water and Wastewater construction shall conform to the most recent edition
of the City's Engineers Manual, or as approved by the Water Utilities Director.

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108. Subterranean parking spaces shall be drained by the City's storm drain system and shall comply with the California Regional Water Quality Control Board Order. No. 2001-01.

109. All new development of multi-family residential units shall include hot water pipe insulation and installation of a hot water re-circulation device or design to provide hot water to the tap within 15 seconds in accordance with City of Oceanside Ordinance No. 02-0R126-1.

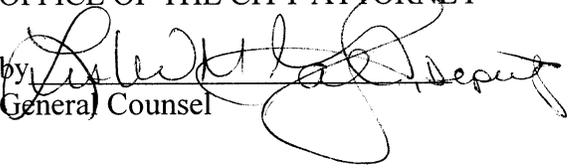
PASSED AND ADOPTED by the Oceanside Community Development Commission of the City of Oceanside this ___ day of _____ 2006 by the following vote:

AYES:
NAYS:
ABSENT:
ABSTAIN:

Chairman

ATTEST:

Secretary

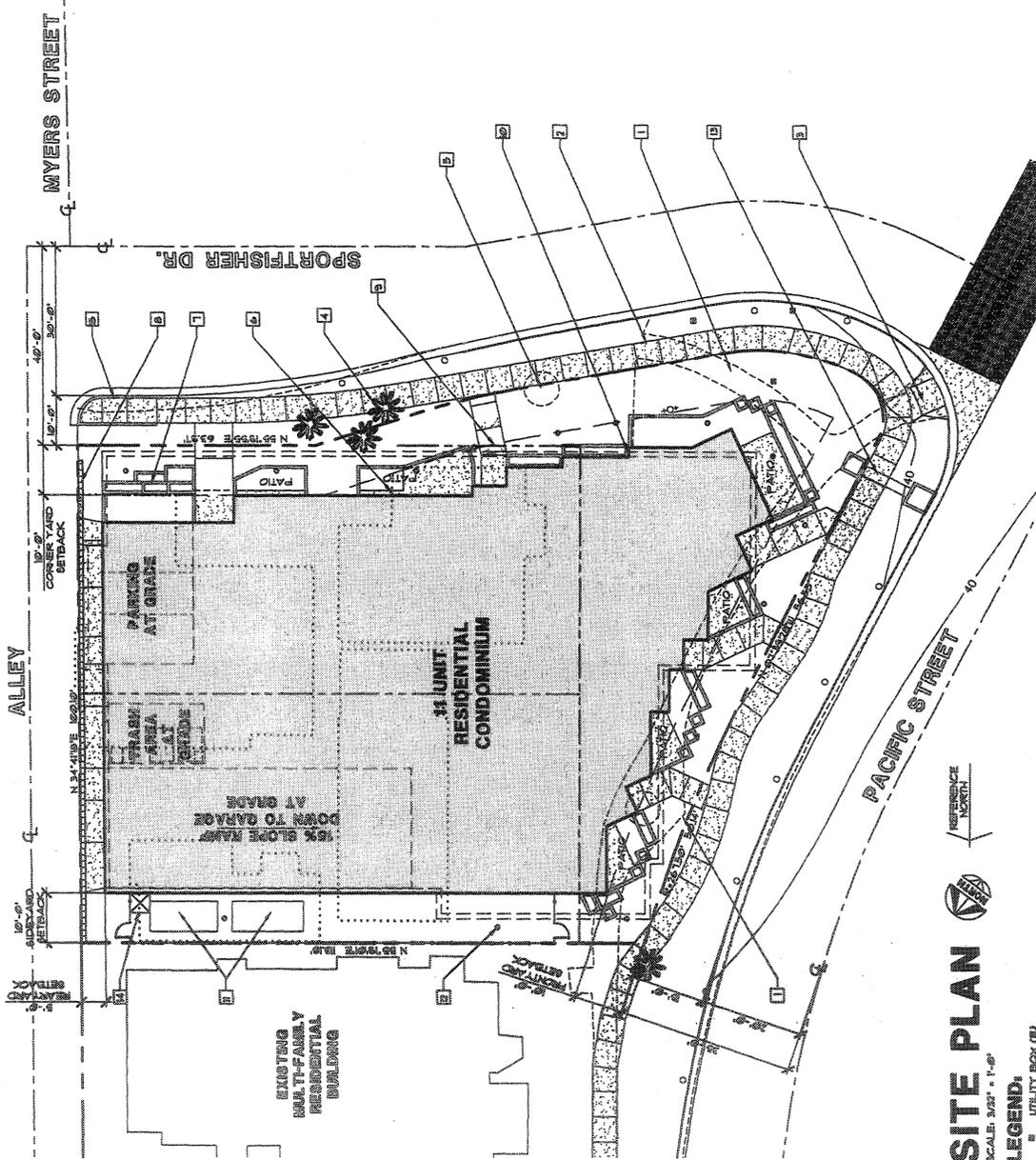
APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY
by 
General Counsel

06/26/22
 10/13/22
 02/02/23
 05/10/24
 07/18/24

SAM-OCEANSIDE, CA

SITE PLAN NOTES:

1. EXISTING SIDEWALK TO BE REMOVED
2. NEW SIDEWALK PER CIVIL DRAWINGS
3. EXISTING CURB RAMP TO BE MODIFIED FOR ADA COMPLIANCE
4. EXISTING TREE TO REMAIN, TYP.
5. EXISTING TREES TO BE RELOCATED, TYP.
6. EXISTING RESIDENTIAL STRUCTURES TO BE REMOVED
7. WATER FEATURE
8. NEW DRAIN PER CIVIL DRAWINGS
9. EXISTING PROPERTY LINES TO BE ADJUSTED WITH ACQUISITION OF PUBLIC PROPERTY
10. EXTENT OF BASEMENT BELOW
11. MECHANICAL EQUIPMENT
12. NEW AREA DRAIN (TYP.) SEE CIVIL DRAWINGS
13. PROPOSED BOUNDARY WATER TREATMENT UNIT, SEE CIVIL DRAWINGS.
14. OUTDOOR SHOWER
15. PROPOSED HANDICAP RAMP PER CIVIL DRAWINGS.



SITE PLAN

SCALE: 3/32" = 1'-0"

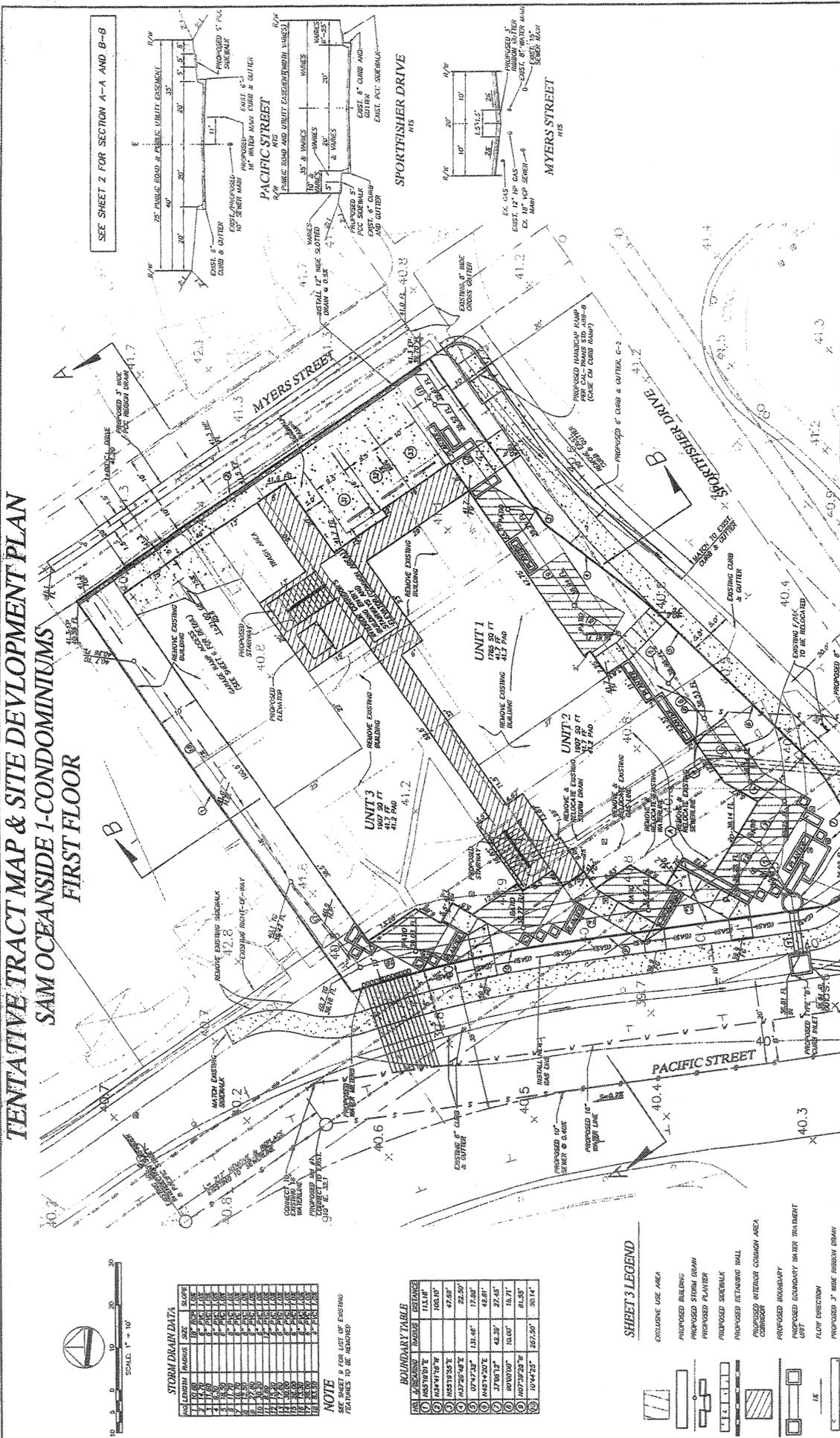
LEGEND:

- UTILITY BOX (B)
- PARKING METER (E) TO BE RELOCATED PER CIVIL
- ⊕ FIRE HYDRANT (E) TO BE RELOCATED PER CIVIL
- 40' TOPOGRAPHY
- EXISTING BUILDINGS TO BE REMOVED
- - - AREAS AT GRADE
- BASEMENT WALLS BELOW

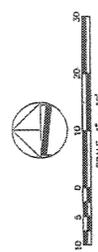
PRELIMINARY
 A-2
 CIVIL ENGINE & ARCHITECT
 04-5105

SITE PLAN

TENTATIVE TRACT MAP & SITE DEVELOPMENT PLAN SAM OCEANSIDE 1-CONDOMINIUMS FIRST FLOOR



SEE SHEET 2 FOR SECTION A-A AND B-B



NO.	LENGTH	INCHES	SIZE	SLOPE
1	11.00	12	18"	0.0100
2	11.00	12	18"	0.0100
3	11.00	12	18"	0.0100
4	11.00	12	18"	0.0100
5	11.00	12	18"	0.0100
6	11.00	12	18"	0.0100
7	11.00	12	18"	0.0100
8	11.00	12	18"	0.0100
9	11.00	12	18"	0.0100
10	11.00	12	18"	0.0100
11	11.00	12	18"	0.0100
12	11.00	12	18"	0.0100
13	11.00	12	18"	0.0100
14	11.00	12	18"	0.0100
15	11.00	12	18"	0.0100
16	11.00	12	18"	0.0100
17	11.00	12	18"	0.0100
18	11.00	12	18"	0.0100
19	11.00	12	18"	0.0100
20	11.00	12	18"	0.0100
21	11.00	12	18"	0.0100
22	11.00	12	18"	0.0100
23	11.00	12	18"	0.0100
24	11.00	12	18"	0.0100
25	11.00	12	18"	0.0100
26	11.00	12	18"	0.0100
27	11.00	12	18"	0.0100
28	11.00	12	18"	0.0100
29	11.00	12	18"	0.0100
30	11.00	12	18"	0.0100

NO.	SEQUENCE	LENGTH	BEARING	AREA
1	1	111.18'	111.18'	12351.00
2	2	100.10'	100.10'	10010.00
3	3	47.50'	47.50'	2250.00
4	4	133.45'	133.45'	17860.00
5	5	17.80'	17.80'	841.00
6	6	42.30'	42.30'	1791.00
7	7	10.00'	10.00'	500.00
8	8	107.19'	107.19'	11500.00
9	9	202.50'	202.50'	40500.00

NOTE
SEE SHEET 6 FOR LIST OF EXISTING FEATURES TO BE REMOVED

SHEET 3 LEGEND

- EXCLUSIVE USE AREA
- PROPOSED BUILDING
- PROPOSED STORM DRAIN
- PROPOSED PLANTER
- PROPOSED SIDEWALK
- PROPOSED RETAINING WALL
- PROPOSED INTERIOR COMMON AREA CORRIDOR
- PROPOSED BOUNDARY
- PROPOSED BOUNDARY WATER TREATMENT UNIT
- FLOW DIRECTION
- PROPOSED 3" DIA. RIBBON DRAIN
- PROPOSED 12" DIA. SLOTTED DRAIN
- PROPOSED CITY OF OCEANSIDE STREET AND FRONT-OF-WAY VARIATION
- INDICATES PARKING SPACE NUMBER
- WATER METER AND FIRE DEPARTMENT CONNECTOR
- SEWER MAIN EXTENSION

TENTATIVE MAP & SITE DEVELOPMENT PLAN
SAM OCEANSIDE 1
CONDOMINIUMS
CITY OF OCEANSIDE, CALIFORNIA

bha inc.
ENGINEERING, ARCHITECTURE, PLANNING, AND ENVIRONMENTAL SERVICES
1000 WEST OCEAN BLVD., SUITE 1000
OCEANSIDE, CALIFORNIA 92081-4387
(760) 431-4700

REVISIONS	DATE	DESCRIPTION

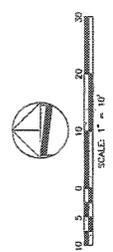
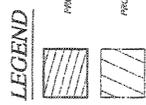
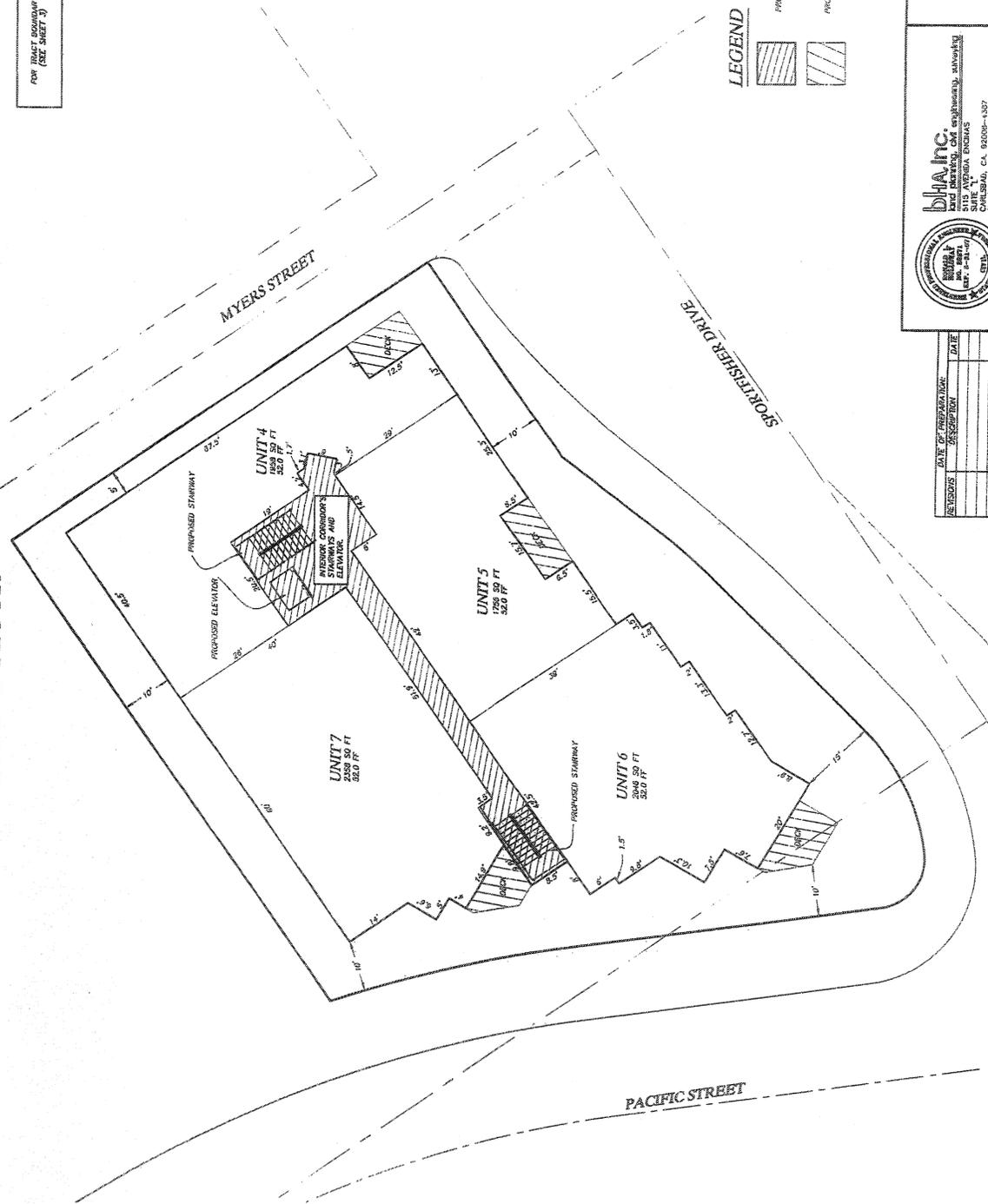
DATE OF PREPARATION: 11/11/2014
DATE OF REVISION: 11/11/2014
DRAWN BY: J. B. BROWN
CHECKED BY: J. B. BROWN
APPROVED BY: J. B. BROWN

THIS SHEET IS A PART OF THE TENTATIVE MAP & SITE DEVELOPMENT PLAN FOR THE SAM OCEANSIDE 1 CONDOMINIUMS, CITY OF OCEANSIDE, CALIFORNIA. THIS SHEET IS SUBJECT TO THE CITY OF OCEANSIDE'S TENTATIVE MAP & SITE DEVELOPMENT PLAN REVIEW AND APPROVAL PROCESS. THIS SHEET IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF BHA INC.

