



DATE: December 18, 2006

TO: Chairperson and Members of the Planning Commission

FROM: Community Development Department/Planning Division

SUBJECT: **CONSIDERATION OF A TIME EXTENSION OF A PREVIOUSLY APPROVED TENTATIVE PARCEL MAP (P-4-04), DEVELOPMENT PLAN (D-7-04), CONDITIONAL USE PERMIT (C-14-04) AND REGULAR COASTAL PERMIT (RC-5-04) FOR A THREE-UNIT CONDOMINIUM DEVELOPMENT ON AN 0.19-ACRE LOT LOCATED AT 1620 SOUTH BROADWAY STREET – TURNER CONDOMINIUMS PROJECT - APPLICANT: CARLOS VALLADARES**

**RECOMMENDATION**

Staff recommends that the Planning Commission approve the time extension for Tentative Parcel Map (P-4-04), Development Plan (D-7-04), Conditional Use Permit (C-14-04) and Regular Coastal Permit (RC-5-04) and adopt Planning Commission Resolution No. 2006-P76 as attached.

**PROJECT DESCRIPTION AND BACKGROUND**

**Background:** On November 8, 2004, the Planning Commission adopted Resolution No. 2004-P58 by a vote of 7-0 approving the 3-unit residential condominium subdivision, conditional use permit, development plan, and coastal permit.

**Site Review:** The subject site is approximately 8,100-square foot in size and consists of an existing single-family residence, which will be removed as part of this development. The site slopes down slightly to the west with elevations ranging from a high of 44 feet above mean sea level (MSL) on the eastern portion of the site to a low of 42 MSL on the western (Broadway Street) portion of the site. The subject site is surrounded by mainly multi-family residential uses interspersed with single-family residential. The railroad tracks are located west of the site.

Under the provisions of the Local Coastal Plan the project site is designated as R-3. The project is situated outside of the Coastal Zone "appeal jurisdiction".

The underlying land use designation for the site is Medium Density Residential, which allows a density range of 15.1 to 20.9 dwelling units per acre. The zoning for the site is Medium Density-C Residential (RM-C) and the project is situated within the South Oceanside Neighborhood. The project density is 16.1 dwelling units per acre, which is above the base density of 15.1 dwelling units per acre; however, it is below the maximum density of 20.9 dwelling units per acre.

The project application consists of several components, which include a Tentative Parcel Map, Development Plan, Conditional Use Permit, Regular Coastal Permit and a deferral of the undergrounding of the overhead utilities. Each discretionary request is described as follows:

Tentative Parcel Map and Development Plan: The project involves approval of a three-unit condominium Parcel Map. The project proposes three floor plans with the units ranging in size from 2,371 square feet to 2,724 square feet and each consisting of 3-bedrooms and 2½-baths. All three units have direct access from the garage. Architectural features include roof decks, balconies, fireplace and varied rooflines. Exterior materials consist of stucco and tiled roofs. The exterior colors consist of an off-white stucco, with colonial red and bronze trim.

Vehicular access will be provided from the alley located between Tremont and Broadway Streets and pedestrian access will be provided from Broadway Street.

Listed below is the overall project breakdown (see floor plans and elevations for specific details):

Plan Type	Sq.Ft.	Bedrms.	Baths	Units
Unit 1	2,371	3	2 ½	1
Unit 2	2,644	3	2 ½	1
Unit 3	2,724	3	2 ½	1

The following table summarizes the relationship between the project and the applicable and most restrictive development standards:

	ZONING/LCP REQUIREMENT LIMITATION	PROPOSED
MINIMUM LOT SIZE	7,500 sq. ft.	8,100 sq.ft. (existing)
PARKING	6-parking spaces	6-parking spaces
FRONTYARD SETBACK	15-feet	15-feet
SIDEYARD SETBACK	5-10-feet	5-10-feet
REARYARD SETBACK	5-feet	5-feet
BUILDING HEIGHT	27-feet	27-feet

The proposed plant palette includes Coast Live Oak and Fern Pine, Indian Hawthorne and Oleander shrubs and Star Jasmine and English Ivy for groundcover.

Regular Coastal Permit: A Regular Coastal Permit is required because the project is situated within the Coastal Zone.

Conditional Use Permit: A Conditional Use Permit is required for exceeding the base density.

Deferral of the Undergrounding of the Overhead Utilities: The applicant is requesting the deferral of the undergrounding of the overhead utilities.

This project is subject to the following Ordinances, Codes and Regulations:

1. The General Plan of the City of Oceanside
2. The Zoning Ordinance
3. The Subdivision Ordinance
4. The California Environmental Quality Act
5. Local Coastal Program

**ANALYSIS**

Under state law and local regulations there are three major issues that must be considered in deciding whether or not to grant a time extension:

1. The project has been conditioned for payment of all applicable impact fees, and therefore, will be paying its fair-share toward needed public services.
2. There have been no changes in City policy, nor have there been any substantial changes affecting the surrounding area since the original approval, and therefore, this time extension will not adversely affect the City's General Plan nor any existing applicable City policy.
3. The applicant has made a diligent good faith effort to record the final map within the time period originally approved.

### **DISCUSSION**

By Resolution 2004-P58, the project has been conditioned for payment of all applicable impact fees. There has been no change in City policy that the proposed project would need to address to grant the time extension. The applicant has applied for grading and building permits, but has not paid the bonds and fees because they have been unable to secure financing for the development. The purpose of the time extension is to allow the applicant to finalize payment of bonds and fees so that they can commence construction of the three-unit condominium project.

### **ENVIRONMENTAL DETERMINATION**

Per Article 19, Section 15303(b) a Certificate of Exemption stating that the proposed project is exempt from the California Environmental Quality Act has been prepared. Under the provisions of the California Environmental Quality Act, the Planning Commission will consider the Certificate of Exemption during its hearing on the project.

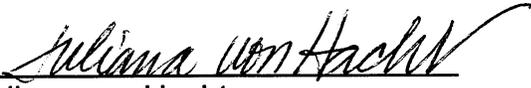
### **SUMMARY**

In reviewing the proposed project staff believes that the proposed condominium subdivision is consistent with development criteria of the Zoning Ordinance and the applicable land use policies of the General Plan. Therefore, staff recommends approval of the project and the Commission's action should be:

- Move to approve a Time Extension for Tentative Parcel Map (P-4-04), Development Plan (D-7-04), Conditional Use Permit (C-14-04) and Regular Coastal Permit (RC-5-04); and adopt Planning Commission Resolution No. 2006-P76 as attached.

PREPARED BY:

SUBMITTED BY:

  
Juliana von Hacht  
Associate Planner

  
Jerry Hittleman  
City Planner

JH/JH/fil

Attachments:

1. Planning Commission Resolution No. 2004-P58
2. Planning Commission approved Map/Site Plan/Floor Plans/Elevations
3. Substantial Conformity SC-22-05
4. Planning Commission Resolution No. 2006-P76

**Attachment 1. Planning Commission Resolution No. 2004-P58**

1  
2 PLANNING COMMISSION  
3 RESOLUTION NO. 2004-P58

4 A RESOLUTION OF THE PLANNING COMMISSION OF THE  
5 CITY OF OCEANSIDE, CALIFORNIA APPROVING A  
6 TENTATIVE PARCEL MAP, DEVELOPMENT PLAN,  
7 CONDITIONAL USE PERMIT AND REGULAR COASTAL  
8 PERMIT ON CERTAIN REAL PROPERTY IN THE CITY OF  
9 OCEANSIDE

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10 APPLICATION NO: P-4-04, D-7-04, C-14-04 and RC-5-04  
11 APPLICANT: Kevin Turner  
12 LOCATION: 1620 South Broadway Street

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13 THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES  
14 RESOLVE AS FOLLOWS:

15 WHEREAS, there was filed with this Commission a verified petition on the forms  
16 prescribed by the Commission requesting a Tentative Parcel Map, Development Plan, Conditional  
17 Use Permit and Regular Coastal Permit under the provisions of Articles 10, 41, and 43 of the  
18 Zoning Ordinance of the City of Oceanside to permit the following:

19 3-unit residential condominium;  
20 on certain real property described in the project description.

21 WHEREAS, the Planning Commission, after giving the required notice, did on the 8<sup>th</sup> day  
22 of November, 2004 conduct a duly advertised public hearing as prescribed by law to consider said  
23 application.

24 WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State  
25 Guidelines thereto; this project has been found to be categorically exempt per Article 19 from  
26 environmental review per the General Rule, Section 15061 (B)(3)

27 WHEREAS, there is hereby imposed on the subject development project certain fees,  
28 dedications, reservations and other exactions pursuant to state law and city ordinance;

29 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the  
project is subject to certain fees, dedications, reservations and other exactions as provided below:

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<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
Parkland Dedication/Fee	Ordinance No. 91-10 Resolution No. R91-38	\$2,200 per unit
Drainage Fee	Ordinance No. 85-23 Resolution No. 89-231	\$9,575 per acre
Public Facility Fee	Ordinance No. 91-09 Resolution No. R91-39	\$1,301 per unit for residential
School Facilities Mitigation Fee	Ordinance No. 91-34	\$2.14 per square foot
Traffic Signal Fee	Ordinance No. 87-19	\$13.70 per vehicle trip
Thoroughfare Fee	Ordinance No. 83-01	\$177 per vehicle trip (based on SANDAG trip generation table available from staff and from SANDAG)
Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 02-OR-332-1	Based on meter size Typical \$3,360
Wastewater System Buy-in fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 02-OR-333-1	Based on capacity or water meter size Typical \$4,114
San Diego County Water Authority Capacity Fees	SDCWA Ordinance No. 2000-3	Based on meter size. Residential is typically \$2,004 per unit
Inclusionary housing in lieu fees—Residential only.	Chapter 14-C of the City Code	\$1,000 per development project + \$100 per unit plus \$10,275 per unit

WHEREAS, the current fees referenced above are merely fee amount estimates of the impact fees that would be required if due and payable under currently applicable ordinances and

1 resolutions, presume the accuracy of relevant project information provided by the applicant, and are  
2 not necessarily the fee amount that will be owing when such fee becomes due and payable;

3 WHEREAS, unless otherwise provided by this resolution, all impact fees shall be calculated  
4 and collected at the time and in the manner provided in Chapter 32B of the Oceanside City Code  
5 and the City expressly reserves the right to amend the fees and fee calculations consistent with  
6 applicable law;

7 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,  
8 dedication, reservation or other exaction to the extent permitted and as authorized by law;

9 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that  
10 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction  
11 described in this resolution begins on the effective date of this resolution and any such protest must  
12 be in a manner that complies with Section 66020;

13 WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes  
14 effective 10 days from its adoption in the absence of the filing of an appeal or call for review;

15 WHEREAS, studies and investigations made by this Commission and in its behalf reveal  
16 the following facts:

17 FINDINGS:

18 For the Tentative Parcel Map:

- 19 1. The proposed subdivision creates parcels that are consistent and exceed the requirements  
20 of the RM-C zoning designation. The subdivision map is consistent with the General  
21 Plan of the City.
- 22 2. The proposed building pads on the site will conform to the topography of the site,  
23 therefore, making it suitable for residential development. The 8,100-square foot site is  
24 physically suitable to allow for the development of three-condominium units.
- 25 3. The subdivision complies with all other applicable ordinances, regulations and guidelines  
26 of the City.
- 27 4. The design of the subdivision or proposed improvements will not conflict with  
28 easements, acquired by the public at large, for access through the use of property within  
29 the subdivision.

1 5. That the design of the subdivision or the proposed improvements will not cause  
2 substantial environment damage with the proposed mitigation or substantially and  
3 avoidably injure fish or wildlife or their habitat.

4 For the Development Plan:

- 5 1. The site plan and physical design of the project is consistent with the Zoning Ordinance  
6 and the underlying Urban High Density Residential (RM-C).
- 7 2. The Development Plan conforms to the General Plan of the City.
- 8 3. The project site can be adequately served by existing public facilities, services and  
9 utilities.
- 10 4. The project, as proposed, is compatible with the existing and potential development on  
11 adjoining properties or in the surrounding neighborhood.
- 12 5. The site plan and parameters for the architecture and physical design of the project is  
13 consistent with the policies contained within Sections 1.24 and 1.25 of the Land Use  
14 Element of the General Plan.

15 For the Regular Coastal Permit:

- 16 1. The proposed project is consistent with the policies of the Local Coastal Program as  
17 implemented through the Zoning Ordinance. Specifically, the proposed height at 27-feet,  
18 bulk and scale is consistent with the properties within the surrounding neighborhood. In  
19 addition, due to the subject site location is east of the railroad tracks and therefore the  
20 proposed project will not substantially alter or impact existing public views of the coastal  
21 zone area.
- 22 2. The proposed project is situated east of the railroad tracks and will not obstruct any existing  
23 or planned public beach access; therefore, the project is in conformance with the policies of  
24 Chapter 3 of the Coastal Act.

25 For the Conditional Use Permit for the Increase in Base Density:

- 26 1. The development portion of the subject property is zoned RM-C with a corresponding Land  
27 Use designation of Residential Medium Density (15.1-20.9 dwelling units per acre). The  
28 project density 16.1 dwelling units per acre are consistent with the density range of 15.1-  
29 20.9 dwelling units per acre established by the Medium Density Residential District.

- 1 2. The location and conditions under which the subject application must comply insure that  
2 the project will not cause detriment to the public health safety or welfare of persons  
3 residing or working in or adjacent to the project area.
- 4 3. The project has been adequately conditioned or designed to comply with applicable  
5 requirements of the Zoning Ordinance.
- 6 4. The project proposes an excellence in design features in accordance with Section 2.32 of the  
7 General Plan including increased floor areas, offset garages, and the orientation of the  
8 building on the lot.

9 For the Deferral of the Requirement to Underground Facilities:

- 10 1. The subdivision contains three-unit condominium, which are less than 10 residential units  
11 stipulated as a finding for deferring the underground conversion.

12 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby  
13 approve Tentative Parcel Map (P-4-04), Development Plan (D-7-04), Conditional Use Permit (C-  
14 14-04) and Regular Coastal Permit (RC-5-04) subject to the following conditions:

15 Building:

- 16 1. Applicable Building Codes and Ordinances shall be based on the date of submittal for  
17 Building Department plan check.
- 18 2. The granting of approval under this action shall in no way relieve the applicant/project from  
19 compliance with all State and local building codes.
- 20 3. Site development, common use areas, access and adaptability of apartments and  
21 condominiums shall comply with Part 2, Title 24, and C.C.R. (Disabled Access &  
22 Adaptability - HCD).
- 23 4. All electrical, communication, CATV, etc. service lines, within the exterior lines of the  
24 property shall be underground (City Code Sec. 6.30).
- 25 5. The building plans for this project are required by State law to be prepared by a licensed  
26 architect or engineer and must be in compliance with this requirement prior to submittal  
27 for building plan review.
- 28 6. All outdoor lighting shall meet Chapter 39 of the City Code (Light Pollution Ordinance)  
29 and shall be shielded appropriately. Where color rendition is important high-pressure

1 sodium, metal halide or other such lights may be utilized and shall be shown on final  
2 building and electrical plans.

3 7. The developer shall monitor, supervise and control all building construction and supportive  
4 activities so as to prevent these activities from causing a public nuisance, including, but not  
5 limited to, strict adherence to the following:

6 a) Building construction work hours shall be limited to between 7:00 a.m. and 6:00  
7 p.m. Monday through Friday, and on Saturday from 7:00 a.m. to 6:00 p.m. for  
8 work that is not inherently noise-producing. Examples of work not permitted on  
9 Saturday are concrete and grout pours, roof nailing and activities of similar noise-  
10 producing nature. No work shall be permitted on Sundays and Federal Holidays  
11 (New Year's Day, Memorial Day, July 4<sup>th</sup>, Labor Day, Thanksgiving Day,  
12 Christmas Day) except as allowed for emergency work under the provisions of the  
13 Oceanside City Code Chapter 38 (Noise Ordinance).

14 b) The construction site shall be kept reasonably free of construction debris as  
15 specified in Section 13.17 of the Oceanside City Code. Storage of debris in  
16 approved solid waste containers shall be considered compliance with this  
17 requirement. Small amounts of construction debris may be stored on site in a neat,  
18 safe manner for short periods of time pending disposal.

19 8. Separate unique addresses will be required to facilitate utility releases. Verification that  
20 the addresses have been properly assigned by the City's Planning Department must  
21 accompany the Building Permit application.

22 9. A building (demolition) permit will be required for the demolition of existing structures.

23 **Engineering:**

24 10. The Subdivider shall replace the substandard curb and gutter along the subdivision  
25 boundary with new concrete curb/gutter per San Diego Regional Standard G-2.

