

STAFF REPORT



ITEM NO. 13

CITY OF OCEANSIDE

DATE: May 10, 2006

TO: Chairman and Members of the Community Development Commission

FROM: Economic Development and Redevelopment Department

SUBJECT: **CONSIDERATION OF A RESOLUTION APPROVING TENTATIVE MAP (T-203-04), DEVELOPMENT PLAN (D-211-04) AND CONDITIONAL USE PERMIT (C-209-04) FOR THE CONSTRUCTION OF A MIXED-USE DEVELOPMENT CONSISTING OF 15 RESIDENTIAL CONDOMINIUM UNITS AND 7 LIVE/WORK LOFTS LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF PIER VIEW WAY AND HORNE STREETS – PORTOLA – APPLICANT: PORTOLA INVESTMENTS, LLC.**

SYNOPSIS

The item under consideration is a Tentative Map, Development Plan and Conditional Use Permit for a mixed-use development consisting of 15 residential condominium units and 7 live/work lofts on a 15,299-square-foot site located at the northwest corner of the intersection of Pier View Way and Horne Street. Staff is recommending that the Commission adopt the attached resolution approving the project.

BACKGROUND

The subject site consists of three, vacant, pre-existing legal parcels totaling 15,299 square feet in size that was part of the original McNeil's Addition Subdivision of 1886. The subject site slopes down from east to west with 11-foot grade differential between the highest and lowest points. Due to the construction of the underground parking garage, approximately 10,000 cubic yards of soil will be exported.

The subject site is situated within the Civic Center neighborhood, which is characterized by government buildings, offices and retail shops interspersed with residential.

Land Use and Zoning: The subject site is located within Subdistrict 3 of the "D" Downtown District. Subdistrict 3 is primarily intended for a mix of office development, interspersed with residential development in response to market demand.

"Mixed-use" projects are permitted within the subdistrict with a Mixed-Use Development Plan (MUDP) and a Conditional Use Permit (CUP). The purpose of the MUDP is to provide flexibility in the application of development standards "where flexibility will enhance

the potential for superior urban design." Accordingly, an approved MUDP will establish the development criteria for the approved mixed-use project. The maximum density within a MUDP project is 43 dwelling units per acre. The project proposes a density of 42.7 dwelling units per acre.

Project Description: The project application consists of several components, which include a Tentative Map, Development Plan and Conditional Use Permit. Each discretionary request is described as follows:

MUDP, Tentative Map, Conditional Use Permit and Development Plan: The "mixed use" project proposes a 5-story, 15-unit residential condominium complex with units ranging in size from 1,574 square feet to 1,754 square feet to be situated on a 15,299-square-foot lot. The project also proposes 7 live/work lofts ranging in size from 1,608 to 2,457 square feet in size. In addition, the project proposes a two-level underground garage with 50 parking spaces and an elevator.

The proposed design is a modern style with a Tuscan influence as evident by the use of stucco, flat and pitched roofs, and large oversized windows and balconies. The proposed exterior materials are stucco, stone and a tiled roof. The proposed colors are sand and tan stucco trimmed with gray and black.

A mixed-use development plan requires that 15 percent of the site be landscaped. The project proposes that approximately 15.5 percent of the subject site is landscaped. The project proposes Italian Cypress and Magnolia, shrubs include Lily of the Nile and Honeysuckle, and groundcover consists of Star Jasmine and turf.

The project is required to provide 3,000 square feet of common useable open space. The project provides over 4,500 square feet of common and private useable open space.

Vehicular access to the units will be from the alley located along the western portion of the subject site. Pedestrian access will be provided from Horne Street via a lobby.

The overall project density is 42.7 dwelling units per acre for the condominium component. The condominium portion of the project occupies the top 4 stories of the 5-story building. Outlined below is the residential unit breakdown:

Plan Type	Sq.Ft.	Bedrms.	Baths	Units
Plan 1	1,574	2	2.5	5
Plan 2	1,583	2	2.5	2
Plan 3	1,593	2	2.5	4
Plan 4	1,749	2	2.5	2
Plan 5	1,754	2	2.5	2
Total				15

Conditional Use Permit for commercial work/live loft units: The project proposes 7 commercial work/live loft units dispersed on the first floor to enhance the diversity of units and occupants as well as add to the street life in the area. The sizes range from 1,608 square feet to 2,497 square feet. Each of the work/live loft units may have a cooking facility and bathroom, as well as combined work/live space.

Outlined below is a comparison chart summarizing the required development criteria with the proposed project:

	MINIMUM REQUIRED	PROPOSED
LOT SIZE	N/A (pre-existing lot)	N/A (pre-existing lot)
SETBACKS		
Front	10 feet	10 feet
Side (alley)	5 feet	5 feet
Corner Side	10 feet	10 feet
Rear	0 feet	10 feet
LANDSCAPING	15%	15.5%
PARKING	41 spaces	50 spaces
BUILDING HEIGHT	65 feet	65 feet
DENSITY	29-43 du. Ac.	42.7 du. Ac.

Environmental Determination: A Certificate of Exemption has been prepared for the project. Under the provisions of the California Environmental Quality Act, the Community Development Commission will consider the exemption during its hearing on the project.

ANALYSIS

Staff's analysis focused on the compatibility of the project with existing development patterns of the area and the project's consistency with the underlying Redevelopment Plan and Zoning Ordinance.

Since the proposed project is an infill project, staff's initial concerns centered on the project's compatibility with the existing development patterns. The Civic Center neighborhood consists of government buildings, offices, and retail shops, interspersed with residential. The area is in transition in that several new developments have added residential condominiums (Summit Street and Nevada Manor) and the approved mixed-use development (Belvedere) adds residential condominiums as well as office and retail space. Staff believes that the proposed mixed-use project is consistent with the surrounding neighborhood, especially the newer residential mixed-use development.

Staff is also concerned with the project's architectural compatibility and scale with the surrounding neighborhood, especially since the subject site location on Pier View Way and Horne streets is one of the gateways to the downtown area. Staff has inventoried the two mixed use projects downtown as a basis of comparison which is depicted in the following table:

	Belvedere	Oceanside Terraces	Project
Unit Size	1,281	1,680	1,574
	1,553	2,100	1,593
	2,295	2,930	1,754
Density	43	43	42.7

In comparing the project's product type, density and corresponding square footages to the unit types and square footages that exist in the area, it can be found that the proposed unit sizes are comparable in size and would have a positive effect to the area. Staff also believes that the project design provides an excellent entrance into the downtown area as evident by the use of different exterior materials, varying roof height, pedestrian scale of the design and open space.

In conclusion, staff believes that the project meets the intent of the Redevelopment Plan and the underlying subdistrict goals, which encourage the development of mixed-use projects which brings much needed office space as well as new residents to the downtown area. The design of the project is consistent in both the height and scale of similar mixed-use projects. The proposed project meets the development standards and is consistent with the quality of design of the newer developments located within the Civic Center area.

COMMISSION OR COMMITTEE REPORTS

The Redevelopment Design Review Committee (RDRC) reviewed the project at its February 18, 2005, and February 17, 2006, meetings. After extensive review and discussion of the project, the Committee approved its layout and design.

The Redevelopment Advisory Committee (RAC) will review the project at its May 8, 2006, meeting. Any recommendations or comments on the project will be presented to the Commission during the hearing for the project.

FISCAL IMPACT

The proposed project will add approximately \$160,000 of tax increment yearly to the project area.

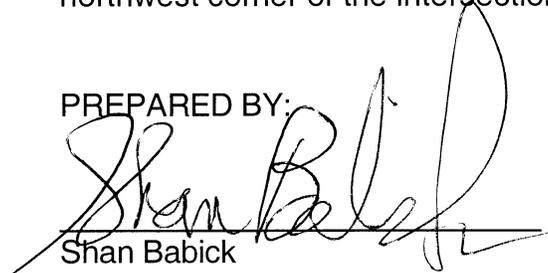
CITY ATTORNEY'S ANALYSIS

Pursuant to Oceanside Zoning Ordinance Article 4102, the Commission is authorized to hold a public hearing on this project's applications. Consideration of the project should be based on the evidence presented at the public hearing. After conducting the public hearing, the Commission shall approve, conditionally approve, or disapprove the project. The resolution has been reviewed and approved as to form by the City Attorney.

RECOMMENDATION

Staff recommends that the Commission adopt the resolution approving Tentative Map (T-203-04), Development Plan (D-211-04) and Conditional Use Permit (C-209-04) for the construction of 15 residential condominium units and 7 live/work lofts located at the northwest corner of the intersection of Pier View Way and Horne Street.

PREPARED BY:


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Associate Planner

SUBMITTED BY:


Steven R. Jepsen
Executive Director

REVIEWED BY:

Michelle Skaggs Lawrence, Assistant to the City Manager
Mike Blessing, Deputy City Manager
Kathy Baker, Redevelopment Manager



EXHIBITS/ATTACHMENTS

- 1. Resolution
- 2. Notice of Exemption
- 3. Site Plan / Floor Plans / Elevations

RESOLUTION NO. 06-

A RESOLUTION OF THE COMMUNITY DEVELOPMENT COMMISSION OF THE CITY OF OCEANSIDE APPROVING A TENTATIVE MAP, DEVELOPMENT PLAN AND CONDITIONAL USE PERMIT FOR THE CONSTRUCTION OF A MIXED-USE DEVELOPMENT CONSISTING OF 15 RESIDENTIAL CONDOMINIUMS UNITS AND 7 LIVE/WORK LOFTS LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF PIER VIEW WAY AND HORNE STREETS – APPLICANT: PORTOLA INVESTMENTS, LLC.

WHEREAS, on May 10, 2006, the Community Development Commission held its duly noticed public hearing, considered an application for a Tentative Map (T-203-04), Development Plan (D-203-04) and Conditional Use Permit (C-209-04) for the construction of a mixed-use development project consisting of 15 residential condominium units and 7 live/work lofts located at the northwest corner of the intersection of Pier View Way and Horne streets;

WHEREAS, the Redevelopment Design Review Committee (RDRC) of the City of Oceanside did, on February 17, 2006, review and recommend approval of Tentative Map (T-203-04), Development Plan (D-203-04) and Conditional Use Permit (C-209-04);

WHEREAS, the Redevelopment Advisory Committee (RAC) of the City of Oceanside did, on May 8, 2006, review and recommend approval of Tentative Map (T-203-04), Development Plan (D-203-04) and Conditional Use Permit (C-209-04);

WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee, dedication, reservation or other exaction to the extent permitted and as authorized by law;

WHEREAS, studies and investigations made by the Community Development Commission reveal the following facts:

FINDINGS:

For the Tentative Map:

1. The proposed subdivision creates parcels that are consistent with and exceed the requirements of the Subdistrict 3 zoning designation. The subdivision map is consistent with the General Plan of the City.

2. The proposed building on the site will conform to the topography of the site, therefore, making it suitable for residential development. The 15,299-square foot site is physically suitable to allow for the development of 15 residential condominium units and 7 live/work lofts.

1 3. The subdivision complies with all other applicable ordinances, regulations and
2 guidelines of the City.

3 4. The design of the subdivision or proposed improvements will not conflict with
4 easements, acquired by the public at large, for access through or use of property within the
5 subdivision.

6 5. The design of the subdivision or the proposed improvements will not cause
7 substantial environment damage or substantially and avoidably injure fish or wildlife or their
8 habitat.

9 **For the Conditional Use Permit for a Mixed-Use Development:**

10 1. The total number of dwelling units in the Mixed-Use Development Plan (MUDP)
11 does exceed the maximum density (43 du. ac.) permitted under the General Plan land use
12 regulations.

13 2. The development achieved under the MUDP will contribute to an enhanced and
14 superior urban environment in comparison to a development that might otherwise be realized
15 apart from the proposed MUDP.

16 3. The MUDP is consistent with the adopted land use policies and regulations for
17 the Redevelopment land use area.

18 4. The MUDP will be adequately served by the necessary utilities and facilities.
19 The project connection to the existing utilities and facilities will not exceed the capacity of the
20 existing systems.

21 5. The traffic expected to be generated by the MUDP alone, will not exceed the
22 capacity of the affected streets.

23 6. The MUDP will not significantly effect “shadowing” upon the adjacent
24 properties in comparison of the development shading that would otherwise be realized from a
25 development not containing a mixed-use component.

26 **For the Development Plan:**

27 1. The site plan and physical design of the project as proposed is consistent with the
28 purposes of the City’s Zoning Ordinance and the “D” Downtown District.

 2. The Development Plan as proposed conforms to the Redevelopment Plan and
General Plan of the City.

 3. The area covered by the Development Plan can be adequately, reasonably and

1 conveniently served by existing and planned public services, utilities and public facilities.

2 4. The project as proposed is compatible with the existing and potential
3 development on adjoining properties or in the surrounding neighborhood.

4 5. The location of the fifteen residential condominium units and seven live/work
5 lofts and proposed conditions under which this use will be operated or maintained will be
6 consistent with the General Plan and will not be detrimental to the public health, safety or
7 welfare of persons residing or working in or adjacent to the neighborhood of such use and will
8 not be detrimental to properties or improvements in the vicinity or the general welfare of the
9 City.

10 6. The project and uses will comply with the provisions of the Zoning Ordinance,
11 including any specific condition required for such use in Subdistrict 3.

12 WHEREAS, a Categorical Exemption was prepared by the Resource Officer of the City
13 of Oceanside for this application pursuant to the California Environmental Quality Act 1970 and
14 the State Guidelines implementing the Act. The project is considered an infill development and
15 will not have a detrimental effect on the environment;

16 WHEREAS, there is hereby imposed on the subject development project certain fees,
17 dedications, reservations and other exactions pursuant to state law and city ordinance;

18 WHEREAS, pursuant to Government Code §66020(d)(1), NOTICE IS HEREBY
19 GIVEN that the Project is subject to certain fees, dedications, reservations and other exactions
20 as provided below:

<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
Parkland Dedication/Fee	Ordinance No. 91-10 Resolution No. 05-R0628-1	\$3,278 per unit
Drainage Fee	Ordinance No. 85-23 Resolution No. 05-R0628-1	\$2,660 per acre
Public Facility Fee	Ordinance No. 91-09 Resolution No. 05-R0628-1	\$1,939 per unit

1	<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or</u>
2			<u>Calculation Formula</u>
3			
4	School Facilities Mitigation	Ordinance No. 91-34	\$2.14 per square foot
5	Fee		
6	Traffic Signal Fee	Ordinance No. 87-19	\$14.70 per vehicle trip
7			
8	Thoroughfare Fee	Ordinance No. 83-01	\$239 per vehicle trip (based on SANDAG trip generation table available from staff and from SANDAG)
9			
10			
11			
12	Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 05-OR 0611-1	Fee based on water meter size. Residential is typically \$3,746 per unit; Non- residential is \$19,967 for a 2” meter.
13			
14			
15			
16			
17	Wastewater System Buy-in	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 05-OR 0610-1	Based on capacity or water meter size. Residential is typically \$4,587 per unit; Non-residential is \$24,444 for a 2” meter.
18	fees		
19			
20			
21			
22	San Diego County Water	SDCWA Ordinance No. 2005-03	Based on meter size.
23	Authority Capacity Fees		Residential is \$4,154 per unit; Non-residential is
24			
25			
26			
27			
28			

WHEREAS, the current fees referenced above are merely fee amount estimates of the impact fees that would be required if due and payable under currently applicable ordinances and

1 resolutions, presume the accuracy of relevant project information provided by the applicant, and
2 are not necessarily the fee amounts that will be owing when such fees become due and payable;

3 WHEREAS, unless otherwise provided by this resolution, all impact fees shall be
4 calculated and collected at the time and in the manner provided in Chapter 32B of the
5 Oceanside City Code and the City expressly reserves the right to amend the fees and fee
6 calculations consistent with applicable law;

7 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,
8 dedication, reservation or other exaction to the extent permitted and as authorized by law;

9 WHEREAS, pursuant to Government Code §66020(d)(1), NOTICE IS FURTHER
10 GIVEN that the 90-day period to protest the imposition of any fee, dedication, reservation, or
11 other exaction described in this resolution begins on the effective date of this resolution and any
12 such protest must be in a manner that complies with Section 66020; and

13 WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes
14 effective upon its adoption.

15 NOW, THEREFORE, the Community Development Commission of the City of
16 Oceanside does resolve as follows:

17 SECTION 1. That Tentative Map (T-203-04), Development Plan (D-211-04) and
18 Conditional Use Permit (C-209-04) are hereby approved subject to the following conditions:

19 **Building:**

20 1. Applicable Building Codes and Ordinances shall be based on the date of
21 submittal for Building Department plan check.