DATE OF PREPARATION: 11/11/2014
DATE OF REVISION: 11/11/2014
DRAWN BY: J. B. BROWN
CHECKED BY: J. B. BROWN
APPROVED BY: J. B. BROWN

**TENTATIVE MAP AND SITE DEVELOPMENT PLAN
SAM OCEANSIDE 1-CONDOMINIUMS
SECOND FLOOR**

FOR TRACT BOUNDARY DIMENSIONS
(SEE SHEET 1)



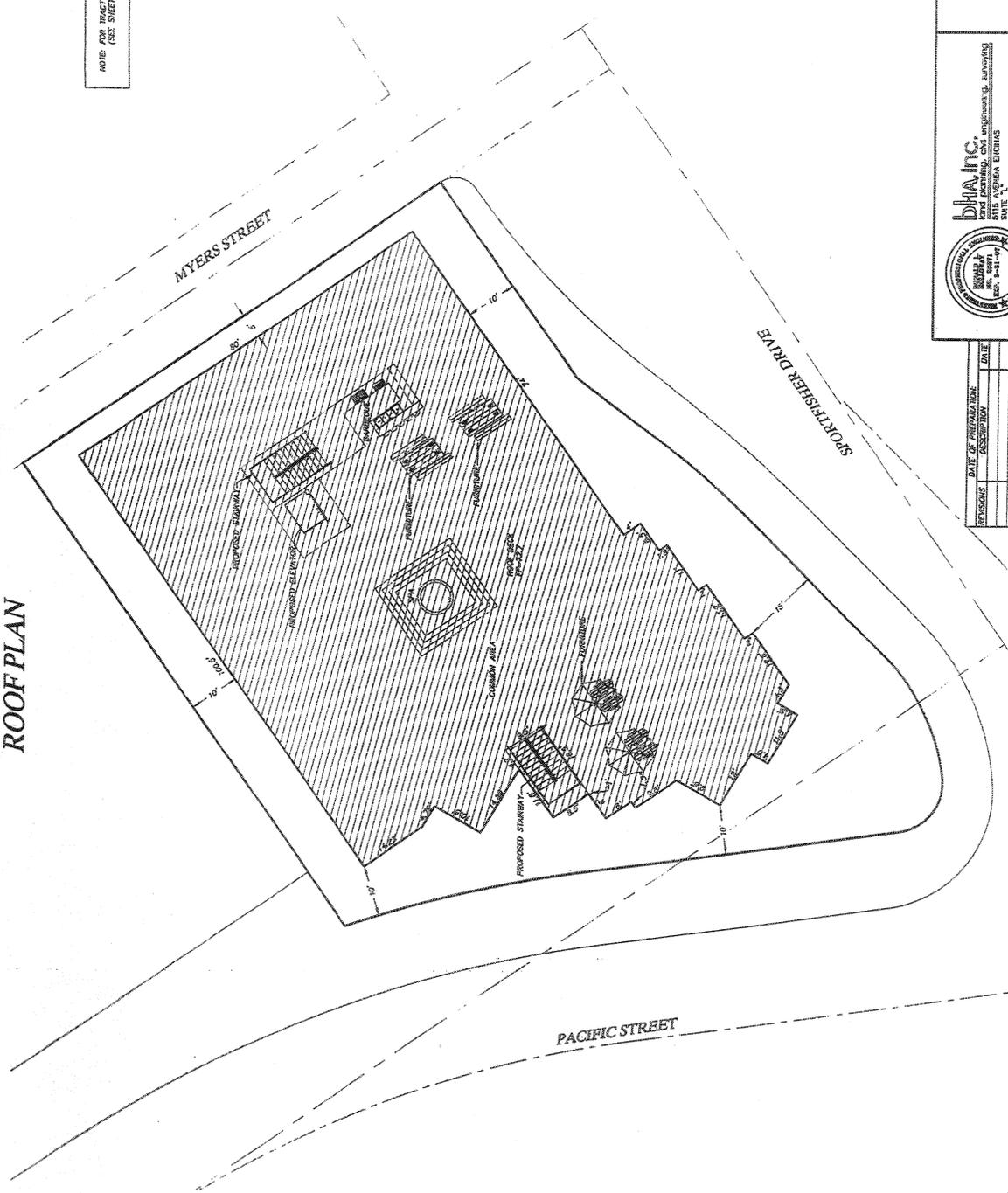
REVISIONS	DATE OF PREPARATION	DATE

TENTATIVE MAP & SITE DEVELOPMENT PLAN
**SAM OCEANSIDE 1
CONDOMINIUMS**
CITY OF OCEANSIDE, CALIFORNIA

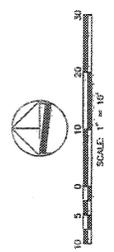
bha inc
BRIAN HARRIS, CMC
SITE ANALYST, CIVIL ENGINEER
SHERMAN, CA 95066-1007
(760) 431-8730

**TENTATIVE TRACT MAP & SITE DEVELOPMENT PLAN
SAM OCEANSIDE 1- CONDOMINIUMS
ROOF PLAN**

NOTE: FOR TRACT BOUNDARY DIMENSIONS
(SEE SHEET 3)



LEGEND
 PROPOSED COMMON AREA



REVISIONS	DATE	BY

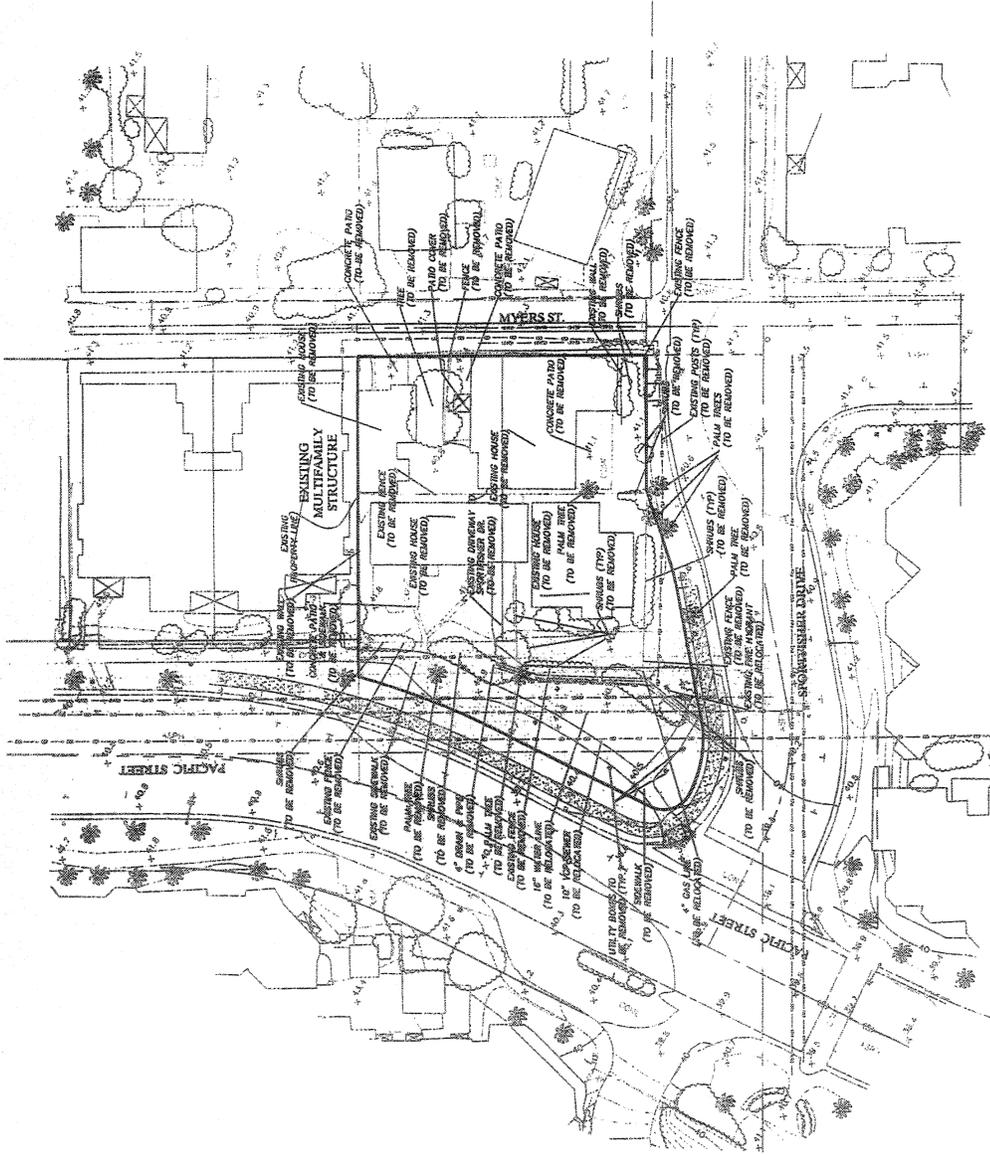
bhainc
 BAINC ARCHITECTURAL & ENGINEERING
 8715 AVALON BLVD., SUITE 100
 OCEANSIDE, CA 92088-4387
 (760) 831-8700

PROPOSED TRACT MAP & SITE DEVELOPMENT PLAN
**SAM OCEANSIDE 1
 CONDOMINIUMS**
 CITY OF OCEANSIDE, CALIFORNIA

SHEET 8 OF 10

TENTATIVE MAP & SITE DEVELOPMENT PLAN SAM OCEANSIDE 1 - CONDOMINIUMS EXISTING FEATURES SITE PLAN

NOTE: FOR EXACT BOUNDARY DIMENSIONS
(SEE SHEET 2)



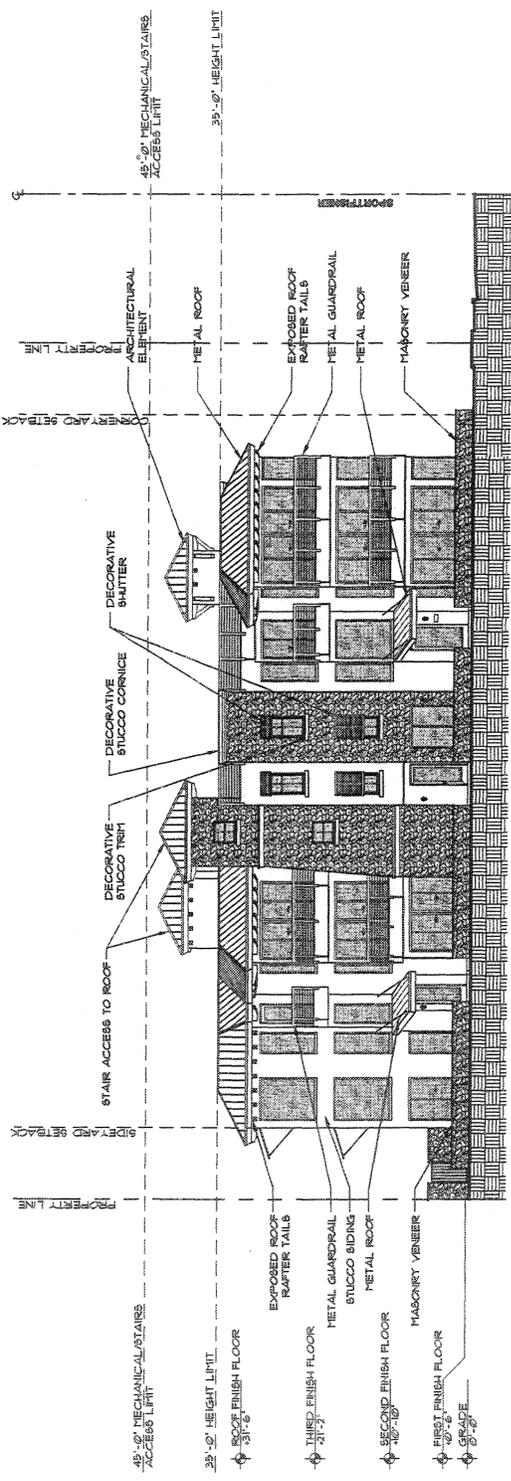
SYMBOL	DESCRIPTION
(Symbol: Shaded area)	SHRUBS
(Symbol: Palm tree)	PALM TREES
(Symbol: Dashed line)	EXISTING FENCE
(Symbol: Dashed line)	EXISTING GAS LINE
(Symbol: Dashed line)	EXISTING SANDY SWAMPY SOIL
(Symbol: Dashed line)	EXISTING WATER LINE
(Symbol: Dashed line)	EXISTING STORM DRAIN
(Symbol: Dashed line)	EXISTING ELECTRIC
(Symbol: Dashed line)	EXISTING FIRE MOUNT
(Symbol: Dashed line)	EXISTING SIGN
(Symbol: Box with X)	EXISTING CASTRO PATIO COVER

TENTATIVE MAP & SITE DEVELOPMENT PLAN
**SAM OCEANSIDE 1
CONDOMINIUMS**
CITY OF OCEANSIDE, CALIFORNIA

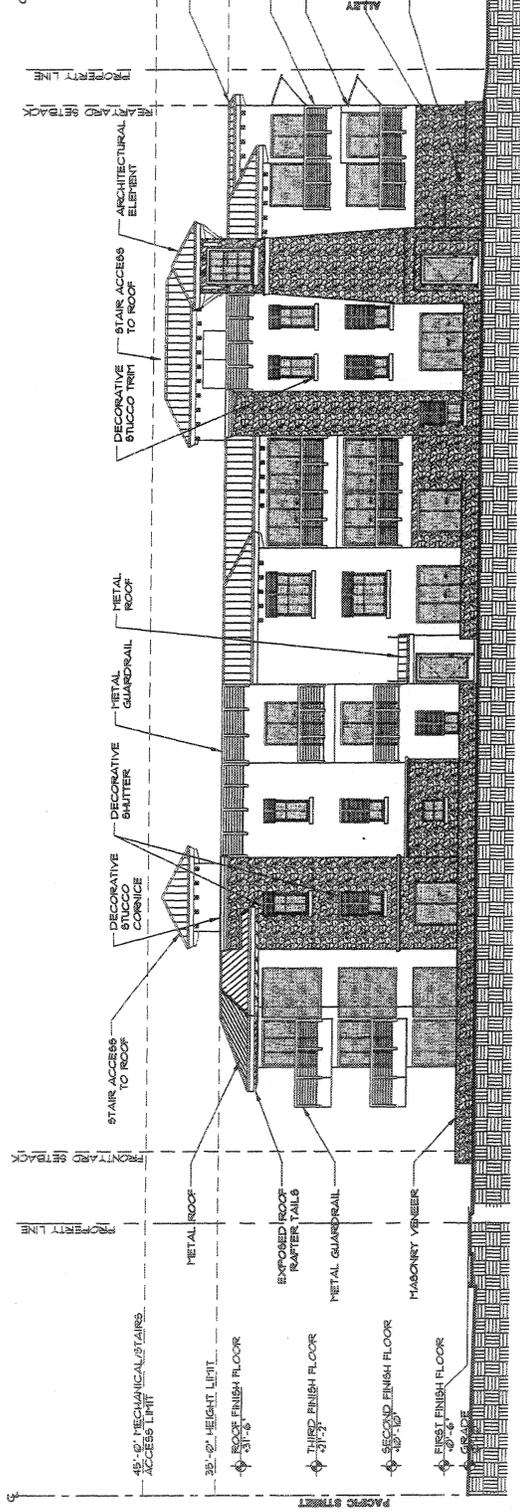
BHA, Inc.
LAND PLANNING AND ARCHITECTURAL SERVICES
3115 AVENUE ENRIQUE
CARLSBAD, CA 92008-1387
(760) 931-8700

REVISIONS	DATE	DESCRIPTION



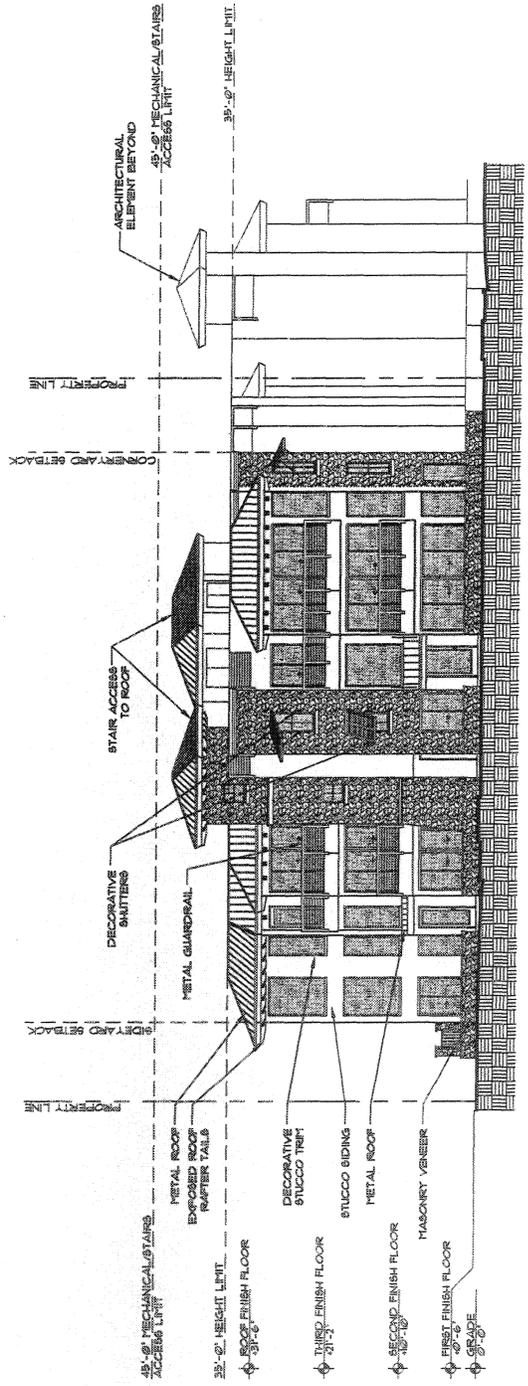


WEST ELEVATION
 SCALE: 1/8" = 1'-0"

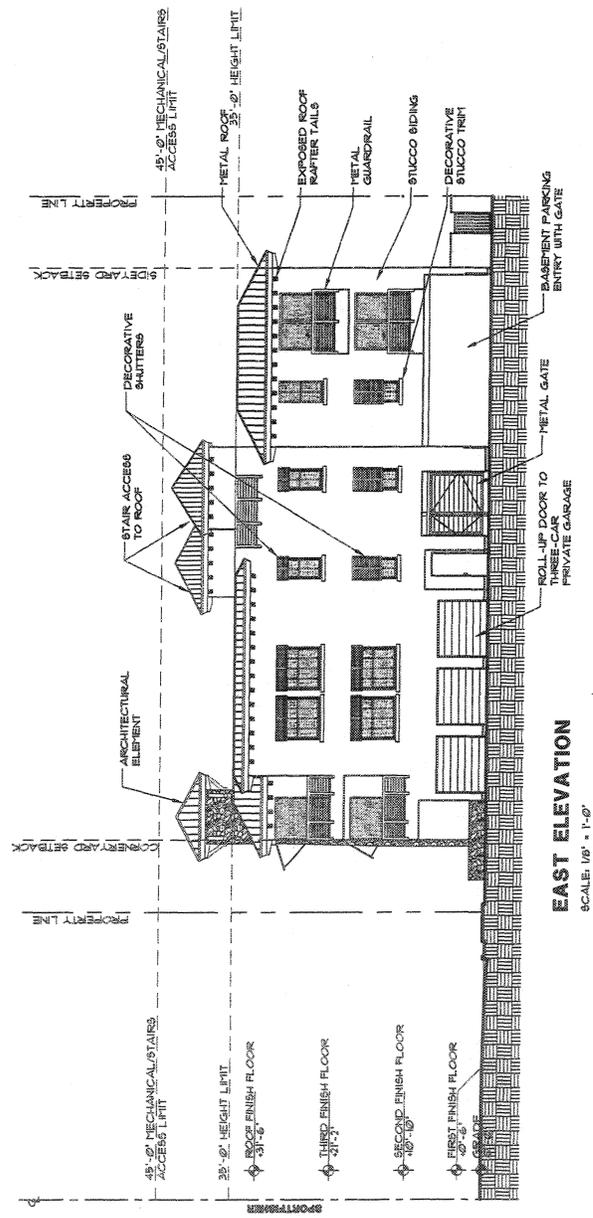


SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS



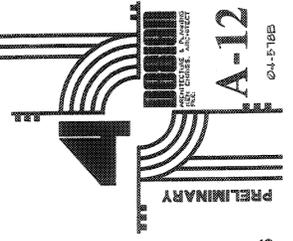
SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



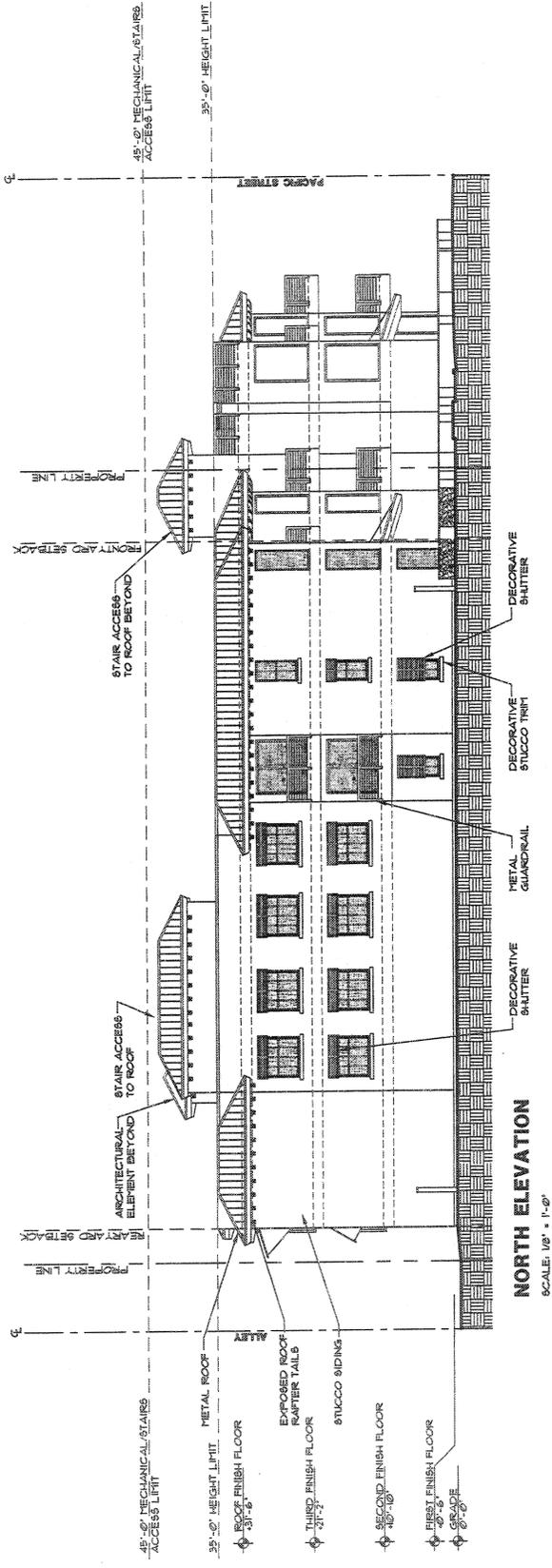
EAST ELEVATION
SCALE: 1/8" = 1'-0"