26 11. The Subdivider shall not be allowed to install the proposed Type A curb outlet. No direct  
27 connection to City curb and gutter is permitted per the local ordinance. All drainage shall  
28 be designed as surface flow.

29 12. Vehicular access rights to Broadway Street shall be relinquished to the City from all  
abutting lots.

- 1 13. All right-of-way alignments, street dedications, exact geometrics and widths shall be  
2 dedicated and improved as required by the City Engineer.
- 3 14. The subdivider shall construct new sidewalk along the subdivison boundary on Broadway  
4 Street. The proposed sidewalk location shall not be contiguous with the curb and gutter as  
5 shown on the Tentative Parcel Map. The proposed sidewalk shall be located adjacent to  
6 the property line. The Subdivider shall be responsible for landscape and irrigation of the  
7 existing/future parkway. Maintenance of the parkway shall be the responsibility of the  
8 future homeowners. CC&Rs creating this maintenance responsibility shall be recorded  
9 against all lots created by this subdivision and disclosed to all future owners prior to sale.
- 10 15. Design and construction of all improvements shall be in accordance with standard plans,  
11 specifications of the City of Oceanside and subject to approval by the City Engineer.
- 12 16. Prior to the issuance of a grading permit, the Developer shall notify and host a  
13 neighborhood meeting with all of the area residents located within 300 feet of the project  
14 site, and residents of property along any residential streets to be used as a "haul route", to  
15 inform them of the grading and construction schedule, haul routes, and to answer  
16 questions.
- 17 17. The approval of the tentative map shall not mean that closure, vacation, or abandonment  
18 of any public street, right-of-way, easement, or facility is granted or guaranteed to the  
19 subdivider. The subdivider is responsible for applying for all closures, vacations, and  
20 abandonments as necessary. The application(s) shall be reviewed and approved or  
21 rejected by the City under separate process(es) per codes, ordinances, and policies in  
22 effect at the time of the application.
- 23 18. Prior to approval of the Parcel Map, all improvement requirements, shall be covered by a  
24 subdivision agreement and secured with sufficient improvement securities or bonds  
25 guaranteeing performance and payment for labor and materials, setting of monuments, and  
26 warranty against defective materials and workmanship.
- 27 19. Prior to issuance of a building permit, the parcel map shall be ready for recordation.
- 28 20. Prior to the issuance of any grading, improvement or building permits, a construction-  
29 phasing plan for the entire project shall be reviewed and approved by the Planning

1 Director, City Engineer and Building Director. All improvements shall be constructed to  
2 the satisfaction of the City Engineer prior to the issuance of any building permits.

3 21. Pursuant to the State Map Act, improvements shall be required at the time of development.  
4 A covenant, reviewed and approved by the City Attorney, shall be recorded attesting to  
5 these improvement conditions and a certificate setting forth the recordation shall be placed  
6 on the map.

7 22. The developer shall monitor, supervise and control all construction and construction-  
8 supportive activities, so as to prevent these activities from causing a public nuisance,  
9 including but not limited to, insuring strict adherence to the following:

- 10 a) Dirt, debris and other construction material shall not be deposited on any public  
11 street or within the City's storm water conveyance system.
- 12 b) All ~~grading~~ and related site preparation and construction activities shall be  
13 limited to the hours of 7:00 a.m. to 6:00 p.m., Monday through Friday. No  
14 earthmoving ~~or~~ grading operation shall be conducted on Saturdays, Sundays or  
15 legal holidays ~~unless~~ written permission is granted by the City Engineer with  
16 specific ~~limitations~~ to the working hours and types of permitted operations. All on-  
17 site construction ~~staging~~ areas shall be as far as possible (minimum 100 feet)  
18 from any ~~existing~~ residential development. Because construction noise may still  
19 be intrusive ~~in~~ the evening or on holidays, the City of Oceanside Noise  
20 Ordinance ~~also~~ prohibits "any disturbing excessive, or offensive noise which  
21 causes ~~discomfort~~ or annoyance to reasonable persons of normal sensitivity."
- 22 c) The construction site shall accommodate the parking of all motor vehicles used  
23 by persons working at or providing deliveries to the site.

24 23. All traffic signal ~~contributions~~, highway thoroughfare fees, park fees, reimbursements,  
25 and other applicable charges, fees and deposits shall be paid prior to the issuing of any  
26 building permits ~~in~~ accordance with City Ordinances and policies. The subdivider shall  
27 also be required ~~to~~ join into, contribute, or participate in any improvement, lighting, or  
28 other special district affecting or affected by this project. Approval of the tentative map  
29 shall constitute ~~the~~ developer's approval of such payments, and his agreement to pay for  
any other similar assessments or charges in effect when any increment is submitted for

1 final map or building permit approval, and to join, contribute, and/or participate in such  
2 districts.

3 24. Pavement sections for all streets, alleys, driveways and parking areas shall be based upon  
4 approved soil tests and traffic indices. The pavement design is to be prepared by the  
5 subdivider's soil engineer and must be approved by the City Engineer, prior to paving.  
6 All streets shall be improved with curbs and gutters.

7 25. Prior to approval of the grading plans, the developer shall contract with a geotechnical  
8 engineering firm to perform a field investigation of the existing pavement on all streets  
9 adjacent to the project boundary. The limits of the study shall be half-street plus twelve  
10 (12) feet on Broadway Street. The field investigation shall include a minimum of one  
11 pavement boring per every twenty (20) linear feet of street frontage. Should the existing  
12 AC thickness be determined to be less than three (3) inches or without underlying Class  
13 II base material, the Subdivider shall remove and reconstruct the pavement section as  
14 determined by the pavement analysis submittal process detailed in Item No. 2 below.

15 26. Upon review of the pavement investigation, the City Engineer shall determine whether the  
16 Subdivider shall: 1) Repair all failed pavement sections, header cut and grind per the  
17 direction of the Public Works Inspector, and construct a two (2) inch thick rubberized AC  
18 overlay; or 2) Perform R-value testing and submit a study that determines if the existing  
19 pavement meets current City standards/traffic indices. Should the study conclude that the  
20 pavement does not meet current requirements, rehabilitation/mitigation recommendations  
21 shall be provided in a pavement analysis report, and the Subdivider shall reconstruct the  
22 pavement per these recommendations, subject to approval by the City Engineer.

23 27. Any existing broken pavement, concrete curb, gutter or sidewalk or any damaged during  
24 construction of the project, shall be repaired or replaced as directed by the City Engineer.

25 28. The undergrounding of the existing overhead utilities may be deferred if approved by the  
26 Planning Commission. The developer shall pay an in-lieu fee, based upon the length of  
27 utilities to be placed underground, and at the rate in effect at building permit issuance or  
28 as established by the City Engineer per Section 901.G. of the Subdivision Ordinance  
(R91-166) and as required by the City Engineer and current City policy.

- 1 29. The developer shall comply with all the provisions of the City's cable television ordinances  
2 including those relating to notification as required by the City Engineer.
- 3 30. Grading and drainage facilities shall be designed and installed to adequately accommodate  
4 the local storm water runoff and shall be in accordance with the City's Engineers Manual  
5 and as directed by the City Engineer.
- 6 31. The applicant shall obtain any necessary permits and clearances from all public agencies  
7 having jurisdiction over the project due to its type, size, or location, including but not  
8 limited to the U. S. Army Corps of Engineers, California Department of Fish and Game, U.  
9 S. Fish and Wildlife Service and/or San Diego Regional Water Quality Control Board  
10 (including NPDES), San Diego County Health Department, prior to the issuance of grading  
11 permits.
- 12 32. Prior to any grading of any part of the tract or project, a comprehensive soils and geologic  
13 investigation shall be conducted of the soils, slopes, and formations in the project. All  
14 necessary measures shall be taken and implemented to assure slope stability, erosion  
15 control, and soil integrity. No grading shall occur until a detailed grading plan, to be  
16 prepared in accordance with the Grading Ordinance and Zoning Ordinance, is approved by  
17 the City Engineer.
- 18 33. This project shall provide year-round erosion control including measures for the site  
19 required for the phasing of grading. Prior to the issuance of grading permit, an erosion  
20 control plan, designed for all proposed stages of construction, shall be reviewed, secured  
21 by the applicant with cash securities and approved by the City Engineer.
- 22 34. A precise grading and private improvement plan shall be prepared, reviewed, secured and  
23 approved prior to the issuance of any building permits. The plan shall reflect all pavement,  
24 flatwork, landscaped areas, special surfaces, curbs, gutters, medians, striping, signage,  
25 footprints of all structures, walls, drainage devices and utility services. Parking lot striping  
26 and any on site traffic calming devices shall be shown on all Precise Grading and Private  
27 Improvement Plans.
- 28 35. Landscaping plans, including plans for the construction of walls, fences or other structures  
29 at or near intersections, must conform to intersection sight distance requirements.  
Landscape and irrigation plans for disturbed areas must be submitted to the City Engineer

1 prior to the issuance of a preliminary grading permit and approved by the City Engineer  
2 prior to the issuance of building permits. Frontage and median landscaping shall be  
3 installed prior to the issuance of any building permits. Project fences, sound or privacy  
4 walls and monument entry walls/signs shall be designed, reviewed and constructed by the  
5 landscape plans and shown for location only on grading plans. Plantable, segmental walls  
6 shall be designed, reviewed and constructed by the grading plans and landscaped/irrigated  
7 through project landscape plans. All plans must be approved by the City Engineer and a  
8 pre-construction meeting held, prior to the start of any improvements.

9 36. Open space areas and down-sloped areas visible from a collector-level or above roadway  
10 and not readily maintained by the property owner, shall be maintained by a homeowners'  
11 association that will insure installation and maintenance of landscaping in perpetuity.  
12 These areas shall be indicated on the final map and either reserved for an association. In  
13 either case, future buyers shall be made aware of any estimated monthly costs. The  
14 disclosure, together with the CC&R's, shall be submitted to the City Engineer for review  
15 prior to the recordation of final map. In the event the homeowner's association dissolves,  
16 responsibility for irrigation and maintenance of the slopes (open space areas) adjacent to  
17 each property shall become that of the individual property owner.

18 37. The drainage design on the tentative map is conceptual only. The final design shall be  
19 based upon a hydrologic/hydraulic study to be approved by the City Engineer during final  
20 engineering. All drainage picked up in an underground system shall remain underground  
21 until it is discharged into an approved channel, or as otherwise approved by the City  
22 Engineer. All public storm drains shall be shown on City standard plan and profile sheets.  
23 All storm drain easements shall be dedicated where required. The applicant shall be  
24 responsible for obtaining any off-site easements for storm drainage facilities.

25 38. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and  
26 disposed of in accordance with all state and federal requirements, prior to stormwater  
27 discharge either off-site or into the City drainage system.

28 39. The development shall comply with all applicable regulations established by the United  
29 States Environmental Protection Agency (USEPA) as set forth in the National Pollutant  
Discharge Elimination System (N.P.D.E.S.) permit requirements for urban runoff and

1 storm water discharge and any regulations adopted by the City pursuant to the N.P.D.E.S.  
2 regulations or requirements. Further, the applicant may be required to file a Notice of  
3 Intent with the State Water Resources Control Board to obtain coverage under the  
4 N.P.D.E.S. General Permit for Storm Water Discharges Associated with Construction  
5 Activity and may be required to implement a Storm Water Pollution Prevention Plan  
6 (SWPPP) concurrent with the commencement of grading activities. SWPPPs include both  
7 construction and post construction pollution prevention and pollution control measures and  
8 identify funding mechanisms for post construction control measures. The developer shall  
9 comply with all the provisions of the Clean Water Program during and after all phases of  
10 the development process, including but not limited to: mass grading, rough grading,  
11 construction of street and landscaping improvements, and construction of dwelling units.  
12 The applicant shall design the Project's storm drains and other drainage facilities to include  
13 Best Management Practices to minimize non-point source pollution, satisfactory to the City  
14 Engineer.

15 40. Upon acceptance of any fee waiver or reduction by the Subdivider, the entire project will  
16 be subject to prevailing wage requirements as specified by Labor Code section  
17 1720(b)(4). The Subdivider shall agree to execute a form acknowledging the prevailing  
18 wage requirements prior to the granting of any fee reductions or waivers.

19 **Fire:**

20 41. In accordance with the Uniform Fire Code Sec. 901.1.4.4, approved addresses for  
21 residential occupancies shall be placed on the structure in such a position as to be plainly  
22 visible and legible from the street or roadway fronting the property. Numbers shall  
23 contrast with their background.

24 42. Multi-family dwellings require 6-inch address numbers.

25 43. Plans shall be submitted to the Fire Prevention Bureau for plan check review and approval  
26 prior to the issuance of building permits.

27 44. Buildings shall meet Oceanside Fire Departments current adopted codes at the time of  
28 building permit application.

29 //

//

1 **Planning:**

2 45. This Tentative Parcel Map, Development Plan, Conditional Use Permit and Regular  
3 Coastal Permit shall expire on November 8, 2006, unless a time extension is granted by the  
4 Planning Commission.

5 46. This Tentative Parcel Map, Development Plan, Conditional Use Permit and Regular  
6 Coastal Permit approves only a 3-unit residential condominium as shown on the plans and  
7 exhibits presented to the Planning Commission for review and approval. No deviation  
8 from these approved plans and exhibits shall occur without Planning Department approval.  
9 Substantial deviations shall require a revision to the Parcel Map, Development Plan,  
10 Conditional Use Permit and Regular Coastal Permit or a new Parcel Map, Development  
11 Plan, Conditional Use Permit and Regular Coastal Permit.

12 47. The applicant, permittee or any successor-in-interest shall defend, indemnify and hold  
13 harmless the City of Oceanside, its agents, officers or employees from any claim, action or  
14 proceeding against the City, its agents, officers, or employees to attack, set aside, void or  
15 annul an approval of the City, concerning Development Plan (D-7-04), Conditional Use  
16 Permits (C-14-04), Regular Coastal Permit (RC-5-04) and Parcel Map (P-4-04). The  
17 City will promptly notify the applicant of any such claim, action or proceeding against  
18 the City and will cooperate fully in the defense. If the City fails to promptly notify the  
19 applicant of any such claim action or proceeding or fails to cooperate fully in the  
20 defense, the applicant shall not, thereafter, be responsible to defend, indemnify or hold  
21 harmless the City.

22 48. Landscape plans, meeting the criteria of the City's Landscape Guidelines and Water  
23 Conservation Ordinance No. 91-15, including the maintenance of such landscaping, shall  
24 be reviewed and approved by the City Engineer and Planning Director prior to the issuance  
25 of building permits. Landscaping shall not be installed until bonds have been posted, fees  
26 paid, and plans signed for final approval. The following special landscaping requirements  
27 shall be met:

- 28 a) Local street trees in parkways shall be planted at a minimum of 30 feet on center,  
29 each side of street, as a solitary planting.

1 b) All landscaping, fences, walls, etc. on the site, in medians in the public right-of-  
2 way and in any adjoining public parkways shall be permanently maintained by the  
3 owner, his assigns or any successors in interest in the property. The maintenance  
4 program shall include normal care and irrigation of the landscaping; repair and  
5 replacement of plant materials; irrigation systems as necessary; and general cleanup  
6 of the landscaped and open areas, parking lots and walkways, walls, fences, etc.  
7 Failure to maintain landscaping shall result in the City taking all appropriate  
8 enforcement actions by all acceptable means including but not limited to citations  
9 and/or actual work with costs charged to or recorded against the owner. This  
10 condition shall be recorded with the covenant required by this Resolution.

11 49. All multi family unit dwelling projects shall dispose of or recycle solid waste in a  
12 manner provided in City Code 13.3.

13 50. A letter of clearance from the affected school district in which the property is located  
14 shall be provided as required by City policy at the time building permits are issued.

15 51. A covenant or other recordable document approved by the City Attorney shall be prepared  
16 by the developer and recorded prior to the approval of the final map. The covenant shall  
17 provide that the property is subject to this Resolution, and shall generally list the conditions  
18 of approval.

19 52. Prior to the issuance of building permits, compliance with the applicable provisions of  
20 the City's anti-graffiti (Ordinance No. 93-19/Section 20.25 of the City Code) shall be  
21 reviewed and approved by the Planning Department. These requirements, including the  
22 obligation to remove or cover with matching paint all graffiti within 24 hours, shall be  
23 noted on the Landscape Plan and shall be recorded in the form of a covenant affecting  
24 the subject property.

25 53. Prior to the transfer of ownership and/or operation of the site the owner shall provide a  
26 written copy of the applications, staff report and resolutions for the project to the new  
27 owner and or operator. This notification's provision shall run with the life of the project  
28 and shall be recorded as a covenant on the property.