22 2. The granting of approval under this action shall in no way relieve the
23 applicant/project from compliance with all State and local building codes.

24 3. The building plans for this project are required by State law to be prepared by a
25 licensed architect or engineer and must be in compliance with this requirement prior to
26 submittal for building plan review.

27 4. All electrical, communication, CATV, etc. service lines, within the exterior lines
28 of the property shall be underground. (City Code Sec. 6.30)

5. All outdoor lighting must comply with Chapter 39 of the City Code. (Light
Pollution Ordinance) Where color rendition is important, high-pressure sodium, metal halide or
other such lights may be utilized and shall be shown on building and electrical plans.

1 6. The developer shall monitor, supervise and control all building construction and
2 supportive activities so as to prevent these activities from causing a public nuisance, including, but
3 not limited to, strict adherence to the following:

4 a) Building construction work hours shall be limited to between 7 a.m. and
5 6 p.m. Monday through Friday, and on Saturday from 7 a.m. to 6 p.m. for work that is not
6 inherently noise-producing. Examples of work not permitted on Saturday are concrete and
7 grout pours, roof nailing and activities of similar noise-producing nature. No work shall be
8 permitted on Sundays and Federal Holidays (New Year's Day, Memorial Day, July 4th, Labor
9 Day, Thanksgiving Day, Christmas Day) except as allowed for emergency work under the
10 provisions of the Oceanside City Code Chapter 38. (Noise Ordinance)

11 b) The construction site shall be kept reasonably free of construction debris
12 as specified in Section 13.17 of the Oceanside City Code. Storage of debris in approved solid
13 waste containers shall be considered compliance with this requirement. Small amounts of
14 construction debris
15 may be stored on-site in a neat, safe manner for short periods of time pending disposal.

16 7. A complete soils report, structural and energy calculations will be required at
17 time of plans submittal to the Building Division for plan check.

18 8. Compliance with the Federal Clean Water Act must be demonstrated on the
19 plans.

20 9. Setbacks and Type of Construction must comply with UBC Table 5-A. An Area
21 Analysis must be submitted to depict compliance with Chapter 5 of the UBC requirements for
22 allowable Area and allowable stories.

23 10. This design shall meet all the requirements of the recent code change; the 2002
24 NEC (as of August 1, 2005), 2005 Energy Standards (as of October 1, 2005).

25 11. Fire sprinklers are required for apartment, condominium and hotel buildings that
26 are three or more stories in height

27 12. Building levels below grade (on all sides) shall be provided with a mechanical
28 drainage system that provides drainage to an approved location/receptor.

 13. Plan submittal to the Building Department must include a Pedestrian Protection
Plan comply with the requirements of UBC 3303 and Table 33-A.

 14. Site development, common use areas, access and adaptability of apartments and

1 condominiums shall comply with the State's Disabled Accessibility Regulations (2001 CBC
2 Chapter 11B).

3 15. Site development, common use areas, access and adaptability of nonresidential
4 buildings shall comply with the State's Disabled Accessibility Regulations (2001 CBC Chapter
5 11B).

6 **Engineering:**

7 16. Because the project involves surface improvements, the Community
8 Development Director shall approve the grading plans prior to the issuance of a demolition
9 permit. No demolition shall be permitted without an approved erosion control plan.

10 17. All right-of-way alignments, street dedications, exact geometrics and widths
11 shall be dedicated and improved as required by the Community Development Director.

12 18. Vehicular access rights to Horne and Pier View Way streets shall be relinquished
13 to the City.

14 19. Design and construction of all improvements shall be in accordance with
15 standard plans, and specifications of the City of Oceanside and subject to approval by the
16 Community Development Director.

17 20. Prior to issuance of a building permit a phasing plan for the construction of
18 public and private improvements including landscaping, shall be approved by the Community
19 Development Director.

20 21. The approval of the Tentative Map shall not mean that closure, vacation, or
21 abandonment of any public street, right-of-way, easement, or facility is granted or guaranteed to
22 the developer. The subdivider is responsible for applying for all closures, vacations, and
23 abandonments as necessary. The application(s) shall be reviewed and approved or rejected by
24 the City under separate process (es) per codes, ordinances, and policies in effect at the time of
25 the application.

26 22. Prior to approval of the Final Map, all improvement requirements, required by
27 the Community Development Director, shall be covered by a subdivision agreement and
28 secured with sufficient improvement securities or bonds guaranteeing performance and payment
for labor and materials, setting of monuments, and warranty against defective materials and
workmanship.

23. Where proposed off-site improvements, including but not limited to slopes, public

1 utility facilities, and drainage facilities, are to be constructed, the applicant shall, at his own
2 expense, obtain all necessary easements or other interests in real property and shall dedicate the
3 same to the City as required. The applicant shall provide documentary proof satisfactory to the City
4 that such easements or other interest in real property have been obtained prior to issuance of any
5 grading, building or improvement permit for the project. Additionally, the City, may at its sole
6 discretion, require that the applicant obtain at his sole expense a title policy insuring the necessary
7 title for the easement or other interest in real property to have vested with the City of Oceanside or
8 the applicant, as applicable.

9 24. Pursuant to the State Map Act, improvements shall be required at the time of
10 development. A covenant, reviewed and approved by the City Attorney, shall be recorded attesting
11 these improvements conditions and a certificate setting forth the recordation shall be placed on the
12 map.

13 25. Prior to the issuance of a grading permit, the Developer shall notify and host a
14 neighborhood meeting with all of the area residences located within 300-feet of the project site, and
15 residents of property along any residential streets to be used as a “haul route”, to inform them of
16 the grading and construction schedule, haul routes and to answer questions.

17 26. The developer shall monitor, supervise and control all construction and
18 construction-supportive activities, so as to prevent these activities from causing a public
19 nuisance, including but not limited to, insuring strict adherence to the following:

20 a) Dirt, debris and other construction material shall not be deposited on any
21 public street or within the City’s storm water conveyance system.

22 b) All grading and related site preparation and construction activities shall
23 be limited to the hours of 7 a.m. to 6 p.m., Monday through Friday. No engineering related
24 construction activities shall be conducted on Saturdays, Sundays or legal holidays unless written
25 permission is granted by the Community Development Director with specific limitations to the
26 working hours and types of permitted operations. All on-site construction staging areas shall be
27 as far as possible (minimum 100 feet) from any existing residential development. Because
28 construction noise may still be intrusive in the evening or on holidays, the City of Oceanside
Noise Ordinance also prohibits “any disturbing excessive, or offensive noise which causes
discomfort or annoyance to reasonable persons of normal sensitivity.”

c) A haul route shall be obtained at least 7 days prior to the start of hauling

1 operations and must be approved by the Community Development Director. Hauling operations
2 shall be 8:00 a.m. to 3:30 p.m. unless approved otherwise.

3 27. Approval of this development project is conditioned upon payment of all
4 applicable impact fees and connection fees in the manner provided in chapter 32B of the
5 Oceanside City Code. All drainage fees, traffic signal contributions, highway thoroughfare
6 fees, park fees, reimbursements, and other applicable charges, fees and deposits shall be paid
7 prior to recordation of the map or the issuance of any building permits, in accordance with City
8 Ordinances and policies. The developer shall also be required to join into, contribute, or
9 participate in any improvement, lighting, or other special district affecting or affected by this
10 project. Approval of the project shall constitute the developer's approval of such payments, and
11 his agreement to pay for any other similar assessments or charges in effect when any increment
12 is submitted for final map or building permit approval, and to join, contribute, and/or participate
13 in such districts.

14 28. A traffic control plan shall be prepared according to the City traffic control
15 guidelines and be submitted to and approved by the Community Development Director prior to
16 the start of work within open City rights-of-way. Traffic control during construction of streets
17 that have been opened to public traffic shall be in accordance with construction signing,
18 marking and other protection as required by the Caltrans Traffic Manual and City Traffic
19 Control Guidelines. Traffic control plans shall be in effect from 8:00 a.m. to 3:30 p.m. unless
20 approved otherwise.

21 29. Sight distance requirements at the project driveway shall conform to the corner
22 sight distance criteria as provided by the California Department of Transportation Highway
23 Design Manual.

24 30. Streetlights shall be maintained on Horne and Pier View Way streets along the
25 frontage of the project. The system shall provide uniform lighting, and be secured prior to
26 building permit issuance, if a map is not recorded. The developer shall pay all applicable fees,
27 energy charges, and/or assessments associated with City-owned (LS-2 rate schedule) streetlights
28 and shall also agree to the formulation of, or the annexation to, any appropriate street lighting
district.

31. Prior to approval of the grading plans, the developer shall contract with a
geotechnical engineering firm to perform a field investigation of the existing pavement on all

1 streets adjacent to the project boundary. The limits of the study shall be half-street plus twelve
2 (12) feet along the subdivision's frontage. The field investigation shall include a minimum of
3 one pavement boring per every fifty (50) linear feet of street frontage. Should the existing AC
4 thickness be determined to be less than three (3) inches or without underlying Class II base
5 material, the Subdivider shall remove and reconstruct the pavement section as determined by
6 the pavement analysis submittal process.

7 32. Upon review of the pavement investigation the Community Development
8 Director shall determine whether the Subdivider shall: 1) Repair all failed pavement sections,
9 header cut and grind per the direction of the Transportation/Development Inspector, and
10 construct a two (2) inch thick rubberized AC overlay; or 2) Perform R-value testing and submit
11 a study that determines if the existing pavement meets current City standards/traffic indices.
12 Should the study conclude that the pavement does not meet current requirements,
13 rehabilitation/mitigation recommendations shall be provided in a pavement analysis report, and
14 the Subdivider shall reconstruct the pavement per these recommendations, subject to approval
15 by the Community Development Director.

16 33. Any existing broken pavement, concrete curb and gutter, or sidewalk or any
17 damaged during construction of the project, shall be repaired or replaced as directed by the
18 Community Development Director.

19 34. The developer shall comply with all the provisions of the City's cable television
20 ordinances including those relating to notification as required by the Community Development
21 Director.

22 35. Grading and drainage facilities shall be designed and installed to adequately
23 accommodate the local storm water runoff and shall be in accordance with the City's Engineers
24 Manual and as directed by the Community Development Director.

25 36. Prior to any grading of any part of the tract or project, a comprehensive soils and
26 geologic investigation shall be conducted of the soils, slopes, and formations in the project. All
27 necessary measures shall be taken and implemented to assure slope stability, erosion control,
28 and soil integrity. No grading shall occur until a detailed grading plan, to be prepared in
accordance with the Grading Ordinance and Zoning Ordinance, is approved by the Community
Development Director.

37. This project shall provide year-round erosion control including measures for the

1 site required for the phasing of grading. Prior to the issuance of grading permit, an erosion
2 control plan, designed for all proposed stages of construction, shall be reviewed, secured by the
3 applicant with cash securities and approved by the Community Development Director.

4 38. Precise grading and private improvement plans shall be prepared, reviewed,
5 secured and approved prior to the issuance of any building permits. The plan shall reflect all
6 pavement, flatwork, landscaped areas, special surfaces, curbs, gutters, medians, striping,
7 signage, footprints of all structures, walls, drainage devices and utility services. Parking lot
8 striping and any on site traffic calming devices shall be shown on all Precise Grading and
Private Improvement Plans.

9 39. Landscaping plans, including plans for the construction of walls, fences or other
10 structures at or near intersections, must conform to intersection sight distance requirements.
11 Landscape and irrigation plans for disturbed areas must be submitted to the Community
12 Development Director prior to the issuance of a preliminary grading permit and approved by the
13 Community Development Director prior to the issuance of certificate of occupancy. Frontage
14 and median landscaping shall be installed prior to the issuance of any building permits. Any
15 project fences, sound or privacy walls and monument entry walls/signs shall be shown on,
16 bonded for and built from the landscape plans. These features shall also be shown on the
17 precise grading plans for purposes of location only. Plantable, segmental walls shall be
18 designed, reviewed and constructed by the grading plans and landscaped/irrigated through
19 project landscape plans.

20 41. All plans must be approved by the Community Development Director and a pre-
21 construction meeting held, prior to the start of any improvements.

22 42. Open space areas and down-sloped areas visible from a collector-level or above
23 roadway and not readily maintained by the property owner, shall be maintained by a homeowners'
24 association that will insure installation and maintenance of landscaping in perpetuity. These areas
25 shall be indicated on the final map and reserved for an association.
26 Future buyers shall be made aware of any estimated monthly costs. The disclosure, together with
27 the CC&R's, shall be submitted to the Community Development Director for review prior to the
28 recordation of final map. In the event the homeowner's association dissolves, responsibility for
irrigation and maintenance of the slopes (open space areas) adjacent to each property shall become
that of the individual property owner.

1 43. The drainage design on the project Tentative Map is conceptual only. The final
2 design shall be based upon a hydrologic/hydraulic study to be approved by the Community
3 Development Director during final engineering. All drainage picked up in an underground system
4 shall remain underground until it is discharged into an approved channel, or as otherwise approved
5 by the Community Development Director. All public storm drains shall be shown on City
6 standard plan and profile sheets. All storm drain easements shall be dedicated where required. The
7 applicant shall be responsible for obtaining any off-site easements for storm drainage facilities.

8 44. Storm drain facilities shall be designed and located such that the inside travel lanes
9 on streets with Collector or above design criteria shall be passable during conditions of a 100-year
10 frequency storm.

11 45. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and
12 disposed of in accordance with all state and federal requirements, prior to storm water discharge
13 either off-site or into the City drainage system.

14 46. Unless determined to be exempt, this development shall comply with any
15 applicable regulations established by the United States Environmental Protection Agency
16 (USEPA) as set forth in the National Pollutant Discharge Elimination System (N.P.D.E.S.)
17 permit requirements for urban runoff and storm water discharge and any regulations adopted by
18 the City pursuant to the N.P.D.E.S. regulations or requirements. Further, the applicant may be
19 required to file a Notice of Intent with the State Water Resources Control Board to obtain
20 coverage under the N.P.D.E.S. General Permit for Storm Water Discharges Associated with
21 Construction Activity and may be required to implement a Storm Water Pollution Prevention
22 Plan (SWPPP) concurrent with the commencement of grading activities. SWPPP include both
23 construction and post construction pollution prevention and pollution control measures and
24 identify funding mechanisms for post construction control measures.

25 47. The developer shall comply with all the provisions of the Clean Water Program
26 during and after all phases of the development process, including but not limited to: mass
27 grading, rough grading, construction of street and landscaping improvements, and construction
28 of dwelling units. The applicant shall design the Project's storm drains and other drainage
facilities to include Best Management Practices to minimize non-point source pollution,
satisfactory to the Community Development Director.

1 48. Upon acceptance of any fee waiver or reduction by the Subdivider, the entire
2 project will be subject to prevailing wage requirements as specified by Labor Code section
3 1720(b) (4). The Subdivider shall agree to execute a form acknowledging the prevailing wage
4 requirements prior to the granting of any fee reductions or waivers.

5 49. The Subdivider shall prepare and submit an Operations & Maintenance
6 (O&M) Plan to the Community Development & Transportation Department with the
7 first submittal of engineering plans. The O&M Plan shall be prepared by the applicant's
8 Civil Engineer. It shall be directly based on the project's Storm Water Mitigation Plan
9 (SWMP) previously approved by the project's approving authority Community
10 Development Commission. The O&M Plan shall be approved by the Community
11 Development Director prior to approval of any plans by the Community Development &
12 Transportation Department. At a minimum the O&M Plan shall include the designated
13 responsible parties to manage the storm water Best Management Practices (BMPs),
14 employee's training program and duties, operating schedule, maintenance frequency,
15 routine service schedule, specific maintenance activities, copies of resource agency
16 permits, cost estimate for implementation of the O&M Plan and any other necessary
17 elements.