04-15-88
 07-20-88
 08-20-88
 09-20-88
 09-20-88

SAN-OCEANSIDE, CA



EXTERIOR ELEVATIONS



02/01/07
 02/01/07
 02/01/07
 02/01/07
 02/01/07
 02/01/07

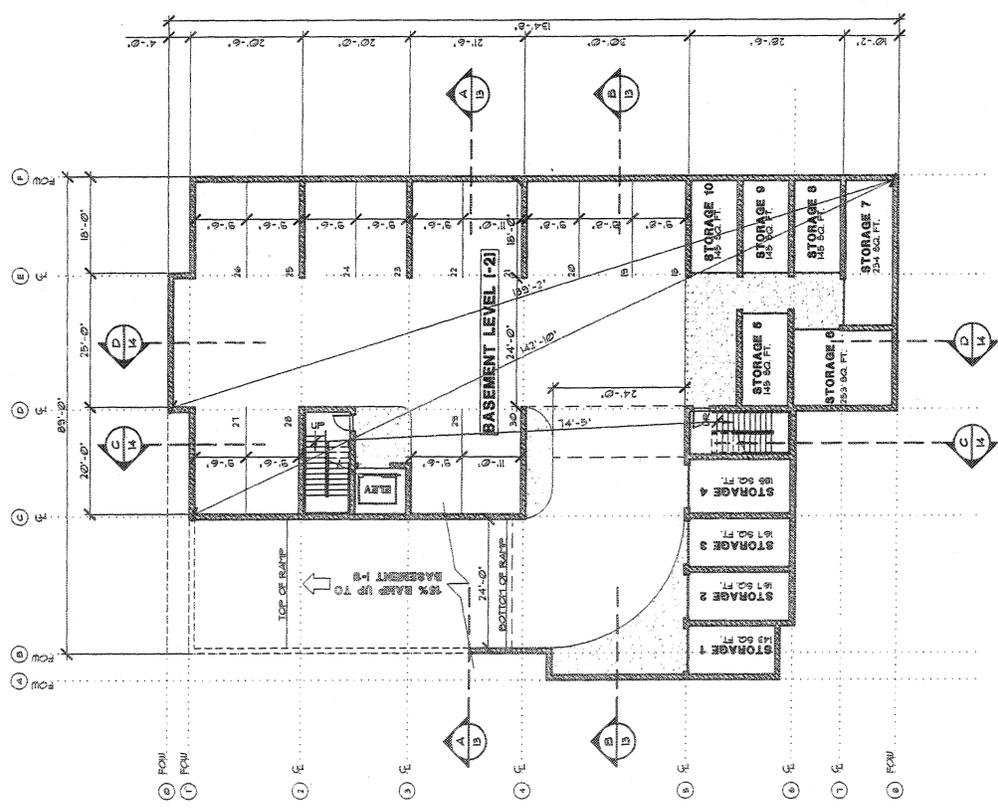
SAM-OCEANSIDE, CA

A-3

04-518B

PRELIMINARY

SUB-BASEMENT PLAN

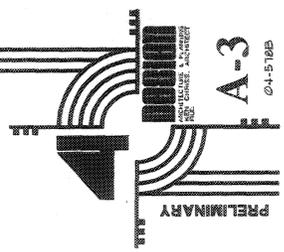
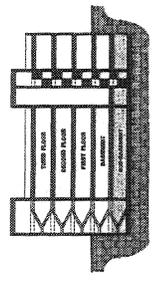


BASEMENT PLAN (-2)

SCALE: 3/32" = 1'-0"
 TOTAL AREA: 827 SQ. FT.
 STORAGE AREA: 1228 SQ. FT.
 8 PARKING STALLS

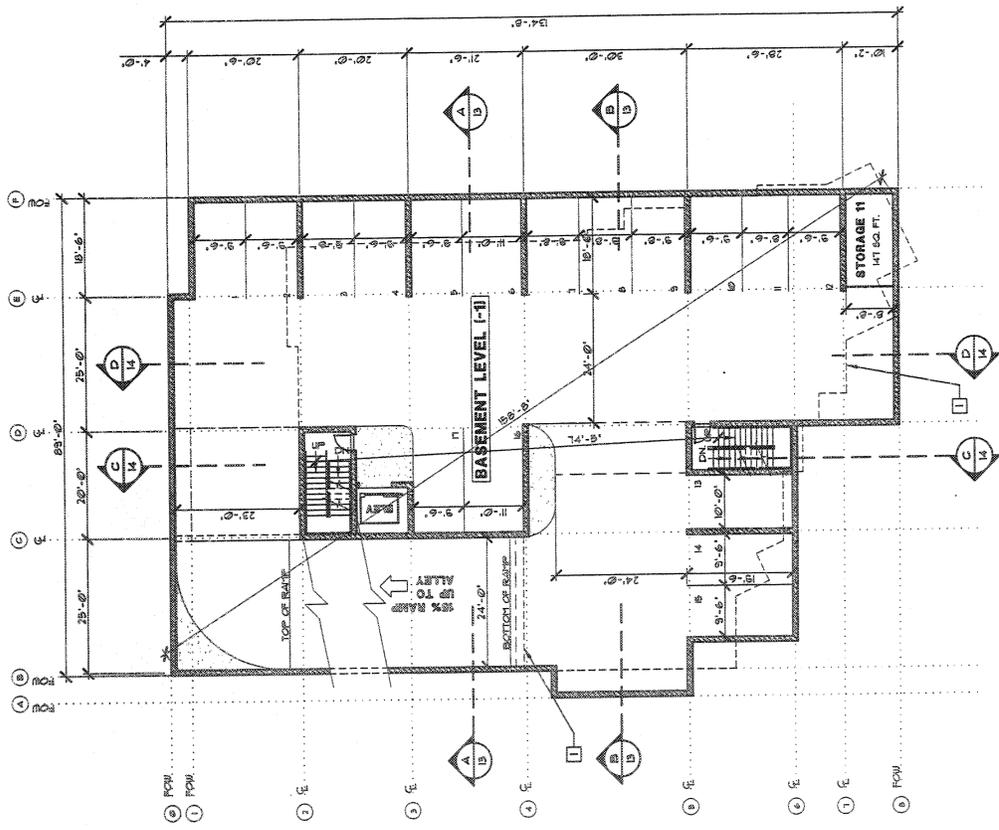


KEY SECTION



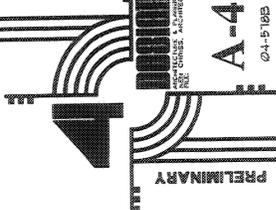
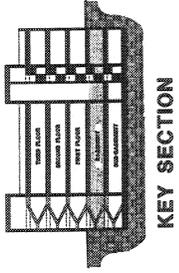
BASEMENT PLAN NOTES:

1 DASHED LINE INDICATES STRUCTURE ABOVE



BASEMENT PLAN (-1)

SCALE: 3/32" = 1'-0"
 TOTAL AREA: 1514 SQ. FT.
 STORAGE AREA: 141 SQ. FT.
 11 PARKING STALLS



BASEMENT PLAN

A-4

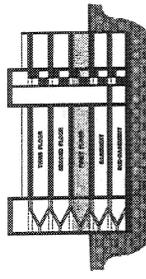
04-P183

FLOOR PLAN NOTES:

- DASHED LINE INDICATES STRUCTURE ABOVE

03.00
03.01
03.02
03.03
03.04
03.05

SAM-OCEANSIDE, CA



KEY SECTION

FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"

AREA: 1,419 SQ. FT.

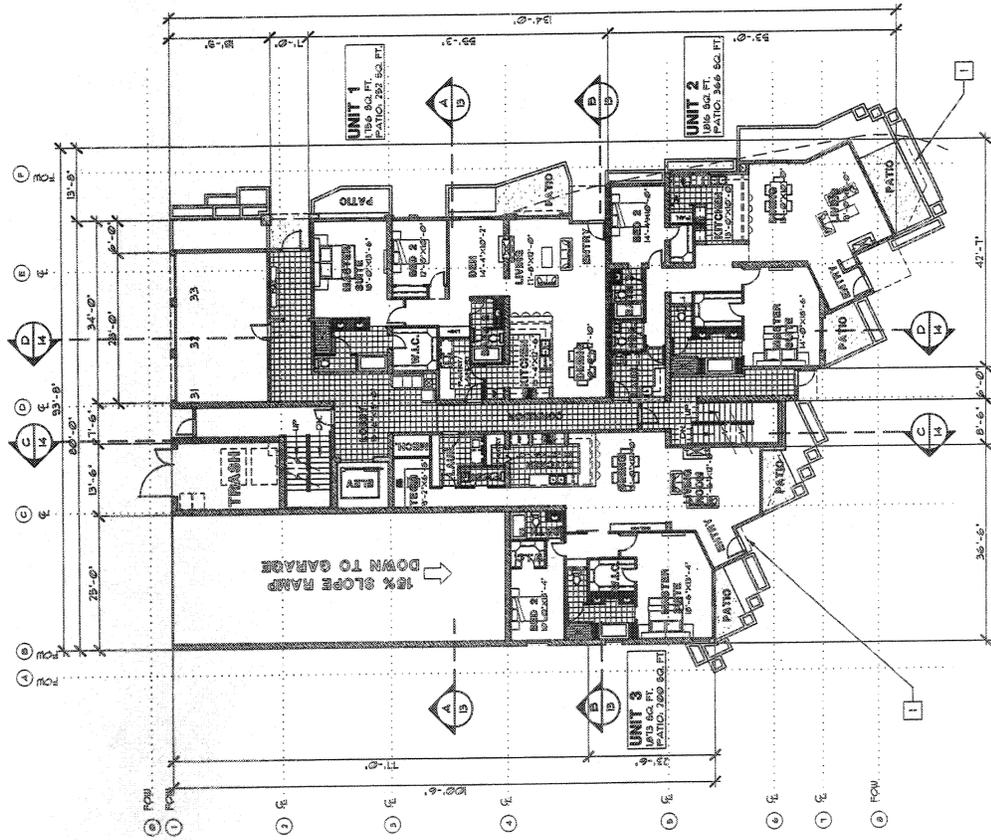


LEGEND:

- PARTY WALL
- 12" SHEAR WALL
- 2X6 FRAMING WALL
- 2X4 FRAMING WALL

UNIT AREAS:

- UNIT 1- 1,196 SQ. FT.
- UNIT 2- 1,846 SQ. FT.
- UNIT 3- 1,979 SQ. FT.
- CORRIDOR- 182 SQ. FT.



FIRST FLOOR PLAN

PRELIMINARY

A-5

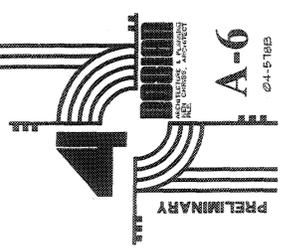
04-1518B

FLOOR PLAN NOTES:

1. ROOF BELOW
2. LOWERED SHADE
3. CORNER GLASS

06.55.0
07.05.0
08.05.0
09.05.0
10.05.0
11.05.0

SAM-OCEANSIDE, CA



KEY SECTION



SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"
AREA: 3289 SQ. FT.



LEGEND:

- PARTY WALL
- 1" BEAR WALL
- 2X6 FRAMING WALL

UNIT AREAS:

- UNIT 4: 1849 SQ. FT.
- UNIT 5: 1793 SQ. FT.
- UNIT 6: 2220 SQ. FT.
- UNIT 7: 2366 SQ. FT.
- CORRIDOR: 146 SQ. FT.

SECOND FLOOR PLAN

A-6

04-518B

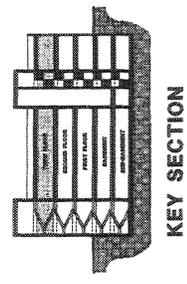
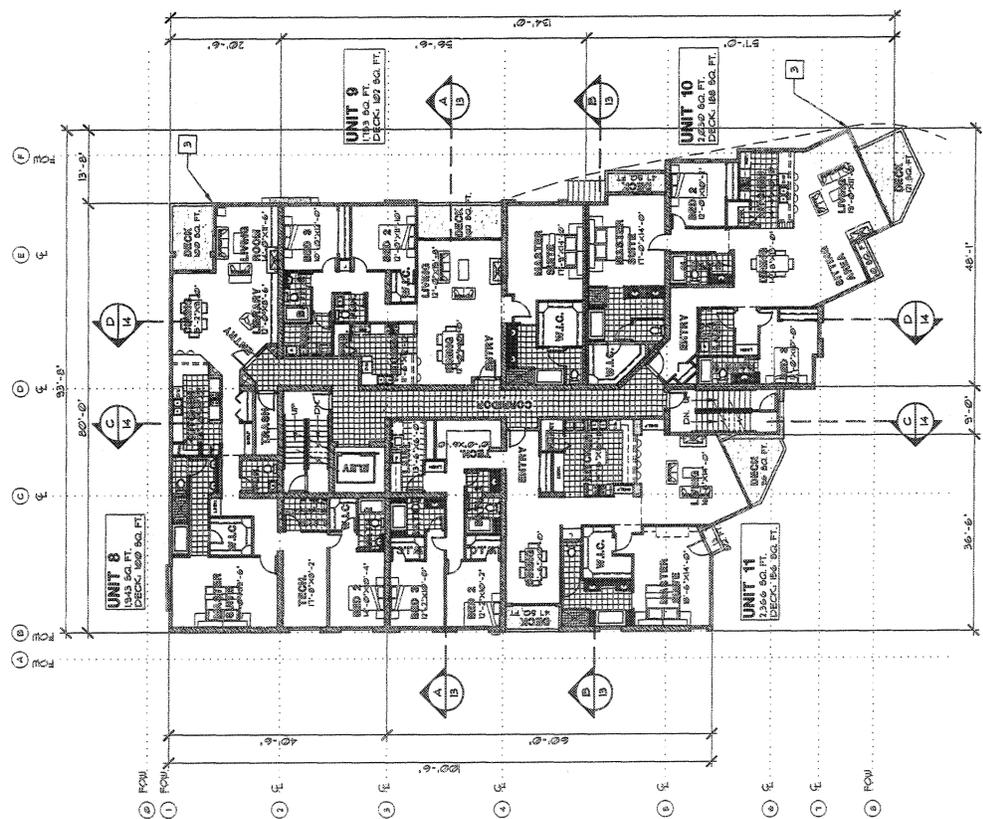
PRELIMINARY

FLOOR PLAN NOTES:

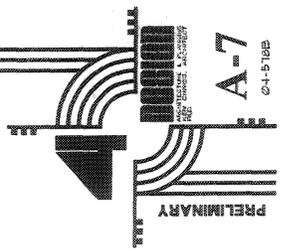
1. ROOF EMBLEW
2. LOWERED SHADE
3. CORNER GLASS

05/25/07
05/23/06
05/23/06
05/23/06
05/23/06

SAM-OCEANSIDE, CA



KEY SECTION



A-7
0-1-518B

THIRD FLOOR PLAN



THIRD FLOOR PLAN

SCALE: 3/32" = 1'-0"
AREA: 9286 SQ. FT.

LEGEND:

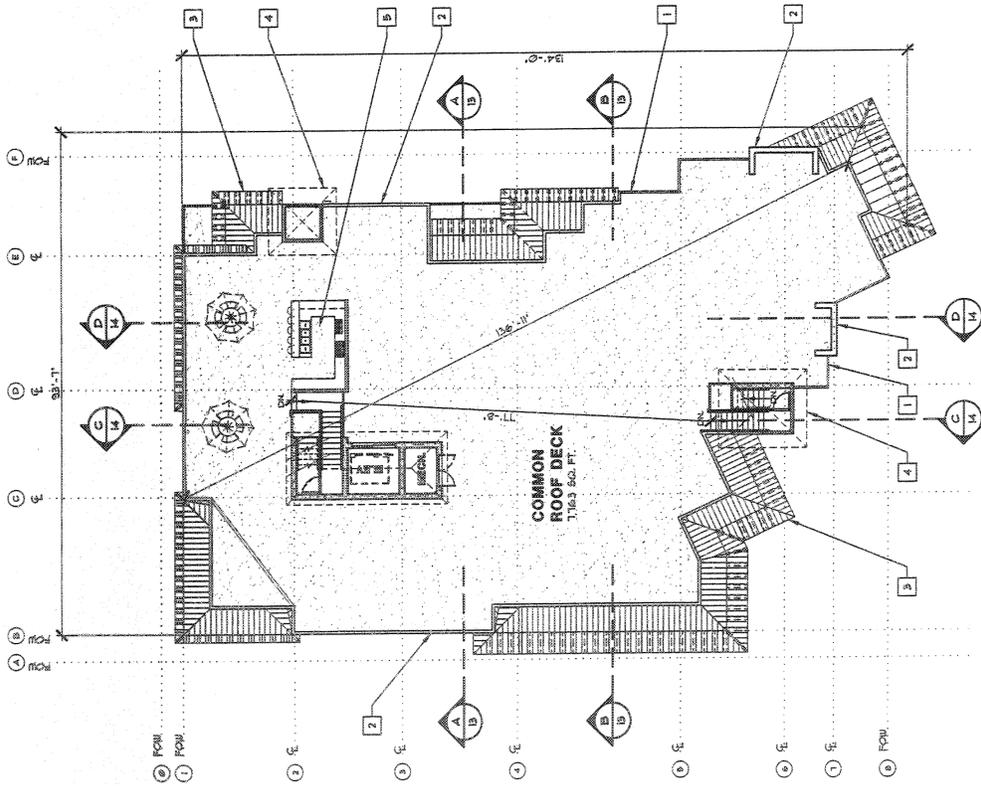
- PARTY WALL
- 8" SHEAR WALL
- 2X6 FRAMING WALL

UNIT AREAS:

- UNIT 8- 1943 SQ. FT.
- UNIT 9- 1753 SQ. FT.
- UNIT 10- 2236 SQ. FT.
- UNIT 11- 2366 SQ. FT.
- CORROR- 148 SQ. FT.

ROOF PLAN NOTES:

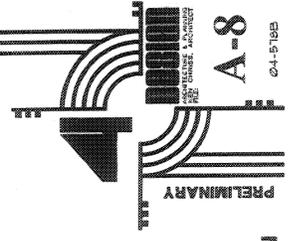
- 1. 42" METAL GUARDRAIL
- 2. 42" PARAFET WALL
- 3. METAL ROOF
- 4. ROOF ABOVE
- 5. BARBEQUE AREA



ROOF DECK PLAN
 TOTAL AREA: 7,931 SQ. FT.
 SCALE: 3/32" = 1'-0"

06/26/04
 07/01/04
 08/02/04
 08/12/04
 08/24/04

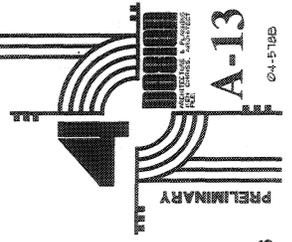
SAN-OCEANSIDE, CA



PRELIMINARY
A-8
 04-1518B

ROOF DECK PLAN

06-09-07
 07-03-04
 09-07-04
 09-30-04
 09-30-04



**CONSTRUCTION OUTLINE
 (BASEMENT)**

CONSTRUCTION: CONSTRUCTION TO BE TYPE I
 CONCRETE CONSTRUCTED, FIRE
 SPRINKLED.

FLOORS: BASEMENT FLOOR TO BE A CONCRETE
 SLAB ON GRADE.

EXTERIOR WALLS: SOLID GROUTED CONCRETE
 BLOCK LAID IN RUNNING BOND.

INTERIOR BEARING WALLS: SOLID GROUTED
 CONCRETE BLOCKS LAID IN RUNNING BOND.

INTERIOR NON-BEARING WALLS: TWO HOUR
 METAL FRAMED WITH TYPE 'X' GYP/PLST BOARD
 EACH SIDE.

CEILING: EXPOSED CONCRETE.

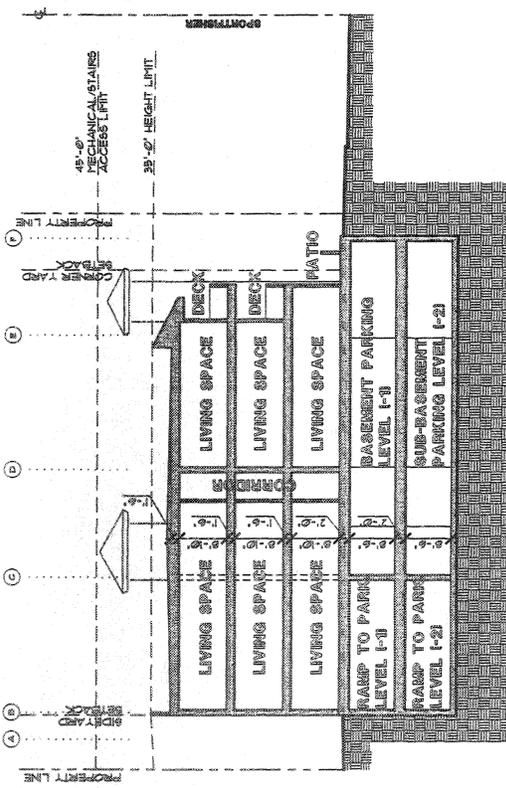
DOORS: DOORS ARE TO BE SOLID CORE FULL
 FACE METAL 1-HR RATED.

PAINTING: INTERIOR GYPSUM BOARD SURFACES
 ARE TO BE PAINTED. DOORS AND FRAMES TO BE
 PAINTED.

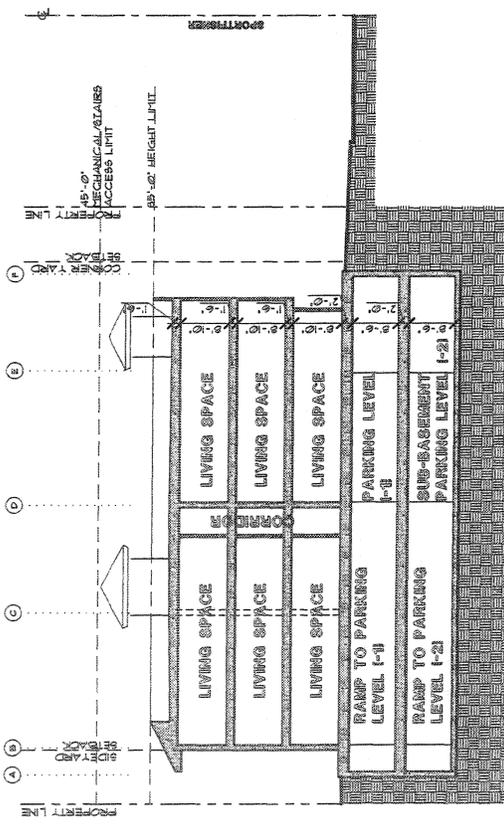
MECHANICAL: ELECTRIC EXHAUST GARAGE
 MECHANICAL VENTILATION SYSTEM TO BE
 INSTALLED.