29 //  
//

- 1 54. Failure to meet any conditions of approval for this development shall constitute a violation  
2 of the Tentative Parcel Map, Regular Coastal Permit, Conditional Use Permit and  
3 Development Plan.
- 4 55. Unless expressly waived, all current zoning standards and City ordinances and policies in  
5 effect at the time building permits are issued are required to be met by this project. The  
6 approval of this project constitutes the applicant's agreement with all statements in the  
7 Description and Justification, Management Plan and other materials and information  
8 submitted with this application, unless specifically waived by an adopted condition of  
9 approval.
- 10 56. The developer's construction of all fencing and walls associated with the project shall be in  
11 conformance with the approved Development Plan. Any substantial change in any aspect  
12 of fencing or wall design from the approved Development Plan shall require a revision to  
13 the Development Plan or a new Development Plan.
- 14 57. If any aspect of the project fencing and walls is not covered by an approved Development  
15 Plan, the construction of fencing and walls shall conform to the development standards of  
16 the City Zoning Ordinance. In no case, shall the construction of fences and walls  
17 (including combinations thereof) exceed the limitations of the zoning code, unless  
18 expressly granted by a Variance or other development approval.
- 19 58. All rear wood fences adjacent to public right-of-way and/or visible from the public right-  
20 of-way will be stained or otherwise finished with a waterproof material.
- 21 59. An association shall be formed and Covenants, Conditions and Restrictions (C.C. & R's)  
22 shall provide for the maintenance of all common open space, medians and commonly  
23 owned fences and walls and adjacent parkways. The maintenance shall include normal  
24 care and irrigation of landscaping, repair and replacement of plant material and irrigation  
25 systems as necessary; and general cleanup of the landscaped and open area, parking lots  
26 and walkways. The C.C. & R's shall be subject to the review and approval of the City  
27 Attorney prior to the approval of the final map. The C.C. & R's are required to be recorded  
28 prior to or concurrently with the final map. Any amendments to the C.C. & R's in which  
29 the association relinquishes responsibility for the maintenance of any common open space  
shall not be permitted without the specific approval of the City of Oceanside. Such a

1 clause shall be a part of the C.C. & R's. The C.C. & R's shall also contain provisions for  
2 the following:

- 3 a) Prohibition of parking or storage of recreational vehicles, trailers or boats.
- 4 b) Provisions regulating individual patio covers, room additions and other  
5 appurtenances.
- 6 c) Provisions for the maintenance of all common open space and open space  
7 easements on private lots, including provisions establishing mechanisms to ensure  
8 adequate and continued monetary funding for such maintenance by the  
9 homeowners' association.
- 10 d) Provisions that restrict any private use of open space easement areas. Restrictions  
11 shall include, but are not limited to, removing retaining walls, installing structures  
12 such as trellises, decks, retaining walls and other hardscape and any individual  
13 landscape improvements.
- 14 e) Provisions prohibiting the homeowners association from relinquishing its  
15 obligation to maintain the common open space and open space easement areas  
16 without prior consent of the City of Oceanside.
- 17 f) An acknowledgement that the City of Oceanside does not have a view preservation  
18 ordinance and that views may be subject to change with maturing off-site landscape  
19 and the potential for future off-site building.
- 20 g) There shall be no subletting of first floor rooms.

20 60. The following unit type and floor plan mix, as approved by the Planning Commission,  
21 shall be indicated on plans submitted to the Building Department and Planning  
22 Department for building permit:

	Sq.Ft.	# Bedrms.	# Baths	#Garage Spaces	# Stories	# Units	%
23 Unit 1	2,371	3	2.5	2	2	1	33
24 Unit 2	2,644	3	2.5	2	2	1	33
25 Unit 3	2,724	3	2.5	2	2	1	33

26  
27 61. Side and rear elevations and window treatments shall be trimmed to substantially match  
28 the front elevations. A set of building plans shall be reviewed and approved by the  
29 Planning Department prior to the issuance of building permits.

- 1 62. Elevations, siding materials, colors, roofing materials and floor plans shall be
- 2 substantially the same as those approved by the Planning Commission. These shall be
- 3 shown on plans submitted to the Building Department and Planning Department.
- 4 63. This project is subject to the provisions of Chapter 14C of the City Code regarding
- 5 Inclusionary Housing.
- 6 64. This project shall comply with all provisions of the City's Affirmative Fair Housing
- 7 Marketing Agreement policy. Such agreement shall be submitted to and approved by the
- 8 Housing and Neighborhood Services Director prior to the recordation of a final map or the
- 9 issuance of a building permit for the project, whichever comes first.
- 10 65. The existing house shall be photographed in accordance with the OHPAC Policy 1.

**Water Utilities:**

- 11 66. All public water and/or sewer facilities not located within the public right-of-way shall be
- 12 provided with easements sized according to the City's Engineers Manual. Easements shall
- 13 be constructed for an all weather access.
- 14 67. No trees or structures or building overhang shall be located within any water or wastewater
- 15 utility easement.
- 16 68. The property owner shall maintain private water and wastewater utilities located on private
- 17 property.
- 18 69. A separate irrigation meter is required and approved backflow prevention device is
- 19 required.
- 20 70. The developer shall construct a public reclamation water system that will serve each lot
- 21 and or parcels that are located in the proposed project in accordance with the City of
- 22 Oceanside Ordinance No. 91-15. The proposed reclamation water system shall be located
- 23 in the public streets or in a public utility easement.
- 24 71. Water services and sewer laterals constructed in existing right-of way locations are to be
- 25 constructed by approved and licensed contractors at developer's expense.
- 26 72. The developer shall be responsible for developing all water and sewer facilities necessary
- 27 to develop the property. Any relocation of water and/or sewer lines is the responsibility of
- 28 the developer and shall be done by an approved licensed contractor at the developer's
- 29 expense.

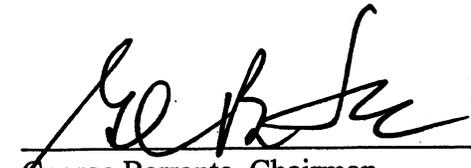
- 1 73. All lots with a finish pad elevation located below the elevation of the next upstream  
2 manhole cover of the public sewer shall be protected from backflow of sewage by  
3 installing and maintaining an approved type backwater valve, per of the Uniform Plumbing  
4 Code.
- 5 74. The water and wastewater buy-in fees and the San Diego County Water Authority Fees are  
6 to be paid to the City and collected by the Water Utilities Department at the time of  
7 building permit issuance.
- 8 75. All water and wastewater construction shall conform to the most recent edition of the  
9 City's Engineers Manual, or as approved by the Water Utilities Director.
- 10 76. The existing 6" water main in the public alley shall be upsized to 8" along the property  
11 frontage to meet current standards.

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1 77. All new development of multi-family residential units shall include hot water pipe  
2 insulation and installation of a hot water recirculation device or design to provide hot water  
3 to the tap within 15 seconds in accordance with City of Oceanside Ordinance No. 02-  
4 OR126-1.

5 PASSED AND ADOPTED Resolution No. 2004-P58 on November 8, 2004 by the  
6 following vote, to wit:

7 AYES: Barrante, Chadwick, Schaffer, Parker, Todd, Neal and Nack  
8 NAYS: None  
9 ABSENT: None  
10 ABSTAIN: None

11  
12  
13   
14 George Barrante, Chairman  
Oceanside Planning Commission

15 ATTEST:  
16   
17  
18 Gerald S. Gilbert, Secretary

19 I, GERALD S. GILBERT, Secretary of the Oceanside Planning Commission, hereby certify that  
20 this is a true and correct copy of Resolution No. 2004-P58.

21  
22 Dated: November 8, 2004  
23  
24  
25  
26  
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29

**Attachment 2. Planning Commission approved Map/Site Plan/Floor Plans/Elevations  
for Resolution No. 2004-P58**







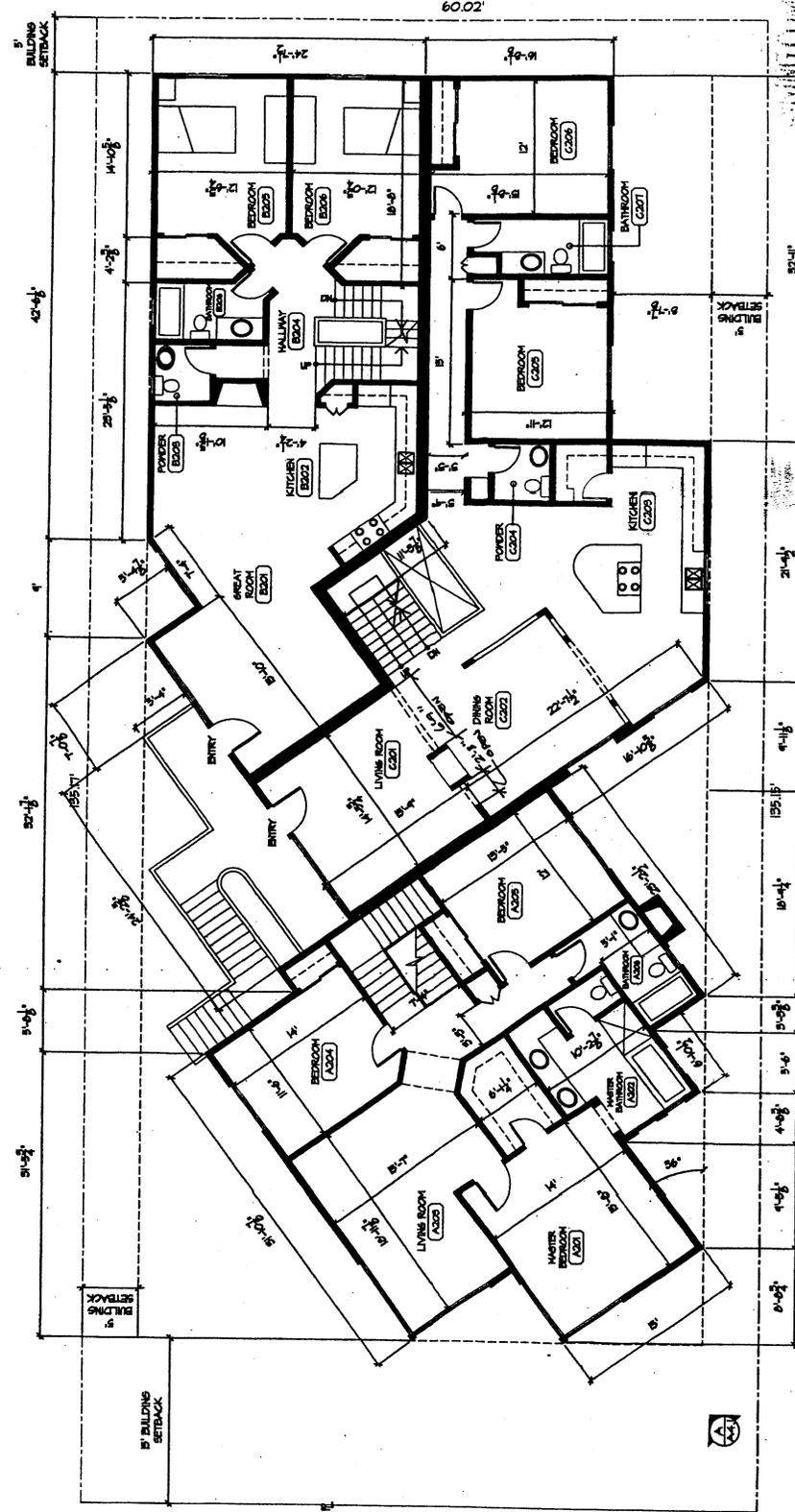


EXISTING ADJACENT PROPERTY, N.A.P.

EXISTING ADJACENT PROPERTY, N.A.P.

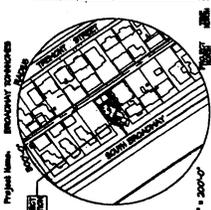
SOUTH BROADWAY

ALLEY



APPROVED FOR THE CITY COMMISSION  
CASE No. P-4-04-867-04  
SIGNED: [Signature]  
DATE: day of [Month] 2004

Prepared by: J. THOMAS  
Address: 1620 S. BROADWAY, SUITE 404  
Phone: (415) 435-1111  
Project Name: BROADWAY TOWNHOMES



SCALE: 1/8" = 1'-0"

**PROJECT INFORMATION**  
PROJECT DESCRIPTION: CONVERSION OF EXISTING 1278 SF OF RESIDENCE AND 816 SF OF GARAGE TO THREE 1278 THO STORY TOWNHOMES, NEH LANDSCAPING AND ASSOCIATED PARKING.  
CONSTRUCTION TYPE: V - NON RATED, NON SPRINKLERED.  
OFF STREET PARKING REQUIRED: SIX STALLS  
OFF STREET PARKING PROVIDED: SIX STALLS  
GARAGE FLOOR AREA OF PROPOSED BUILDING: 816 SF (75% OF EXISTING GARAGE)  
GENERAL PLAN DESIGNATION: MDC-R  
DENSITY: 1.1

- Unit 1A:  
below grade garage: 1700 sf  
First floor: 1044 sf  
second floor: 1141 sf  
total conditioned space: 2844 sf  
total usable enclosed space: 4544 sf  
total roof deck area: 570 sf
- Unit 2B:  
garage: 407 sf  
First floor: 941 sf  
second floor: 1141 sf  
total conditioned space: 2448 sf  
total usable enclosed space: 3274 sf  
total roof deck area: 446 sf
- Unit 3C:  
garage: 407 sf  
First floor: 941 sf  
second floor: 1141 sf  
total conditioned space: 2448 sf  
total usable enclosed space: 3274 sf  
total roof deck area: 446 sf

SECOND FLOOR PLAN





**CONCEPTUAL PLANT PALETTE**

- TREES**
- Specimen - 36 Box minimum
  - Quercus agrifolia (Coast Live Oak)
  - Myoporum laetum 'Canevir' (Glossy Myoporum)
- Project Yard - 15 gallon minimum**
- Abutilon megapotamicum 'Patio' (Chinese Lantern)
  - Abutilon urticoides 'Patio' (Strawberry Tree)
  - Brachyctenon populina (Bottle Tree)
  - Eriobotrya deflexa 'Copperstone' (Bronze Loquat)
  - Metrosideros excelsus (New Zealand Christmas Tree)
  - Potocarpus gracilior (Fern Pine)
- SHRUBS**
- 1 and 6 gallon minimum
  - Dioscorea sp. (Canevine)
  - Dioscorea sp. (Canevine)
  - Escallonia rubra (Red Escallonia)
  - Heteromeles arbutifolia (Troyen)
  - Nerium oleander 'Salmon Pink' (Oleander)
  - Platanus texana 'Jack Bore' (Dwarf New Zealand Flax)
  - Potocarpus crassifolia 'Compact' (Dwarf Kara)
  - Mitrasacme rigidifolia (Purple Mahoe)
  - Hesperaloe parviflora (Red Yucca)
  - Ceanothus fragrans (Sweet Olive)
  - Rhipsalis indica 'Ballern' (Dwarf India Hawthorn)
  - Dioscorea villosa 'Purpurea'
  - Xylocarpus complanatus (Shiny Xylocarpus)
  - Nandina domestica (Heavenly Bamboo)

**VINES AND GROUND COVER**

- 1 and 1 gallon minimum
- Cissampelos (Canevine)
- Tradescantia virginiana (Star Jasmine)
- Lonicera japonica 'Yellow' (Halls Honeycreeper)
- Hedera helix (English Ivy)
- Rosa rugosa 'New Dawn' (Climbing Rose)
- Polemonium (Clematis)
- Myoporum laetum (Myoporum)
- Flax marula (Climbing Flax)
- Dioscorea sp. (Canevine)
- Sida acuta (Canevine)