18 50. The Subdivider shall enter into City-Standard Storm Water Facilities
19 Maintenance Agreement (SWFMA) obliging the project proponent to maintain, repair and
20 replace the storm water BMPs identified in the project's approved SWMP, as detailed in the
21 O&M Plan into perpetuity. The Agreement shall be approved by the City Attorney prior to
22 issuance of any precise grading permit and shall be recorded at the County Recorder's Office
23 prior to issuance of any building permit. Security in the form of cash (or certificate of deposit
24 payable to the City) or an irrevocable, City-Standard Letter of Credit shall be required prior to
25 issuance of a precise grading permit. The amount of the security shall be equal to 10 years of
26 maintenance costs, as identified by the O&M Plan. The applicant's Civil Engineer shall prepare
27 the O&M cost estimate. The O&M cost estimate shall be approved by the Community
28 Development Director prior to approval of any engineering plans for the project.

 51. At a minimum, maintenance agreements shall require the staff training,
inspection and maintenance of all BMPs on an annual basis. The project proponent shall

1 complete and maintain O&M forms to document all maintenance activities. Parties responsible
2 for the O&M plan shall retain records at the subject property for at least 5 years. These
3 documents shall be made available to the City for inspection upon request at any time.

4 52. The SWFMA shall include a copy of executed onsite and offsite access
5 easements necessary for the operation and maintenance of BMPs that shall be binding on the
6 land throughout the life of the project to the benefit of the party responsible for the O&M of
7 BMPs, until such time that the storm water BMP requiring access is replaced, satisfactory to the
8 Community Development Director. The agreement shall also include a copy of the O&M Plan
9 approved by the Community Development Director.

10 53. The BMPs described in the project's approved Storm Water Mitigation Plan
11 (SWMP) shall not be altered in any way; shape or form without formal approval by the project's
12 final approving authority (Planning Commission/ Community Development Commission/City
13 Council) at a public hearing, if such hearing was required for the approval of the project.

14 54. All existing overhead utility lines within the frontage subdivision or within any
15 full width street or right-of-way abutting a new subdivision and all new extension services for
16 the development of the project, including but not limited to, electrical, cable and telephone,
17 shall be placed underground per Section 901.G. of the Subdivision Ordinance (R91-166) and as
18 required by the Community Development Director and current City policy.

19 55. Full width alley improvements shall be required across the project's frontage.

20 56. All public streets shall be improved with curbs and gutters.

21 57. All streets shall provide a minimum of 13-feet of parkway between the face of
22 curb and the right-of-way line. Sidewalks improvements shall comply with ADA requirements.

23 58. Sight distance requirements at the project driveway shall conform to the corner
24 sight distance criteria as provided by the California Department of Transportation Highway
25 Design Manual.

26 **Fire:**

27 59. Submit a copy of as built plans on a CD for all projects on the job site.
28

- 1 60. Fire Department Requirements shall be placed on plans in the notes
2 section.
- 3 61. A minimum fire flow of 3,000 gallons per minute shall be provided.
- 4 62. The size of fire hydrant outlets shall be 2 ½ "X 4.
- 5 63. All proposed and existing fire hydrants within 400 feet of the project shall be
6 shown on the site plan.
- 7 64. Provide standpipes as required per U.B.C. Table 9A.
- 8 65. Buildings four or more stories in height shall be provided with not less than one
9 standpipe during construction. The standpipe shall be installed before the progress of
10 construction is more than 35-feet above grade. Two and one-half inch valve hose connections
11 shall be provided at approved accessible locations adjacent to useable stairs.
- 12 66. A "Knox" key storage box shall be provided for all new construction. For
13 buildings, other than high-rise, a minimum of 3 complete sets of keys shall be provided. Keys
14 shall be provided for all exterior entry doors, fire protection equipment control rooms,
15 mechanical and electrical rooms, elevator controls and equipment spaces, etc. For high-rise
16 buildings, 6 complete sets are required.
- 17 67. Fire extinguishers are required and shall be included on the plans submitted for
18 plan check.
- 19 68. An approved fire sprinkler system shall be installed throughout the building.
20 The system shall be designed per N.F.P.A. 13, and U.B.C. standard 9-1. The sprinkler system
21 requires 24-hour supervision.
- 22 69. The Fire Department connection shall not be affixed to the building. The Fire
23 Department connection must be located at least 40 feet away from the building, within 40 feet
24 of a fire hydrant and on the address side of the building, unless otherwise determined by the Fire
25 Department. The hydrant shall be located on the same side of the street as the Fire Department
26 connection.
- 27 70. In accordance with the California Fire Code Sec. 901.4.4, approved
28 address for commercial, industrial, and residential occupancies shall be placed on the
structure in such a position as to be plainly visible and legible from the street or roadway
fronting the property. Numbers shall be contrasting with their background.
71. Multifamily and commercial dwellings units require 6 inch address numbers.

1 72. Plans shall be submitted to the Fire Prevention Bureau for plan check review and
2 approval prior to the issuance of building permits.

3 73. Buildings shall meet Oceanside Fire Departments current codes at the time of
4 building permit application.

5 74. Provide a fire alarm system as required per U.F.C. Article 10 and N.F.P.A. 72,
6 1990 Edition.

7 75. Rescue Air systems are required. Please contact the Fire Marshall for
8 specifications.

9 76. All new commercial and R-1 buildings and existing buildings where a structural
10 T.I. is being proposed must be tested for 800 MHz radio transmission interference. The
11 findings must be submitted to the Fire Marshall prior to the building being finalized by the Fire
12 Department.

13 When tested, if 800MHz signal strength readings (RSSI) fall below 65 in any portion of
14 the building, either above or below grades measured by an 800MHz portable radio, purchase
15 and installation of one or more bi-directional amplifier radio coverage enhancer's is required.
16 The BDA coverage enhancers must be maintained as a condition of occupancy and tested
17 annually.

18 **Planning:**

19 77. This Tentative Map (T-203-04), Development Plan (D-211-04) and Conditional
20 Use Permit (C-209-04) shall expire on May 10, 2008, unless implemented as required by the
21 Zoning Ordinance.

22 78. This Tentative Map, Development Plan and Conditional Use Permit approves
23 only for the construction of a 15 residential condominium units and 7 live/work lofts project as
24 shown on the plans and exhibits presented to the Community Development Commission for
25 review and approval. No deviation from these approved plans and exhibits shall occur without
26 Economic and Redevelopment Department approval. Substantial deviations shall require a
27 revision to the Tentative Map, Development Plan and Conditional Use Permit or a new
28 Tentative Map, Development Plan and Conditional Use Permit.

 79. The applicant, permittee or any successor-in-interest shall defend, indemnify and
hold harmless the City of Oceanside, its agents, officers or employees from any claim, action or
proceeding against the City, its agents, officers, or employees to attack, set aside, void or annul

1 an approval of the City, concerning Tentative Map (T-203-04), Development Plan (D-211-04)
2 and Conditional Use Permit (C-209-04). The City will promptly notify the applicant of any
3 such claim, action or proceeding against the City and will cooperate fully in the defense. If the
4 City fails to promptly notify the applicant of any such claim action or proceeding or fails to
5 cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend,
6 indemnify or hold harmless the City.

7 80. All mechanical rooftop and ground equipment shall be screened from public
8 view as required by the Zoning Ordinance. That is, on all four sides and top. The roof jacks,
9 mechanical equipment, screen and vents shall be painted with non-reflective paint to match the
10 roof. This information shall be shown on the building plans.

11 81. Landscape plans, meeting the criteria of the City's Landscape Guidelines and
12 Water Conservation Ordinance No. 91-15, including the maintenance of such landscaping, shall
13 be reviewed and approved by the City Engineer and City Planner prior to the issuance of
14 building permits. Landscaping shall not be installed until bonds have been posted, fees paid,
15 and plans signed for final approval.

16 82. All landscaping, fences, walls, etc. on the site, in medians in the public right-of-
17 way and in any adjoining public parkways shall be permanently maintained by the owner, his
18 assigns or any successors in interest in the property. The maintenance program shall include
19 normal care and irrigation of the landscaping; repair and replacement of plant materials;
20 irrigation systems as necessary; and general cleanup of the landscaped and open areas, parking
21 lots and walkways, walls, fences, etc. Failure to maintain landscaping shall result in the City
22 taking all appropriate enforcement actions by all acceptable means including but not limited to
23 citations and/or actual work with costs charged to or recorded against the owner. This condition
24 shall be recorded with the covenant required by this resolution.

25 83. Front yard landscaping with a complete irrigation system, in compliance with
26 Water Conservation Ordinance No. 91-15, shall be required.

27 84. All multi-family unit dwelling and commercial projects shall dispose of or
28 recycle solid waste in a manner provided in City Ordinance 13.3.

85. A letter of clearance from the affected school district in which the property is
located shall be provided as required by City policy at the time building permits are issued.

86. A covenant or other recordable document approved by the City Attorney shall be

1 prepared by the applicant developer and recorded prior to the issuance of building permits. The
2 covenant shall provide that the property is subject to this resolution, and shall generally list the
3 conditions of approval.

4 87. Prior to the issuance of building permits, compliance with the applicable
5 provisions of the City's anti-graffiti (Ordinance No. 93-19/Section 20.25 of the City Code) shall
6 be reviewed and approved by the Economic and Redevelopment Department. These
7 requirements, including the obligation to remove or cover with matching paint all graffiti within
8 24 hours, shall be noted on the Landscape Plan and shall be recorded in the form of a covenant
9 affecting the subject property.

10 88. Prior to the transfer of ownership and/or operation of the site the owner shall
11 provide a written copy of the applications, staff report and resolutions for the project to the new
12 owner and or
13 operator. This notification's provision shall run with the life of the project and shall be recorded
14 as a covenant on the property.

15 89. Failure to meet any conditions of approval for this development shall constitute a
16 violation of the Tentative Map (T-203-04), Development Plan (D-211-04) and Conditional Use
17 Permit (C-209-04).

18 90. Unless expressly waived, all current zoning standards and City ordinances and
19 policies in effect at the time building permits are issued are required to be met by this project.
20 The approval of this project constitutes the applicant's agreement with all statements in the
21 Description and Justification, and other materials and information submitted with this
22 application, unless specifically waived by an adopted condition of approval.

23 91. The developer's construction of all fencing and walls associated with the project
24 shall be in conformance with the approved Development Plan. Any substantial change in any
25 aspect of fencing or wall design from the approved Development Plan shall require a revision to
26 the Development Plan or a new Development Plan.

27 92. If any aspect of the project fencing and walls is not covered by an approved
28 Development Plan, the construction of fencing and walls shall conform to the development
standards of the City Zoning Ordinance. In no case, shall the construction of fences and walls
(including combinations thereof) exceed the limitations of the zoning code, unless expressly
granted by a Variation or other development approval.

1 93. The following unit type and floor plan mix, as approved by the Community
2 Development Commission, shall be indicated on plans submitted to the Building Division and
3 Planning Division for building permit:

	Sq.Ft.	# Bedrms	# Baths	# Stories	# Units	%
4 Plan 1	1,574	2	2.5	1	5	34
5 Plan 2	1,583	2	2.5	1	2	13
6 Plan 3	1,593	2	2.5	1	4	27
7 Plan 4	1,749	2	2.5	1	2	13
8 Plan 5	1,754	2	2.5	1	2	13

9 94. Side and rear elevations and window treatments shall be trimmed to
10 substantially match the front elevations. A set of building plans shall be reviewed and approved
11 by the Planning Division prior to the issuance of building permits.

12 95. Elevations, siding materials, colors, roofing materials and floor plans shall be
13 substantially the same as those approved by the Community Development Commission. These
14 shall be shown on plans submitted to the Building Division and Planning Division.

15 96. An association of homeowners (HOA) shall be formed and Covenants,
16 Conditions and Restrictions (CC&R's) shall provide for the maintenance of all common open
17 space, and commonly owned fences and walls and adjacent parkways. The maintenance shall
18 include normal care and irrigation of landscaping, repair and replacement of plant material and
19 irrigation systems as necessary; and general cleanup of the landscaped and open area, parking
20 lots and walkways. The CC&R's shall be subject to the review and approval of the City
21 Attorney prior to the approval of the final map. The CC&R's are required to be recorded prior
22 to or concurrently with the final map. Any amendments to the CC&R's in which the association
23 relinquishes responsibility for the maintenance of any common open space shall not be
24 permitted without the specific approval of the City of Oceanside. Such a clause shall be a part
25 of the CC&R's. The CC&R's shall also contain provisions for the following:

- 26 a) The subterranean garage parking shall be exclusive to the residential
27 occupancy of the site and shall not be shared or used by any other occupancy.
- 28 b) Prohibition of parking or storage of recreational vehicles, trailers, or boats.
- c) Maintenance of all common areas, and on-site and frontage landscaping.
- d) Provisions for the maintenance of all common open space and open space
easements on private lots, including provisions establishing mechanisms to

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ensure adequate and continued monetary funding for such maintenance by the homeowners' association.

- e) Provisions that restrict any private use of open space easement areas. Restrictions shall include, but are not limited to, removing retaining walls, installing structures such as trellises, decks, retaining walls and other hardscape and any individual landscape improvements.
- f) Provisions prohibiting the homeowners association from relinquishing its obligation to maintain the common open space and open space easement areas without prior consent of the City of Oceanside.
- g) An acknowledgement that the City of Oceanside does not have a view preservation ordinance and those views may be subject to change with maturing off-site landscape and the potential for future off-site building.
- h) The seven live/work lofts cannot be subleased.

Water Utilities:

97. All public water and/or sewer facilities not located within the public right-of-way shall be provided with easements sized according to the City's Engineers Manual. Easements shall be constructed for all weather access.

98. No trees, structures or building overhang shall be located within any water or wastewater utility easement.

99. The property owner will maintain private water and wastewater utilities located on private property.

100. Water services and sewer laterals constructed in existing right-of-way locations are to be constructed by approved and licensed contractors at developer's expense.

101. The developer will be responsible for developing all water and sewer utilities necessary to develop the property. Any relocation of water and/or sewer utilities is the responsibility of the developer and shall be done by an approved licensed contractor at the developer's expense.

102. All lots with a finish pad elevation located below the elevation of the next upstream manhole cover of the public sewer shall be protected from backflow of sewage by installing and maintaining an approved type backwater valve, per the Uniform Plumbing Code (U.P.C.).

1 103. Water and Wastewater Buy-in fees and the San Diego County Water Authority
2 Fees are to be paid to the City and collected by the Water Utilities Department at the time of
3 Building Permit issuance.

4 104. All Water and Wastewater construction shall conform to the most recent edition
5 of the City's Engineers Manual, or as approved by the Water Utilities Director.

6 105. All new development of multi-family residential units shall include hot water
7 pipe insulation and installation of a hot water re-circulation device or design to provide hot
8 water to the tap within 15 seconds in accordance with City of Oceanside Ordinance No. 02-
9 0R126-1.

10 105. A separate irrigation meter and approved backflow prevention device is required.

11 106. The developer shall construct a public reclamation water system that will serve
12 each lot and or parcels that are located in the proposed project in accordance with the City of
13 Oceanside Ordinance No. 91-15. The proposed reclamation water system shall be located in the
14 public right-of-way or in a public utility easement.

15 107. Subterranean parking spaces shall be drained to the City's storm drain system
16 and shall comply with the California Regional Water Quality Control Board Order No. 2001-01.

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1 108. Provide one domestic meter/service to serve condominium units; show location
2 of meter vault on amended utility plan. Meter vault to be sized per City of Oceanside Water,
3 Sewer and Reclaimed Design and Construction Manual. Office suites and live/work lofts can
4 be individually metered.