ELECTRICAL: ALL ELECTRICAL WORK TO BE
 PER THE NATIONAL ELECTRIC CODE. ALL
 ELECTRICAL SERVICE TO BE UNDERGROUND.
 FLUORESCENT CEILING LIGHTS WITH PROTECTIVE
 GRILLS TO BE INSTALLED. EMERGENCY
 EMERGENCY EXIT LIGHTING TO BE INSTALLED.

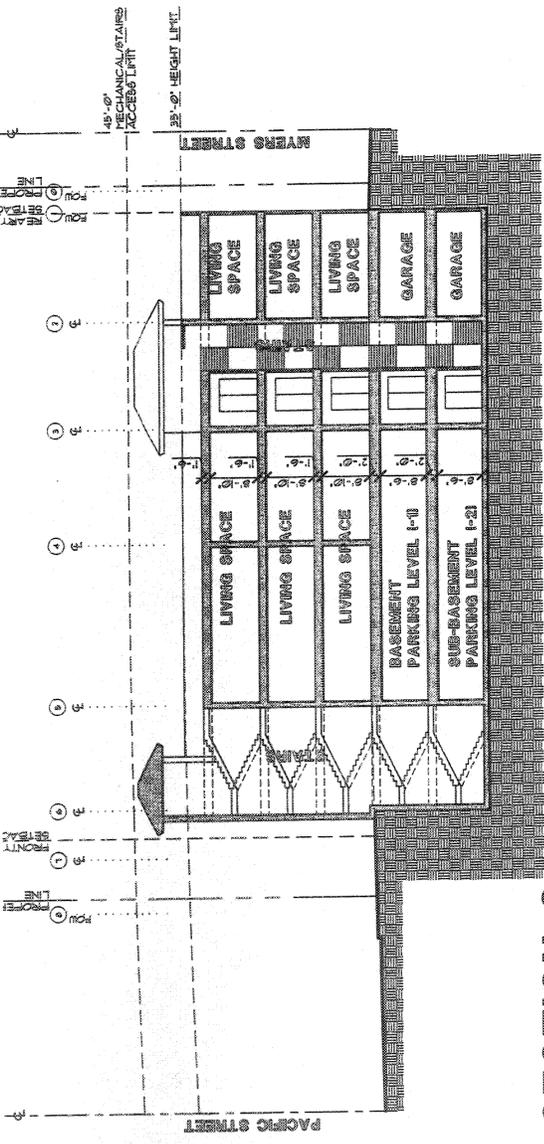
BUILDING SECTIONS



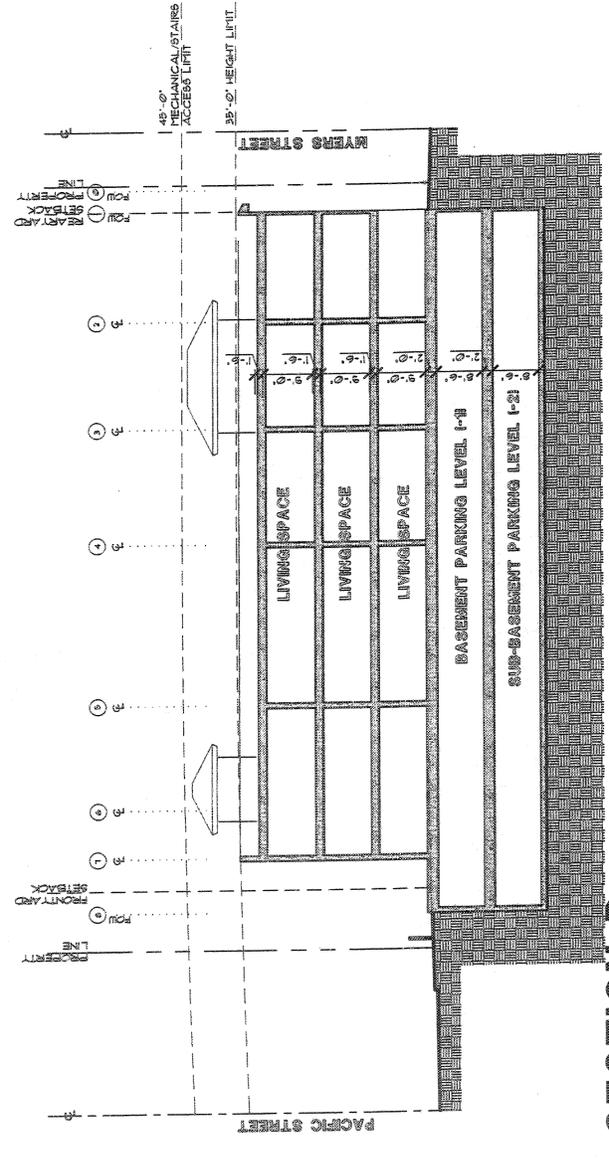
SECTION A
 SCALE: 3/32" = 1'-0"



SECTION B
 SCALE: 3/32" = 1'-0"



SECTION C
SCALE: 3/32" = 1'-0"



SECTION D
SCALE: 3/32" = 1'-0"

01/20/02
01/23/02
01/23/02
02/20/02
02/20/02

CONSTRUCTION OUTLINE, IRESIDENCE!

CONSTRUCTION CONSTRUCTION TO BE TYPE V
1-HR CONSTRUCTION WITH FIRE SPRINKLERS.
BASEMENT FLOOR, THE FLOOR SHALL HAVE A
CONCRETE SLAB THAT IS FOUNDED IN PLACE.
OTHER FLOORS, THESE FLOORS SHALL BE
WOOD FRAME FLOORS AND A DOUBLE WOOD
FLOOR DECK.

EXTERIOR WALLS, THE EXTERIOR WALLS SHALL
BE WOOD FRAMING WITH STUCCO FINISH OVER
EXPANDED METAL LATH OVER 60 LB. BUILDING
PAPER. INTERIOR WALLS SHALL HAVE GYPSUM
FINISH GYPSUM BOARD AT THE INTERIOR SIDE.
THE INTERIOR SURFACE SHALL HAVE A SPRAY
ON SMOOTH FINISH.

INTERIOR WALLS, THE INTERIOR NON-BEARING
WALLS SHALL BE WOOD FRAMING WITH GYPSUM
BOARD COVERING AND A SPRAY ON BANDED
SPRUE FINISH WITH WATER PROOF GYPSUM
BOARD. WALLS SHALL HAVE WATER PROOF GYPSUM
BOARD.

CEILING, THE CEILING SHALL BE GYPSUM
BOARD ON BANDED WOOD FINISH METAL LATH
SHALL HAVE WATER PROOF GYPSUM BOARD.
INSULATION, ALL FRAMED EXTERIOR WALLS TO
RECEIVE FIBERGLASS BATT INSULATION TO MEET
TITLE 24 REGULATIONS. ALL INTERIOR WALLS
RECEIVE FIBERGLASS BATT INSULATION.

DOORS, EXTERIOR ENTRANCE DOORS TO BE
SOLID CORE WOOD WITH SOLID BRASS BUTTS
EXTERIOR, OTHER EXTERIOR DOORS TO BE
SOLID CORE METAL DOORS WITH SOLID CORE
FIBERGLASS GARAGE DOOR TO BE ALUMINUM
ROLL-UP.

GLASS AND GLAZING, ALL WINDOWS TO BE DUAL
GLASS UNITS WITH WOOD OR METAL WITH
SCREENED OPENING. ALL GLASS TO BE LOW E
TYPE.

PAINTING, ALL EXTERIOR SURFACES NOT
MANUFACTURED SHALL BE PAINTED. INTERIOR
SURFACES TO RECEIVE ONE COAT PAINT. ENAMEL
PAINT SHALL BE USED IN ALL KITCHEN AND
BATHROOMS. ALL INTERIOR SURFACES TO BE PAINTED IN
THE BEST PRACTICE AND WITH QUALITY
MATERIALS.

EXPOSED METAL, ALL METAL THAT IS EXPOSED
TO THE EXTERIOR SHALL BE COPPER.
PLUMBING, ALL FIXTURES TO BE KOHLER OR
BRAND. ALL WATER HEATERS SHALL BE GAS-FIRED.
INSTALL AS PER THE UPC. WATER HEATERS
TO BE GAS-FIRED. ALL PLUMBING SHALL BE PER
THE UNIFORM PLUMBING CODE.

MECHANICAL, INSTALL A CENTRAL FORCED AIR
HEATING AND COOLING SYSTEM. HEAT TO BE
GAS-FIRED. ALL WORK SHALL BE PER THE
UNIFORM MECHANICAL CODE.

ELECTRICAL, ALL ELECTRICAL
WORK TO BE PER THE NATIONAL
ELECTRICAL CODE. ALL ELECTRICAL
SYSTEMS SHALL BE INSTALLED PER THE
NATIONAL ELECTRICAL CODE. ALL ELECTRICAL
SYSTEMS SHALL BE INSTALLED PER THE
NATIONAL ELECTRICAL CODE. ALL ELECTRICAL
SYSTEMS SHALL BE INSTALLED PER THE
NATIONAL ELECTRICAL CODE.

TELEPHONE, SECURITY SYSTEM, RADIO SYSTEM,
INTERNET SYSTEM, INSTALL AN
INTERNET SYSTEM WITH WIRELESS
PHONE SYSTEM WITH REMOTE
PHONE SYSTEMS AND LOCK CONTROL.

DOOR BUZZERS AND LOCK CONTROL.

BUILDING SECTIONS

A-14
PRELIMINARY
DATE: 01/20/02
DRAWN BY: [Name]

SAM-OCEANSIDE, CA

04-5789

TENTATIVE MAP & SITE DEVELOPMENT PLAN SAM OCEANSIDE 1 - CONDOMINIUMS PACIFIC STREET & SPORTFISHER DRIVE OCEANSIDE, CA

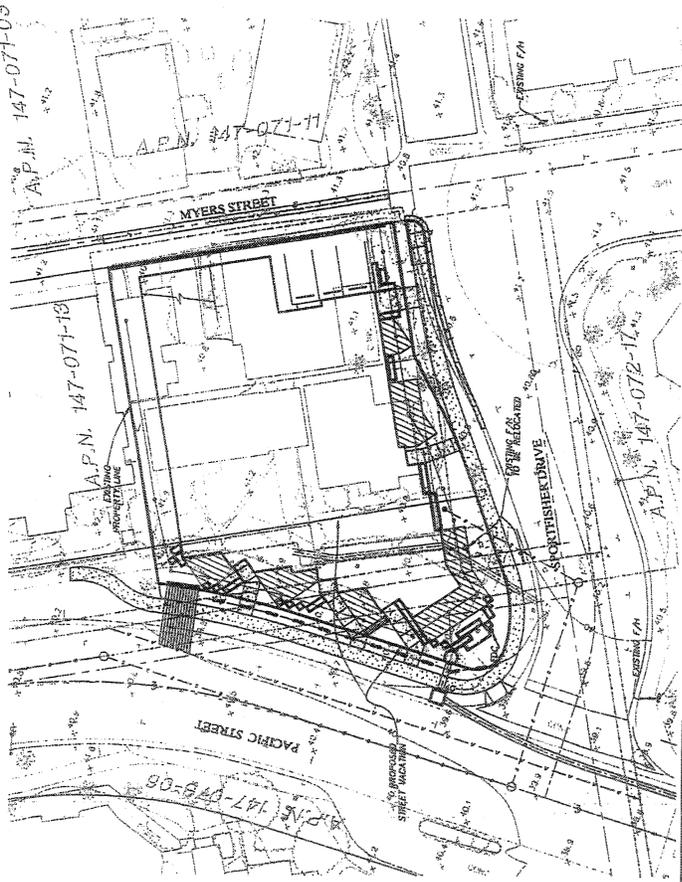
LEGAL DESCRIPTION
THE INTERESTS IN THE DEVELOPMENT PLAN FOR LOTS 7 AND 8 IN BLOCK 13 OF OCEANSIDE IN THE
CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE
RECORD OF MAP NO. 344, FILED IN THE OFFICE OF THE RECORDER OF SAN DIEGO COUNTY,
AUG. 1, 1988.

OWNER / DEVELOPER
MR. V. JOSEPH
SAM OCEANSIDE 1, LLC
1111 AVENUE ENCLINAS
CARLSBAD, CA 92008-4387
PHONE: (760) 444-4500

EASEMENT NOTES
1. TOTAL SITE ADDRESS: 0.34 ACRES (INC. VICINARIES) (14,894 SF)
2. ZONING: DOWNTOWN RESIDENTIAL
3. GENERAL PLAN DESIGNATION: REDEVELOPMENT AREA
4. EXISTING LAND USE: RESIDENTIAL
5. PROPOSED LAND USE: RESIDENTIAL
6. TOTAL NUMBER OF LOTS: 1
7. DWELLING UNITS (PROPOSED): 11
8. ALLOWED DENSITY: 42 DU/AC
9. PROPOSED DENSITY: 33.4 DU/AC
10. ASSASSOR'S PARCEL NUMBER: 147-071-08 & 09
11. NEIGHBORHOOD PLANNING AREA: DOWNTOWN
12. NET DEVELOPABLE AREA: 14,894 SQ. FT.
13. COMMON USABLE OPEN SPACE: 7837 SQ. FT.

GENERAL DESIGN NOTES
1. ALL STREET DESIGN CONFORM TO THE CITY OF OCEANSIDE DESIGN
STANDARDS.
2. ALL PROPOSED DRIVEWAYS TO BE UNDERGROUND
3. SLOPE RATIOS SHALL BE 2:1 MAX.
4. CONTIGUOUS INTERVALS: 1"
5. GRADING STAIRS: 0.01:20.00
6. AREA OF GRADING 0.4 M. EQ. 7740 SQ. FT.
7. CURB GRADE OF GRADING PER GRADED AREA 22.841 CT/AC
8. (MINIMUM) 10"
9. SOURCE: TOPOGRAPHY: TERNAL, INC.
10. MINIMUM FINE FLOOR OF 1000 GPM SHALL BE PROVIDED.
11. FIRE RESISTANT PENETRATION HARDWARE SHALL BE PLACED AS PER
DRAWING NO. M-113
12. ALL WEATHER ACCESS DOORS SHALL BE INSTALLED AND MAINTAINED
13. ALL WEATHER ACCESS DOORS SHALL BE INSTALLED THROUGHOUT
14. THE SPRAWLER SYSTEM SHALL BE INSTALLED THROUGHOUT
15. NO TREES STRUCTURES OR BUILDING OVERHANG SHALL BE LOCATED
WITHIN ANY WATER OR WASTEWATER UTILITY CASEMENT.
FOR IRRIGATION DETAILS, PLEASE SEE LANDSCAPE PLANS.

GENERAL DESIGN NOTES
1. ALL STREET DESIGN CONFORM TO THE CITY OF OCEANSIDE DESIGN
STANDARDS.
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15. NO TREES STRUCTURES OR BUILDING OVERHANG SHALL BE LOCATED
WITHIN ANY WATER OR WASTEWATER UTILITY CASEMENT.
FOR IRRIGATION DETAILS, PLEASE SEE LANDSCAPE PLANS.



BENCHMARK
THE BENCHMARK FOR THIS SURVEY IS CITY OF OCEANSIDE BENCHMARK #2-5
CORNER AT INTERSECTION OF COM. N.P.C. NORTHWESTERN
ELEVATION = 262.80 ± 0.02

BASIS OF BEARINGS
THE BASIS OF BEARINGS IS THE MAGNETIC ZONE 6, GRID BEARING
BETWEEN FIRST ORDER STATION 7148521 AND 7148522 AS
SHOWN ON THE SAN DIEGO COUNTY OF CONTROL POINT LISTING
AS OF 10/20/06 U.S. NAD 83.

THE COMBINED SCALE FACTOR AT STATION 7148521 IS 0.9999992
GROUND DISTANCE UNADJUSTED BY THE COMBINED SCALE FACTOR



KEY MAP

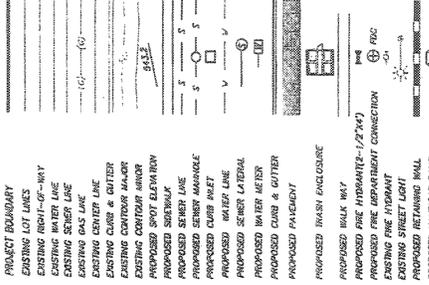
INDEX

1	COVER SHEET
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9	TO OTHERWAY AVAILABLE

PRIVATE DECK AREA

UNIT 1	272.50 FT.
UNIT 2	272.50 FT.
UNIT 3	272.50 FT.
UNIT 4	272.50 FT.
UNIT 5	272.50 FT.
UNIT 6	272.50 FT.
UNIT 7	272.50 FT.
UNIT 8	272.50 FT.
UNIT 9	272.50 FT.
UNIT 10	272.50 FT.
UNIT 11	272.50 FT.

LEGEND



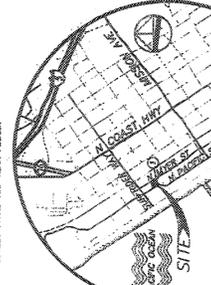
PUBLIC UTILITIES
WATER SUPPLY: CITY OF OCEANSIDE
SEWER: CITY OF OCEANSIDE
STORM DRAIN: CITY OF OCEANSIDE
GAS & ELECTRIC: SCE/EG
FIRE: CITY OF OCEANSIDE
POLICE: OCEANSIDE UNIFIED SCHOOL DISTRICT
CABLE: COM. CABLE

CONDOMINIUM NOTE
THIS IS A UNIT OF COMMON INTEREST PROPERTY AS SHOWN IN
SECTION 1.031 OF THE CIVIL CODE OF THE STATE OF
CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP
ACT.

HYDROLOGY AND HYDRAULIC REPORT
SEE HYDROLOGY AND HYDRAULIC REPORT SUBMITTED BY BHA, INC.
APRIL 2005

GEOTECHNICAL REPORT
SEE GEOTECHNICAL REPORT SUBMITTED BY BHA, INC.
APRIL 2005

FEMA NOTE
PARCEL NUMBER 080220224 G. ZONE 4.
AREAS OF 100 YEAR FLOOD, AREAS OF 500 YEAR FLOOD WITH
AN OVER TOP OF 100 YEAR FLOOD, AND AREAS OF 100 YEAR FLOOD
AREAS LESS THAN 100 YEAR FLOOD, AND AREAS OF 100 YEAR FLOOD
BY LEAVES FROM 100 YEAR FLOOD.



ENGINEER OF WORK
bha, inc.
1111 AVENUE ENCLINAS
CARLSBAD, CA 92008-4387
(760) 444-4500
DATE: 7-17-06



REVISION	DATE	DESCRIPTION

REVISIONS

DATE

DESCRIPTION

DATE

DESCRIPTION

CITY OF OCEANSIDE
PLANNING DEPARTMENT

AUG 31 2006

NOTICE OF EXEMPTION

BY DEPUTY

TO: X RECORDER/COUNTY CLERK
COUNTY OF SAN DIEGO
P.O. BOX 1750
SAN DIEGO, CA 92112-4147

PROJECT TITLE AND FILE NUMBER:

Sam I

PROJECT LOCATION - SPECIFIC:

504-508 North Pacific Street

PROJECT LOCATION - GENERAL:

Intersection of Pacific Str. And
Sportsfisher Way
City of Oceanside

REGULAR COASTAL PERMIT (RC-205-05)
DEVELOPMENT PLAN (D-214-05)
TENTATIVE MAP (T-201-05)
CONDITIONAL USE PERMIT (C-204-05)

DESCRIPTION OF NATURE, PURPOSE AND BENEFICIARIES OF PROJECT:

TENTATIVE MAP (T-201-05), CONDITIONAL USE PERMIT (C-204-05) DEVELOPMENT PLAN (D-204-05) & REGULAR COASTAL PERMIT (RC-205-05) for the construction of 11-unit residential condominium located at 504-508 North Pacific Street.

NAME OF PUBLIC AGENCY APPROVING PROJECT:

City of Oceanside

NAME OF PERSON(S) OR AGENCY CARRYING OUT PROJECT:

4-Design
P.O. Box 848
Oceanside, CA 92054
(760) 433-1785

FILED IN THE OFFICE OF THE COUNTY CLERK

San Diego County on AUG 31 2006
Posted AUG 31 2006 Removed _____
Returned to agency on _____
Deputy

Exempt Status per the Guidelines to Implement the California Environmental Quality Act (CEQA)
(Public Resources Code Section 21000 et. al.):

NOT SUBJECT TO CEQA PER THE GENERAL RULE, SECTION 15061(B)(3)

STATUTORY EXEMPTION PER ARTICLE 18, SECTION(S)

CATEGORICAL EXEMPTION PER ARTICLE 19, SECTION 15332(b)

REASONS WHY PROJECT IS EXEMPT:

The project proposes construction of an 11-unit residential condominiums. The project is located on a less than 5-acres site within an urbanized area.