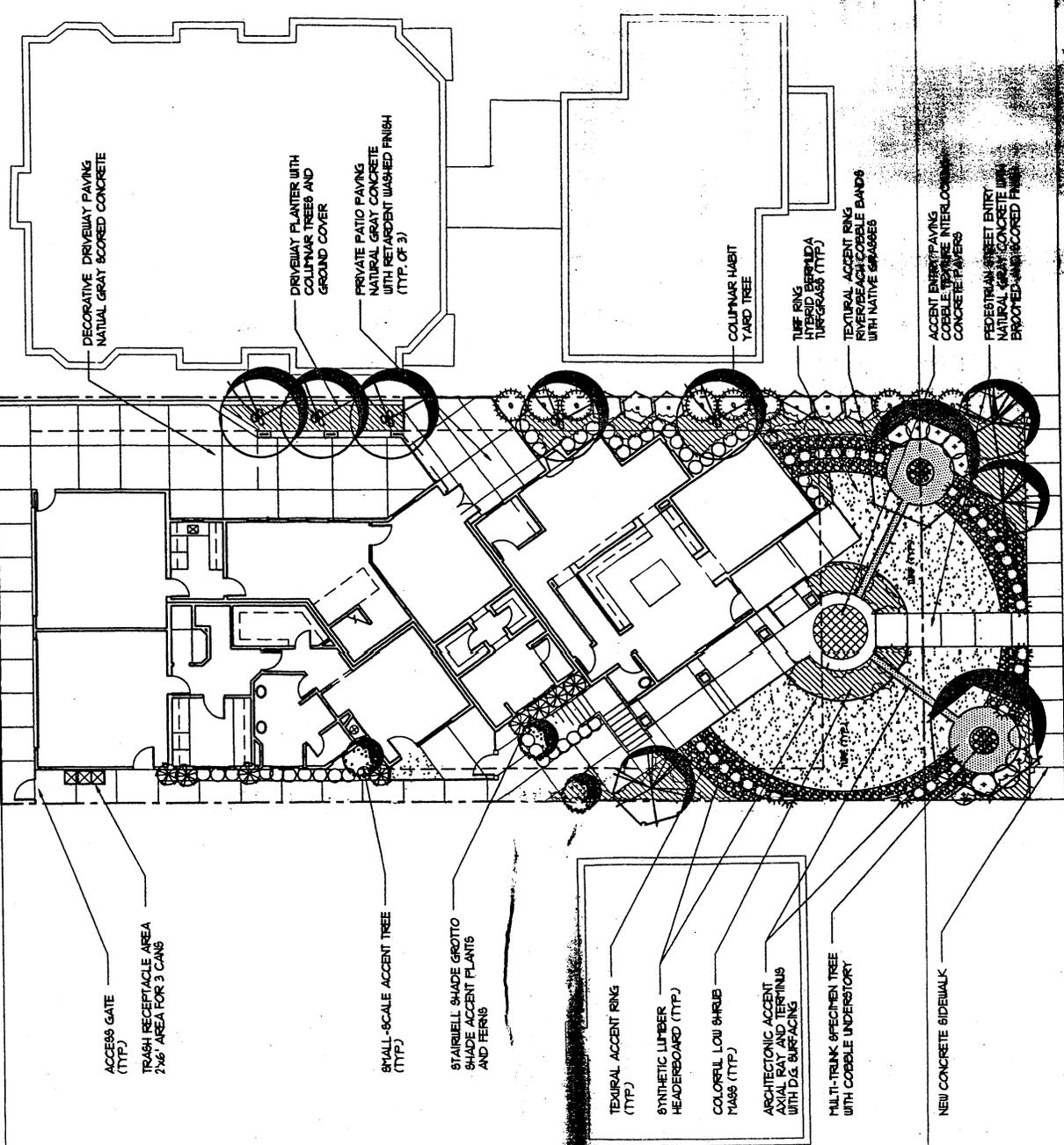
THIS PLAN WAS APPROVED BY THE PLANNING COMMISSION  
 THIS 29th day of October, 2010  
 CASE NO. 140130704  
 SIGNED: [Signature]

**IRRIGATION NOTES**

1. Irrigation system shall be installed to provide coverage for all plantings as shown on the plan. Low precipitation equipment shall be used for plants that require low water for plant growth with a minimum water loss due to evaporation. High precipitation equipment shall be used for plants that require high water for plant growth with a minimum water loss due to evaporation. All irrigation systems shall use high quality, automatic control valves. All irrigation systems shall be installed in accordance with the City of Oceanside Irrigation Ordinance. All equipment shall be of non-corrosive material. All equipment shall be installed in accordance with the City of Oceanside Irrigation Ordinance. All equipment shall be installed in accordance with the City of Oceanside Irrigation Ordinance. All equipment shall be installed in accordance with the City of Oceanside Irrigation Ordinance.

**PLANTING NOTES**

1. The amount of plant material is based on cultural, aesthetic, and environmental considerations. All planting areas shall be prepared with soil conditioning, mulch, and appropriate amendments based upon soil test results. All equipment shall be installed in accordance with the City of Oceanside Irrigation Ordinance.



DECORATIVE DRIVEWAY PAVING  
 NATURAL GRAY SCORED CONCRETE

DRIVEWAY PLANTER WITH  
 COLUMNAR TREES AND  
 GROUND COVER

PRIVATE PATIO PAVING  
 NATURAL GRAY CONCRETE  
 WITH RETARDENT WASHED FINISH  
 (TYP. OF 3)

COLUMNAR HABIT  
 YARD TREE

TURF RING  
 HYBRID BERBERDA  
 TURFGRASS (TYP.)

TEXTURAL ACCENT RING  
 WITH NATIVE SPARGANES

ACCENT ENRIPIAVING  
 COBBLESTONE INTERLOCKING  
 CONCRETE FINERS

PEDESTRIAN STREET ENTRY  
 NATURAL GRAY CONCRETE WITH  
 ENRIPI-COBBLE SCORED FINISH

ACCESS GATE  
 (TYP.)

TRASH RECEPTACLE AREA  
 2x6' AREA FOR 3 CANS

SMALL-SCALE ACCENT TREE  
 (TYP.)

STAIRWELL SHADE GROTTTO  
 SHADE ACCENT PLANTS  
 AND FERNS

TEXTURAL ACCENT RING  
 (TYP.)

SYNTHETIC LUTHER  
 HEADBOARD (TYP.)

COLORFUL LOW SHRUB  
 MASS (TYP.)

ARCHITECTONIC ACCENT  
 AXIAL RAY AND TERMINUS  
 WITH DIE SURFACING

MULTI-TRUNK SPECIMEN TREE  
 WITH COBBLE UNDERSTORY

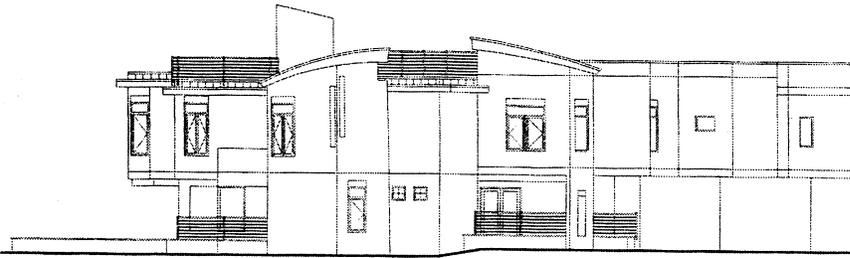
NEW CONCRETE SIDEWALK



BROADWAY STREET







WEST ELEVATION

BROADWAY TOWNHOMES  
1620 S. BROADWAY  
OCEANSIDE, CA

JL DESIGN STUDIO

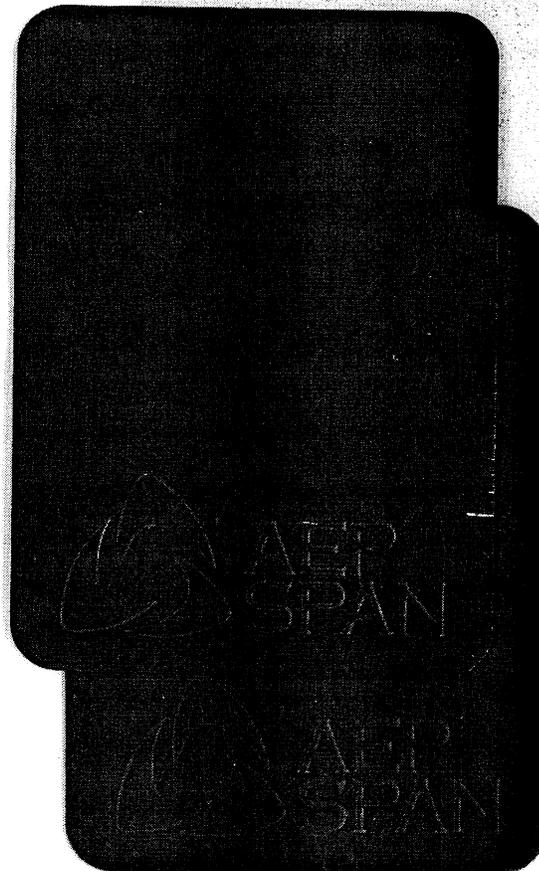
• Residential  
• Restaurant  
• Commercial  
2058 Cable Street  
San Diego, CA 92107

RECEIVED  
MAR 18 2004  
Planning Department

STUCCO COLOR:  
INTEGRAL CUSTOM  
TO MATCH BEHR  
MALTED MILK,  
LIGHT SAND FINISH

WINDOWS AND BAND  
ABOVE WINDOWS,  
METAL RAIL:  
AEP SPAN DARK BRONZE

METAL ROOF AND  
EAVE BAND:  
AEP SPAN COLONIAL RED



**Attachment 3. Substantial Conformity SC-22-05**

APR 14 2005



# Application for Substantial Conformity

Planning Department

Date Accepted: 4.14.04  
 Accepted by: SMB  
 Fee Paid  Yes  No

Application Number: SC-22-05

## Applicant Information

Owner Name: CARLOS VALLAORES

Mailing Address: 2001 DEER HAVEN DR. Phone: (904) 273-1624

ONTE VERDRA BEACH, FL 32082

Representative Name: JENNIFER BOLYN JL DESIGN ARCHITECTURE + PLANNING

Mailing Address: 3914 MURPHY CANYON Rd Phone: (858) 569-5980

STE A146 SAN DIEGO, CA 92123

Signature of Owner / Authorized Agent

Print full name	Signature and Date

## Project Description and Required Information

File Numbers: \_\_\_\_\_  
 Resolution of Approval: \_\_\_\_\_

- Set of Approved Plans
- Proposed Modification Plan
- Resolution of Approval (All)
- Letter of Description and Justification
- 8 1/2" x 11" Reduction of Proposed Plan

## Description of Request

ELIMINATE UNDERGROUND PARKING AND PROVIDE ABOVE  
GROUND TWO CAR BAY GARAGE IN LIEU. MINOR  
ARCHITECTURAL MODIFICATIONS TO ACCOMMODATE NEW  
GARAGE. NO CHANGE IN MATERIAL OR ALTERATIONS  
TO PROJECT AESTHETICS ARE PROPOSED.

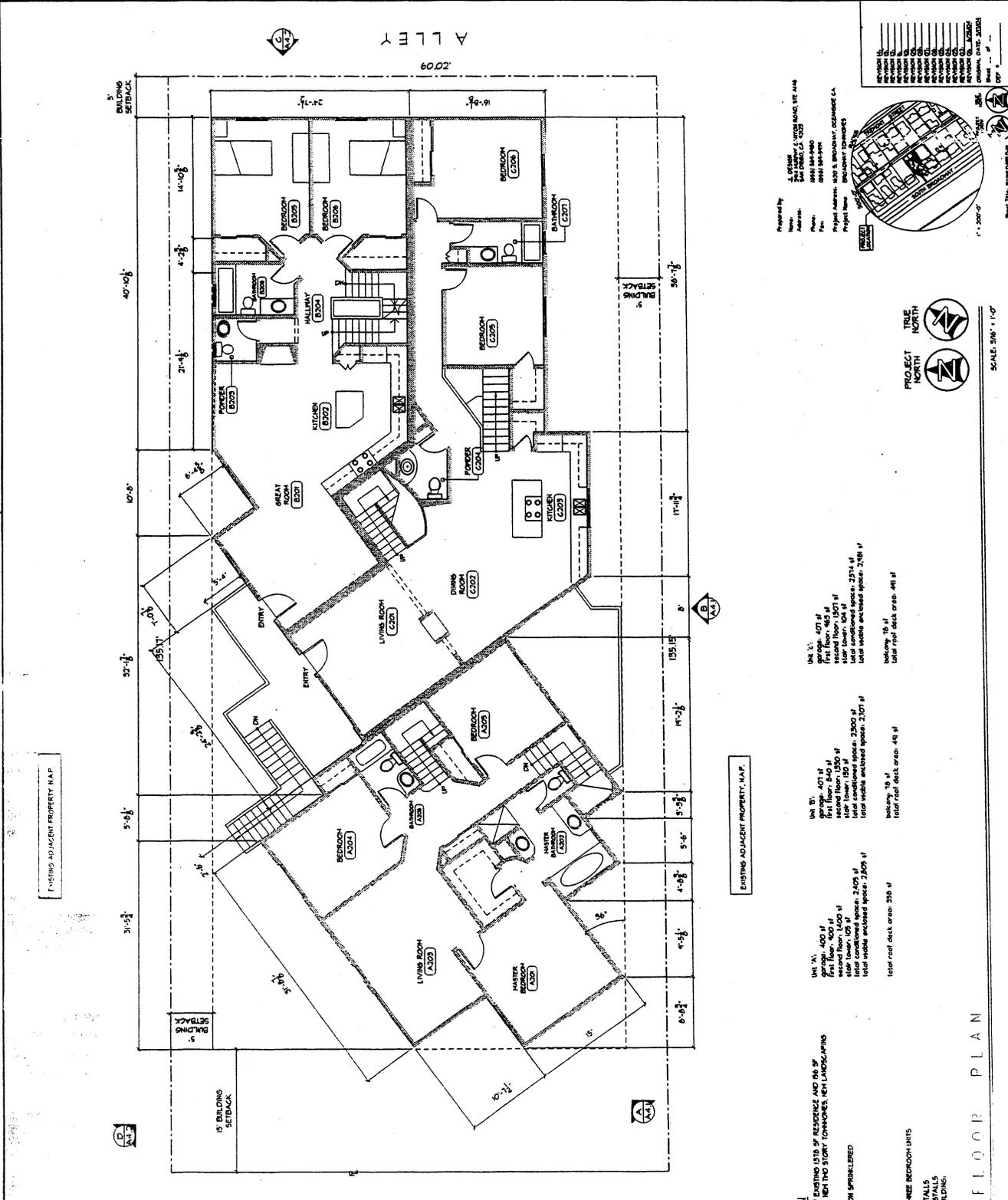
## Action

Conditions

APPROVED AS SUBSTANTIALLY CONFORMING

4/14/05  
Date





APPROVED AS SUBSTANTIALLY CONFORMING

SOUTH BROADWAY

EXISTING ADJACENT PROPERTY, MAP

EXISTING ADJACENT PROPERTY, MAP

**PROJECT INFORMATION**  
 PROJECT DESCRIPTION: DEMOLITION OF EXISTING 1516 SF RESIDENCE AND 84 SF OUTBUILDING, CONSTRUCTION OF THREE NEW TWO STORY TOWNHOMES WITH LANDSCAPING AND ASSOCIATED PAVING.  
 CONSTRUCTION TYPE: V - NON RATED, NON SPRINKLERED  
 TOTAL SITE SQUARE FOOTAGE: 8312 SF  
 NUMBER OF STORES: TWO  
 NUMBER OF DWELLING UNITS: THREE - THREE BEDROOM UNITS  
 NUMBER OF LOTS: ONE  
 OFF STREET PARKING REQUIRED: SIX STALLS  
 OFF STREET PARKING PROVIDED: SIX STALLS  
 GENERAL PLAN DESIGNATION: HO-2.5 (1/24 SF EXCLUDING GARAGE)  
 GENERAL PLAN DESIGNATION: HO-2.5

**UNIT A1:**  
 Gross: 407 sf  
 First floor: 840 sf  
 Second floor: 1000 sf  
 Total conditioned space: 1840 sf  
 Total visible enclosed space: 2409 sf  
 Total real deck area: 350 sf

**UNIT B1:**  
 Gross: 407 sf  
 First floor: 840 sf  
 Second floor: 1000 sf  
 Total conditioned space: 1840 sf  
 Total visible enclosed space: 2409 sf  
 Total real deck area: 441 sf

**UNIT C1:**  
 Gross: 407 sf  
 First floor: 840 sf  
 Second floor: 1000 sf  
 Total conditioned space: 1840 sf  
 Total visible enclosed space: 2409 sf  
 Total real deck area: 441 sf

**UNIT D1:**  
 Gross: 407 sf  
 First floor: 840 sf  
 Second floor: 1000 sf  
 Total conditioned space: 1840 sf  
 Total visible enclosed space: 2409 sf  
 Total real deck area: 441 sf

**UNIT E1:**  
 Gross: 407 sf  
 First floor: 840 sf  
 Second floor: 1000 sf  
 Total conditioned space: 1840 sf  
 Total visible enclosed space: 2409 sf  
 Total real deck area: 441 sf