5 PASSED AND ADOPTED by the Oceanside Community Development Commission of
6 the City of Oceanside this ___ day of _____ 2006 by the following vote:

7 AYES:
8 NAYS:
9 ABSENT:
10 ABSTAIN:

11 _____
Chairman

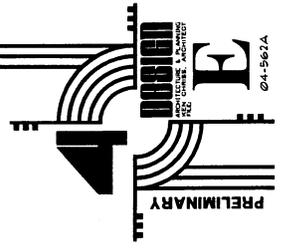
12 ATTEST:
13 _____
14 Secretary

15 APPROVED AS TO FORM:
16 OFFICE OF THE CITY ATTORNEY
17 by  DCA
18 General Counsel

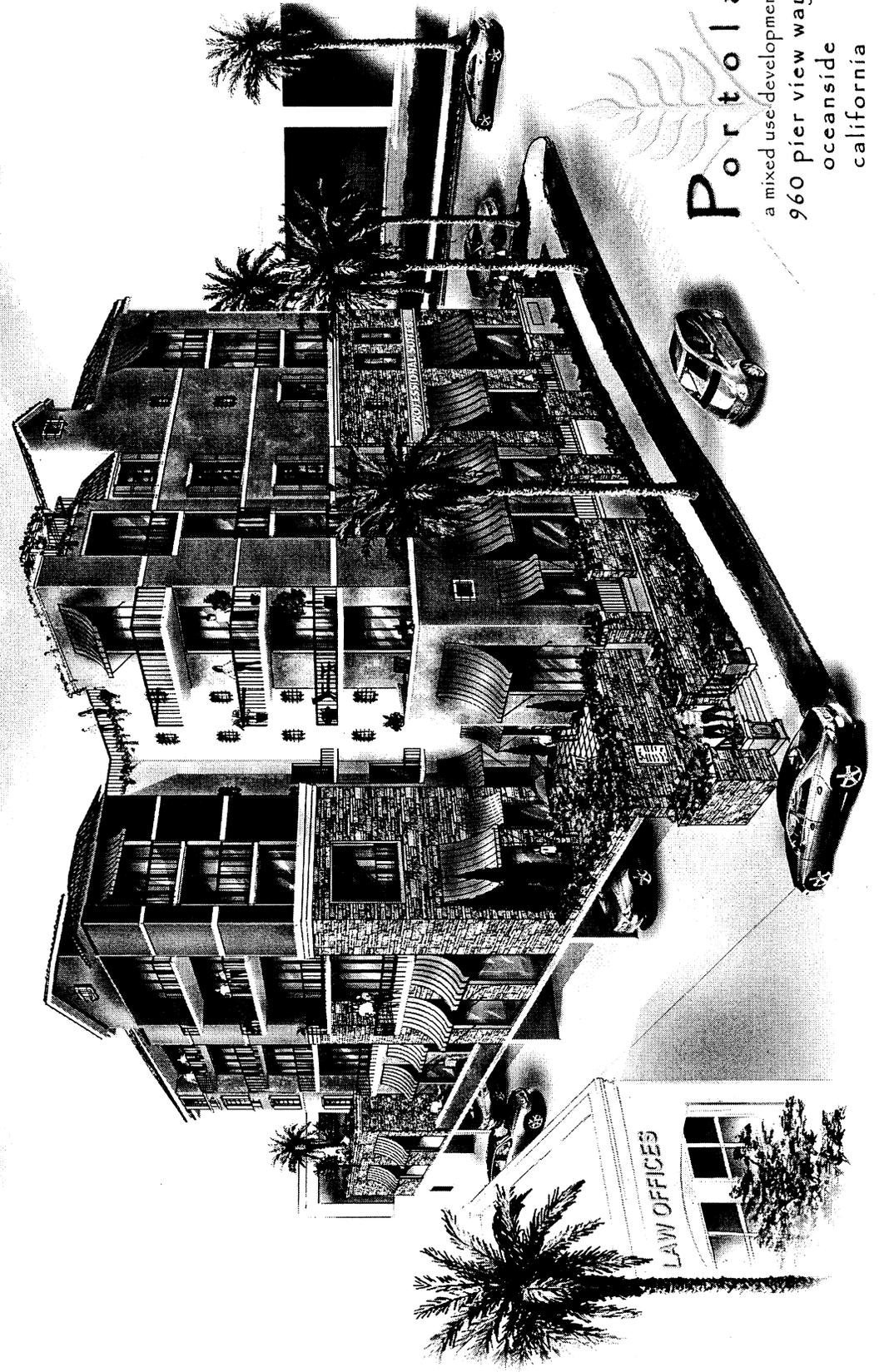
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12/01/04
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PORTOLA - OCEANSIDE, CA



Portola
a mixed use-development
960 pier view way
oceanside
california

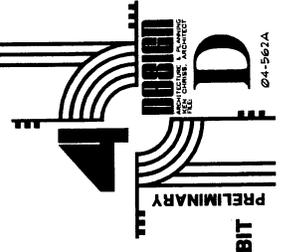


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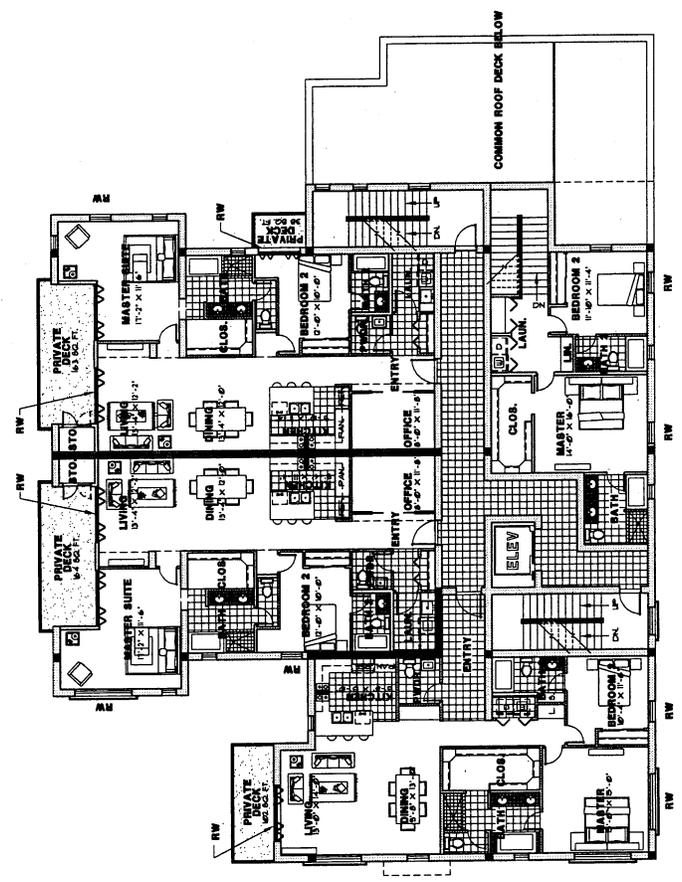
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PORTOLA - OCEANSIDE, CA



SIXTH FLOOR-
REQUIRED WINDOW EXHIBIT

04-562A



SIXTH FLOOR REQUIRED WINDOW EXHIBIT

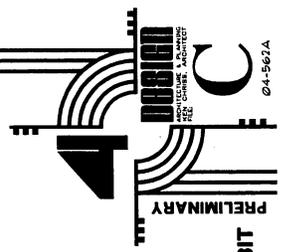
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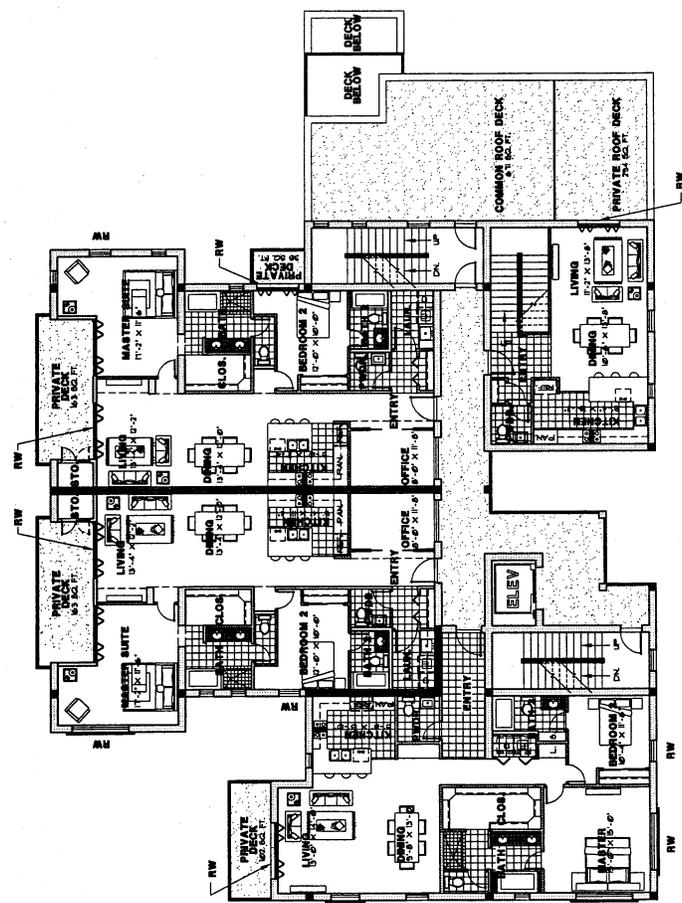
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 12/02/06

PORTOLA - OCEANSIDE, CA



**FIFTH FLOOR-
 REQUIRED WINDOW EXHIBIT**



FIFTH FLOOR REQUIRED WINDOW EXHIBIT

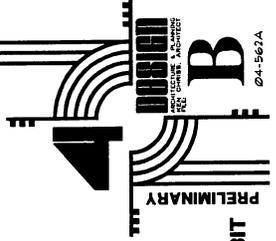
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LEGEND:

RW REQUIRED WINDOW

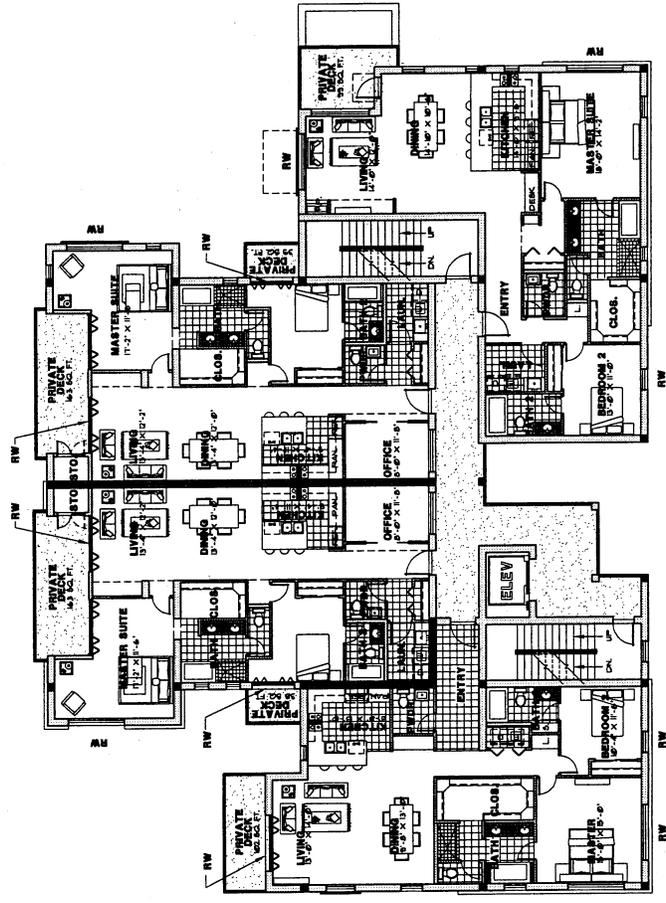
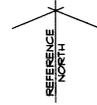
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 1/20/05
 12/02/04

PORTOLA - OCEANSIDE, CA



FOURTH FLOOR-
 REQUIRED WINDOW EXHIBIT

04-562A



FOURTH FLOOR REQUIRED WINDOW EXHIBIT

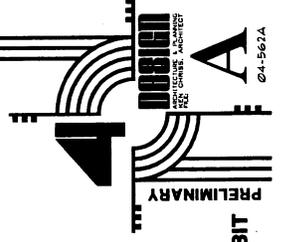
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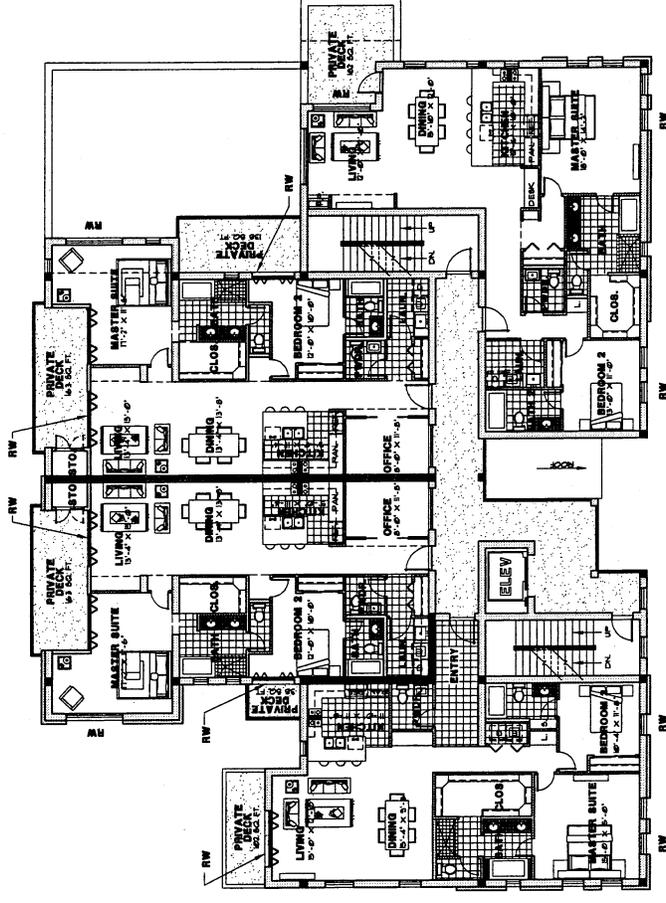
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PORTOLA - OCEANSIDE, CA



THIRD FLOOR-
 REQUIRED WINDOW EXHIBIT



THIRD FLOOR REQUIRED WINDOW EXHIBIT

SCALE: 1/8" = 1'-0"

LEGEND:

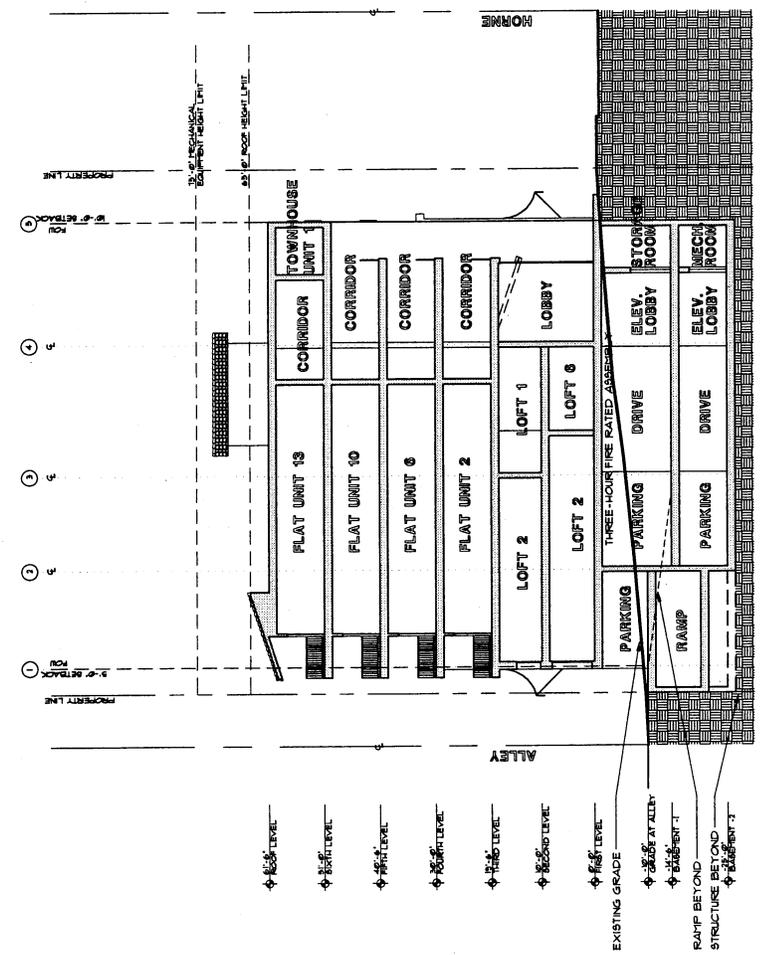
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PORTOLA - OCEANSIDE, CA