Contact Person: Shan Babick, Associate Planner

SIGNATURE

August 28, 2006

DATE

For: Jerry Hittleman, Interim City Planning

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 6Z

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 3

*Resource Name or #: (Assigned by recorder) 504 N. Pacific Street

*P1. Other Identifier: Albert Zaiser/George Smith Speculation/Rental House

*P2. Location: Not for Publication Unrestricted * a. County: San Diego

and (P2b and P2c. or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Oceanside Date: 1975 T11S R5W; 1/4 of 1/4 of Sec; B.M.: SB

c. Address: 504 N. Pacific Street City: Oceanside Zip: 92054

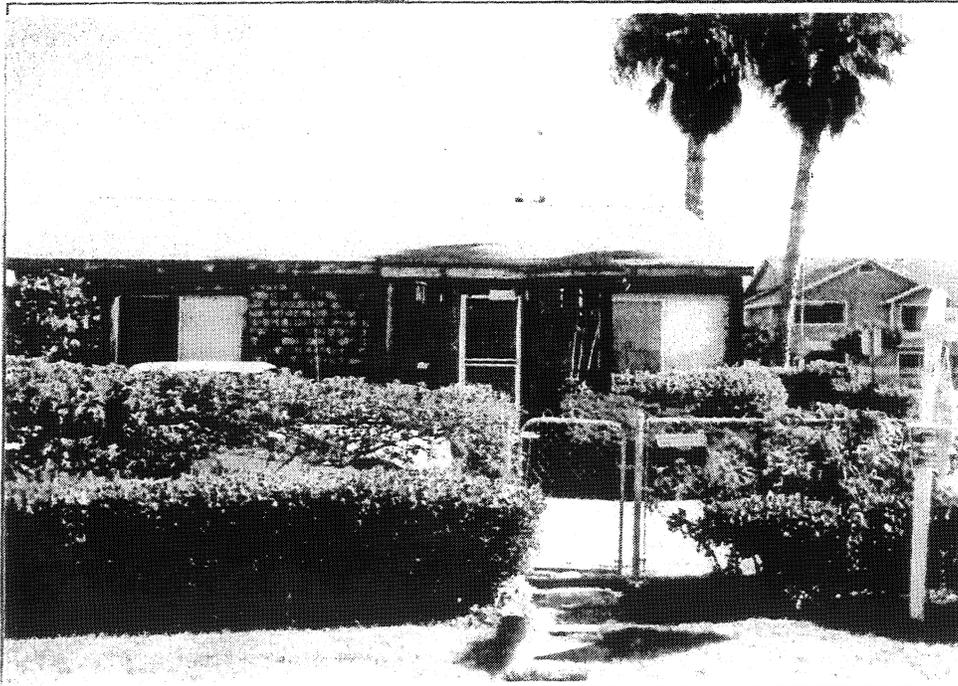
d. UTM: (Give more than one for large or linear resources) Zone ; Me/ mN

e. Other Locational Data (e.g., parcel #, directions to resource, elevation, etc., as appropriate):

APN: 147-071-07; located in the A.J. Myers Addition, southwestern half of Lots 7 and 8, Block 13

*P3a. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries):

The resource consists of a small-sized (840 sq ft), wood frame, rectangular, one story, Ranchesque beach cottage. The exterior of the house is shingle clad, the front facade is asymmetrical, and the foundation is reinforced concrete. The medium pitched side gabled roof is covered with composition shingles and ridge caps. The roof has narrow and clipped eaves, with an open rake and fascia board. Horizontal louvered vents are located beneath the gable ends. The original wood framed double hung windows have been replaced with rectangular metal sliders; two garden pop out windows are located on the south facade. The house is accessed from the concrete drive off Sportfisher Drive, and through a metal gate in the low chain link fence that encloses the property. Three concrete steps lead up to a concrete landing. The entry is covered by a double post and beam shed roof porch. The single, wood, front door has recessed panels and a central upper fixed pane. It is covered by a screen door. The well-maintained landscaping consists of mature palm trees, a lawn, and shrubs. The house appears to be equally well-maintained and is in good condition.



*P3b. Resource Attributes: (List attributes and codes) HP2 -single-family residence

P4. Resources Present: Building
 Structure Object Site District Element of District Other (Isolates, etc.)

P5b. Description of Photo: (View, date, accession #) Facade looking east, 2/25/05, 941:1

*P6. Date Constructed/Age and Source Historic Prehistoric Both
Constructed 1944 per Notice of Completion

*P7. Owner and Address:
SAM Oceanside, LLC
15821 Ventura Blvd. #525
Encino, CA 91436

*P8. Recorded by (Name, affiliation, and address): Ruth Alter, Archaeos, 11209 Golden Birch Way, San Diego, CA 92131
*P9. Date Recorded:

2/25/05 *P10. Type of Survey: (Describe) Field Check *P11. Report Citation (Cite survey report and other sources, or enter "none".) None Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Resource Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

*Page 2 of 3 *Resource Name or # (Assigned by recorder) 504 & 506-508 N. Pacific Street

*Recorded by Ruth Alter Date 2/25/05 Continuation Update

According to the chain of title, in April, 1901, Frank A. Jones and his wife Florence sold this unimproved parcel to Alice and W.A. Morford. Mr. Jones, a native of Goshen, Illinois, was trained in harness making by his father prior to engaging in railway service. In 1886, Mr. Jones came to California where he was in charge of the Temecula Station for eight months. He took over the Oceanside Station immediately after its construction and remained there until shortly after the time of the sale of the subject land. During his tenure in Oceanside, Mr. Jones invested thousands of dollars in residential and business lots and was a partner in the Oceanside Brick Company. In April, 1904, after about three years of ownership, the Morfords sold the property to John A. Tulip, station agent for the local Santa Fe railroad. The purchase was of a speculative nature, as Tulip and his wife lived on Myers Street at the time, and retained title to the property for only three months before selling it to R.F. and Anna B. Garner, in July, 1904. W.H. Sargent, a local real estate investor purchased the subject property from the Garners in October, 1907. The year prior, Mr. Sargent had relocated to Oceanside from Redlands, and joined O.S. Hecox in his general real estate business. Shortly after the purchase of the subject lot, Mr. Hecox was added to the title.

Jemie and Fred Hayes, affiliated with the Hayes Real Estate Company established by Mr. Hayes' father, J. Chauncey Hayes, co-founder of Oceanside, later acquired the lot. In December, 1921, Edward A. Walsh, a realtor and Oceanside mayor, bought the property. It remained unimproved during the 16 years of Mr. Walsh's ownership. The land was sold to Robert M. and Jessie DeWitt in January, 1937. The couple, from Los Angeles, moved to Oceanside after visiting many times. They may have purchased the subject property with an eye to building a residence on it at some future date. Mrs. DeWitt was an oil painter; Mr. DeWitt had previously organized a bank, operated a newspaper, and he and his wife had run hotel in Oklahoma. Additionally, Mr. DeWitt was associated with the Boy Scouts of America. In 1930, the Dewitt's leased the Seaside Hotel from Albert and Carrie Zaiser; Mr. Zaiser later served as an Oceanside councilman. Two years later, the DeWitts purchased the hotel. In June, 1942, the DeWitts deeded the subject property to the Zaisers. Within less than 10 days, George and Pearl Smith were added to the title. The Smiths were involved in many business transactions with the Zaisers over the years. In February, 1944, Zaiser and Smith constructed the 504 N. Pacific Street house as a speculation project.

In August, 1944, the house was sold to Henry Anderson; in July, 1945 title passed to Bruce L. Griffin; and in November, 1945, John H. and Velma Warden became the owners. Initially the Wardens may have lived in the house. In 1949, the Wardens, acting as their own contractors, began construction of the 506-508 N. Pacific Street duplex on the lot. The duplex was completed in late December of that year. The 1955-56 City Directory identifies R.F. Dilloway as the tenant of the 504 N. Pacific Street unit, Virginia Holmes as the occupant of 506 (then known as 504a) N. Pacific Street, and Robert Warden, possibly a family member, as the resident of 508 (then 504b) N. Pacific Street. Velma Warden sold the house and duplex to Wilma and Robert Strandberg in July, 1972. The property was acquired by William and Shirley McCormack in April, 1972, and then by Richard and Edna Garlock in October, 1976. Sumner D. Bearman bought the property in June, 1979. Title was acquired by the Robert Church Family Trust in May, 2001, and passed to Min Soon Ok in March, 2002. Caroline Jin Key bought the property from Ok in August, 2003 and deeded it to Joon Wan and Myoung Ja Key in October 2004. The current owner is SAM Oceanside, LLC.

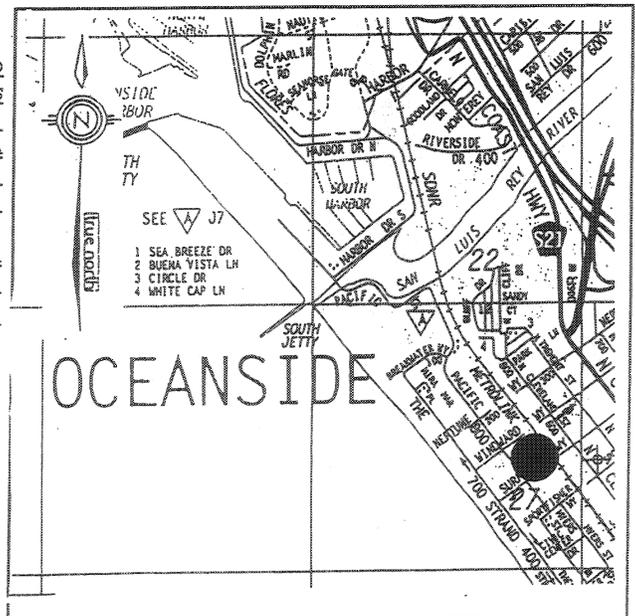
B1. Historic Name: Albert Zaiser and George Smith Speculation/Rental House
B2. Common Name: None
B3. Original Use: Single-family residence B4. Present Use Single-family residence
*B5. Architectural Style: Ranchesque Beach Cottage
*B6. Construction History: (Construction date, alternations, and date of alterations)
The resource was constructed in 1944 per the Residential Building Record. The original wood framed double hung windows have been replaced by metal sliders and garden pop-up windows. No other exterior modifications were noted.
*B7. Moved? No Yes Unknown Date: _____ Original Location: _____
*B8. Related Features: Low chain link fence
B9a. Architect: None b. Builder: Albert Zaiser and George Smith
*B10. Significance: Theme: residential development Area Oceanside, California
Period of Significance 1869 to 1960 Property Type Residential Applicable Criteria N/A
(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The subject complex is located in the A.J. Myers Addition, north of downtown Oceanside. This is an area that saw early residential development, with many of the oldest houses being smaller single-family dwellings situated in a quiet portion of the developing town. The area would have been close enough to walk to the town center to purchase necessary goods or services, but far enough away to avoid town bustle. Beginning in the late 1970s, the majority of these houses were demolished to make way for the larger multi-storied apartments and condominiums that now dominate the neighborhood.

The subject resource is very typical of the area for its time of construction. The property remained undeveloped until after World War II, and the residence was probably intended for speculative and/or rental purposes. The site's proximity to the Pacific Ocean would have made this an attractive beach cottage, The resource appears to have been a rental for much of its history.

The resource is not associated with any known significant historic event or events. Historically significant people in Oceanside's past, including members of the Hayes family, as well as Albert Zaiser and George Smith, owned the land but are not directly associated with it. The design of the building, probably taken from a pattern book, is not distinctive and does not represent the work of a master architect or craftsman. The resource is not constructed of rare or unique materials and is unlikely to yield important information relevant to local, state or national history. The building's locational and associational integrity are intact, as is its design and feeling. The setting, while still residential, has been altered by the introduction of large, multi-unit residential buildings, stylistic changes, and increased density. Once considered on the edge of town, the City has long since grown up around the neighborhood, which is considered desirable because of its proximity to the Pacific Ocean.

B11. Additional Resource Attributes: (List attributes and codes) None
*B12. References: Assessor's records, San Diego County; Hawthorne, K., Oceanside, Where Life is Worth Living, 2001. Donning Company Publishers, Virginia Beach, Virginia; McAlester, V. and L, A Field Guide to American Houses, 1991. Alfred A. Knopf, New York.
B13. Remarks:
*B14. Evaluator: Ruth Alter, Archaeos, 11209 Golden Birch Way, San Diego, CA 92131
Date of Evaluation: 2/25/05



(This space reserved for official comments.)

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 6Z

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 3

*Resource Name or #: (Assigned by recorder) 506-508 N. Pacific Street

*P1. Other Identifier: John H. and Velma Warden Rental Duplex

*P2. Location: Not for Publication Unrestricted *
a. County: San Diego
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Oceanside Date: 1975 T11S R 5W; ¼ of ¼ of Sec; B.M.: SB

c. Address: 506-508 N. Pacific Street City: Oceanside Zip: 92054

d. UTM: (Give more than one for large or linear resources) Zone ; Me/ mN

e. Other Locational Data (e.g., parcel #, directions to resource, elevation, etc., as appropriate):
APN: 147-071-07; located in the A.J. Myers Addition, southwestern half of Lots 7 and 8, Block 13

*P3a. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries): The resource consists of a one story, frame, nondescript duplex resting on a concrete foundation. The exterior of the expediently constructed building is clad with horizontal and vertical board siding. The low pitched cross gabled roof has an open rake and fascia board, and is covered with composition shingles. The eaves are narrow and the rafters are exposed. The front facade is plain and asymmetrical. The original double hung windows have been replaced by metal sliders of varying shapes and sizes. The original wide wood window trim remains intact. Access to the duplex units is from paver walkways to the entries. Both front doors are single and constructed of wood. One has recessed panels and the other is solid and plain. Both are covered by metal screen doors. The well-maintained landscaping consists of mature palm trees, a lawn, and shrubs. The duplex appears to be in good condition.



*P3b. Resource Attributes: (List attributes and codes) HP3 - Multiple-family residence

P4. Resources Present: Building
 Structure Object Site
 District Element of District
Other (Isolates, etc.)

P5b. Description of Photo: (View, date, accession #) Facade looking north, 2/25/05, 941:2

*P6. Date Constructed/Age and Source Historic Prehistoric Both
Constructed 1949 per Notice of Completion

*P7. Owner and Address:
SAM Oceanside, LLC
15821 Ventura Blvd. #525
Encino, CA 91436

*P8. Recorded by (Name, affiliation, and address): Ruth Alter,
Archaeos, 11209 Golden
Birch Way, San Diego, CA

92131 *P9. Date Recorded: 2/25/05 *P10. Type of Survey: (Describe) Field Check *P11. Report Citation (Cite survey report and other sources, or enter "none".) None Attachments: NONE Location Map Sketch Map
 Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Resource Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

*Page 2 of 3 *Resource Name or # (Assigned by recorder) 504 & 506-508 N. Pacific Street

*Recorded by Ruth Alter Date 2/25/05 Continuation Update

According to the chain of title, in April, 1901, Frank A. Jones and his wife Florence sold this unimproved parcel to Alice and W.A. Morford. Mr. Jones, a native of Goshen, Illinois, was trained in harness making by his father prior to engaging in railway service. In 1886, Mr. Jones came to California where he was in charge of the Temecula Station for eight months. He took over the Oceanside Station immediately after its construction and remained there until shortly after the time of the sale of the subject land. During his tenure in Oceanside, Mr. Jones invested thousands of dollars in residential and business lots and was a partner in the Oceanside Brick Company. In April, 1904, after about three years of ownership, the Morfords sold the property to John A. Tulip, station agent for the local Santa Fe railroad. The purchase was of a speculative nature, as Tulip and his wife lived on Myers Street at the time, and retained title to the property for only three months before selling it to R.F. and Anna B. Garner, in July, 1904. W.H. Sargent, a local real estate investor purchased the subject property from the Garners in October, 1907. The year prior, Mr. Sargent had relocated to Oceanside from Redlands, and joined O.S. Hecox in his general real estate business. Shortly after the purchase of the subject lot, Mr. Hecox was added to the title.

Jemmie and Fred Hayes, affiliated with the Hayes Real Estate Company established by Mr. Hayes' father, J. Chauncey Hayes, co-founder of Oceanside, later acquired the lot. In December, 1921, Edward A. Walsh, a realtor and Oceanside mayor, bought the property. It remained unimproved during the 16 years of Mr. Walsh's ownership. The land was sold to Robert M. and Jessie DeWitt in January, 1937. The couple, from Los Angeles, moved to Oceanside after visiting many times. They may have purchased the subject property with an eye to building a residence on it at some future date. Mrs. DeWitt was an oil painter; Mr. DeWitt had previously organized a bank, operated a newspaper, and he and his wife had run hotel in Oklahoma. Additionally, Mr. DeWitt was associated with the Boy Scouts of America. In 1930, the Dewitt's leased the Seaside Hotel from Albert and Carrie Zaiser; Mr. Zaiser later served as an Oceanside councilman. Two years later, the DeWitts purchased the hotel. In June, 1942, the DeWitts deeded the subject property to the Zaisers. Within less than 10 days, George and Pearl Smith were added to the title. The Smiths were involved in many business transactions with the Zaisers over the years. In February, 1944, Zaiser and Smith constructed the 504 N. Pacific Street house as a speculation project.

In August, 1944, the house was sold to Henry Anderson; in July, 1945 title passed to Bruce L. Griffin; and in November, 1945, John H. and Velma Warden became the owners. Initially the Wardens may have lived in the house. In 1949, the Wardens, acting as their own contractors, began construction of the 506-508 N. Pacific Street duplex on the lot. The duplex was completed in late December of that year. The 1955-56 City Directory identifies R.F. Dilloway as the tenant of the 504 N. Pacific Street unit, Virginia Holmes as the occupant of 506 (then known as 504a) N. Pacific Street, and Robert Warden, possibly a family member, as the resident of 508 (then 504b) N. Pacific Street. Velma Warden sold the house and duplex to Wilma and Robert Strandberg in July, 1972. The property was acquired by William and Shirley McCormack in April, 1972, and then by Richard and Edna Garlock in October, 1976. Sumner D. Bearman bought the property in June, 1979. Title was acquired by the Robert Church Family Trust in May, 2001, and passed to Min Soon Ok in March, 2002. Caroline Jin Key bought the property from Ok in August, 2003 and deeded it to Joon Wan and Myoung Ja Key in October 2004. The current owner is SAM Oceanside, LLC.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD

Primary _____
HRI# _____
*NRHP Status Code 6Z

Page 3 of 3

Resource Name or # (Assigned by recorder) 506-508 N. Pacific Street

B1. Historic Name: John H. and Velma Warden Rental Duplex
B2. Common Name: None
B3. Original Use: Residential Duplex B4. Present Use Residential duplex
*B5. Architectural Style: Nondescript
*B6. Construction History: (Construction date, alternations, and date of alterations)
This resource consists of a duplex constructed in 1949 per the Notice of Completion. The original wood framed double hungs have been replaced by metal sliders, but no other exterior modifications were noted.
*B7. Moved? No Yes Unknown Date: _____ Original Location: _____
*B8. Related Features: Low chain link fence
B9a. Architect: None b. Builder: John H. and Velma Warden
*B10. Significance: Theme: residential development Area Oceanside, California
Period of Significance 1869 to 1960 Property Type Residential Applicable Criteria N/A
(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

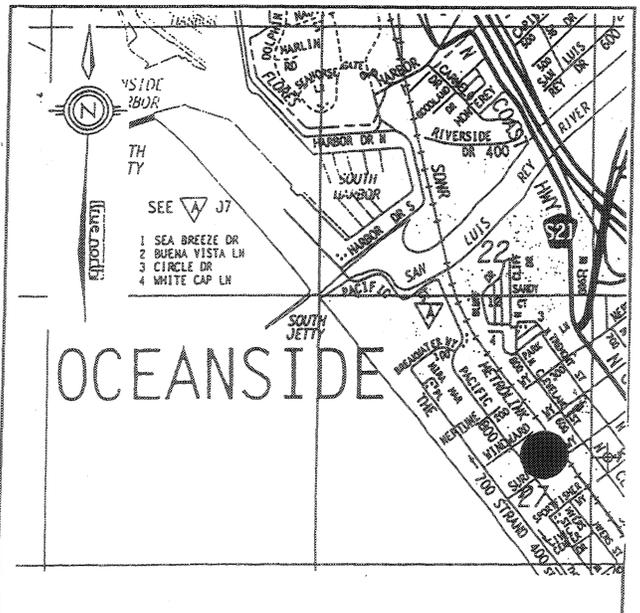
The subject complex is located in the A.J. Myers Addition, north of downtown Oceanside. This is an area that saw early residential development, with many of the oldest houses being smaller single-family dwellings situated in a quiet portion of the developing town. The area would have been close enough to walk to the town center to purchase necessary goods or services, but far enough away to avoid town bustle. Beginning in the late 1970s, the majority of these houses were demolished to make way for the larger multi-storied apartments and condominiums that now dominate the neighborhood.

The subject resource is very typical of the area for its time of construction. The property remained undeveloped until after World War II, and the residence was probably intended for rental purposes. The resource appears to have been a rental for much of its history.

The resource is not associated with any known significant historic event or events. Historically significant people in Oceanside's past, including members of the Hayes family, as well as Albert Zaiser and George Smith, owned the land but are not directly associated with it. The design of the building, probably taken from a pattern book, is not distinctive and does not represent the work of a master architect or craftsman. The resource, which is an example of expedient architecture, is not constructed of rare or unique materials and is unlikely to yield important information relevant to local, state or national history. The building's locational and associational integrity are intact, as is its design and feeling. The setting, while still residential, has been altered by the introduction of large, multi-unit residential buildings, stylistic changes, and increased density. Once considered on the edge of town, the City has long since grown up around the neighborhood, which is considered desirable because of its proximity to the Pacific Ocean.