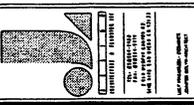
**UNIT F1:**  
 Gross: 407 sf  
 First floor: 840 sf  
 Second floor: 1000 sf  
 Total conditioned space: 1840 sf  
 Total visible enclosed space: 2409 sf  
 Total real deck area: 441 sf

**UNIT G1:**  
 Gross: 407 sf  
 First floor: 840 sf  
 Second floor: 1000 sf  
 Total conditioned space: 1840 sf  
 Total visible enclosed space: 2409 sf  
 Total real deck area: 441 sf

**UNIT H1:**  
 Gross: 407 sf  
 First floor: 840 sf  
 Second floor: 1000 sf  
 Total conditioned space: 1840 sf  
 Total visible enclosed space: 2409 sf  
 Total real deck area: 441 sf

SCALE: 1/8" = 1'-0"

SECOND FLOOR PLAN



DAVID W. KELLY  
 LICENSE NO. C-21774  
 STATE OF CALIFORNIA  
 CIVIL ENGINEER

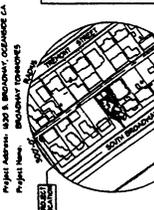
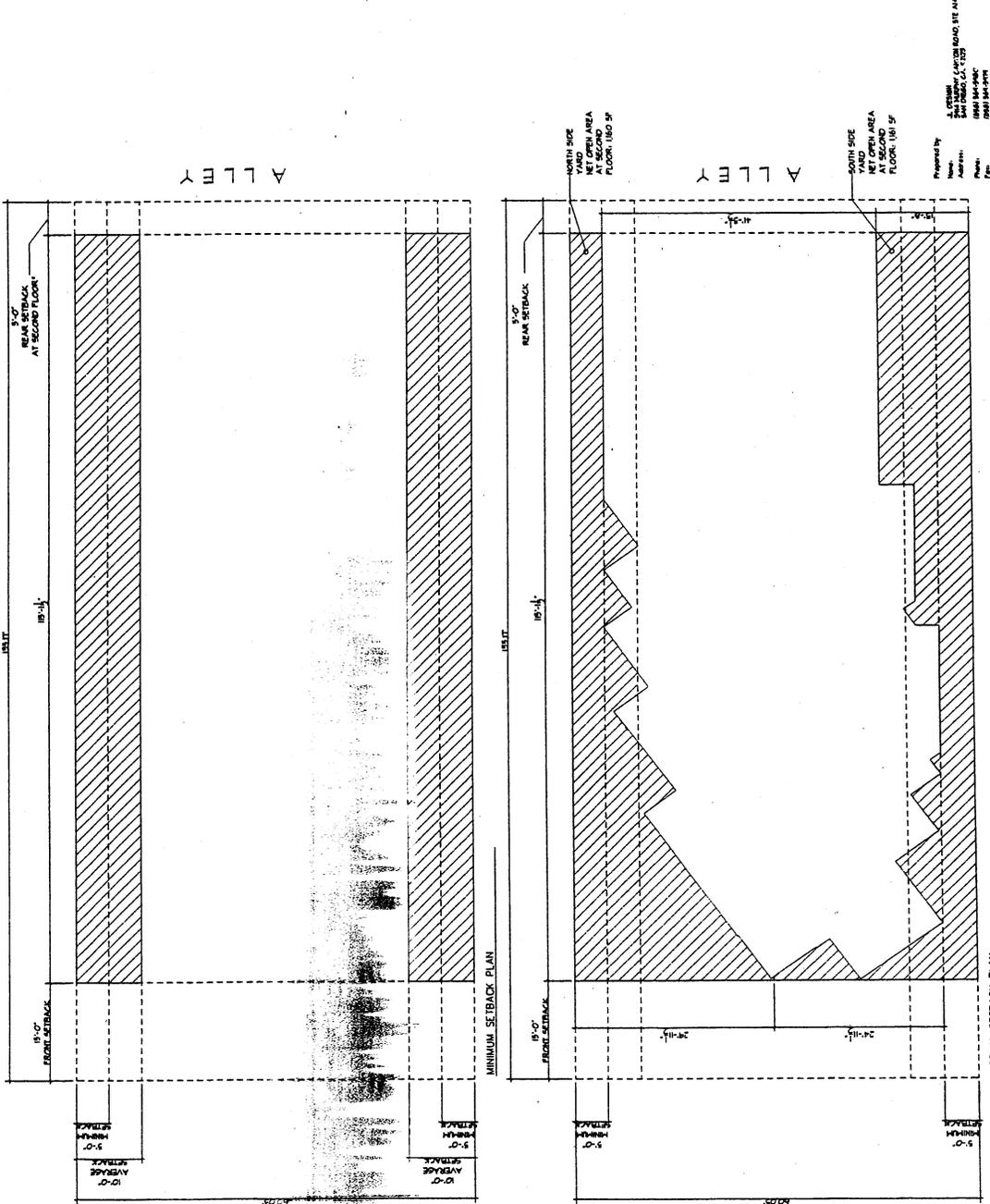
REVISIONS

NO.	DATE	DESCRIPTION
1	07/10/09	ISSUED FOR PERMITS
2	07/10/09	ISSUED FOR PERMITS
3	07/10/09	ISSUED FOR PERMITS
4	07/10/09	ISSUED FOR PERMITS
5	07/10/09	ISSUED FOR PERMITS
6	07/10/09	ISSUED FOR PERMITS
7	07/10/09	ISSUED FOR PERMITS
8	07/10/09	ISSUED FOR PERMITS
9	07/10/09	ISSUED FOR PERMITS
10	07/10/09	ISSUED FOR PERMITS

BROADWAY TOWNHOMES  
 1620 S. BROADWAY  
 OCEANSIDE, CA

PROJECT: BROADWAY TOWNHOMES  
 PREPARED BY: [Name]  
 CHECKED BY: [Name]  
 DATE: 07/10/09

SETBACK COMPLIANCE PLAN  
 SHEET: A2.0  
 OF SHEETS



**AVERAGE SIDEYARD SETBACK CALCULATIONS**  
 NOTE: IN PD DISTRICTS A MINIMUM SIDEYARD SETBACK OF 5'-0"  
 IS REQUIRED. IN ALL OTHER DISTRICTS THE MINIMUM SIDEYARD  
 AVERAGE YARD WIDTH SHALL BE 10'-0" PER THE CITY OF OCEANSIDE  
 PART II - BASE DISTRICTS ARTICLE 10 RESIDENTIAL DISTRICTS, PAGE  
 10-50, SECTION 1050 ILL.

1) REQUIRED AREA OF SIDE YARD TO ACHIEVE AVERAGE YARD WIDTH  
 OF 10'-0" = 10'-0" x 10'-0" = 100.00 SF OPEN AREA AT SIDE YARD.

2) COMPLIANCE TO AVERAGE SIDE YARD SETBACK REQUIREMENT SEE  
 ACTUAL BUILDING FOOTPRINT, TOTAL ACTUAL OPEN AREA.  
 (A) NORTH SIDE YARD: 104 SF NET OPEN AREA  
 (B) SOUTH SIDE YARD: 106 SF NET OPEN AREA  
 PROJECT COMPLIES TO AVERAGE SETBACK REQUIREMENT.

**APPROVED AS SUBSTANTIALLY CONFORMING**

Date \_\_\_\_\_ By \_\_\_\_\_

**PROJECT INFORMATION**  
 PROJECT DESCRIPTION: REVISION OF EXISTING 1620 S. BROADWAY AND 164 S. ALLEY  
 TO ADD 16 UNITS OF THREE AND FOUR STORY TOWNHOMES WITH LANDSCAPING  
 AND ASSOCIATED PARKING.

1) ZONING: PD-3  
 2) COORDINATE: 16.3  
 3) DISTRICT: PD-3  
 4) MAP SHEET: 16.3  
 5) MAP SHEET: 16.3  
 6) MAP SHEET: 16.3  
 7) MAP SHEET: 16.3  
 8) MAP SHEET: 16.3  
 9) MAP SHEET: 16.3  
 10) MAP SHEET: 16.3

**UNIT 1:**  
 Gross: 471 sf  
 First floor: 440 sf  
 Second floor: 1400 sf  
 Total conditioned space: 2405 sf  
 Total usable enclosed space: 2305 sf  
 Total roof deck area: 356 sf

**UNIT 2:**  
 Gross: 471 sf  
 First floor: 440 sf  
 Second floor: 1400 sf  
 Total conditioned space: 2405 sf  
 Total usable enclosed space: 2305 sf  
 Total roof deck area: 356 sf

**UNIT 3:**  
 Gross: 471 sf  
 First floor: 440 sf  
 Second floor: 1400 sf  
 Total conditioned space: 2405 sf  
 Total usable enclosed space: 2305 sf  
 Total roof deck area: 356 sf

**UNIT 4:**  
 Gross: 471 sf  
 First floor: 440 sf  
 Second floor: 1400 sf  
 Total conditioned space: 2405 sf  
 Total usable enclosed space: 2305 sf  
 Total roof deck area: 356 sf

**COMPLIANCE PLAN**

DATE: 07/10/09  
 SHEET: A2.0  
 OF SHEETS



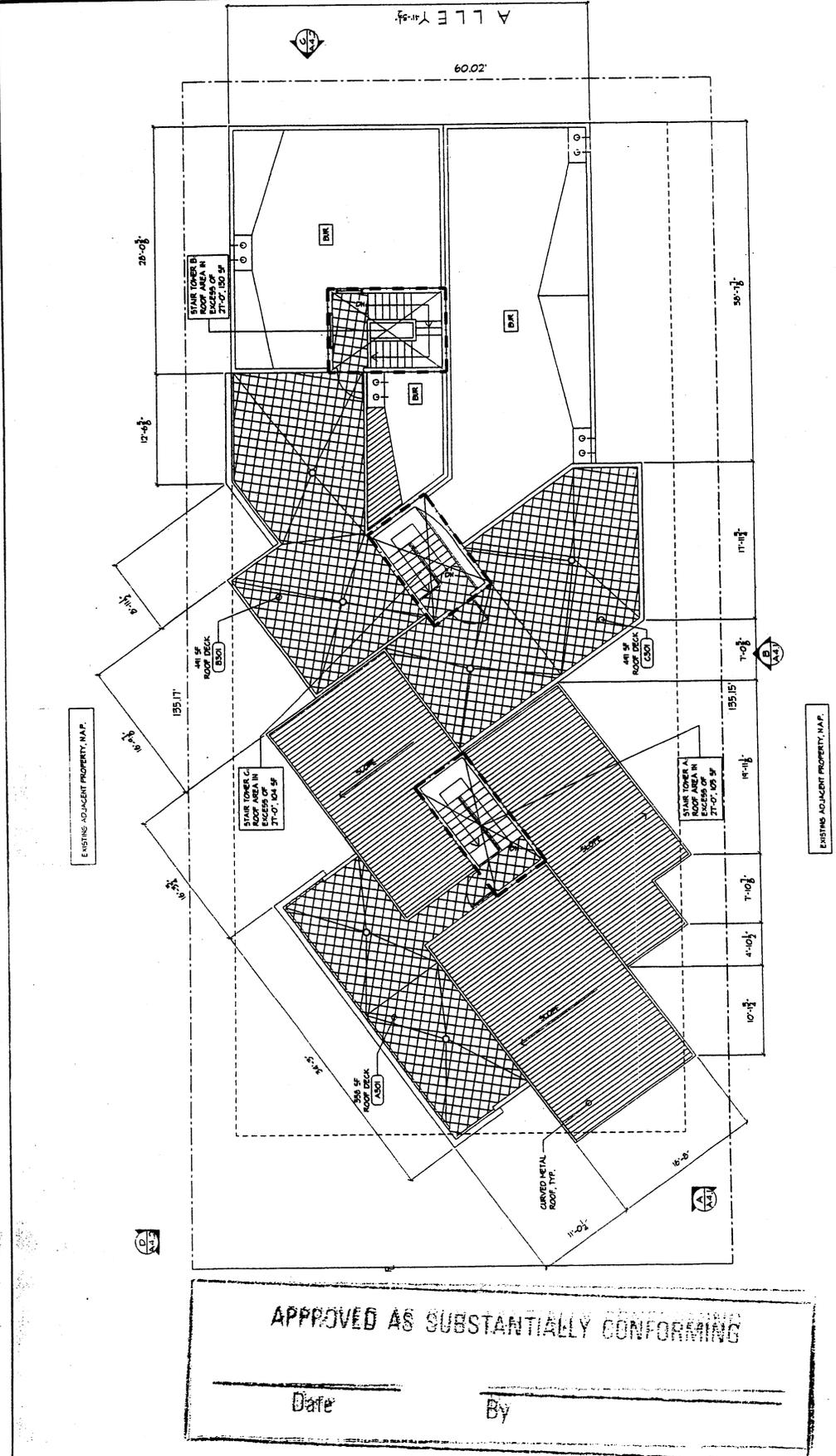
**BROADWAY TOWNHOMES**  
1620 S. BROADWAY  
OCEANSIDE, CA

REVISIONS

NO.	DATE	DESCRIPTION

DATE: 04/15/09  
REVISIONS BY: L.H.B.  
DRAWN: C.V.B.  
JOB NO.: 04-019

PROJECT: ROOF PLAN  
SHEET: A3.0  
OF: 3



Prepared By: [Name]  
Address: [Address]  
Phone: [Phone]  
City: [City]  
State: [State]  
Project Name: [Project Name]

**ZONING COMPLIANCE SUMMARY**  
ROOF AREA IN EXCESS OF 27'-0":  
STAIR TOWER A: 109 SF  
STAIR TOWER B: 150 SF  
STAIR TOWER C: 150 SF  
TOTAL ROOF AREA IN EXCESS OF 27'-0": 359 SF  
TOTAL ROOF AREA: 10,214 SF  
TOTAL CONDITIONED SPACE: 2,124 SF  
TOTAL VISIBLE EXCLUDED SPACE: 518 SF

**UNIT A:**  
Garage: 407 SF  
First floor: 1,000 SF  
Second floor: 1,044 SF  
Stair tower: 28 SF  
Total conditioned space: 2,124 SF  
Total visible excluded space: 518 SF

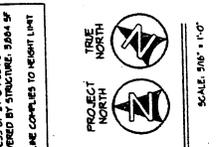
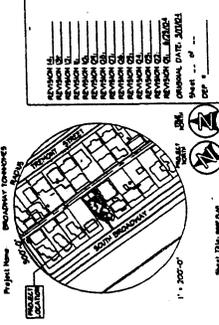
**UNIT B:**  
Garage: 407 SF  
First floor: 1,000 SF  
Second floor: 1,044 SF  
Stair tower: 28 SF  
Total conditioned space: 2,124 SF  
Total visible excluded space: 518 SF

**UNIT C:**  
Garage: 407 SF  
First floor: 1,000 SF  
Second floor: 1,044 SF  
Stair tower: 28 SF  
Total conditioned space: 2,124 SF  
Total visible excluded space: 518 SF

**PROJECT INFORMATION**  
PROJECT DESCRIPTION: DEMOLITION OF EXISTING 1518 SF RESIDUAL AND 164 SF BELOW GRADE GARAGE, AND CONSTRUCTION OF THREE (3) TOWNHOMES WITH LANDSCAPING AND ASSOCIATED PARKING.  
CONSTRUCTION TYPE: V - NON RATED, NON SPRINKLERED.  
NUMBER OF STORES: TWO (2) PLURIBUILDING PARKING.  
TOTAL FLOOR AREA: 10,214 SF.  
TOTAL CONDITIONED SPACE: 2,124 SF.  
TOTAL VISIBLE EXCLUDED SPACE: 518 SF.  
GENERAL PLAN DESIGNATION: RP-1-R.