CONSTRUCTION OUTLINE:

CONSTRUCTION TO BE TYPE II CONSTRUCTION WITH FIRE SPRINKLERS.
 BASEMENT FLOORS: THE FLOOR SHALL HAVE A CONCRETE SLAB THAT IS POURED IN PLACE.
 OTHER FLOORS: THESE FLOORS SHALL BE A STEEL DECK WITH CAST-IN-PLACE CONCRETE.
 EXTERIOR WALLS: THE EXTERIOR WALLS SHALL BE STEEL FRAMING WITH STUCCO FINISH OVER EXPANDED METAL LATH OVER 6/8 LB. BUILDING PAPER AT THE EXTERIOR SIDE AND 1/2" POLYSTYRENE INSULATION AT THE EXTERIOR SIDE. THE INTERIOR SURFACE SHALL HAVE A SPRAY ON SMOOTH FINISH.
 INTERIOR WALLS: THE INTERIOR NON-BEARING WALLS SHALL BE STEEL FRAMING WITH TYPE 'X' GYPSUM BOARD COVERING AND A SPRAY ON SMOOTH FINISH. KITCHEN, BATHS AND HALLS SHALL HAVE WATER PROOF GYPSUM BOARD.
 ROOFING: ROOFING TO BE CLASS 'A' BUILT-UP ROOFING.
 SCOPE DECKS AND BALCONIES: DECKS AND BALCONIES SHALL CONSIST OF WEATHERPROOF MEMBRANE OVER INSULATION (2" MIN. OR APPROVED EQUAL).
 CEILING: THE CEILING SHALL BE GYPSUM BOARD WITH A SMOOTH FINISH. A SPRAY ON SMOOTH FINISH NET AREAS SHALL HAVE WATER PROOF GYPSUM BOARD.
 INSULATION: ALL 2x6 FRAMED EXTERIOR WALLS TO RECEIVE FIBERGLASS BATT INSULATION TO MEET TITLE 24 REGULATIONS. ALL INTERIOR WALLS RECEIVE FIBERGLASS BATT INSULATION.
 DOORS: EXTERIOR COMMERCIAL ENTRANCE DOORS TO BE ALUMINUM WINDOW WALL SYSTEM DOORS WITH GLASS. INTERIOR DOORS TO BE SOLID CORE METAL DOORS. INTERIOR NON-RATED DOORS SHALL BE A RAISED PANEL FIBERGLASS.
 GLASS AND GLAZING: ALL WINDOWS TO BE DUAL GLAZED ALUMINUM WINDOW WALL SYSTEM WITH FINISH. ALL WINDOWS TO BE LOW 'E' TYPE.
 PAINTING: ALL EXTERIOR SURFACES NOT MANUFACTURED SHALL BE PAINTED. INTERIOR SURFACES TO RECEIVE ONE COAT PAINT. BATH AND BATH AREA ALL SURFACES TO BE PAINTED IN THE BEST PRACTICE AND WITH QUALITY MATERIALS.
 EXPOSED METAL THAT IS EXPOSED TO THE EXTERIOR SHALL BE COPPER.
 FLUTINGS: ALL FIXTURES TO BE KOHLER OR AN APPROVED EQUAL. ALL FLUTINGS TO BE INSTALLED AS PER THE U.P.C. WATER HEATERS TO BE GAS-FIRED. ALL FLUTINGS SHALL BE PER THE UNIFORM PLUMBING CODE.
 MECHANICAL: INSTALL A CENTRAL FORCED AIR SYSTEM. ALL WORK SHALL BE PER THE UNIFORM MECHANICAL CODE.
 ELECTRICAL: ALL ELECTRICAL WORK TO BE PER THE NATIONAL ELECTRIC CODE. REQUIRE FOR CABLE TV, SECURITY SYSTEM, AUDIO SYSTEM, TELEPHONE, AND COMPUTER WITH INTERNET SYSTEM.



SECTION B
 SCALE: 3/32" = 1'-0"

PRELIMINARY

A-18

SECTION B

04-562A

12/21/24
 8/2/23
 11/2/23
 12/6/26

PORTOLA - OCEANSIDE, CA

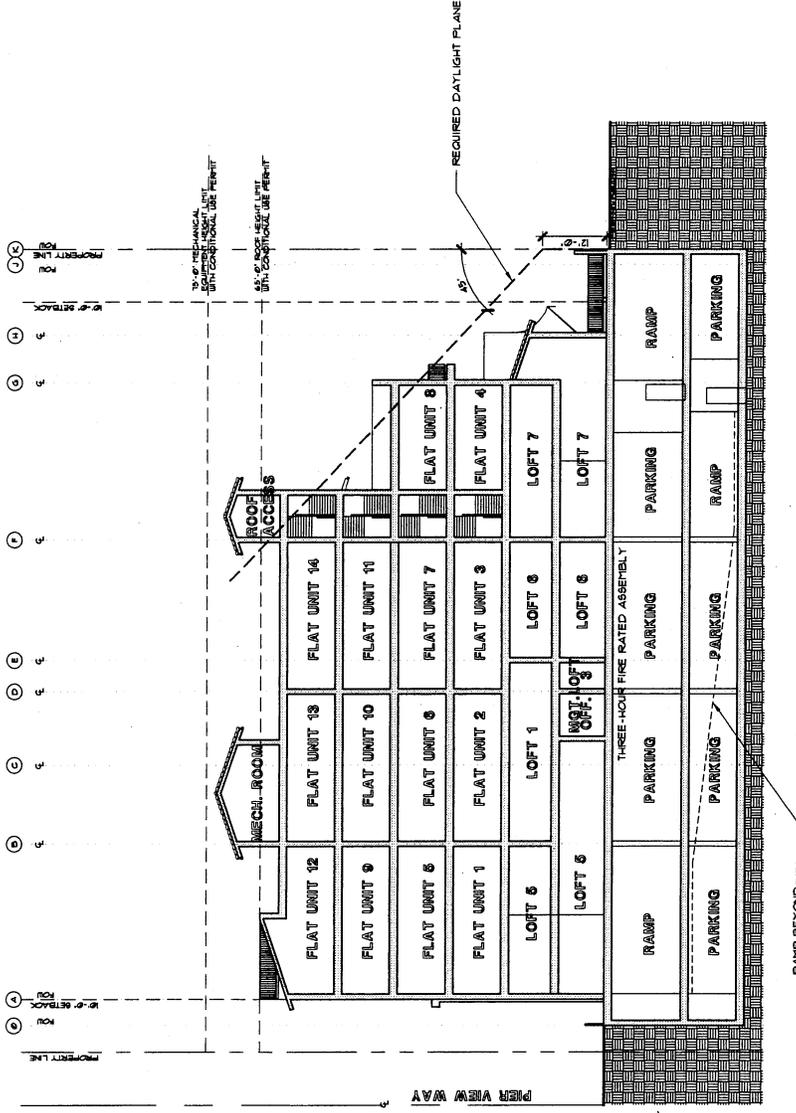


SECTION A

04-562A

CONSTRUCTION OUTLINE:

CONSTRUCTION: CONSTRUCTION TO BE TYPE II CONSTRUCTION WITH FIRE SPRINKLERS.
 BASEMENT FLOORS: THE FLOOR SHALL HAVE A CONCRETE SLAB THAT IS POURED IN PLACE.
 OTHER FLOORS: THESE FLOORS SHALL BE A STEEL DECK WITH CAST-IN-PLACE CONCRETE.
 EXTERIOR WALLS: THE EXTERIOR WALLS SHALL BE 2x6 STEEL FRAMING WITH STUCCO FINISH OVER EXPANDED METAL LATH OVER 60 LB. PER SQ. YD. TYPE III FIBERGLASS BATT INSULATION. SMOOTH FINISH GYPSUM BOARDS AT THE INTERIOR SIDE THE INTERIOR SURFACE SHALL HAVE A SPRAY ON SMOOTH FINISH.
 INTERIOR WALLS: THE INTERIOR NON-BEARING WALLS SHALL BE STEEL FRAMING WITH TYPE 'X' GYPSUM BOARD COVERING AND A SPRAY ON SMOOTH FINISH OVER 60 LB. PER SQ. YD. TYPE III FIBERGLASS BATT INSULATION. OTHER UTILITY AREAS SHALL HAVE WATER PROOF GYPSUM BOARD.
 ROOF: ROOFING TO BE CLASS 'A' BUILT-UP ROOFING.
 ROOF DECKS AND BALCONIES: DECKS AND BALCONIES SHALL BE CONCRETE ON TOP OF DECK SURFACE BY EXCEL-COATING (CBO, 48824 OR AN APPROVED EQUAL).
 CEILING: THE CEILING SHALL BE GYPSUM BOARD ATTACHED TO STEEL FRAMING WITH A SPRAY ON SANDED SMOOTH FINISH. UTILITY AREAS SHALL HAVE WATER PROOF GYPSUM BOARD.
 INSULATION: ALL 2x6 FRAMED EXTERIOR WALLS TO RECEIVE FIBERGLASS BATT INSULATION TO RECEIVE FIBERGLASS BATT INSULATION. WALLS RECEIVE FIBERGLASS BATT INSULATION.
 DOORS: EXTERIOR COMMERCIAL ENTRANCE DOORS SHALL BE 1 1/2" MINIMUM THICKNESS WITH SOLID BRASS BUTTS EXTERIOR. OTHER EXTERIOR DOORS TO BE SOLID CORE METAL. INTERIOR NON-RATED DOORS SHALL BE A RAISED PANEL FIBERGLASS.
 GLASS AND GLAZING: ALL WINDOWS TO BE DUAL GLAZED ALUMINUM WINDOW WALL SYSTEM WITH FINISH. ALL WINDOWS TO BE LOW E TYPE.
 PAINTING: ALL EXTERIOR SURFACES NOT MANUFACTURED SHALL BE PAINTED. INTERIOR SURFACES SHALL BE PAINTED. ALL INTERIOR PAINT SHALL BE USED IN ALL KITCHEN AND BATH AREAS. ALL SURFACES TO BE PAINTED IN THE BEST PRACTICE AND WITH QUALITY MATERIALS.
 EXPOSED METAL: ALL METAL THAT IS EXPOSED TO THE EXTERIOR SHALL BE COPPER.
 ELEVATORS: ALL FIXTURES TO BE KOHLER OR AN APPROVED EQUAL. ALL PLUMBING TO BE BRASS. THE EXTERIOR PLUMBING SHALL BE PER THE UNIFORM PLUMBING CODE.
 MECHANICAL: INSTALL A CENTRAL FORCED AIR HEATING AND COOLING SYSTEMS. HEAT TO BE GAS-FIRED. ALL WORK SHALL BE PER THE UNIFORM MECHANICAL CODE.
 ELECTRICAL: ALL ELECTRICAL WORK TO BE PER THE NATIONAL ELECTRIC CODE. PREWIRE FOR CABLE TV, SECURITY SYSTEM, AUDIO VISUAL SYSTEM, PHONE, AND COMPUTER WITH INTERNET SYSTEM.

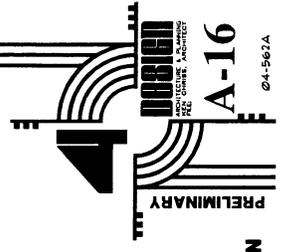


SECTION A

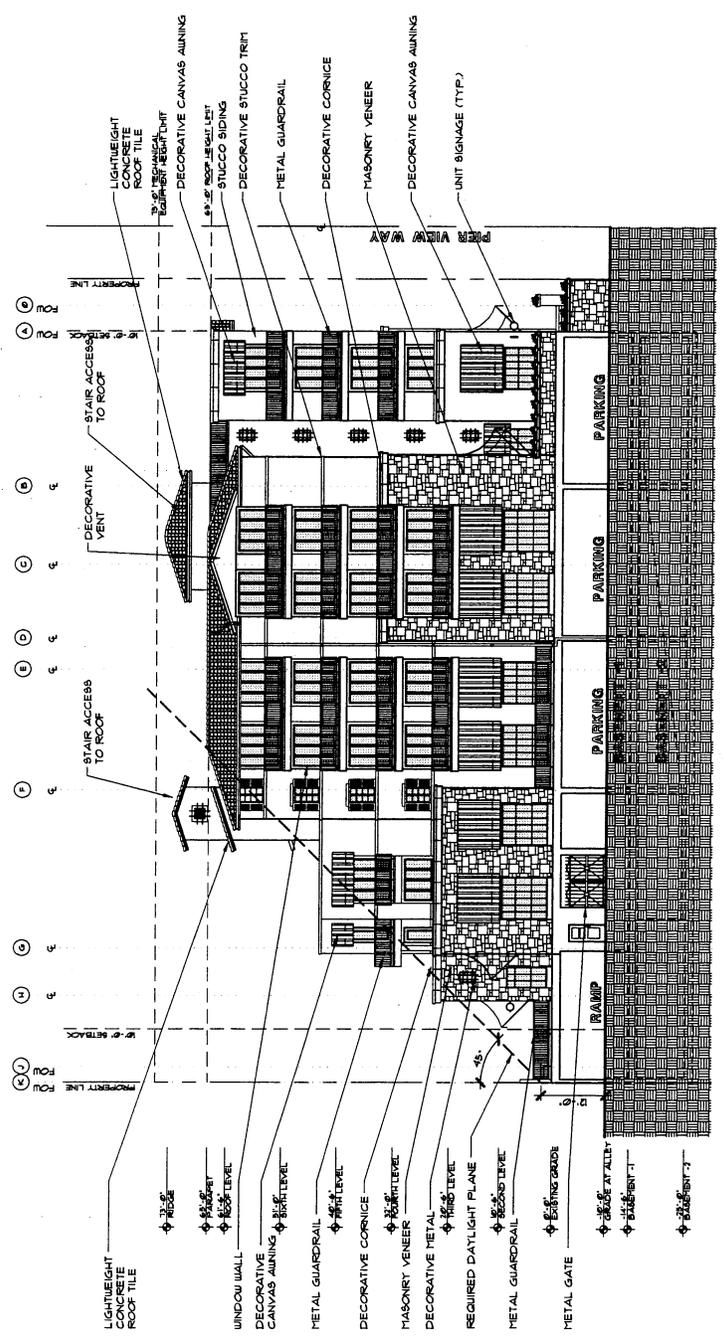
SCALE: 3/32" = 1'-0"

7/19/04
 7/19/05
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 11/01/05
 12/02/06
 3.3.06