B11. Additional Resource Attributes: (List attributes and codes) None
*B12. References: Assessor's records, San Diego County; Hawthorne, K., Oceanside, Where Life is Worth Living, 2001. Donning Company Publishers, Virginia Beach, Virginia; McAlester, V. and L, A Field Guide to American Houses, 1991. Alfred A. Knopf, New York.
B13. Remarks:
*B14. Evaluator: Ruth Alter, Archaeos, 11209 Golden Birch Way, San Diego, CA 92131
Date of Evaluation: 2/25/05

(This space reserved for official comments.)



Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 6Z

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 3

*Resource Name or #: (Assigned by recorder) 208 Sportfisher Way

*P1. Other Identifier: Thomas and Delores Ramos Apartment Building

*P2. Location: Not for Publication Unrestricted *

a. County: San Diego

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Oceanside Date: 1975 T11S R 5W; ¼ of ¼ of Sec; B.M.: SB

c. Address: 208 Sportfisher Way City: Oceanside Zip: 92054

d. UTM: (Give more than one for large or linear resources) Zone ; Me/ mN

e. Other Locational Data (e.g., parcel #, directions to resource, elevation, etc., as appropriate):

APN: 147-071-06; located in the A.J. Myers Addition, northeastern half of Lots 7 and 8, Block 13. Sportfisher Way was formerly known as 5th Street.

*P3a. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries): The resource consists of a one story, frame, nondescript, eight unit apartment building resting on a concrete and wood foundation. The front facade is asymmetrical. The original portion of the building is located on the east side of the building and is clad with rough hewn clapboard. It has a front gabled, low pitched roof with an open rake, exposed rafters and rafter tails. The roof is covered with asphalt shingles. The portion of the building added in 1966 has T1-11 siding with vertical board spacers and a roof that varies from slightly sloping to flat. The eaves are narrow and boxed. The fenestration consists of replaced metal sliders of varying shapes and sizes. The original wide wood window trim remains intact. One window is a fixed pane lower with slider upper. Access to the building is from a concrete and aggregate patio. The entry to the original portion is covered by an integral porch located beneath the gable end. The porch has a pediment and post supports. The single wood front doors have recessed panels and are covered by metal screen doors. The well-maintained landscaping consists of mature palm trees, a lawn, and shrubs. Low chain link fencing encloses the property; a hedge helps to screen the east end of the building from the street. The building appears to be in fair to good condition; the east portion of the building is showing signs of deterioration.

*P3b. Resource Attributes: (List attributes and codes) HP3 - Multiple-family residence

P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

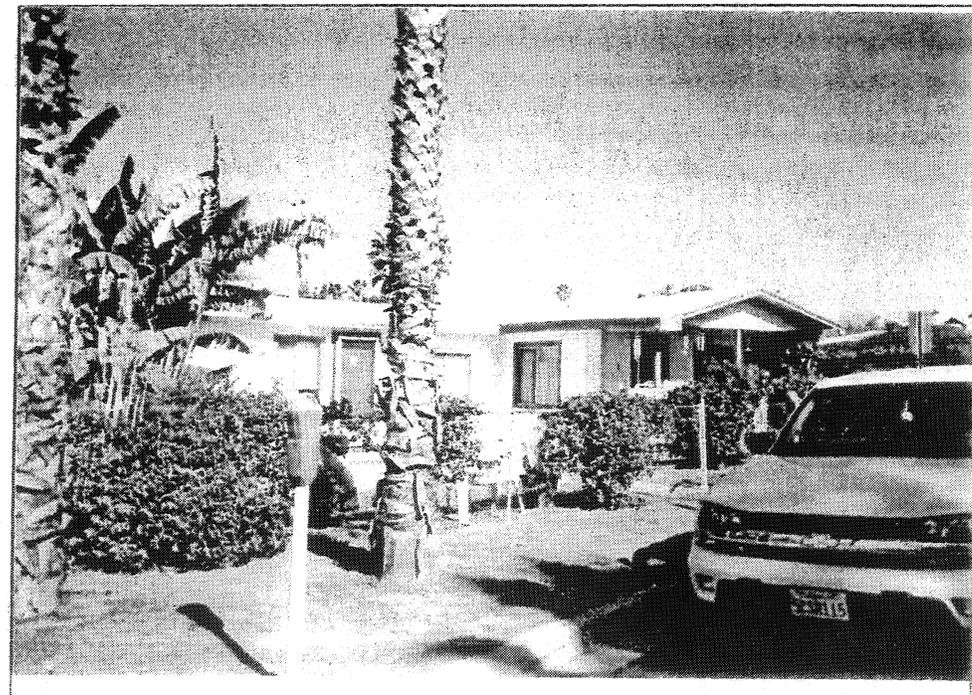
P5b. Description of Photo: (View, date, accession #) Facade looking north, 2/25/05, 942:1

*P6. Date Constructed/Age and Source Historic Prehistoric Both Constructed 1940 per Residential Building Record

*P7. Owner and Address: SAM Oceanside, LLC
15821 Ventura Blvd. #525
Encino, CA 91436

*P8. Recorded by (Name, affiliation, and address): Ruth Alter,
Archaeos, 11209 Golden
Birch Way, San Diego, CA
92131 *P9. Date Recorded:

2/25/05 *P10. Type of Survey: (Describe) Field Check *P11. Report Citation (Cite survey report and other sources, or enter "none".) None Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Resource Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

*Page 2 of 3

*Resource Name or # (Assigned by recorder) 208 Sportfisher Way

*Recorded by Ruth Alter Date 2/25/05 Continuation Update

From 1901 until 1919, this property shared a common chain of ownership with the neighboring property located at 504 and 506-508 N. Pacific Street. According to the chain of title, in April, 1901, Frank A. Jones and his wife Florence sold this unimproved parcel to Alice and W.A. Morford. Mr. Jones, a native of Goshen, Illinois, was trained in harness making by his father prior to engaging in railway service. In 1886, Mr. Jones came to California where he was in charge of the Temecula Station for eight months. He took over the Oceanside Station immediately after its construction and remained there until shortly after the time of the sale of the subject land. During his tenure in Oceanside, Mr. Jones invested thousands of dollars in residential and business lots and was a partner in the Oceanside Brick Company. In April, 1904, after about three years of ownership, the Morfords sold the property to John A. Tulip, station agent for the local Santa Fe railroad. The purchase was of a speculative nature, as Tulip and his wife lived on Myers Street at the time, and retained title to the property for only three months before selling it to R.F. and Anna B. Garner, in July, 1904. W.H. Sargent, a local real estate investor purchased the subject property from the Garners in October, 1907. The year prior, Mr. Sargent had relocated to Oceanside from Redlands, and joined O.S. Hecox in his general real estate business.

In May, 1919, Mr. Sargent sold his unimproved property to Kate Sadler. Miss Sadler, a native of Sussex county, England, came to Oceanside from Elsinore around the turn of twentieth century. Articles documenting her activities begin to be chronicled in the *Oceanside Blade* as early as 1903 and continued until her death at age 69 in 1925. An artist of note, as well as a musician and an outdoor sports enthusiast, Miss Sadler was member of the Oceanside Tennis Club. Over the years, she owned and resided in houses on N. Myers Street, Pine Street, and Second Street. Her ownership of the subject property lasted only one year, as she sold it to real estate agent Richard Curran in May, 1920. Mr. Curran retained title until May, 1927, when the property was deeded to the Exchange Securities Company. A month later, the property was sold to Thomas and Delores Ramos.

Mr. Ramos was a grocer, working for the Karlson Ideal Grocery at the time of the purchase of the property. He previously worked as the manager of the Oceanside Safeway store, and went on to manage the Humpty Dumpty store on Second Street. He and his wife constructed the apartment in 1940 just prior to selling the property to Thomas E. James in August of that year. Mrs. Ramos is identified as the tenant of one of the apartment units by the Huckabay Department Store credit roster; tenants included in the 1955-56 City Directory were E.E. Seal, Apartment 5; D.E. Cash, Apartment 6; Louis Valles, Apartment 7; and C.T. Martin, Apartment 8. Tenants in 1959 included Clarence Schneider, D.T. Thompson, and H.E. Young.

Sara Helene and Bill McIntyre bought the property in October, 1945, selling it to Charles and Clara Ingels a few months later, in February, 1946. Bill and Helen Gaddis acquired title in November, 1946 and retained ownership of the building until March, 1963. At that time the property was sold to E. St. John Tannler. In January, 1972, Ronald and Mary Taylor bought the apartment building. It subsequently was owned by Gerald Wantland from March, 1973 until June, 1976.

Richard and Edna Garlock bought the property in June, 1976. When they purchased the adjacent property on N. Pacific Street in October, 1976, the two parcels were reunited under common ownership. Sumner D. Bearman then bought both properties in June, 1979. Title to the apartment building was acquired by Chung Hisoolin August, 2000. The current owner, SAM Oceanside, LLC, bought the property from Hisool in October, 2004.

*Resource Name or # (Assigned by recorder) 208 Sportfisher Way

B1. Historic Name: Thomas J. and Delores Ramos Apartment Building

B2. Common Name: None

B3. Original Use: Multiple-family residence

B4. Present Use Multiple-family residence

*B5. Architectural Style: Nondescript

*B6. Construction History: (Construction date, alternations, and date of alterations)
The apartment building was constructed in 1940 per the Residential Building Record. Additional units were added in 1960.

*B7. Moved? No Yes Unknown Date: _____ Original Location: _____

*B8. Related Features: None

B9a. Architect: None b. Builder: Unknown

*B10. Significance: Theme: residential development Area Oceanside, California

Period of Significance 1869 to 1950 Property Type Apartments Applicable Criteria N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The resource is located in the A.J. Myers Addition, Oceanside's earliest subdivision. The subject property probably was purchased shortly after the initial land boom of 1887-1890, possibly from Myer's agent, J. Chauncy Hayes. This transaction, however, is not recorded on the chain of title. The subdivision, which includes the first Oceanside townsite, is near the Pacific Ocean and the history of the neighborhood was shaped by its proximity to the water, downtown Oceanside, and the railroad. Many of the earliest buildings constructed in this area appear to have been intended as small owner-occupied residences or as vacation rental units.

The immediate neighborhood has undergone substantial change largely in the post-World War II years. The neighborhood density has increased over time, with many two and three story multi-family units constructed. Only a few of the original older cottages and beach rentals constructed prior to 1940 remain. Hence, the original setting has been completely altered and the early context for the subject apartment house no longer exists.

The resource is not associated with any known significant historic event or events. Historically significant individuals have owned the property, but have not been directly associated with the building. Its design is not distinctive, it does not represent the work of a master architect or craftsman, and it is not constructed of rare or unique materials. The building is unlikely to yield important information relevant to local, state or national history. Its locational integrity is intact, but the design and feeling of the building have been compromised by additions. The setting has been altered by stylistic additions and revisions to the neighborhood. Once considered on the edge of town, the City has long since grown up around it.

B11. Additional Resource Attributes: (List attributes and codes) None

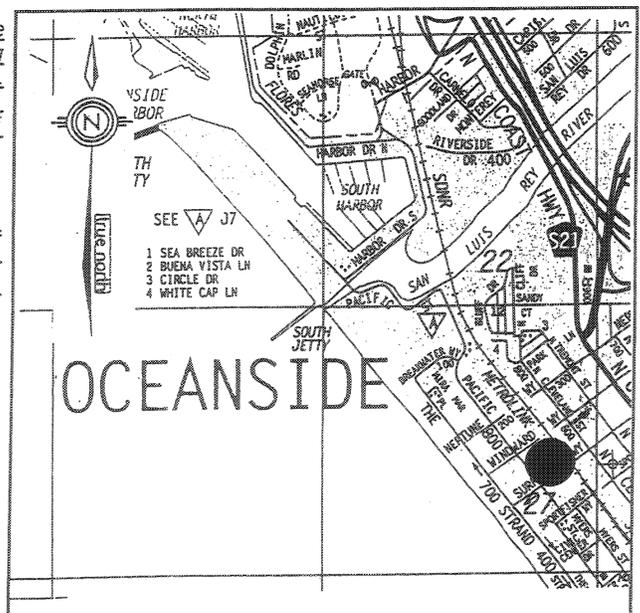
*B12. References: McAlester, V. and L, A Field Guide to American Houses, 2000. Alfred A. Knopf, New York; Kristi Hawthorne, Oceanside Historical Society; S.K. Flanigan, S. Carrico, R. Carrico, Oceanside, California's Pride, 1993, City of Oceanside.

B13. Remarks:

*B14. Evaluator: Ruth Alter, Archaeos, 11209 Golden Birch Way, San Diego, CA 92131

*Date of Evaluation: 2/25/05

(This space reserved for official comments.)



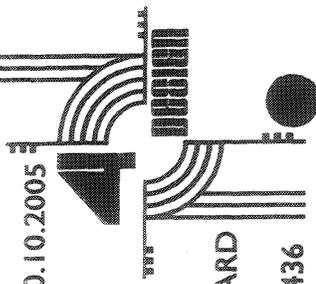
SAM CONDOMINIUMS

NORTH PACIFIC STREET AND SPORTFISHER DRIVE
OCEANSIDE, CA

VIEW CORRIDOR EXHIBIT I

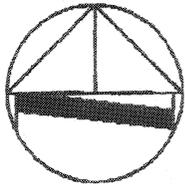
COASTAL VIEW FROM SEA STAR PINE CONDOMINIUMS

10.10.2005

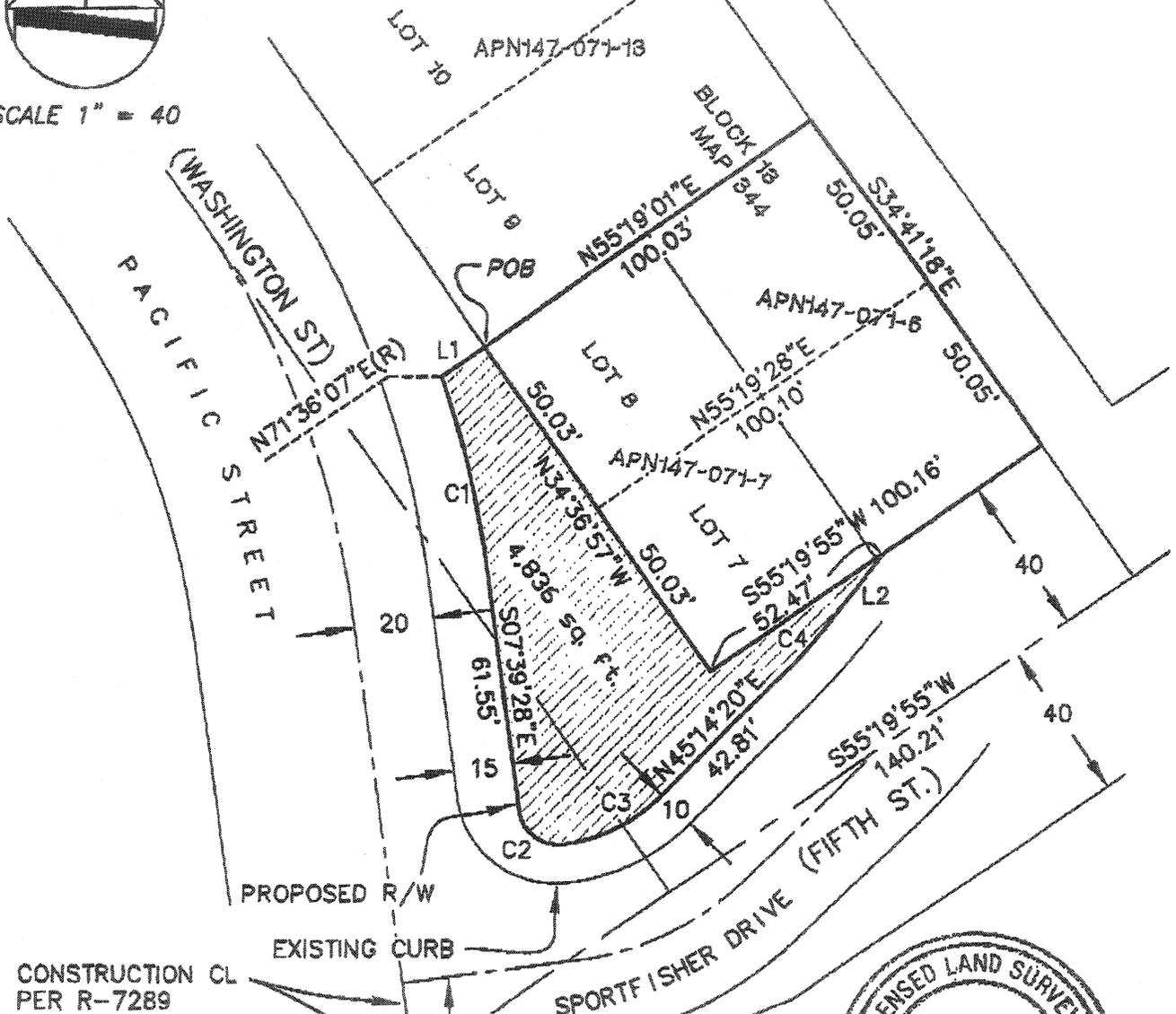


V. JOSEPH STUBBS
15821 VENTURA BOULEVARD
SUITE 525
ENCINO, CALIFORNIA 91436

EXHIBIT B



SCALE 1" = 40'



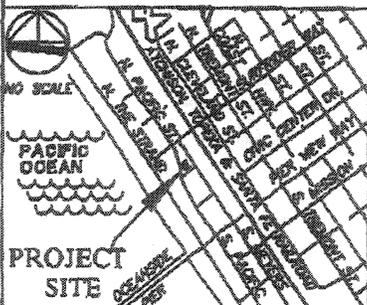
- L1 S55°19'01"W 13.15'
- C1 L=50.14 R=267.50 Δ=10°44'25"
- C2 L=15.71 R=10.00 Δ=90°00'00"
- C3 L=27.45 R=42.39 Δ=37°06'12"
- C4 L=17.88 R=131.46 Δ=7°47'32"
- L2 N37°26'48"E 22.50'



Armand A. Marois
 ARMAND A. MAROIS P.L.S. 5941

PROPOSED STREET VACATION

CITY OF OCEANSIDE
 TO
 S.A.&M., LLP



BHA, Inc.

land planning, civil engineering, surveying
 5115 Avenida Encinas
 Suite L
 Carlsbad, California 92008-4387
 (760) 931-8700

LEGAL DESCRIPTION FOR THE VACATION OF
PORTIONS OF PACIFIC STREET AND FIFTH STREET

EXHIBIT "A"

THOSE PORTIONS OF PACIFIC STREET (FORMERLY WASHINGTON STREET), 80 FEET WIDE, AND FIFTH STREET, 80 FEET WIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NO. 344 FILED IN THE OFFICE OF THE COUNTY RECORDER ON JULY 1, 1885, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST SOUTHERLY CORNER OF LOT 7 IN BLOCK 13 AS SHOWN ON SAID MAP NO. 344; THENCE, FOLLOWING ALONG THE SOUTHWESTERLY LINE OF LOTS 7 AND 8 IN BLOCK 13 OF SAID MAP AND THE SOUTHWESTERLY LINE OF LOT 1 OF MAP NO. 9541 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON JANUARY 30, 1980, NORTH $34^{\circ}37'48''$ WEST 174.82 FEET; THENCE, LEAVING SAID SOUTHWESTERLY LINE, SOUTH $21^{\circ}05'38''$ EAST 63.20 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE WESTERLY HAVING A RADIUS OF 262.50 FEET WHICH IS ALSO TANGENT TO A CURVE THAT IS CONCENTRIC WITH AND 10.00 FEET EAST OF THAT CERTAIN COURSE IN THE EASTERLY CURB LINE OF PACIFIC STREET SHOWN AS HAVING A CENTRAL ANGLE OF $26^{\circ}57'29''$ AND A RADIUS OF 252.50 FEET ON CITY DRAWING R-7289 WHICH IS ON FILE WITH THE CITY OF OCEANSIDE ENGINEERING DEPARTMENT; THENCE, FOLLOWING ALONG SAID CONCENTRIC CURVE AND A LINE WHICH IS PARALLEL TO AND DISTANT 10.00 FEET EAST OF SAID EASTERLY CURB LINE, SOUTHERLY 61.49 FEET THROUGH A CENTRAL ANGLE OF $13^{\circ}25'19''$; THENCE SOUTH $07^{\circ}40'19''$ EAST 56.49 FEET; THENCE, LEAVING SAID PARALLEL LINE, SOUTH $52^{\circ}40'19''$ EAST 21.21 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 42.39 FEET WHICH IS ALSO CONCENTRIC WITH AND 10.00 FEET NORTH OF THAT CERTAIN COURSE IN THE NORTHERLY CURB LINE OF SPORTFISHER DRIVE (FORMERLY FIFTH STREET) SHOWN AS HAVING A CENTRAL ANGLE OF $37^{\circ}06'12''$ AND A RADIUS OF 52.39 FEET ON CITY DRAWING R-7290 WHICH IS ALSO ON FILE WITH THE CITY OF OCEANSIDE ENGINEERING DEPARTMENT AND TO WHICH A RADIAL LINE BEARS SOUTH $07^{\circ}40'19''$ EAST; THENCE, FOLLOWING ALONG SAID CONCENTRIC CURVE AND A LINE WHICH IS PARALLEL TO AND DISTANT 10.00 FEET NORTH OF SAID NORTHERLY CURB LINE, NORTHEASTERLY 27.45 FEET THROUGH A CENTRAL ANGLE OF $37^{\circ}06'12''$; THENCE NORTH $45^{\circ}13'29''$ EAST 41.62 FEET; THENCE, LEAVING SAID PARALLEL LINE, CONTINUING NORTH $45^{\circ}13'29''$ EAST 48.88 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 177.00 FEET, SAID CURVE ALSO BEING TANGENT TO THE SOUTHEASTERLY LINE OF SAID LOT 7; THENCE NORTHEASTERLY 31.21 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF $10^{\circ}06'12''$ TO A POINT OF CUSP WITH SAID SOUTHEASTERLY LINE; THENCE, FOLLOWING ALONG SAID SOUTHEASTERLY LINE, SOUTH $55^{\circ}19'41''$ WEST 91.76 FEET TO THE POINT OF BEGINNING.