**APPROVED AS SUBSTANTIALLY CONFORMING**

Date: \_\_\_\_\_ By: \_\_\_\_\_



SCALE: 3/8" = 1'-0"



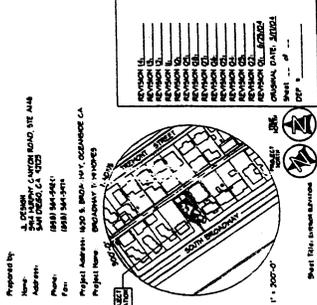


BROADWAY TOWNHOMES  
1620 S. BROADWAY  
OCEANSIDE, CA

EXISTING  
1620 S. BROADWAY  
OCEANSIDE, CA  
92058

Prepared by: J.R.S.  
Date: 04/20/19  
Reviewed by: L.H.J.  
Date: 04/25/19  
Job No.: 19-000  
Project Name: BROADWAY TOWNHOMES

Sheet Name: EXTERIOR ELEVATIONS  
Sheet: A4.2  
Of: 24

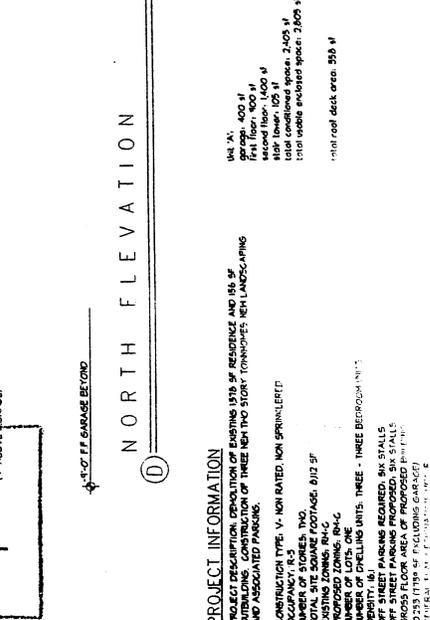
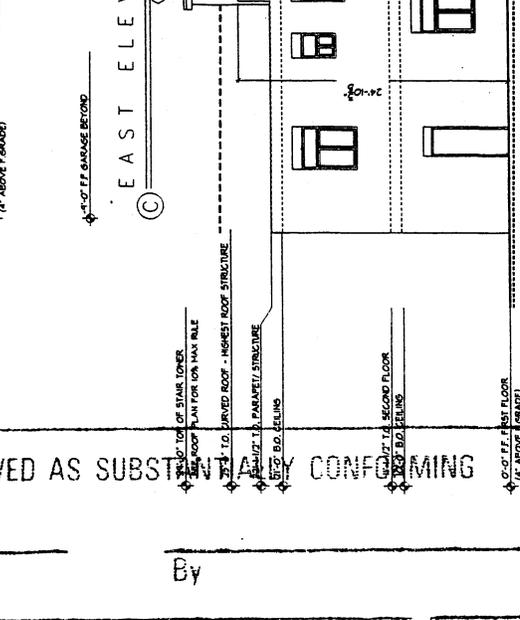
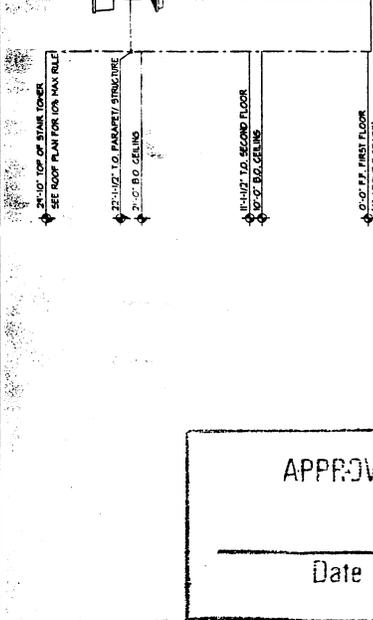
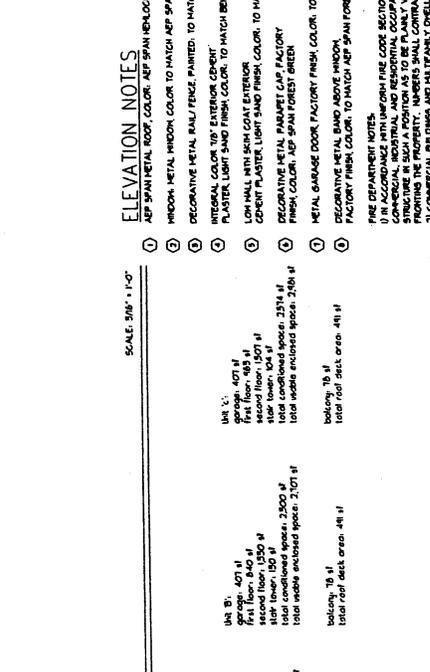
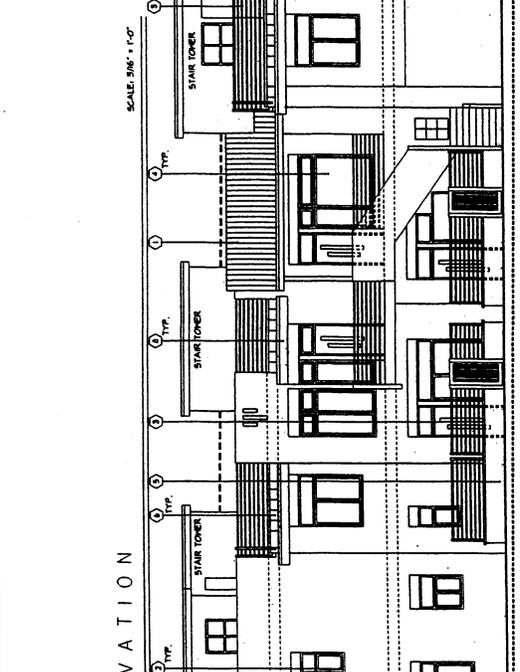
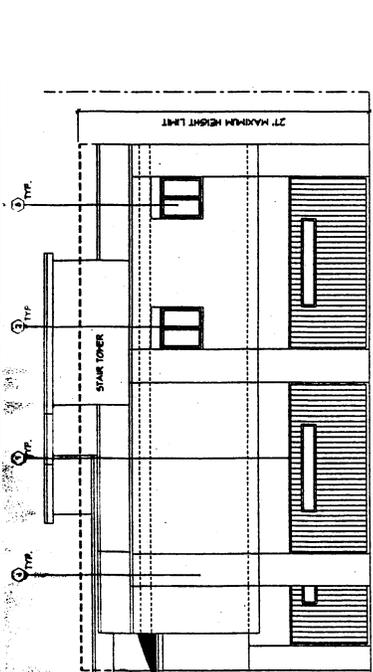
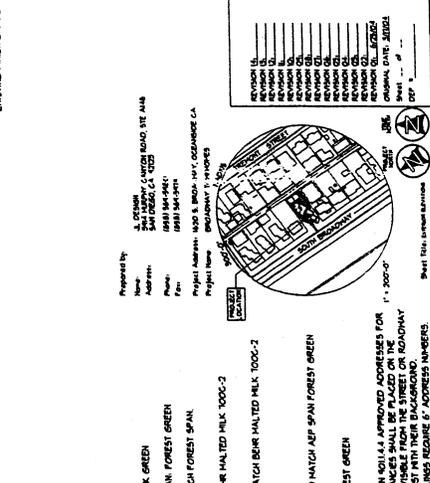
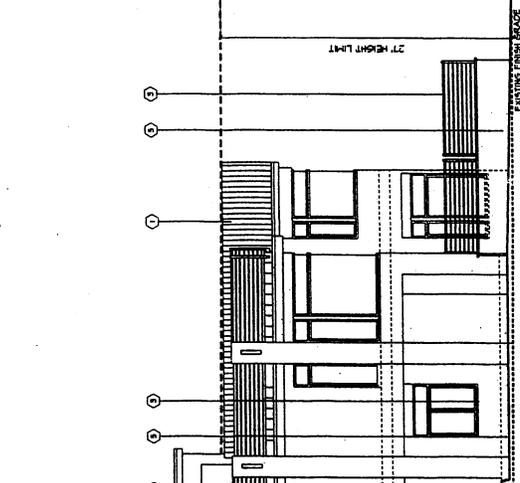


AP SPAN METAL ROOF COLOR: AP SPAN BLACK GREEN  
WINDOW METAL WINDOW COLOR: TO MATCH AP SPAN FOREST GREEN  
DECORATIVE METAL RAIL/FENCE PAINTED: TO MATCH FOREST SPAN  
INTEGRAL COLOR: TO MATCH FOREST SPAN  
LOPH HALL WITH BROWN COAT EXTERIOR  
CEMENT FLOORED LIGHT SAND TINT COLOR: TO MATCH BROWN HALTED MILK 1000-2  
DECORATIVE METAL PAINTED GAP FACTORY  
FRESH COLOR: AP SPAN FOREST GREEN  
METAL GARAGE DOOR FACTORY FRESH COLOR: TO MATCH AP SPAN FOREST GREEN  
FACTORY FRESH COLOR: TO MATCH AP SPAN FOREST GREEN

SCALE: 3/8" = 1'-0"  
ELEVATION NOTES  
1 AP SPAN METAL ROOF COLOR: AP SPAN BLACK GREEN  
2 WINDOW METAL WINDOW COLOR: TO MATCH AP SPAN FOREST GREEN  
3 DECORATIVE METAL RAIL/FENCE PAINTED: TO MATCH FOREST SPAN  
4 INTEGRAL COLOR: TO MATCH FOREST SPAN  
5 LOPH HALL WITH BROWN COAT EXTERIOR  
6 CEMENT FLOORED LIGHT SAND TINT COLOR: TO MATCH BROWN HALTED MILK 1000-2  
7 DECORATIVE METAL PAINTED GAP FACTORY  
8 FRESH COLOR: AP SPAN FOREST GREEN  
9 METAL GARAGE DOOR FACTORY FRESH COLOR: TO MATCH AP SPAN FOREST GREEN  
10 FACTORY FRESH COLOR: TO MATCH AP SPAN FOREST GREEN

SCALE: 3/8" = 1'-0"  
PROJECT INFORMATION  
PROJECT DESCRIPTION: DEMOLITION OF EXISTING 1979 SF RESIDENCE AND 184 SF OF THREE UNIT TWO STORY (CONCRETE) REHABILITATION AND ASSOCIATED PARKING.  
CONSTRUCTION TYPE: V - NON RATED NON SPRINKLERED  
TOTAL SITE SQUARE FOOTAGE: 8112 SF  
NUMBER OF STORES: TWO  
EXISTING ZONING: R-160  
NUMBER OF LOTS: ONE  
NUMBER OF CHILLING UNITS: THREE - THREE BERKSHIRE  
OFF STREET PARKING REQUIRED: SIX STALLS  
OFF STREET PARKING PROPOSED: SIX STALLS  
COST ESTIMATE: \$1,200,000 (GROSS)  
OTHER PLAN INFORMATION: E

DATE: 04/20/19  
BY: J.R.S.



APPROVED AS SUBSTANTIALY CONFORMING

Date: \_\_\_\_\_ By: \_\_\_\_\_

**Attachment 4. Planning Commission Resolution No. 2006-P76**

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PLANNING COMMISSION  
RESOLUTION NO. 2006-P76

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA APPROVING A TIME EXTENSION FOR A TENTATIVE PARCEL MAP, DEVELOPMENT PLAN, CONDITIONAL USE PERMIT AND REGULAR COASTAL PERMIT ON CERTAIN REAL PROPERTY IN THE CITY OF OCEANSIDE

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APPLICATION NO: P-4-04, D-7-04, C-14-04, RC-5-04  
APPLICANT: Kevin Turner  
LOCATION: 1620 South Broadway Street

---

THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES RESOLVE AS FOLLOWS:

WHEREAS, there was filed with this Commission a verified petition on the forms prescribed by the Commission requesting a time extension to a Tentative Parcel Map, Development Plans, Conditional Use Permit and Regular Coastal Permit under the provisions of Articles 10, 41 & 43 of the Zoning Ordinance of the City of Oceanside to permit the following:

3-unit residential condominium;

on certain real property described in the project description.

WHEREAS, the Planning Commission, after giving the required notice, did on the 18<sup>th</sup> day of December, 2006, conduct a duly advertised public hearing as prescribed by law to consider said application.

WHEREAS, pursuant to the California Environmental Quality Act of 1970, the project is categorically exempt from environmental review per Article 19, Section 15303(b);

WHEREAS, there is hereby imposed on the subject development project certain fees, dedications, reservations and other exactions pursuant to state law and city ordinance;

WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the project is subject to certain fees, dedications, reservations and other exactions as provided below:

<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
Parkland Dedication/Fee	Ordinance No. 91-10 Resolution No. 06-R0334-1	\$3,503 per unit

1	<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
2			
3	Drainage Fee	Ordinance No. 85-23 Resolution No. 06-R0334-1	\$15,964 per acre
4			
5	Public Facility Fee	Ordinance No. 91-09 Resolution No. 06-R0334-1	\$2,072 per unit for residential
6			
7	School Facilities Mitigation Fee	Ordinance No. 91-34	\$2.63 per square foot
8			
9	Traffic Signal Fee	Ordinance No. 87-19	\$15.71 per vehicle trip
10	Thoroughfare Fee	Ordinance No. 83-01	\$255 per vehicle trip (based on SANDAG trip generation table available from staff and from SANDAG)
11			
12			
13	Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 05-OR 0611-1	Based on meter size Typical \$3,746
14			
15			
16	Wastewater System Buy-in fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 05-OR 0610-1	Based on meter size Typical \$4,587
17			
18			
19	San Diego County Water Authority Capacity Fees	SDCWA Ordinance No. 2005-3	\$4,154 per unit
20			

21 WHEREAS, the current fees referenced above are merely fee amount estimates of the  
22 impact fees that would be required if due and payable under currently applicable ordinances and  
23 resolutions, presume the accuracy of relevant project information provided by the applicant, and  
24 are not necessarily the fee amount that will be owing when such fee becomes due and payable;

25 WHEREAS, unless otherwise provided by this resolution, all impact fees shall be  
26 calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside  
27 City Code and the City expressly reserves the right to amend the fees and fee calculations  
28 consistent with applicable law;

29

1 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,  
2 dedication, reservation or other exaction to the extent permitted and as authorized by law;

3 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that  
4 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction  
5 described in this resolution begins on the effective date of this resolution and any such protest must  
6 be in a manner that complies with Section 66020;

7 WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes  
8 effective 10 days from its adoption in the absence of the filing of an appeal or call for review;

9 WHEREAS, studies and investigations made by this Commission and on its behalf reveal  
10 the following facts:

11 FINDINGS:

12 For the Time Extension to the Tentative Parcel Map, Development Plan, Conditional Use Permit,  
13 and Regular Coastal Permit:

- 14 1. The project has been conditioned for payment of all applicable impact fees, and therefore  
15 will be paying its fair share toward needed public services.
- 16 2. There have been no changes in City policy, nor have there been any substantial change  
17 affecting the surrounding area since the original approval, and therefore this time extension  
18 will not adversely affect the City's General Plan nor any existing applicable City policy.
- 19 3. The applicant has made a diligent good faith effort to record the final map within the time  
20 period originally approved.

21 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby  
22 approve the Time Extension for Tentative Parcel Map (P-4-04), Development Plan (D-7-04),  
23 Conditional Use Permit (C-14-04), and Regular Coastal Permit (RC-5-04) subject to the following  
24 conditions:

25 Building:

- 26 1. A Building Permit is required for the demolition of the existing structures. Plans for the  
27 Building Permit must clearly show that all utilities (electric, gas, water, & sewer) are  
28 properly terminated/capped in accordance with the requirements of the utility service  
29 provider. All underground septic or water storage tanks must be removed or filled in  
accordance with the Uniform Plumbing Code and/or the City's Grading Ordinance.

1 2. Plat drawing elevation for floors and finish grade shall demonstrate that the lower (garage)  
2 level meets the requirements for a basement.

3 **Engineering:**

4 3. This Tentative Parcel Map (P-4-04) shall expire on December 8, 2009, unless implemented  
5 as required by the Subdivision Ordinance.

6 **Planning:**

7 4. This Development Plan (D-7-04), Conditional Use Permit (C-14-04), and Regular Coastal  
8 Permit (RC-5-04) shall expire December 18, 2008, unless implemented as required by the  
9 Zoning Ordinance.

10 5. That all of the conditions of Resolution No. 2004-P58 adopted on November 8, 2004  
11 continue to apply, except that Condition No. 45 which is amended to change the expiration  
12 date the dates adopted by this resolution.

13 6. Jacarandas shall not overhang pedestrian traffic areas.

14 7. To account for the loss of existing arbor, a tree survey shall be prepared by a licensed  
15 arborist in accordance with Section 401.I of the Subdivision Ordinance. The tree survey is  
16 subject to the review and approval of the City Planner.

17 8. Landscaping to be removed and replaced shall meet the requirements of the City  
18 Landscape Inspector during site inspection.

19 9. Two 15-gallon trees shall be provided along the alley side of the project site.

20 10. Two 15-gallon front yard trees shall be provided in the vicinity between the sidewalk and  
21 the structure.

22 11. Deep scored, colored concrete shall be installed as the decorative entry pathway to the  
23 development.

24 **Water:**

25 12. The existing 6-inch waterline located in the public alleyway shall be upsized to an 8-inch  
26 waterline to meet current City standards.

27 13. The existing 8-inch sewer line located in the public alleyway was observed by City field  
28 personnel to be in poor condition and shall be slip lined from the nearest upstream sewer  
29 manhole to the nearest downstream sewer manhole.