PORTOLA - OCEANSIDE, CA



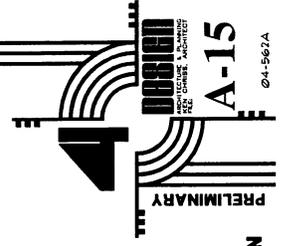
WEST ELEVATION



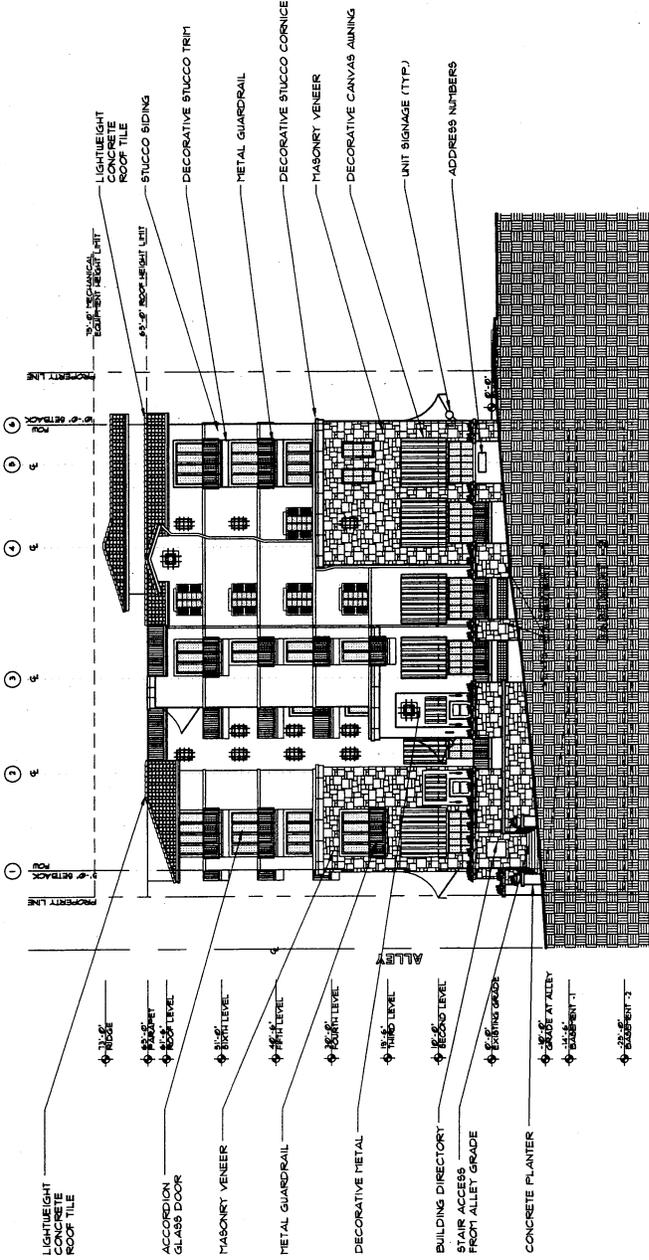
WEST ELEVATION
 SCALE: 3/32" = 1'-0"

2.01/04
 2.19/05
 03/1/05
 11/10/05
 12/01/06
 3.3.06

PORTOLA - OCEANSIDE, CA



SOUTH ELEVATION

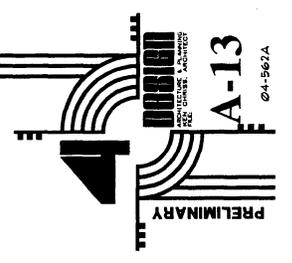


SOUTH ELEVATION

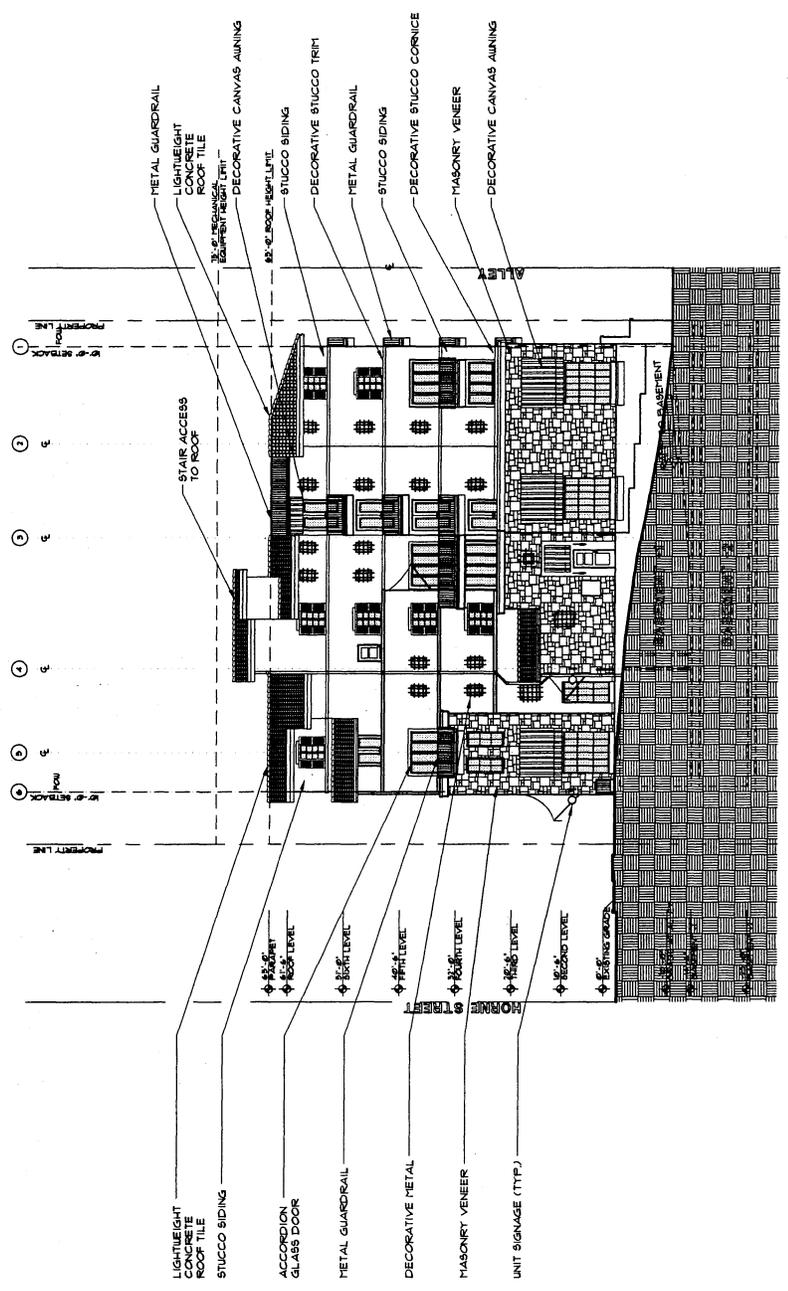
SCALE: 3/32" = 1'-0"

12/21/04
 2/15/05
 04/20/05
 11/01/05
 12/02/06
 3/3/06

PORTOLA - OCEANSIDE, CA



NORTH ELEVATION



NORTH ELEVATION
 SCALE: 3/32" = 1'-0"

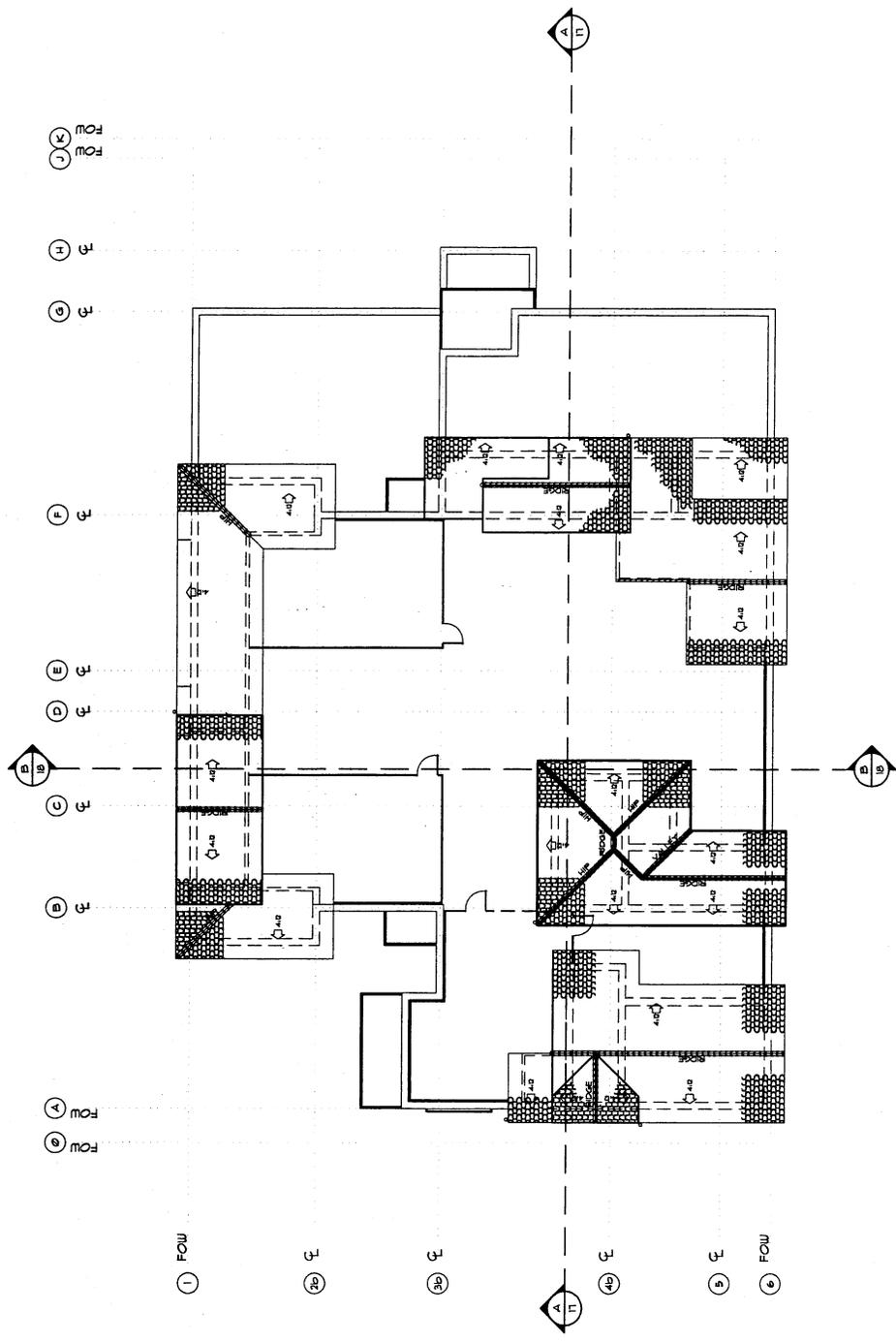
7.20.04
 8.21.05
 11.01.05
 12.09.06
 3.3.08

PORTOLA - OCEANSIDE, CA

PRELIMINARY

A-12
 04-562A

ROOF PLAN



ROOF PLAN

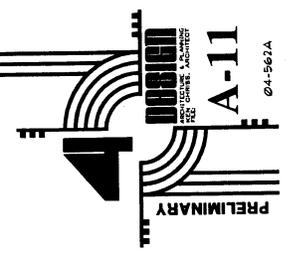
SCALE: 1/8" = 1'-0"

LEGEND:

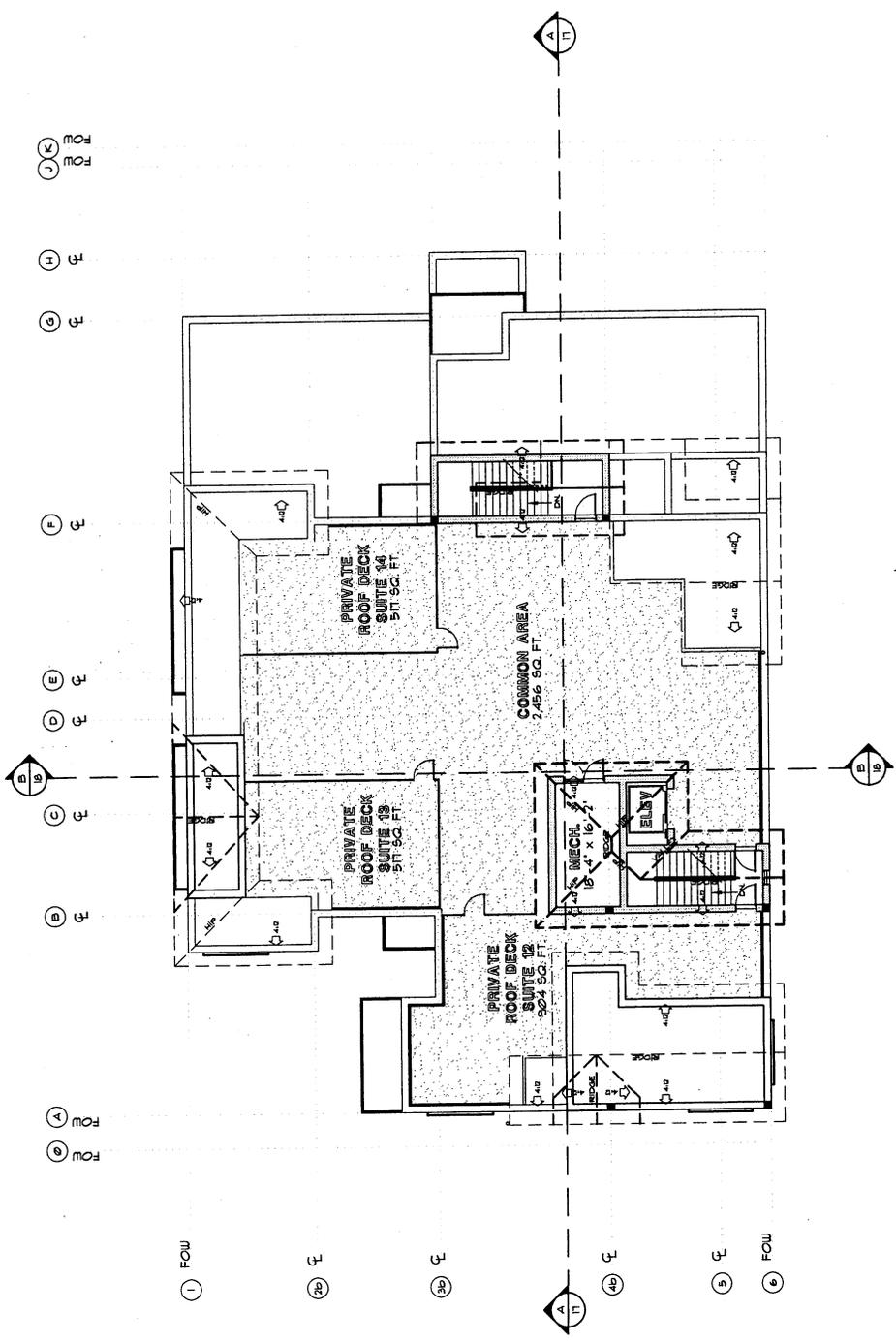
- WALLS BELOW
- DOWNSPOUTS

01/01/06
 01/02/06
 01/03/06
 01/04/06
 01/05/06
 01/06/06
 01/07/06
 01/08/06

PORTOLA - OCEANSIDE, CA



ROOF DECK PLAN



ROOF DECK PLAN

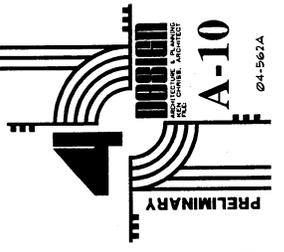
SCALE: 1/8" = 1'-0"
 COTTON DECK AREA: 2,869 SQ. FT.
 PRIVATE DECK AREA: 1,946 SQ. FT.
 TOTAL AREA THIS FLOOR: 4,815 SQ. FT.