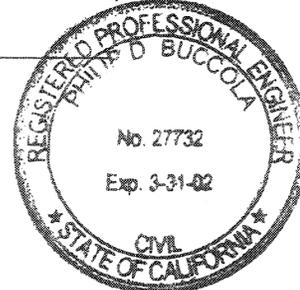
THE ABOVE DESCRIBED PARCEL OF LAND HAS AN AREA OF 6,134 SQUARE FEET, MORE OR LESS.

PREPARED BY:

Philip D. Buccola
PHILIP D. BUCCOLA, RCE 27732

DATE

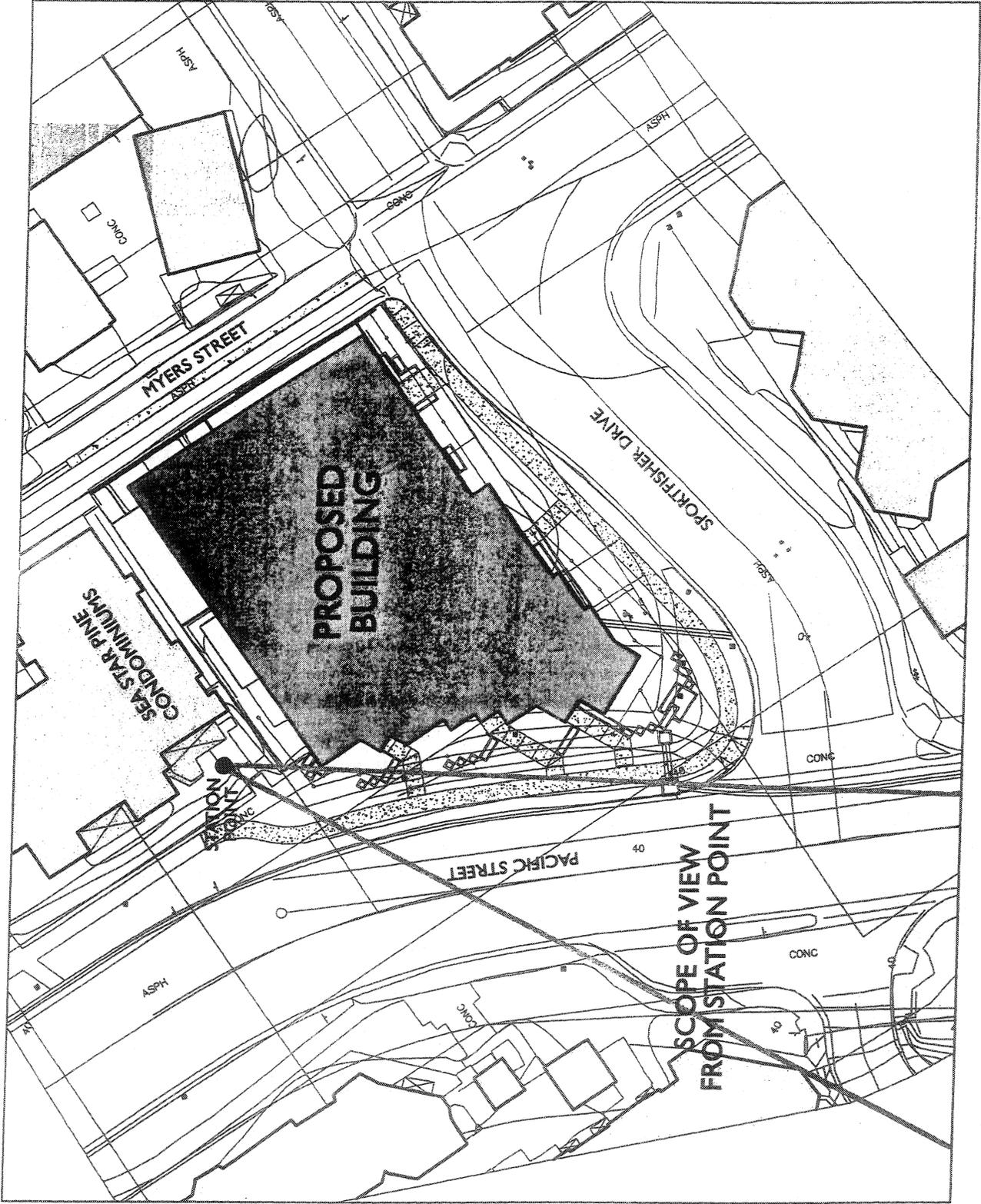
7-19-01



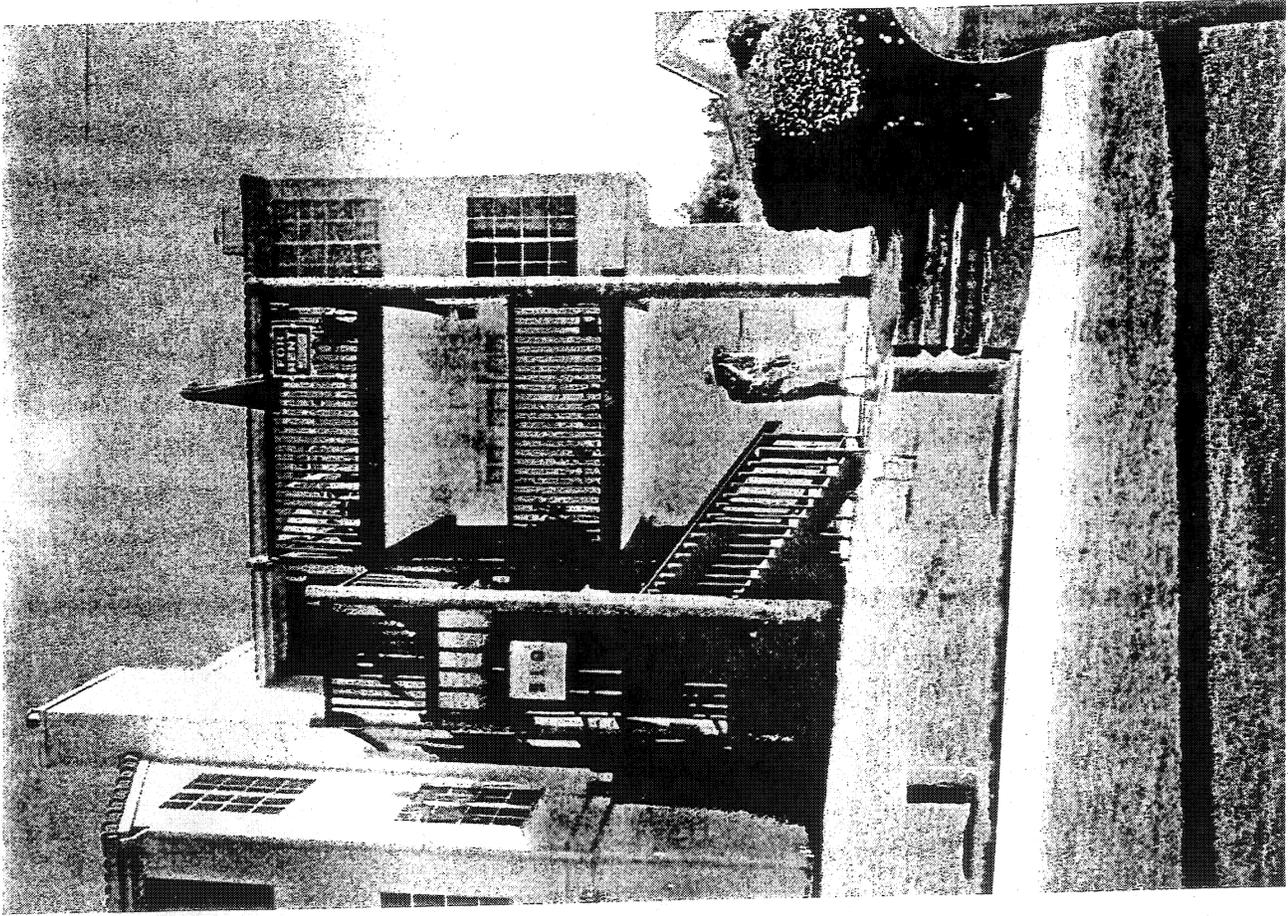
BUCCOLA
ENGINEERING, inc.