///

1 14. All new development of single-family and multi-family residential units shall include hot  
2 water pipe insulation and installation of a hot water recirculation device or design to  
3 provide hot water to the tap within 15 seconds in accordance with City of Oceanside  
4 Ordinance No. 02-OR126-1.

5 PASSED AND ADOPTED Resolution No. 2006-P76 on December 18, 2006 by the  
6 following vote, to wit:

7 AYES:

8 NAYS:

9 ABSENT:

10 ABSTAIN:

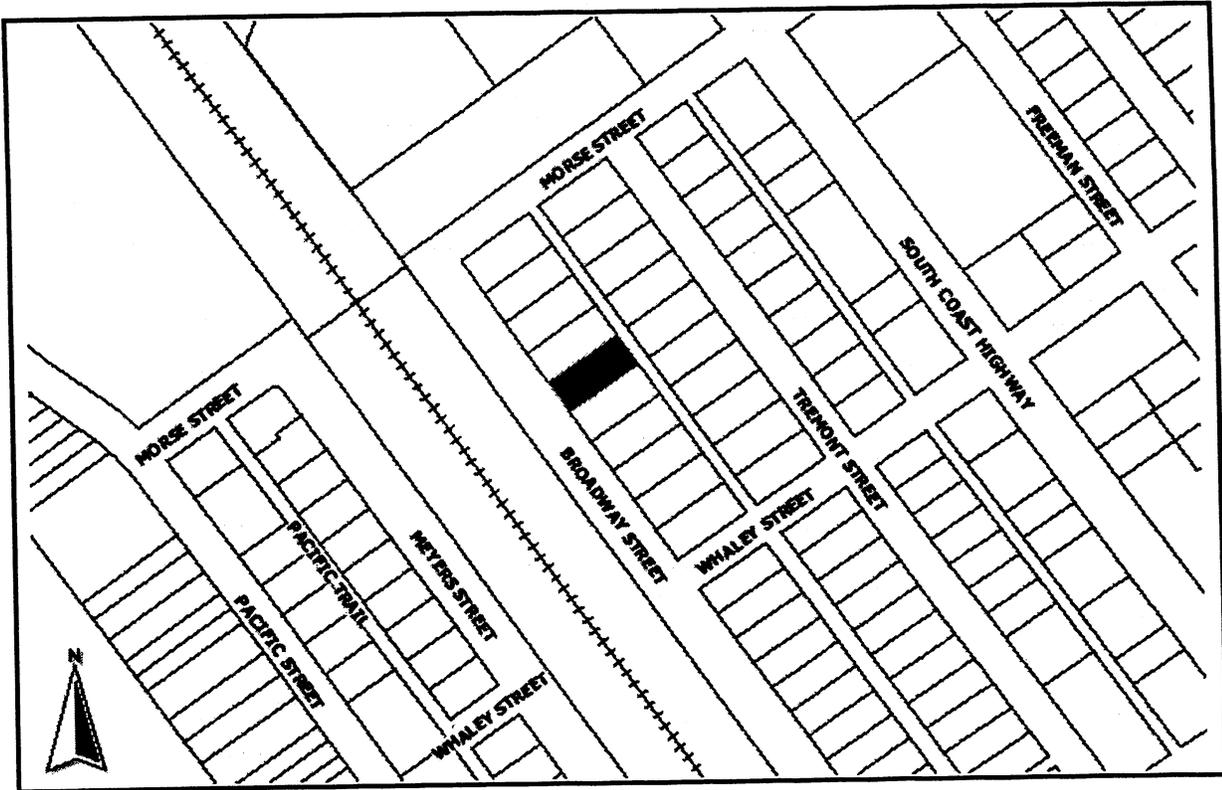
11 \_\_\_\_\_  
12 Dennis Martinek, Chairman  
13 Oceanside Planning Commission

14 ATTEST:

15 \_\_\_\_\_  
16 Jerry Hittleman, Secretary

17 I, JERRY HITTLEMAN, Secretary of the Oceanside Planning Commission, hereby certify that  
18 this is a true and correct copy of Resolution No. 2006-P76.

19 Dated: December 18, 2006  
20  
21  
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27  
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29



**File Number:** P-4-04TE, D-7-04TE, C-14-04TE, RC-5-04TE

**Applicant:** Carlos Valladares

**Description:**

TIME EXTENSION to PARCEL MAP (P-4-04), DEVELOPMENT PLAN (D-7-04), CONDITIONAL USE PERMIT (C-14-04), and REGULAR COASTAL PERMIT (RC-5-04) for a 3-unit condominium development on an 8,110 square foot lot located at 1620 South Broadway Street. The project site is zoned RM-C (Medium Density Residential – C) and is situated within the South Oceanside Neighborhood and the Coastal Zone.  
**TURNER CONDOMINIUMS**

**Environmental Determination:**

The project is exempt from the California Environmental Quality Act.

City of Oceanside, Planning Department  
300 N. Coast Highway  
Oceanside, CA 92054 (760) 435-3520

Date: December 7, 2006

Public Hearing Coastal Permit  
Identification No. RC-5-04TE

NOTICE OF PUBLIC HEARING  
COASTAL DEVELOPMENT PERMIT

This is a notice to you as an interested party that the City of Oceanside Planning Commission will hold a public hearing on the Coastal Permit application of Carlos Valladares. This application was received on October 9, 2006. The application is described as follows:

For a 3-unit condominium development on an 8,110-square foot lot located at 1620 South Broadway Street.

The project site is zoned RM-C (Residential Medium Density-C) and is situated within the South Oceanside Neighborhood and the Coastal zone.

Said hearing will be held on December 18, 2006, at 7:00 p.m. in the Council Chamber of City Hall, 300 North Coast Hwy., Oceanside, California at which time and place any and all interested persons may appear and be heard. Interested persons may contact the Planning Division at (760) 435-3520 after December 13, 2006, to be informed of the place on the agenda and the approximate time of hearing.

If you have any questions or comments regarding this matter, or want to be notified of the decision, contact the City of Oceanside, Planning Division at (760) 435-3520. Written comments may be submitted prior to the hearing and will be made part of the public record and provided to the Planning Commission.

If you disagree with the decision of the Planning Commission concerning this project's conformance to the Local Coastal Plan, you may appeal the decision to the City Council. The appeal, accompanied by the appropriate fee must be filed in the City Clerk's Office, 300 North Coast Hwy., Oceanside, no later than 5:00 p.m. on December 28, 2006 (10 days from the adoption of the Planning Commission Resolution).

The project is "appealable" to the California Coastal Commission under Section 30603(a) of the California Public Resources Code. An aggrieved person may appeal the decision to the Coastal Commission within ten (10) working days following the Commission receipt of the Notice of Final Action on this project. The Notice of Final Action is mailed after the City's last action, such as Planning Commission resolution, Community Development Commission resolution (for projects in the Redevelopment Area), or City Council resolution (for projects involving a zone change or which resulted in a local appeal). Please contact the Planning Division at (760) 435-3520 for this information.

Appeals must be in writing. The Coastal Commission, San Diego District Office is at 7575 Metropolitan Drive, Suite 103, San Diego, California 92108-4402. The phone number is (619) 767-2370.

TURNER CONDOS T.E.

Application For Planning Commission Hearing				STAFF USE ONLY	
Planning Department (760) 435-3520 Oceanside Civic Center 300 North Coast Highway Oceanside, California 92054-2885 Please Print or Type All Information				ACCEPTED	BY
				RECEIVED OCT 09 2006 Planning Department	
HEARING					
<b>PART I - APPLICANT INFORMATION</b>				GPA	
1. APPLICANT		2. STATUS		MASTER/SP.PLAN	
Carlos Valladares		Owner		ZONE CH.	
3. ADDRESS		4. PHONE/FAX		TENT. MAP	
201 Deer Haven Drive, Ponte Vedra Beach, FL 32082		(904) 273-1624		PAR. MAP	P-4-04TE
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing)				DEV. PL.	D-7-04TE
Jorge H. Palacios, J.P. Engineering, Inc.				C.U.P.	C-14-04TE
6. ADDRESS		7. PHONE/FAX		VARIANCE	
4849 Ronson Court, Ste. 105, San Diego, CA 92111		(858) 569-7377/569-0830		COASTAL	RC-5-04TE
<b>PART II - PROPERTY DESCRIPTION</b>				O.H.P.A.C.	
8. LOCATION				9. SIZE	
1620 Broadway Street, Oceanside, California 92054				8,112 sq. ft.	
10. GENERAL PLAN	11. ZONING	12. LAND USE		13. ASSESSOR'S PARCEL NUMBER	
Medium Density - C Residential (MDC-R)	Medium Density Residential C (RM-C)	Residential		153-115-05	
<b>PART III - PROJECT DESCRIPTION</b>					
14. GENERAL PROJECT DESCRIPTION					
This application is for a time extension for development plan (D-7-04), tentative parcel map (P-4-04) for condominium purposes, conditional use permit (C-14-04) for exceeding the base density, and a regular coastal permit (RC-5-04) for three (3) condominium units located on a 8,112 square foot lot.					
15. PROPOSED GENERAL PLAN	16. PROPOSED ZONING	17. PROPOSED LAND USE	18. NO. UNITS	19. DENSITY	
No Change	No change	No Change	3	16.1 du/ac	
20. BUILDING SIZE	21. PARKING SPACES	22. % LANDSCAPE	23. % LOT COVERAGE		
8,493 sq. ft.	Three 2-car garages	20.9%	47.8%		
<b>PART IV - ATTACHMENTS</b>					
<b>ALL APPLICATIONS</b>				<b>DEV. PLANS, C.U.P.s &amp; TENT. MAPS</b>	
X	24. DESCRIPTION/JUSTIFICATION	X	25. LEGAL DESCRIPTION	X	30. FLOOR PLANS AND ELEVATIONS
X	26. 300-FT. RADIUS MAP	X	27. PROPERTY OWNERS' LIST		31. CONSTRUCTION SCHEDULE
X	28. ENVIRONMENTAL ASSESSMENT	X	29. PLOT PLANS		32. OTHER
<b>PART V - SIGNATURES</b>					
THE APPLICANT OR HIS/HER REPRESENTATIVE MUST BE PRESENT AT THE HEARING. FAILURE TO BE PRESENT MAY RESULT IN DENIAL OF THE APPLICATION.			SIGNATURES OF ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).		
33. APPLICANT OR REPRESENTATIVE (Print):		34. DATE		37. OWNER (Print)	
Jorge H. Palacios		10-6-06		Carlos Valladares	
Sign: <i>JH Palacios</i>				38. DATE	
				10-6-06	
I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.			Sign: <i>Carlos Valladares</i>		
35. APPLICANT (Print):		36. DATE		39. OWNER (Print):	
Carlos Valladares		10-6-06		Maria Valladares	
Sign: <i>Carlos Valladares</i>				40. DATE	
				10-6-06	
				Sign: <i>Maria Valladares</i>	

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JULIAN

OCT - 9 20

Planning Depa

## DESCRIPTION AND JUSTIFICATION

Time Extension for Parcel Map (P-4-04), Development Plan (D-7-04),  
Regular Coastal Permit (RC-5-04), and Conditional Use Permit (C-14-04)

for

**Broadway Townhomes**  
Oceanside, California  
A.P.N. 153-115-05

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OCT 09 2006  
Planning Department

### Introduction

This application is for a time extension of a 3-unit condominium development on an 8,112 square foot lot (Assessor Parcel Number 153-115-05) located on the east side of South Broadway between Morse and Whaley Streets. The time extension for this project include a Tentative Parcel Map (P-4-04), Development Plan (D-7-04), Regular Coastal Permit (RC-5-04) and a Conditional Use Permit (C-14-04). The discretionary approvals for this project will expire November 8, 2006, unless a time extension is granted.

The property is located in the South Oceanside neighborhood and is currently occupied by a single family residence that will be removed as part of the proposed development. Surround land uses include single family homes, multi-family homes and commercial. The current General Plan Land Use designation for the subject property is Medium Density - C Residential (MDC-R) and the zoning is Medium Density Residential C (RM-C).

### Parcel Map and Development Plan

As noted above, this is a residential project containing 3 airspace condominium units, with common area improvements and amenities. The average unit size is 2,300 square feet. The project will include amenities such as private roof top terraces and a 2-car garage for each unit.

The project provides a high quality design, innovative architecture and redevelops an underutilized site in walking distance to restaurants, beaches, shops and transit facilities. It provides common and private open space areas, and residential ownership opportunities in the south Oceanside area.

### Access and Parking

The Broadway Townhome project exceeds the parking requirements for this zone and type of project. While only one covered and one uncovered parking space is required for each unit, this project provides a 20' by 19' two-car garage for each unit. Entrance to two of the garages will be taken directly from the alley; the third will take access from a 12'-4" wide private driveway. The driveway has been designed to not only be used for access, but also as a decorative element through the use of colored and scored concrete arranged in a unique pattern.

## Architecture

The architecture for the proposed Broadway Townhomes is a contemporary design popular in coastal Southern California, which can be described as "Californian or Beach Modern" and will provide the homes with a special, high quality sense of place that will be compatible with the surrounding neighborhood and community character. The design uses a variety of angles, as well as architectural and trim details which contribute to the modern theme of the proposed building. This style incorporates a light colored stucco exterior coating with a decorative standing seam metal roof and a decorative metal rail. The architectural styling is further enhanced by the landscape materials, which were selected and placed to complement the overall project.

The building elevations are attractively designed and conform well to the modernistic theme. The metal roof is flat with a colonial red color. The units will have a smooth stucco wall surface with a light sand finish. The windows and the bands above the windows will be a dark bronze metal, and the eave bands will be a colonial red to match the roof color. The decorative metal rails located throughout the building, including the roof deck and private balconies will be painted a cool dark bronze. The cool dark bronze will also be the same color as the metal garage, effectively tying in various elements of the project.

The building is designed to be 25'-6" in height, which is less than the 36-foot maximum height in the RM-C zone. The stair height is 29'-10" and the tower height is 29'-10". The height of the parapet wall varies but is a maximum of 27'.

## Landscape Concept Plan

The landscaping is reminiscent of an early Californian style, with a modern flair. The hardscape will be a central design feature complementing the unique architectural design. In the front of the project, a decorative entry with colored and scored concrete will lead people into the project. Textural accent shrubs have been arranged to radiate away from the entry paving, creating a visual effect to compel the viewer to pay attention to the landscaping. Various elements such as beach cobble broken up by rows of vines, groundcover and shrubs will provide additional interest.

A multi-trunk coast live oak with a cobbled understory will serve as a pivotal design feature. The tree will be surrounded by turf bordered by a 16" concrete mowcurb. Other landscaping will include various flowers and shrubs such as lilies, New Zealand phlax, dwarf India hawthorne, blue oat grass and others. Vines and ground cover such as star jasmine, creeping rosemary, trumpet vines and honeysuckle, as trees such as bottle trees, bronze loquat, New Zealand Christmas trees and others will be used throughout the site.

Conceptual ideas for private patio landscaping has been envisioned as Chinese lantern trees, strawberry trees, heavenly bamboo, pink breath of heaven, California lilac and others. The future owners will have the opportunity to use these concepts as a guideline. Because of the compatibility of the landscaping with the architecture, it can also serve as a guide for the rooftop terraces.

The driveway is also proposed with similar colored and scored concrete as the front entry in a visually appealing design to provide interest. Other hardscape will include areas of concrete pavers as access points to private areas.

### Recreational Open Space

The project also exceeds the basic requirements of 300 square feet of total open space per unit or a total of 900 square feet. Private usable open space consists of rooftop terraces, with each unit having access to their private area ranging from 358 to 491 square feet accessed by staircases from each unit. The rooftop terrace will enable each resident the opportunity for personal landscaping such as gardens in contained planters, outdoor patio furniture and barbeque facilities. As shown on the architectural plans, the terrace will be surrounded by a metal rail for safety and to offer residents the opportunity to enjoy ocean and sunset views.

Of the total open space requirement, the required common outdoor space for recreational use is a minimum of 50% of the 900 square feet total which is 450 square feet. The entry is a total of 391 square feet which will have a seating area for residents and guests to enjoy the landscaping and the grass area under the tree is 449 square feet; the total common outdoor living space is 840 square feet. With a total of 1,340 square feet of private rooftop terraces, and common open space on the ground floor, there is a total of 1,859 square feet of useable open space, which more that doubles the required open space. In addition, two of the units has 78 square feet of private balcony and all of the units have entry balconies ranging from 30 to 60 square feet.

### Summary

The Broadway Townhomes project will provide an attractive, well-designed project in a location that will enhance the long-term general well-being of the neighborhood and the community. Your favorable consideration for a time extension of this project is requested.