LEGEND:

- ROOF ABOVE
- RAILINGS
- STRUCTURAL COLUMN

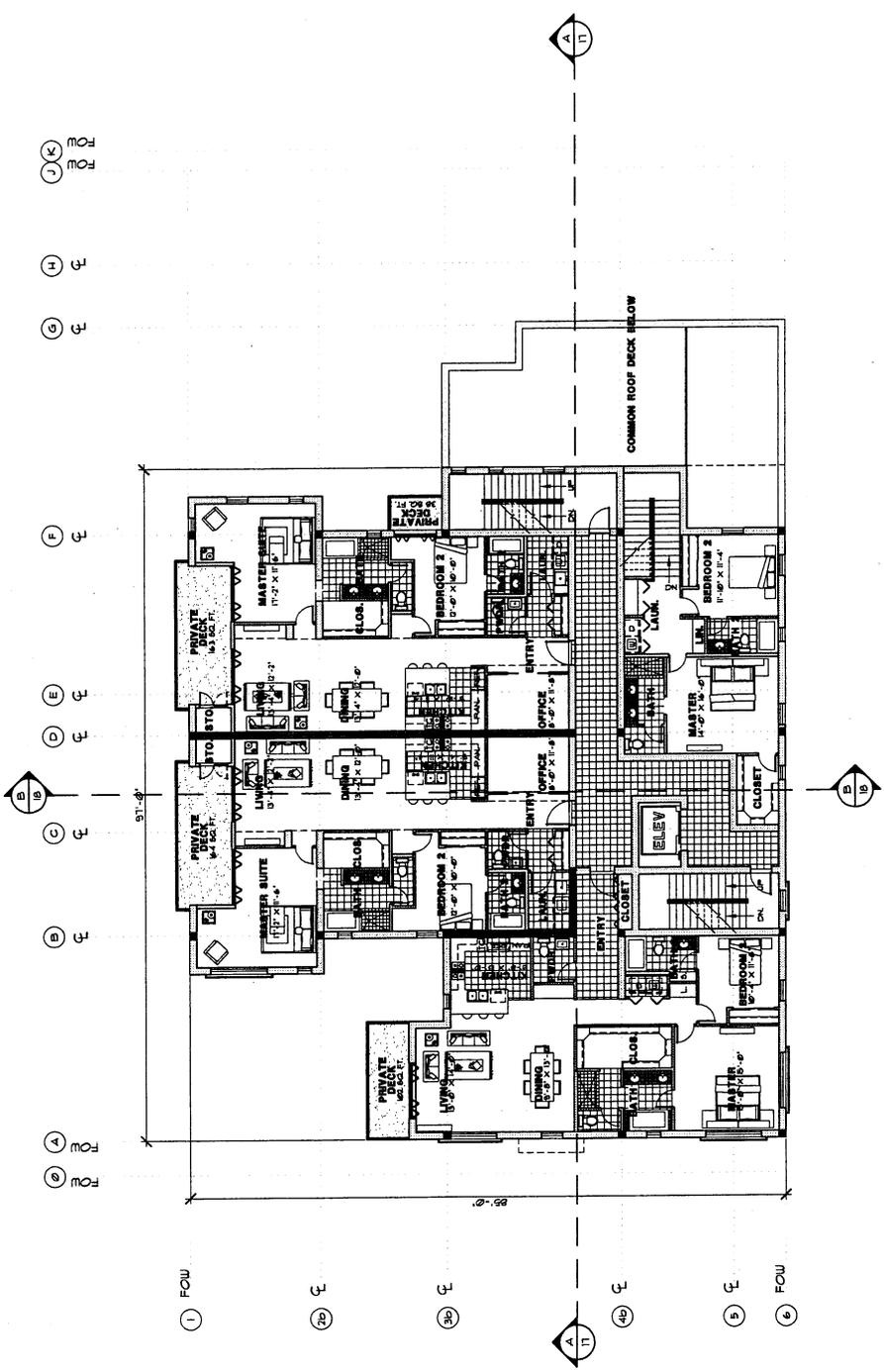
17.01.04
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 11.20.05
 11.20.05
 17.01.06

PORTOLA - OCEANSIDE, CA



04-562A

LEVEL 6 FLOOR PLAN



SUITE 12 SUITE 13 SUITE 14 TOWNHOUSE 1

FIRST FLOOR AREA: 116 SQ. FT.
 SECOND FLOOR AREA: 313 SQ. FT.
 TOTAL: 429 SQ. FT.

UNIT TYPE BR
 FLOOR AREA: 1514 SQ. FT.
 PRIVATE DECK 281 SQ. FT.
 PRIVATE ROOF DECK 511 SQ. FT.

UNIT TYPE B
 FLOOR AREA: 1514 SQ. FT.
 PRIVATE DECK 164 SQ. FT.
 PRIVATE ROOF DECK 511 SQ. FT.

UNIT TYPE A
 FLOOR AREA: 1593 SQ. FT.
 PRIVATE DECK 197 SQ. FT.
 PRIVATE ROOF DECK 394 SQ. FT.

SIXTH FLOOR BUILDING PLAN

UNIT AREA: 9,114 SQ. FT.
 PRIVATE DECKS: 461 SQ. FT.
 COMMON AREA: 1,913 SQ. FT.
 TOTAL AREA THIS FLOOR: 11,488 SQ. FT.

SCALE: 1/8" = 1'-0"

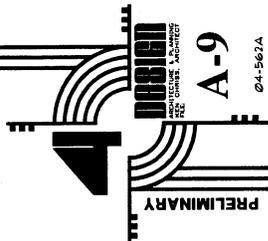
LEGEND:

- MASONRY WALLS
- PARTY WALLS
- FRAMED NON-BEARING WALLS
- FRAMED BEARING WALLS
- STRUCTURAL COLUMN

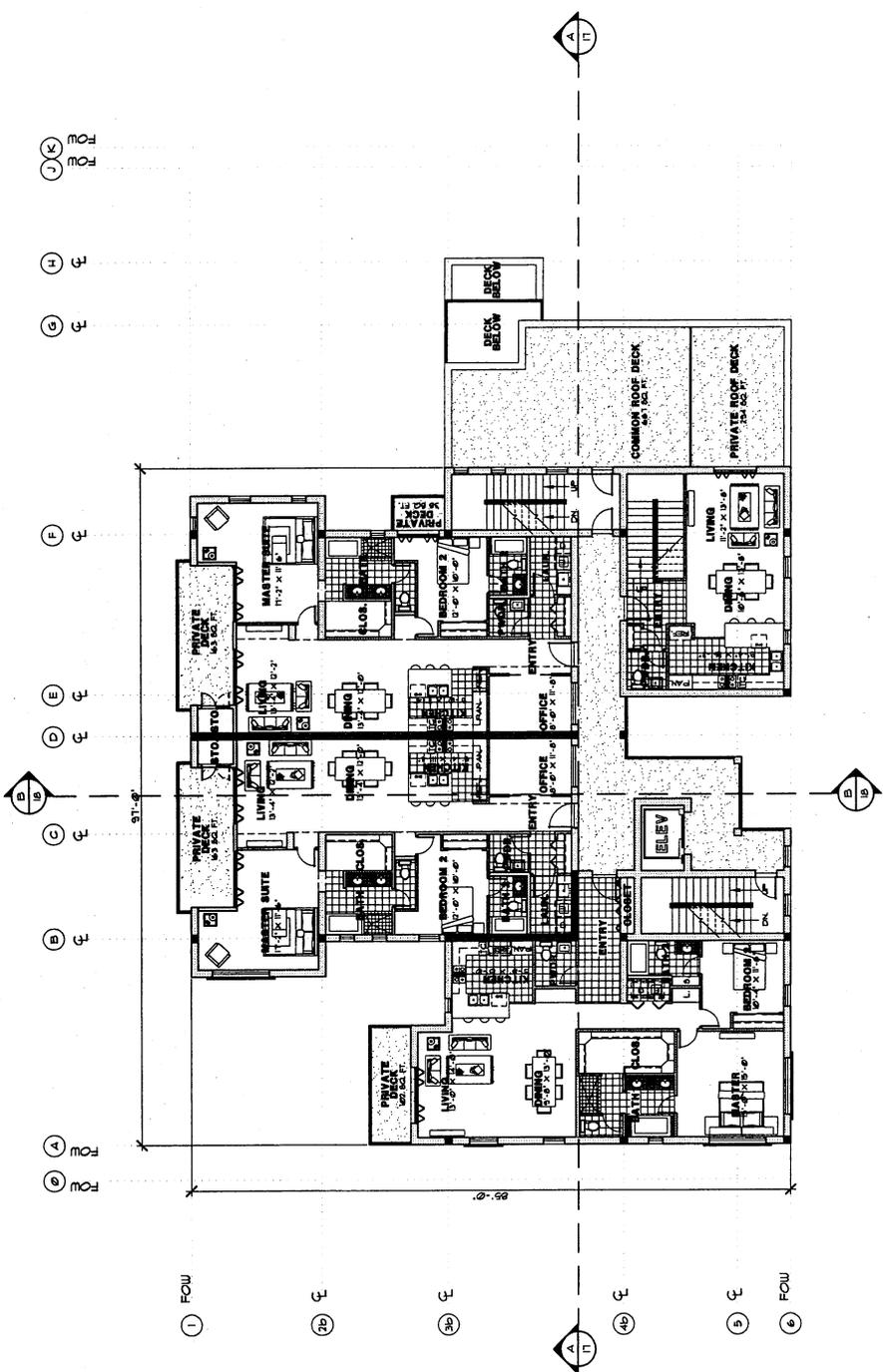


17.01.04
17.01.05
18.01.05
11.01.05
17.01.06

PORTOLA - OCEANSIDE, CA



LEVEL 5 FLOOR PLAN



SUITE 9 SUITE 10 SUITE 11 TOWNHOUSE 1

FIRST FLOOR AREA: 176 SQ. FT.
SECOND FLOOR AREA: 973 SQ. FT.
TOTAL: 1,149 SQ. FT.

SUITE 9 SUITE 10 SUITE 11

UNIT TYPE BR
FLOOR AREA: 1574 SQ. FT.

FIFTH FLOOR BUILDING PLAN

UNIT TYPE BR
FLOOR AREA: 1574 SQ. FT.
UNIT AREA: 5301 SQ. FT.
PRIVATE DECKS: 7620 SQ. FT.
CORTRON AREA: 1786 SQ. FT.
TOTAL AREA THIS FLOOR: 9273 SQ. FT.

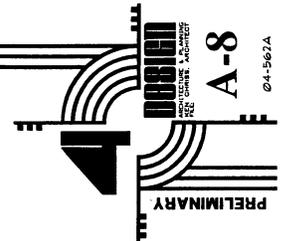
LEGEND:

- MASONRY WALLS
- PARTY WALLS
- FRAMED NON-BEARING WALLS
- FRAMED BEARING WALLS
- STRUCTURAL COLUMN

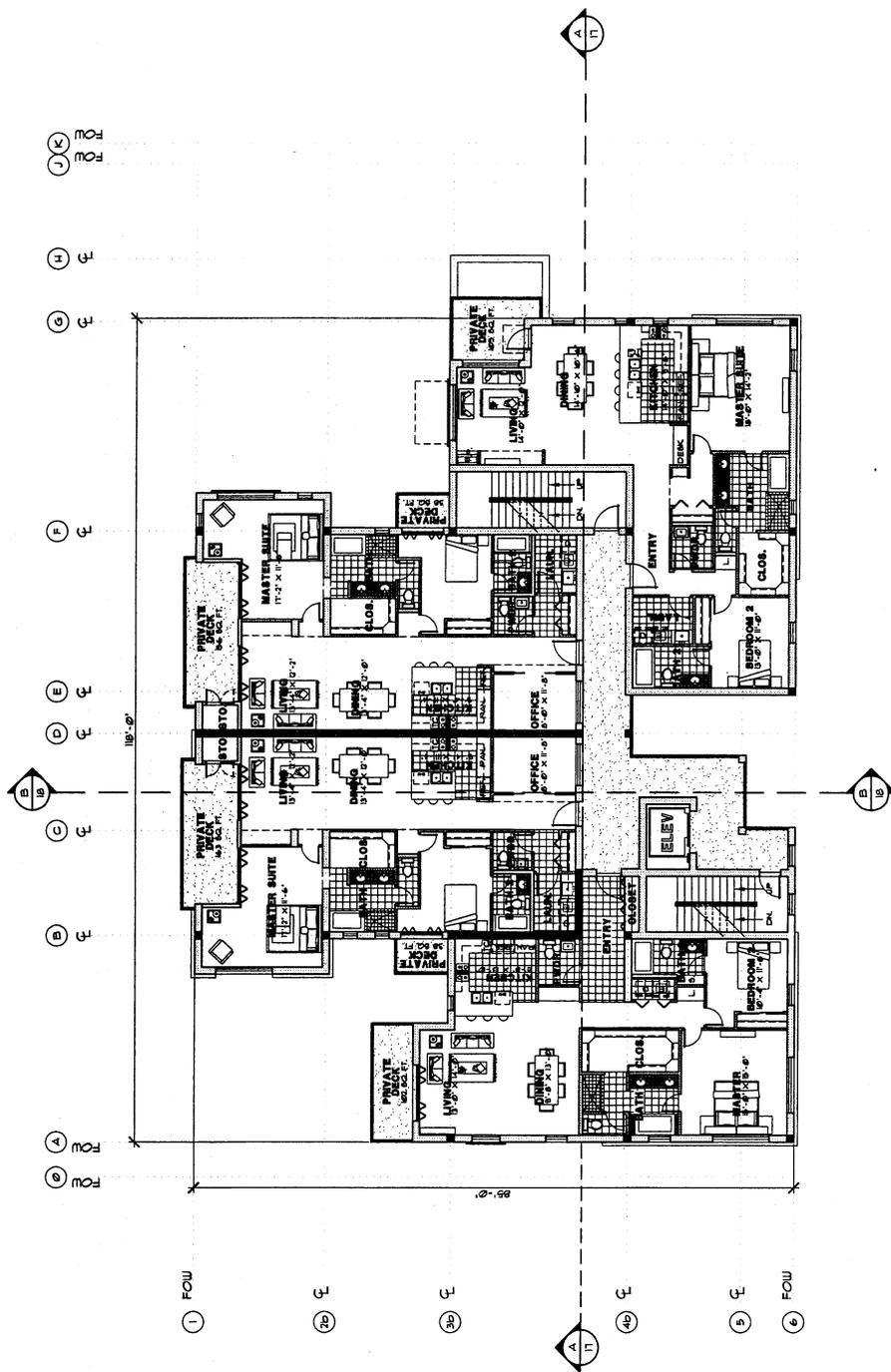


12.01.04
2.15.05
8.27.05
11.02.05
13.02.06
3.30.06

PORTOLA - OCEANSIDE, CA



LEVEL 4 FLOOR PLAN



SUITE 5 SUITE 6 SUITE 7 SUITE 8

UNIT TYPE A FLOOR AREA: 1533 SQ. FT. UNIT TYPE BR FLOOR AREA: 1563 SQ. FT. UNIT TYPE C FLOOR AREA: 1154 SQ. FT.



FOURTH FLOOR BUILDING PLAN

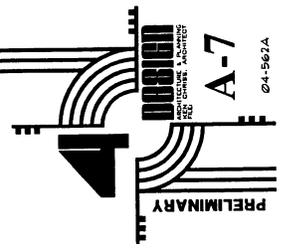
SCALE: 1/8" = 1'-0"
UNIT AREA: 6504 SQ. FT.
PRIVATE DECKS: 604 SQ. FT.
COMMON AREA: 1003 SQ. FT.
TOTAL AREA THIS FLOOR: 8211 SQ. FT.