3142 Vista Way, Suite 301
Oceanside, CA 92056

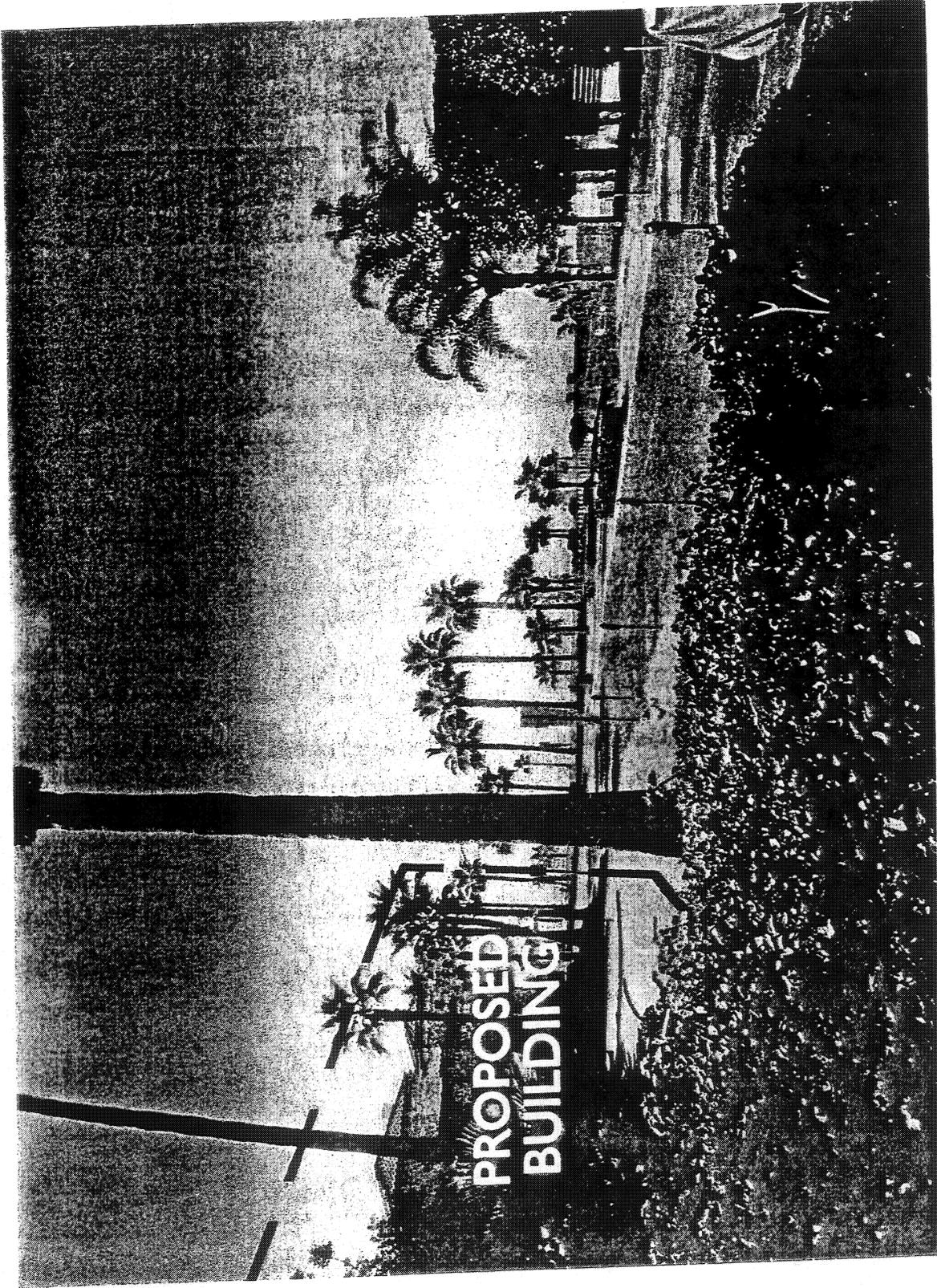
760/721-2000
FAX 760/721-2046



VIEW CORRIDOR EXHIBIT I - SITE PLAN



VIEW CORRIDOR EXHIBIT I - STATION POINT



**VIEW CORRIDOR EXHIBIT I-
VIEW FROM STATION POINT**

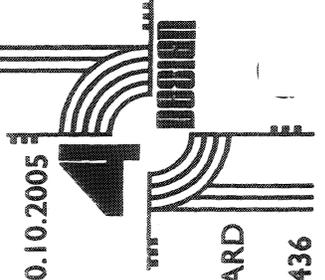
SAM CONDOMINIUMS

**NORTH PACIFIC STREET AND SPORTFISHER DRIVE
OCEANSIDE, CA**

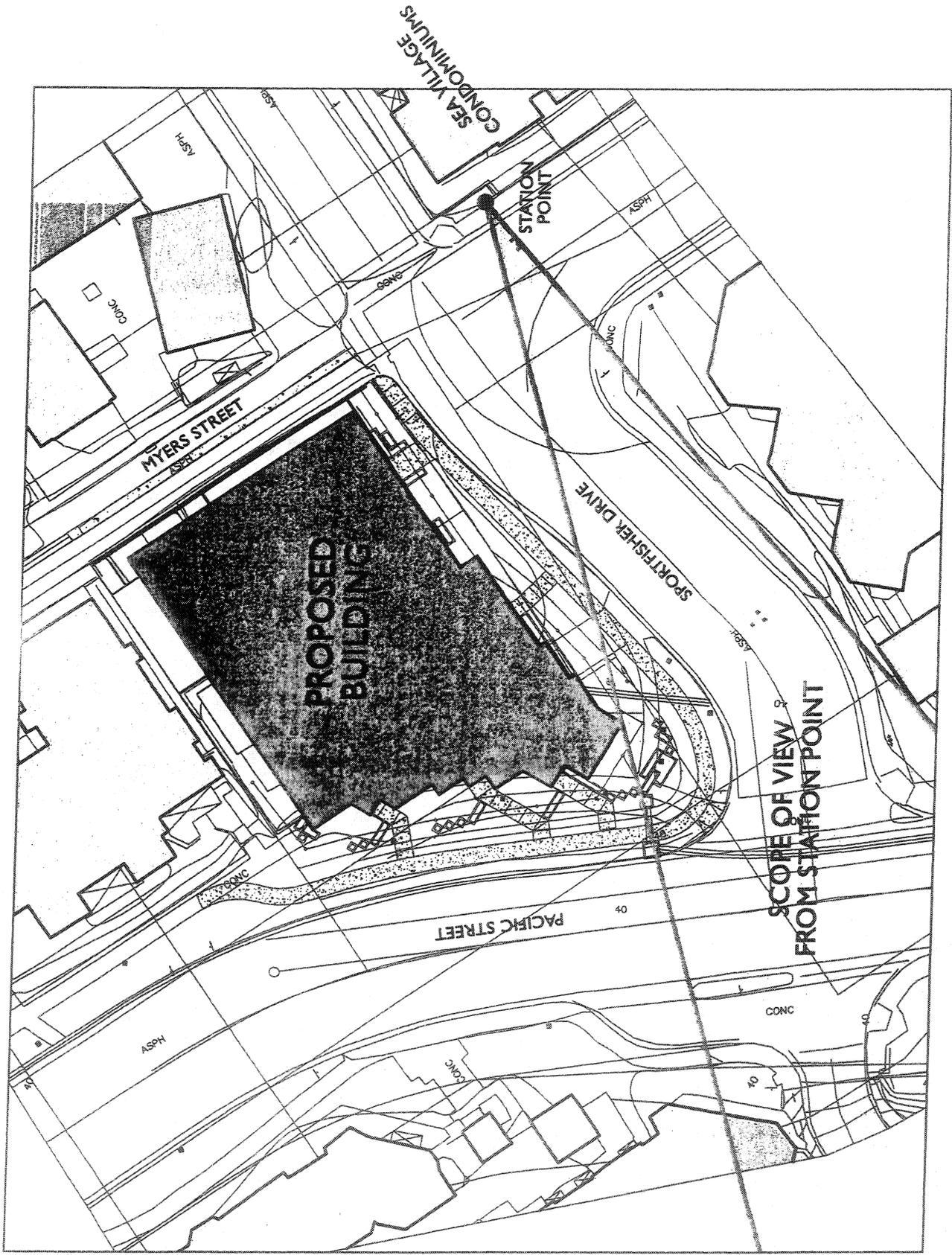
VIEW CORRIDOR EXHIBIT 2

COASTAL VIEW FROM SEA VILLAGE CONDOMINIUMS

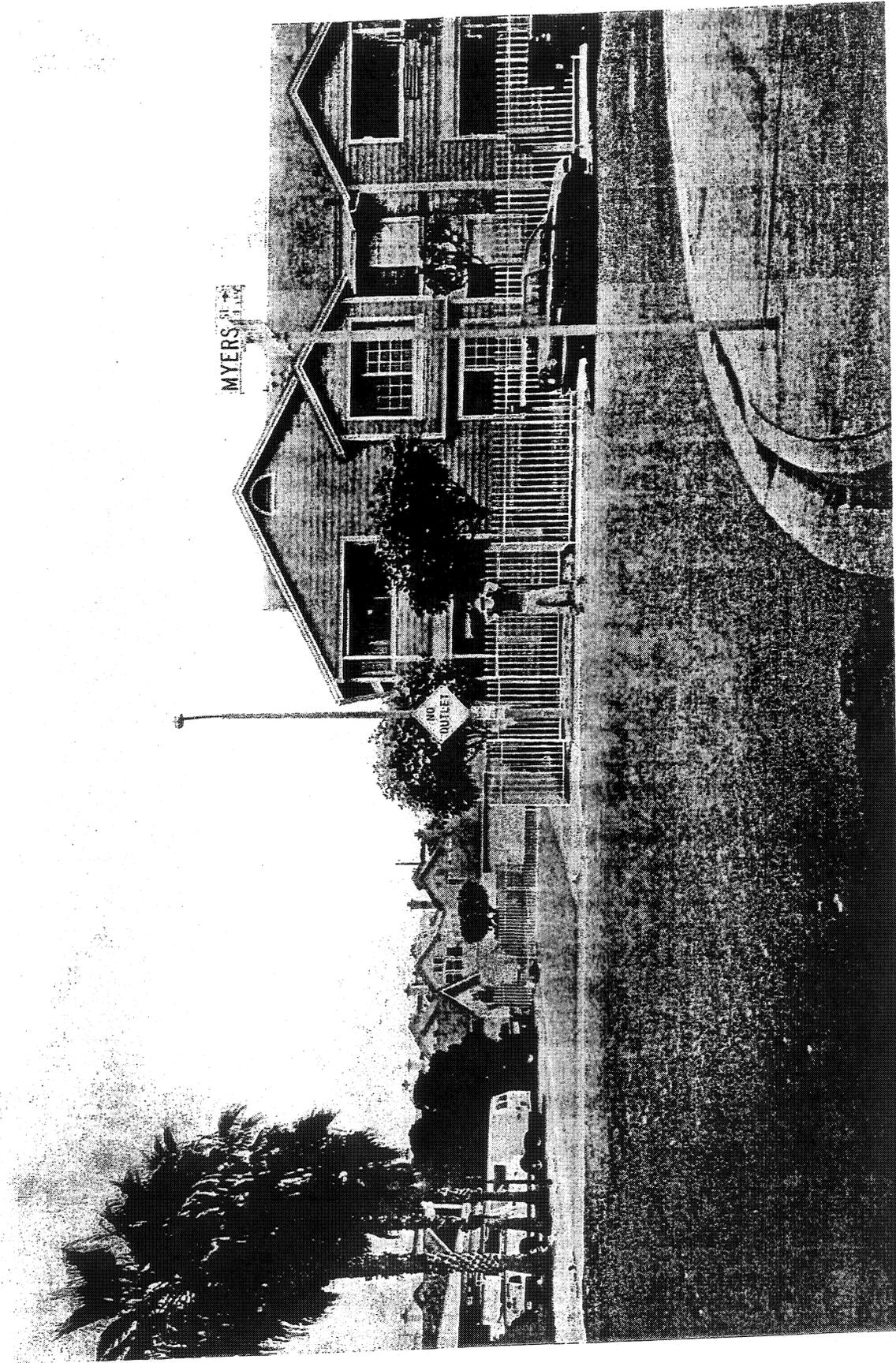
10.10.2005



**V. JOSEPH STUBBS
15821 VENTURA BOULEVARD
SUITE 525
ENCINO, CALIFORNIA 91436**



VIEW CORRIDOR EXHIBIT 2 - SITE PLAN



VIEW CORRIDOR EXHIBIT 2 - STATION POINT



**VIEW CORRIDOR EXHIBIT 2 -
VIEW FROM STATION POINT**

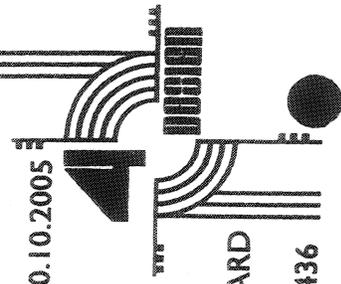
SAM CONDOMINIUMS

**NORTH PACIFIC STREET AND SPORTFISHER DRIVE
OCEANSIDE, CA**

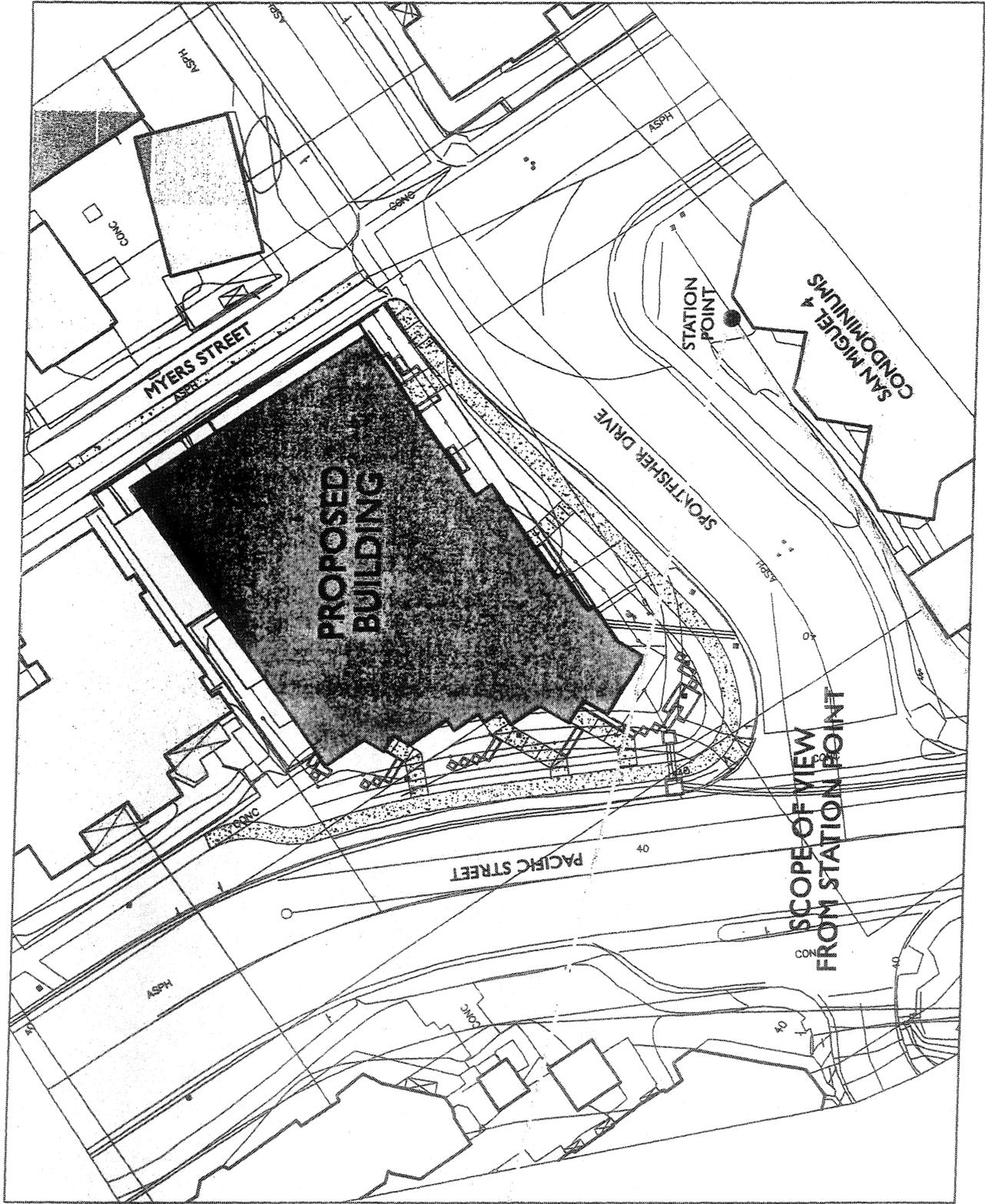
VIEW CORRIDOR EXHIBIT 3

COASTAL VIEW FROM SAN MIGUEL 4 CONDOMINIUMS

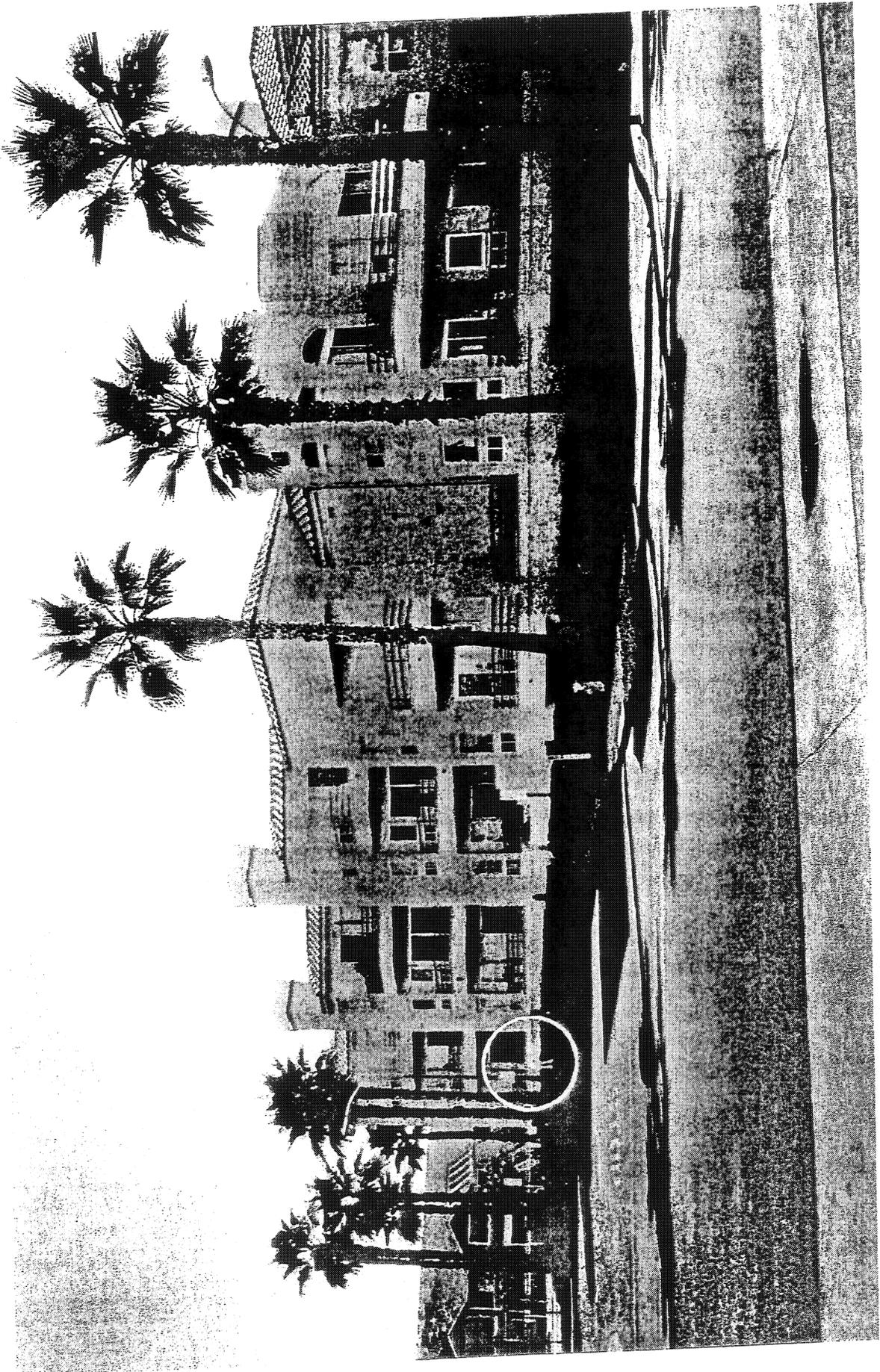
10.10.2005



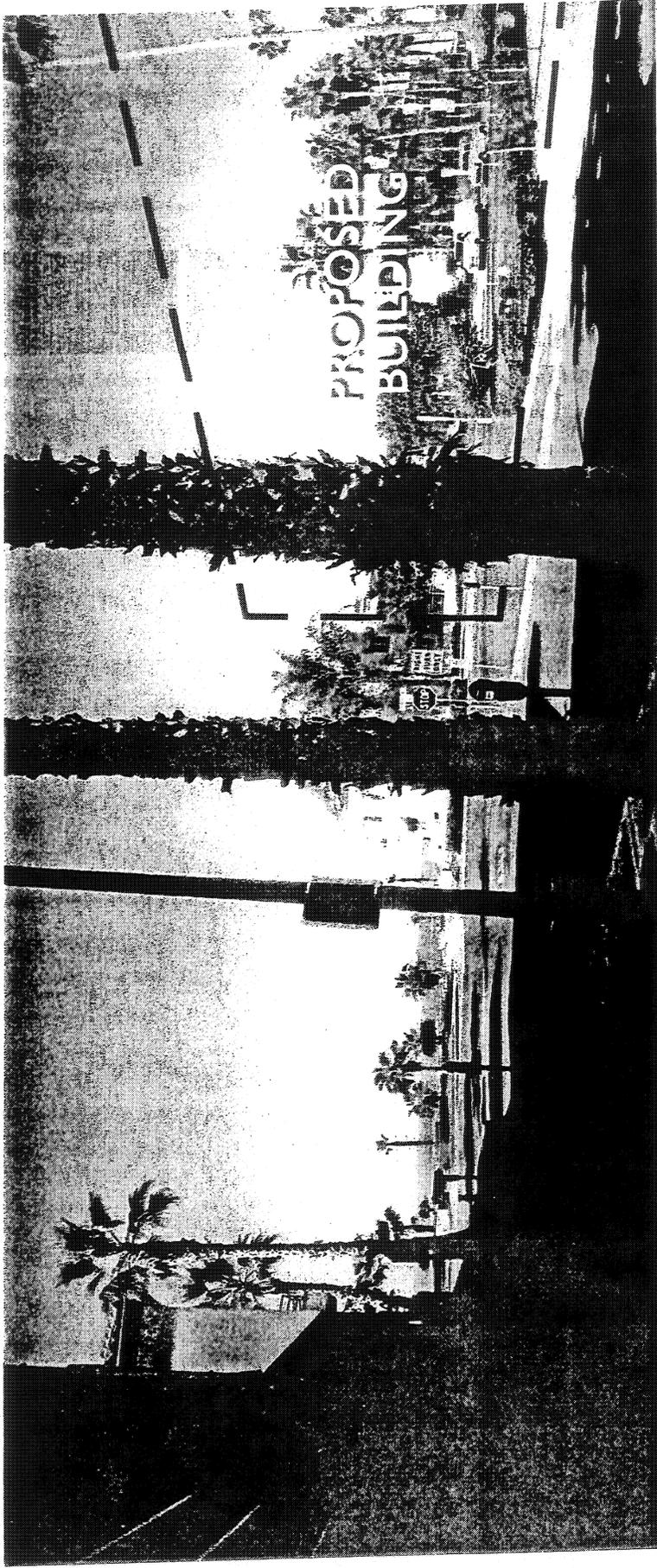
**V. JOSEPH STUBBS
15821 VENTURA BOULEVARD
SUITE 525
ENCINO, CALIFORNIA 91436**



-VIEW CORRIDOR EXHIBIT 3 - SITE PLAN



VIEW CORRIDOR EXHIBIT 3 - STATION POINT



**VIEW CORRIDOR EXHIBIT 3 -
VIEW FROM STATION POINT**

SAN MIGUEL II HOMEOWNERS' ASSOCIATION
C/o Transcontinental Management Co., Inc.
3355 Mission Ave. Ste #111
Oceanside, CA 92054
760-439-8611

November 9, 2005

Mr. Joe Stubbs
SAM Development Co., LLC
1606 Ventura Blvd., Suite 105-288
Encino, CA 91436

RE: *Proposed Condominium Development on North Pacific Street & Sportfisher Drive*

Dear Mr. Stubbs:

Thank you for the opportunity to review the proposed plans for the condominiums at North Pacific Street and Sportfisher Drive. The Homeowners Associations appreciates your time and effort to keep us informed of your progress.

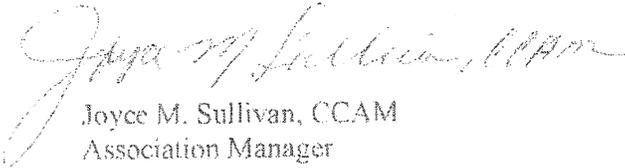
The HOA board believes that the proposed site merits an upscale project, such as the one you are proposing, that is consistent with the surrounding community. The proposed development appears that it will be a positive addition to the community.

Also, we look forward to our on-going discussions regarding the disposition of the right-of-way parcel to be vacated adjacent to your property.

While we reserve the right to comment on any final plans submitted to the City, we support your efforts to diligently process the development plans through the City of Oceanside.

Again, thank you for your efforts to brief and update us on your progress. If you have any questions or updates, please do not hesitate to contact me at (760) 439-8611.

Sincerely,



Joyce M. Sullivan, CCAM
Association Manager
San Miguel II Homeowners' Association

**RANCH & SEA**
MANAGEMENT316 Mission Avenue, Oceanside, CA 92054
(760) 722-2114 • 1-800-291-9957 • www.ranchandsea.com

October 10, 2005

Mr. Joe Stubbs
Sam Development Co. LLC
16060 Ventura Blvd., Suite 105-288
Encino, CA 91436

Re: Proposed Condominium Development
North Pacific Street/Sportfisher Dr.

Dear Mr. Stubbs:

I wanted to write to thank you and Mr. Tayco for taking out the time to review the current plans involved in the redevelopment of the property right next door to Pacifica Star Pine.

My Board Member who attended the meeting was very impressed by your presentation and expressed a sincere excitement. From her viewpoint, she and the other owners of Pacifica Star Pine are looking forward to the possible renovation of that corner.

We look forward to be continually informed on the proposed development and any changes that may occur prior to implementation as stated in your presentation.

Thanks again for a great presentation.

Sincerely,



Victoria S. Cowan
Association Manager
For: Pacifica Star Pines
HOA

cc: file
The Board of Directors



Dedicated to preserving, promoting and revitalizing Downtown Oceanside

October 14, 2005

SAM Development Company
c/o Mr. Joe Stubbs
16060 Venyura Blvd.
Suite 105-288
Encino, CA 91436

Re: Residential Project
Northeast Corner of Pacific Street & Sportfisher Drive

Dear Mr. Stubbs:

Thank you for your presentation of the proposed residential use project for the above referenced location. As the downtown organization, MainStreet Oceanside is focused on the promotion of thoughtful development and the advancement of the Downtown core as a vital and healthy environment for commerce, recreation and living. Densification of the central core and its surrounds with structures that will introduce new residential units, professional office and modern commercial spaces is very important to the creation of a new and vibrant downtown lifestyle. To the extent the proposed project meets with these goals, MainStreet Oceanside commends your efforts on moving this project forward and supports your formal application to the City of Oceanside for favorable consideration.

Very Truly Yours,

A handwritten signature in black ink, appearing to read "Kim Helm", written over a horizontal line.

Kim Helm
Executive Director

214 North Coast Highway
Oceanside, California 92054
Ph: 760-754-4512 Fax: 760-754-4547 E-Mail: mainsto@pacbell.net
Web: www.ms oceanside.com

Thomas B. Ayer
14320 Ventura Blvd., #257
Sherman Oaks, CA 91423
Tel: 818-881-1191
Fax: 888-366-0476
Email: tomayer@onebox.com

October 25, 2005

Mr. Joe Stubbs
SAM Development Co., LLC
1606 Ventura Blvd., Suite 105-288
Encino, CA 91436

RE: Proposed Condominium Development on North Pacific Street & Sportfisher Drive

Dear Mr. Stubbs:

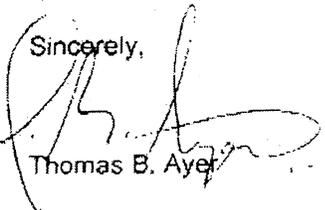
Thank you for the opportunity to review the proposed plans for the condominiums at North Pacific Street and Sportfisher Drive.

As an adjacent property owner (502 N. Myers Street), I appreciate your time and effort to keep me informed of your progress. I believe that the proposed site that you are developing merits an upscale project, such as the one you are proposing. I believe that your proposal is consistent with the surrounding community and appears that it will be a positive addition to the community.

While we reserve the right to comment on any final plans submitted to the City, I support your efforts to diligently process the development plans through the City of Oceanside.

Again, thank you for your efforts to brief and update us on your progress. If you have any questions or updates, please do not hesitate to contact me at (818) 881-1191.

Sincerely,


Thomas B. Ayer

Mr. Joe Stubbs
SAM Development Co., LLC
16060 Ventura Blvd., Suite 105-288
Encino, CA 91436

10/29/2005

RE: Proposed Condominium Development on North Pacific Street & Sportfisher Drive.

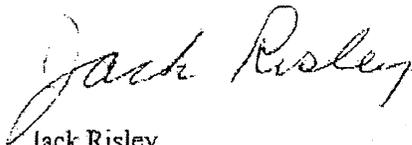
Mr. Stubbs,

Thank you very much for all the information you've provided to the "North Beach Villages". Because of the meetings and presentations with you, we have been able to reach many people in our community either by word of mouth or the details we've posted on our neighborhood website: <http://www.northbeachvillages.org/>

It is a pleasure to draft a support letter on your behalf.

1. We have spoken with project applicants and reviewed the general development plans.
2. While we reserve the right to comment on any final plans submitted to the City, and on any development conditions imposed by the City, we approve of the efforts to redevelop the site.
3. The proposed development appears as if it will be a significant positive addition to the area aesthetics, character and property values.
4. We ask that the City process the development plans diligently.

I look forward to this exciting new addition to the North Beach Villages.



Jack Risley
408 N. Cleveland Street
North Beach Villages
Oceanside, California 92054
760-435-9565

**Sea Village Condominiums
Transcontinental Management, Inc.
3355 Mission Ave. Suite #111
Oceanside, Ca. 92054**

October 28, 2005

Mr. Joe Stubbs
SAM Development Co., LLC
1606 Ventura Blvd., Suite 105-288
Encino, CA 91436

RE: Proposed Condominium Development on North Pacific Street & Sportfisher Drive

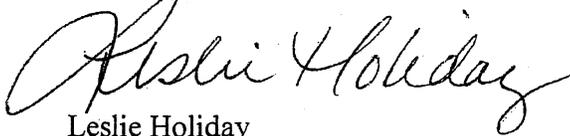
Dear Mr. Stubbs:

Thank you for the opportunity to review the proposed plans for the condominiums at North Pacific Street and Sportfisher Drive.

The association's board of directors believes that the proposed site merits an upscale project, such as the one you are proposing, that is consistent with the surrounding community. The proposed development appears that it will be a positive addition to the community.

Again, thank you for your efforts to brief and update us on your progress. If you have any questions or updates, please do not hesitate to contact me at (760) 859-5928.

Sincerely,



Leslie Holiday
Community Association Manager
Sea Village Condominiums

9/18/06

Carolyn, / RAC

I have to go to class, but for
the record, I am against
the proposed SAM project
if they plan on using some of
the vacant land in front of
the existing houses for their
project.

Dorela Myers
901 N. Pacific Street

September 14, 2006

Joe Stubbs
15260 Ventura Blvd 20th Floor
Sherman Oaks, CA 91403
Fax (818) 474-8607

Dear Joe,

It was good talking with you the other day. I am very much in support of your project on N. Pacific Street. You are proposing a project of the quality that we the tax payers of Oceanside have long deserved. Your project goes far above the minimum development requirements. Thank you.

It looks like your development will generate approximately \$286,500 in the increment funds for the Redevelopment area each year. That will allow the Redevelopment Agency to issue approximately 4 million in bonds. That 4 million in turn can be given to developers to help them with their projects in the Redevelopment area. An example is the 36 million offered to the hotel development last week. I hope the Redevelopment Agency is giving you most of the 4 million dollars you are generating with your project, to help you with your project. I think they should be happy to help you.

You mentioned that there is an issue with some land you own at the front of your project site. You want to use it for your project. I am very familiar with the property in question. At one time it was used as a street by the city. The city has the right to use your land as a street but my understanding is, as per Dick Negler, past property manager of Oceanside, once your property is no longer used by the city as a street. The use reverts back to you, the owner. This is the information I had been given from Dick Negler for years.

Please feel free to share this letter with the Redevelopment Advisory Committee, the Redevelopment Agency, and the CDC.

Sincerely,



Richard Eisendrath
115 S. Tremont
Oceanside, CA 92054
(760)815-8008