## Conditional Use Permit

### Exceeding Base Density

This conditional use permit request is being sought to allow the development of the project at a density of 16.1 du/ac, in excess of the 15.1 du/ac base density of the general plan designation but well below the maximum density of 20.9 du/ac.

The Land Use Element of the General Plan establishes density ranges for all residential districts. Section 2.32, Potential Range of Residential Densities, states that the base density shall be considered the appropriate density for development within each residential district. To be granted the ability to achieve project densities above the base density, a project must be found to possess an excellence of design features. Section 2.32 of the Land Use Element establishes specific characteristics to be used as a basis to grant the ability to achieve densities above the base density.

Identified below are several of the characteristics identified in the Land Use Element that are satisfied by the proposed project. The characteristics are in italics and are followed by an explanation of how the project complies. The numbering sequence is based on that found in Section 2.32 of the Land Use Element of the General Plan:

3. *Development standards which exceed the standards established by City policy.*

Although the City of Oceanside Zoning Ordinance states that multi-family residences requires only one covered space, a two-car garage with direct access to the units are being proposed for all three residences.

4. *Superior architectural design and materials.*

The architectural design is intentionally unusual, using varied angles and in several curved sections to add visual interest. The materials used include decorative metal, various colored stucco and a decorative metal parapet.

5. *Superior landscape/hardscape design and materials.*

The Landscape Concept Plan is based on cultural, aesthetic and maintenance considerations, using a mixture of accent trees, shrubs, vines and ground cover to enhance the project site. An unusual and aesthetically pleasing use of the hardscape is used to provide visual interest. A decorative driveway paving in the rear of the project also adds visual appeal.

7. *Superior private and/or semi-private open space areas.*

There will be private rooftop terraces for each unit, as well as an ample amount of open space on the ground floor to be shared by each unit. The open space provided far exceeds the required 300 square feet per unit.

The proposed findings for approving the Use Permit are as follows:

1. *The proposed location of the use is in accordance with the objectives of this ordinance and the purposes of the district in which the site is located.*

The project is proposed in a manner which complies with all development requirements of the Medium Density Residential C zoning designation and specific purposes of the Zoning Ordinance for residential districts.

This project is located in an area zoned for residential construction (RM-C, Medium Density Residential C) and is surrounded by other residential areas. The project has been designed with the health and safety of residents and visitors in mind.

Existing public services and facilities are available to adequately serve the proposed project.

2. *The proposed location of the conditional use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.*

The proposed project is consistent with the General Plan. The project will ensure community and neighborhood values through an attractive design which will add to the character of the area. No changes are proposed for the zoning designation of this property, ensuring balanced land uses within the surrounding community.

In addition, the proposed location of the Broadway Townhomes project will not negatively affect the health, safety or welfare of persons residing or working the community. Safe and adequate access will be provided to each of the units, ensuring the well being of all residents within the development.

3. *The proposed conditional use will comply with the provisions of this ordinance, including any specific condition required for the proposed conditional use in the district in which is would be located.*

The proposed density and project development characteristics conform to the provisions of the City of Oceanside Zoning Ordinance. The development will comply with conditions of approval.

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
PRIMARY RECORD

MAR 18 2004  
Planning Department

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Page 1 of 3

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

\*Resource Name or #: (Assigned by recorder) 1620 S. Broadway

\*P1. Other Identifier: Blanche M. Cralle Residence

\*P2. Location:  Not for Publication  Unrestricted \*

a. County San Diego

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

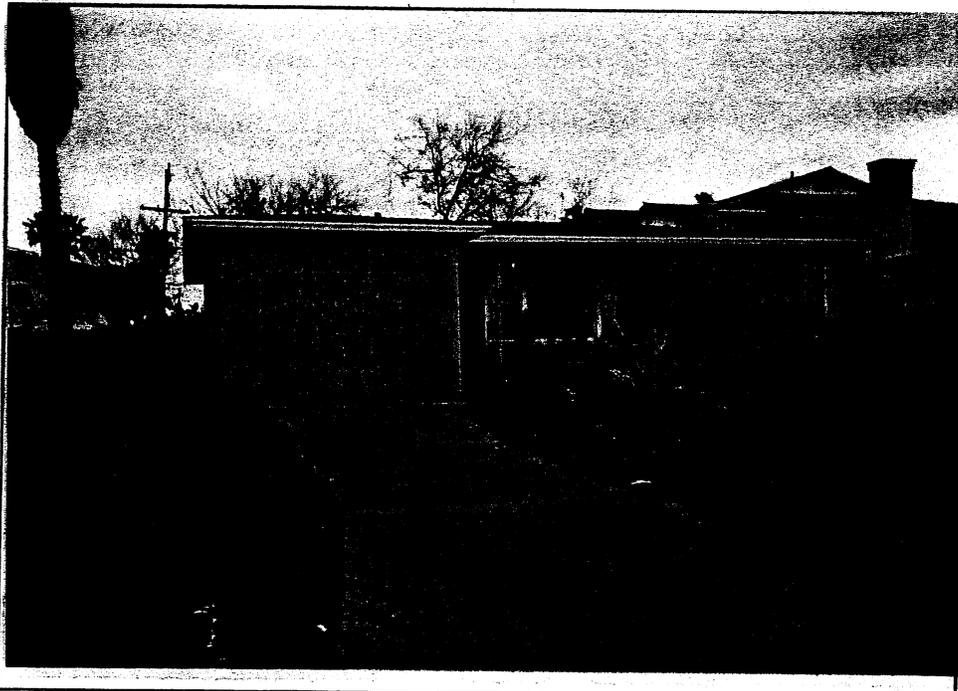
\*b. USGS 7.5' Quad San Luis Rey \*Date 1975 T 11S; R 5W; 1/4 of 1/4 of Sec \_\_\_\_\_; SB B.M.

c. Address 1620 S. Broadway City Oceanside Zip 92054

d. UTM: (Give more than one for large or linear resources) Zone \_\_\_\_\_; \_\_\_\_\_ Me/ \_\_\_\_\_ Mn

e. Other Locational Data (e.g., parcel #, directions to resource, elevation, etc., as appropriate): The property is located in the South Oceanside Subdivision; the APN is 153-115-05. The legal description of the property is the S 60 ft of N 300 ft of the SW 1/4 of Block 13, Map 622.

\*P3a. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries): The resource consists of a small, clean lined, one story, wood frame, stucco-clad Ranch style house with an attached one-car garage. The front facade of the rectangular shaped house is asymmetrical and the building rests on a concrete foundation. The hipped roof is covered with composition shingles and has wide, boxed eaves. The fenestration consists primarily of single metal framed sliders which appear to have replaced original wood framed one-over-one double hungs. The focal window is a wood framed central fixed pane flanked by double hungs. Access to the house is from the concrete driveway, up to a half-length raised concrete porch covered by an integral porch roof. A single post supports the porch roof. The primary entry to the house is through a single wood door. The garage door is a plywood lift up. Landscaping is negligible. The house is in good condition.



\*P3b. Resource Attributes (List) HP2  
Single-family property

\*P4. Resources Present:  Building  
 Structure  Object  Site   
 District  Element of District   
Other (Isolates, etc.)

P5b. Description of Photo: (View, date, accession #) Front facade  
looking east, 1/22/04;  
874:1

\*P6. Date Constructed/ Age and Sources:  Historic  Prehistoric  
Approximately 53 years old  
per Notice of Completion

\*P7. Owner and Address:

Kevin Turner  
7164 Eads Avenue  
La Jolla, CA 92037

\*P8. Recorded by (Name, affiliation, and address): Ruth Alter,  
Archaeos, 11209 Golden  
Birch Way, San Diego, CA

92131 \*P9. Date Recorded: 1/28/04 \*P10. Type of Survey (Describe) Field check \*P11. Report Citation (Cite survey

report and other sources, or enter "none".) None \*Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet

Building, Structure, and Object Record  Archaeological Record  District Record  Linear Resource Record  Milling Station

Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

CONTINUATION SHEET

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 2 of 3

\*Resource Name or # (Assigned by recorder) 1620 S. Broadway

\*Recorded by Ruth C. Alter

Date 1/28/04

Continuation     Update

According to the chain of title, this unimproved parcel, was originally part of the holdings of Oceanside co-founder and real estate agent J. Chauncey Hayes and his wife Felipa. The subject parcel was sold to Alexander Cloud in November, 1891. Cloud retained title until selling the lot to land investor Herman N. Cable in June, 1915. Cable owned many other undeveloped properties at this time. Title to the property was conveyed in August, 1922 to Henry Kressman, who also was involved with real estate speculation. Kressman subsequently sold it to William G. Kerckhoff, a land speculator, and the owner of the South Coast Land Company, in April, 1925. Following Kerckhoff's death, his widow Louise sold the property to the South Coast Land Company; the William Kerckhoff Company, the Kerckhoff family real estate business, reacquired title to the yet undeveloped parcel.

In January, 1938, Dr. Clifford and Cora Brodie and Ross and Mary Dorrian Russell each purchased a half interest in the lot. The Brodies and Russells together and individually acquired and sold numerous properties in Oceanside during the 1920s, 1930s, and 1940s. Between the time of this purchase and November, 1943, title and various percentages of ownership passed between Dr. Brodie and the Russells. During this period, the Brodies also owned and operated a motor court named the Brodie-O-Tel, which was sold in 1949.

In 1943, sole ownership was conveyed to Mr. Clarence Brodie and his wife, Mildred. About seven years later, in September, 1950, the Brodies sold the lot to Blanche M. Cralle, who shortly after hired contractor A.N. Kramer to build the subject house as her residence, which according to the Notice of Completion was finished in January, 1951. Contractor Kramer built and completed a number of other houses on the same block about the same time. Mrs. Cralle added Lyman Cralle, presumably her husband, to the title in August 1956.

In July, 1959, the house was purchased by Harry and Jessie Russ Brown. The property was sold to Richard S. Johnston in June, 1961, but was reacquired by the Browns in July, 1965. It remained in the Brown family until its sale to current owner Kevin Turner in January, 2003.

Primary # \_\_\_\_\_  
 HRI# \_\_\_\_\_

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 1620 S. Broadway

B1. Historic Name: Blanche M. Cralle Residence

B2. Common Name: Kevin Turner House

B3. Original Use: Single-family residence

B4. Present Use Single-family residence

\*B5. Architectural Style: Ranch

\*B6. Construction History: (Construction date, alternations, and date of alterations)  
 The house constructed in 1951 per the Notice of Completion. No major exterior alterations are apparent with the exception of replaced windows.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: Attached one-car garage

B9a. Architect: Unknown b. Builder: A.N. Kramer

\*B10. Significance: Theme: residential development Area Oceanside, California

Period of Significance 1890 to present Property Type Residential Applicable Criteria N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.) The resource is located in South Oceanside and is part of the South Oceanside Addition. This portion of the subdivision built out more gradually than other Oceanside neighborhoods, with land standing vacant well into the 1930s and 1940s. A true development boom was stalled until after World War II, when a stronger economy and the need for affordable housing helped the area grow. It presently consists of a mix of residential uses, including generally small single-family houses and multiple-family units. Its proximity to the beach has made it a desirable location for rental units, historically for residents of Los Angeles, who would come down for weekend stays.

The resource is part of a group of houses on Broadway all constructed by A.N. Kramer and completed about the same time in 1950. These houses appear to have been variations of several related Modern Contemporary style patterns. For example, some feature gabled roof lines, others have flat-tilt roofs, and some have attached two-car garages, while others are one-car. Overall, there is a sense of cohesiveness to the residences and all reflect the styling, materials, and construction of the early post-World War II years.

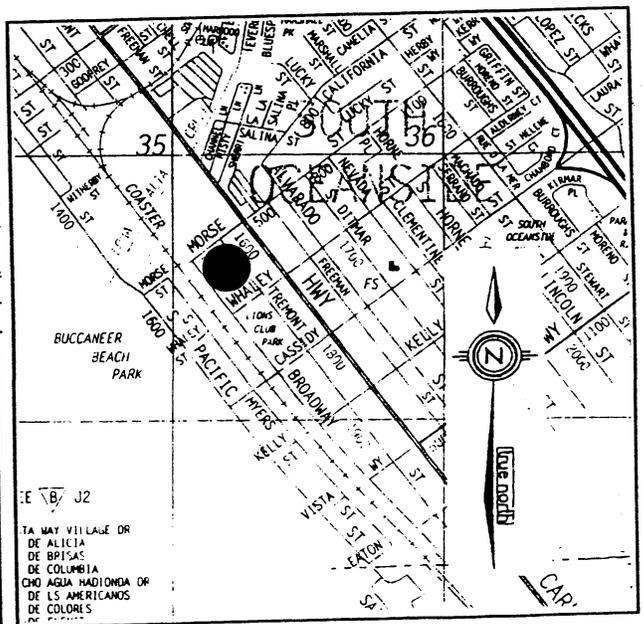
The design of the subject resource is clean and simple. It would have been relatively inexpensive to build and maintain and its design integrity has remained intact over the years. No individuals of national, state or local historic standing are directly associated with the building. It is not the work of a master architect or craftsman, it is not constructed of rare or unique materials, and no known historic events are associated with it. The building is an example of the Modern Contemporary style, one of the most common architectural style of the late 1940s through 1960. The building is unlikely to yield important information relevant to local, state or national history. Its locational and associational integrity are intact, and its design and feeling are intact as well. The setting is reasonably intact. The subject resource does not qualify under any criteria for nomination for listing in the National Register of Historical Places, California Register of Historical Resources, or the Oceanside historical resources register.

B11. Additional Resource Attributes: (List attributes and codes)  
 None

\*B12. References: Hawthorne, K., Oceanside, Where Life is Worth Living, Donning Company Publishers, Virginia Beach, Virginia, 2002; McAlester, V. and L., A Field Guide to American Houses, 1991. Alfred A. Knopf, New York, Oceanside Historic Resources Inventory, 1992.

B13. Remarks:  
 \*B14. Evaluator: Ruth Alter, Archaeos, 11209 Golden Birch Way, San Diego, CA 92131

\*Date of Evaluation: 1/28/04



(This space reserved for official comments.)

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OCT 09 2006  
Planning Department

**LEGAL DESCRIPTION**

Broadway Townhomes

A.P.N. 153-115-05

THE SOUTHEASTERLY 60 FEET OF THE NORTHWESTERLY 300 FEET OF THE SOUTHWESTERLY ONE-HALF OF TRACT NO. 13 OF SOUTH OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 622, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, FEBRUARY 7, 1890.



CITY OF OCEANSIDE  
COMMUNITY DEVELOPMENT DEPARTMENT/PLANNING DIVISION

NOTICE OF EXEMPTION

TO:  RECORDER/COUNTY CLERK  
COUNTY OF SAN DIEGO  
P.O. BOX 1750  
SAN DIEGO, CA 92112-4147

PROJECT TITLE AND FILE NUMBER:

Turner Condominium  
Parcel Map (P-4-04TE)  
Development Plan (D-7-04TE)  
Conditional Use Permit (C-14-04TE)  
Regular Coastal Permit (RC-5-04TE)

PROJECT LOCATION - SPECIFIC:  
1620 Broadway Street

PROJECT LOCATION - GENERAL:  
Broadway Street between Morse and Whaley  
streets

City of Oceanside

DESCRIPTION OF NATURE, PURPOSE AND BENEFICIARIES OF PROJECT:

PARCEL MAP (P-4-04TE), DEVELOPMENT PLAN (D-7-04TE), CONDITIONAL USE PERMIT(C-14-04TE)&  
REGULAR COASTAL PERMIT (RC-5- 04TE) for a time extension of a previously approved resolution allowing the  
construction of three attached dwelling units located at 1620 Broadway Street

NAME OF PUBLIC AGENCY APPROVING PROJECT:

City of Oceanside

NAME OF PERSON(S) OR AGENCY CARRYING OUT PROJECT:

Carolos Valladares  
201 Deer Haven Drive  
Pointe Vedra Beach, FL 32082  
(904) 273-1624

Exempt Status per the Guidelines to Implement the California Environmental Quality Act (CEQA)  
(Public Resources Code Section 21000 et. al.):

NOT SUBJECT TO CEQA PER THE GENERAL RULE, SECTION 15061(B)(3)

STATUTORY EXEMPTION PER ARTICLE 18, SECTION(S)

CATEGORICAL EXEMPTION PER ARTICLE 19, SECTION 15303(b)

REASONS WHY PROJECT IS EXEMPT:

The project involves a time extension for the construction of a triplex totaling no more than four dwelling units.

Contact Person: Juliana von Hacht, Associate Planner

  
SIGNATURE DATE  
For: Jerry Hittleman, City Planner