LEGEND:

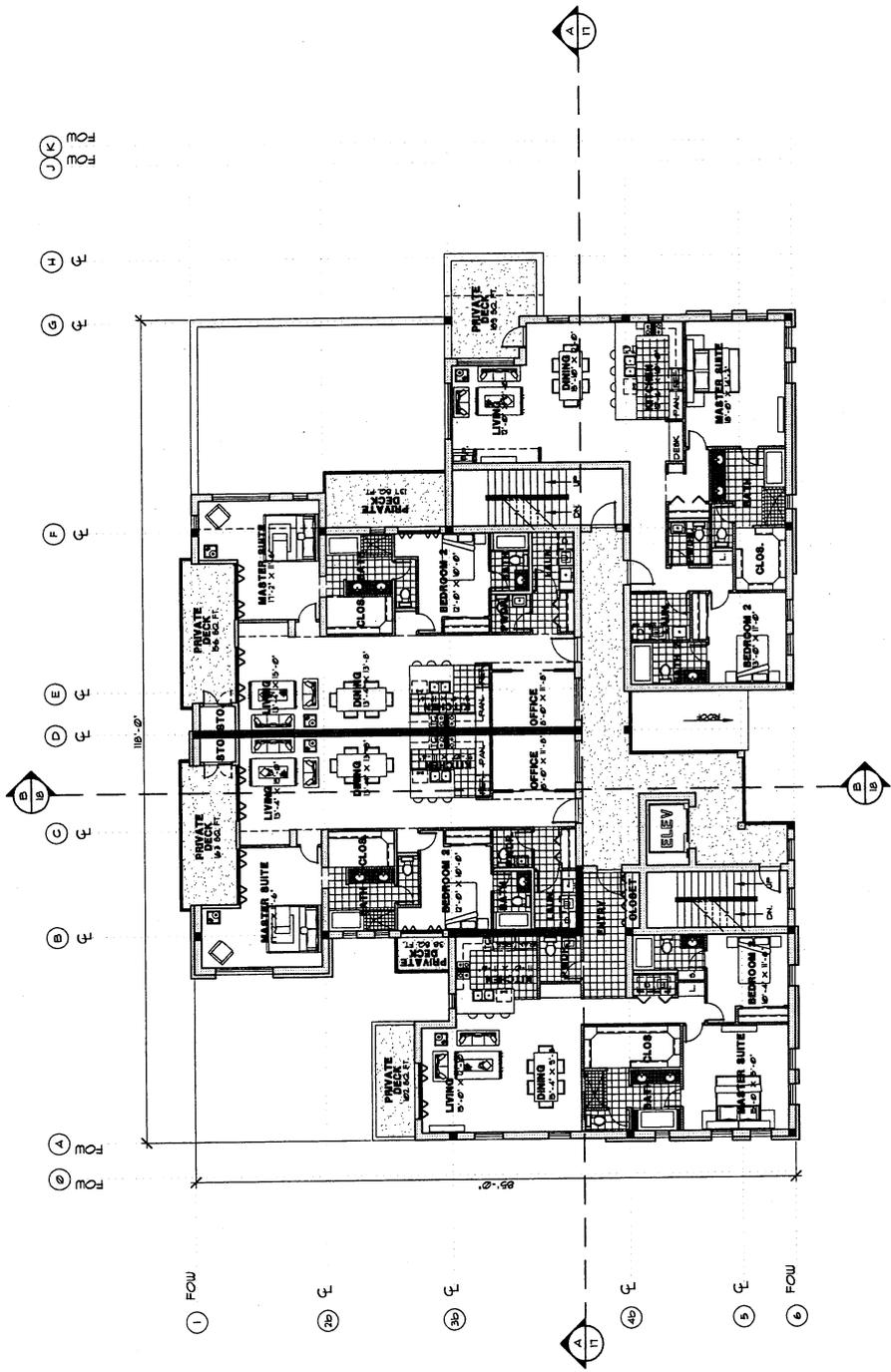
- MASONRY WALLS
- PARTY WALLS
- FRAMED NON-BEARING WALLS
- FRAMED BEARING WALLS
- STRUCTURAL COLUMN

11/01/04
 7/15/05
 8/22/05
 11/01/05
 12/02/06

PORTOLA - OCEANSIDE, CA



LEVEL 3 FLOOR PLAN



SUITE 1

UNIT TYPE A
 FLOOR AREA: 1593 SQ. FT.

SUITE 2

UNIT TYPE B
 FLOOR AREA: 1574 SQ. FT.

SUITE 3

UNIT TYPE BR
 FLOOR AREA: 1583 SQ. FT.

SUITE 4

UNIT TYPE C
 FLOOR AREA: 1194 SQ. FT.

THIRD FLOOR BUILDING PLAN

SCALE: 1/8" = 1'-0"
 UNIT AREA: 6,204 SQ. FT.
 PRIVATE DECKS: 186 SQ. FT.
 COMMON AREA: 103 SQ. FT.
 TOTAL AREA THIS FLOOR: 6,393 SQ. FT.

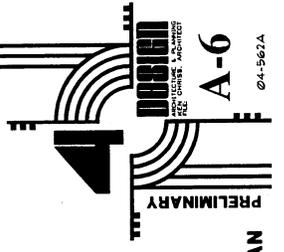
LEGEND:

- ▬ MASONRY WALLS
- ▬ PARTIAL WALL
- ▬ FRAMED NON-BEARING WALLS
- ▬ FRAMED BEARING WALLS
- STRUCTURAL COLUMN

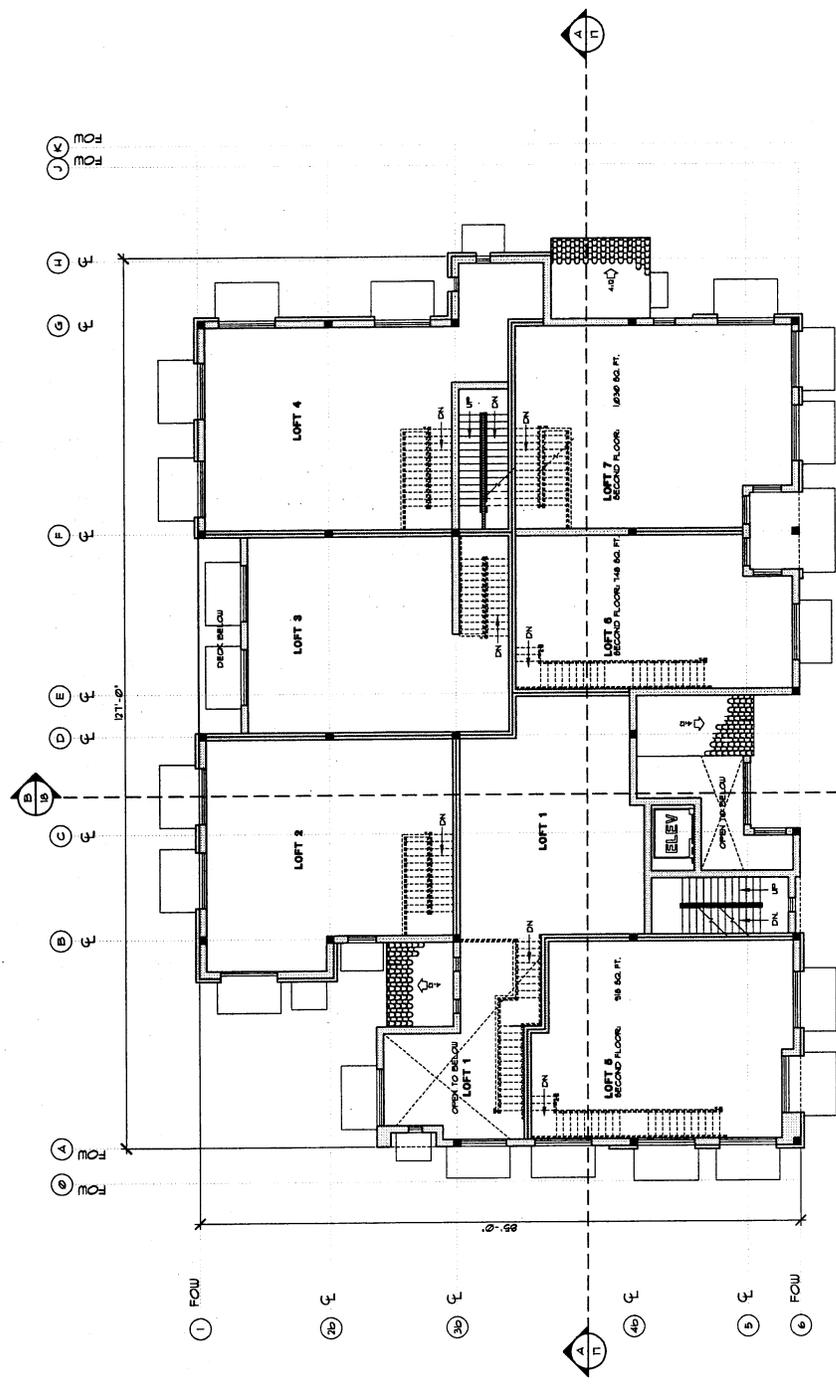


17.07.04
2.15.05
01.11.05
11.01.05
17.02.06
33.06

PORTOLA - OCEANSIDE, CA



LEVEL 2 FLOOR PLAN



LOFT 1
FIRST FLOOR AREA: 769 SQ. FT.
SECOND FLOOR AREA: 840 SQ. FT.
TOTAL: 1,609 SQ. FT.

LOFT 2
FIRST FLOOR AREA: 1287 SQ. FT.
SECOND FLOOR AREA: 1719 SQ. FT.
TOTAL: 3,006 SQ. FT.

LOFT 3
FIRST FLOOR AREA: 1218 SQ. FT.
SECOND FLOOR AREA: 1116 SQ. FT.
TOTAL: 2,334 SQ. FT.

LOFT 4
FIRST FLOOR AREA: 1289 SQ. FT.
SECOND FLOOR AREA: 1321 SQ. FT.
TOTAL: 2,610 SQ. FT.

LOFT 5
FIRST FLOOR AREA: 1416 SQ. FT.
SECOND FLOOR AREA: 919 SQ. FT.
TOTAL: 2,335 SQ. FT.

LOFT 6
FIRST FLOOR AREA: 819 SQ. FT.
SECOND FLOOR AREA: 149 SQ. FT.
TOTAL: 968 SQ. FT.

LOFT 7
FIRST FLOOR AREA: 1311 SQ. FT.
SECOND FLOOR AREA: 1020 SQ. FT.
TOTAL: 2,331 SQ. FT.

SECOND FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"
LEGEND:

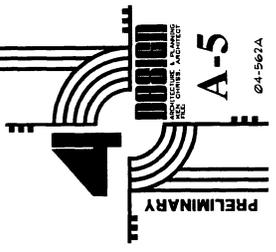
- MASONRY WALLS
- STRUCTURAL COLUMN
- PARTY WALLS
- FRAMED NON-BEARING WALLS
- FRAMED BEARING WALLS



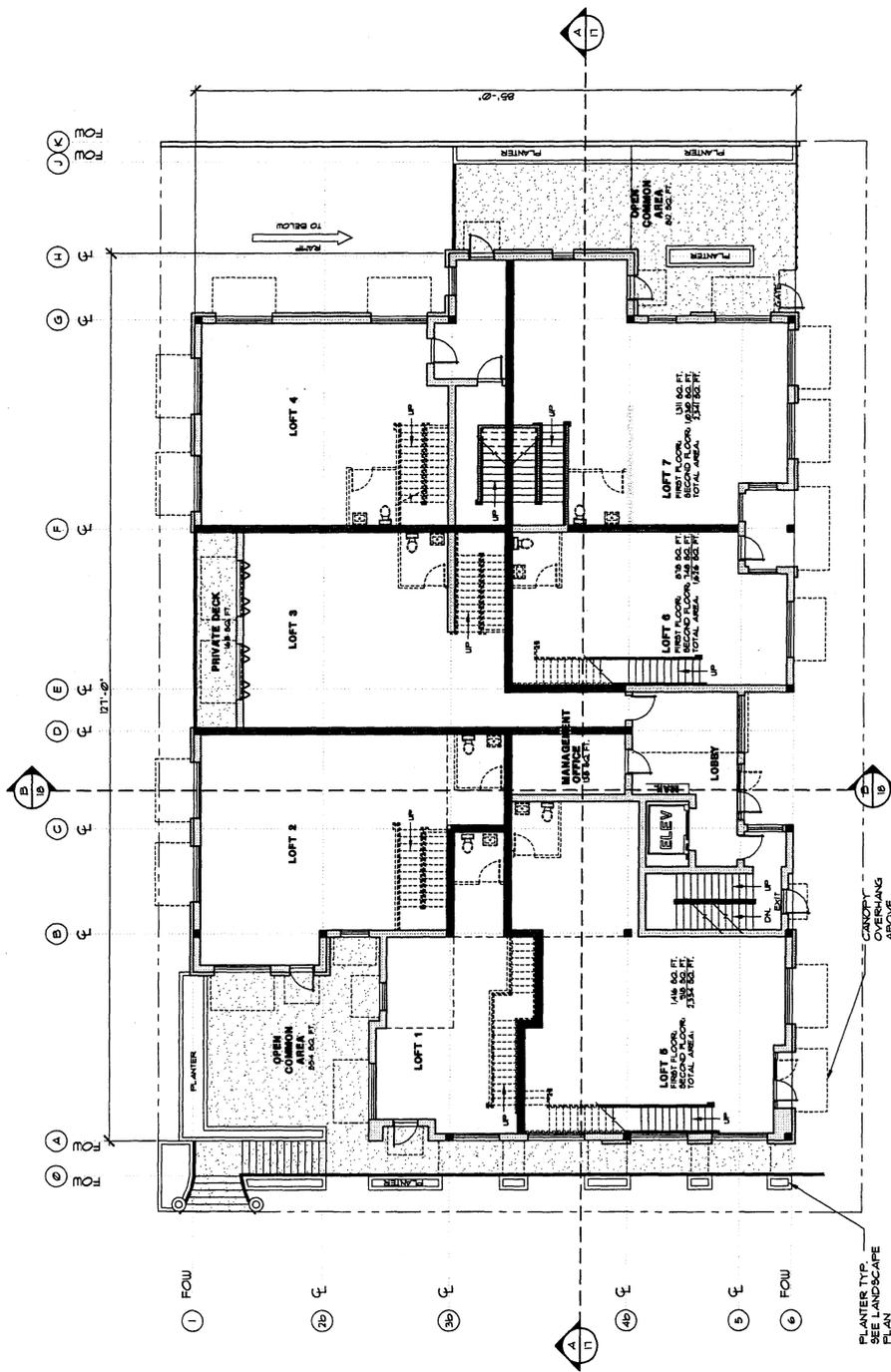
CANOPY OVERHANG

12.01.04
 2.12.05
 1.17.06
 11.01.05
 12.02.06
 3.3.06

PORTOLA - OCEANSIDE, CA



LEVEL 1 FLOOR PLAN



LOFT 1	LOFT 2	LOFT 3	LOFT 4	LOFT 5	LOFT 6	LOFT 7
FIRST FLOOR AREA: 769 SQ. FT. SECOND FLOOR AREA: 842 SQ. FT. TOTAL: 1,611 SQ. FT.	FIRST FLOOR AREA: 1,282 SQ. FT. SECOND FLOOR AREA: 1,175 SQ. FT. TOTAL: 2,457 SQ. FT.	FIRST FLOOR AREA: 1,218 SQ. FT. SECOND FLOOR AREA: 1,116 SQ. FT. TOTAL: 2,335 SQ. FT.	FIRST FLOOR AREA: 1,098 SQ. FT. SECOND FLOOR AREA: 1,321 SQ. FT. TOTAL: 2,419 SQ. FT.	FIRST FLOOR AREA: 1,416 SQ. FT. SECOND FLOOR AREA: 920 SQ. FT. TOTAL: 2,336 SQ. FT.	FIRST FLOOR AREA: 978 SQ. FT. SECOND FLOOR AREA: 640 SQ. FT. TOTAL: 1,618 SQ. FT.	FIRST FLOOR AREA: 1,311 SQ. FT. SECOND FLOOR AREA: 1,032 SQ. FT. TOTAL: 2,343 SQ. FT.

FIRST FLOOR BUILDING PLAN

SCALE: 1/8" = 1'-0"
 LEGEND:

- MASONRY WALLS
- PART WALLS
- FRAMED NON-BEARING WALLS
- FRAMED BEARING WALLS
- STRUCTURAL COLUMN



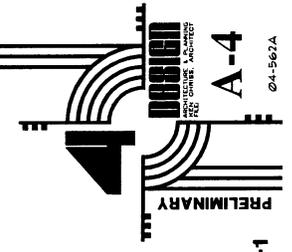
PRELIMINARY

A-5

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PORTOLA - OCEANSIDE, CA

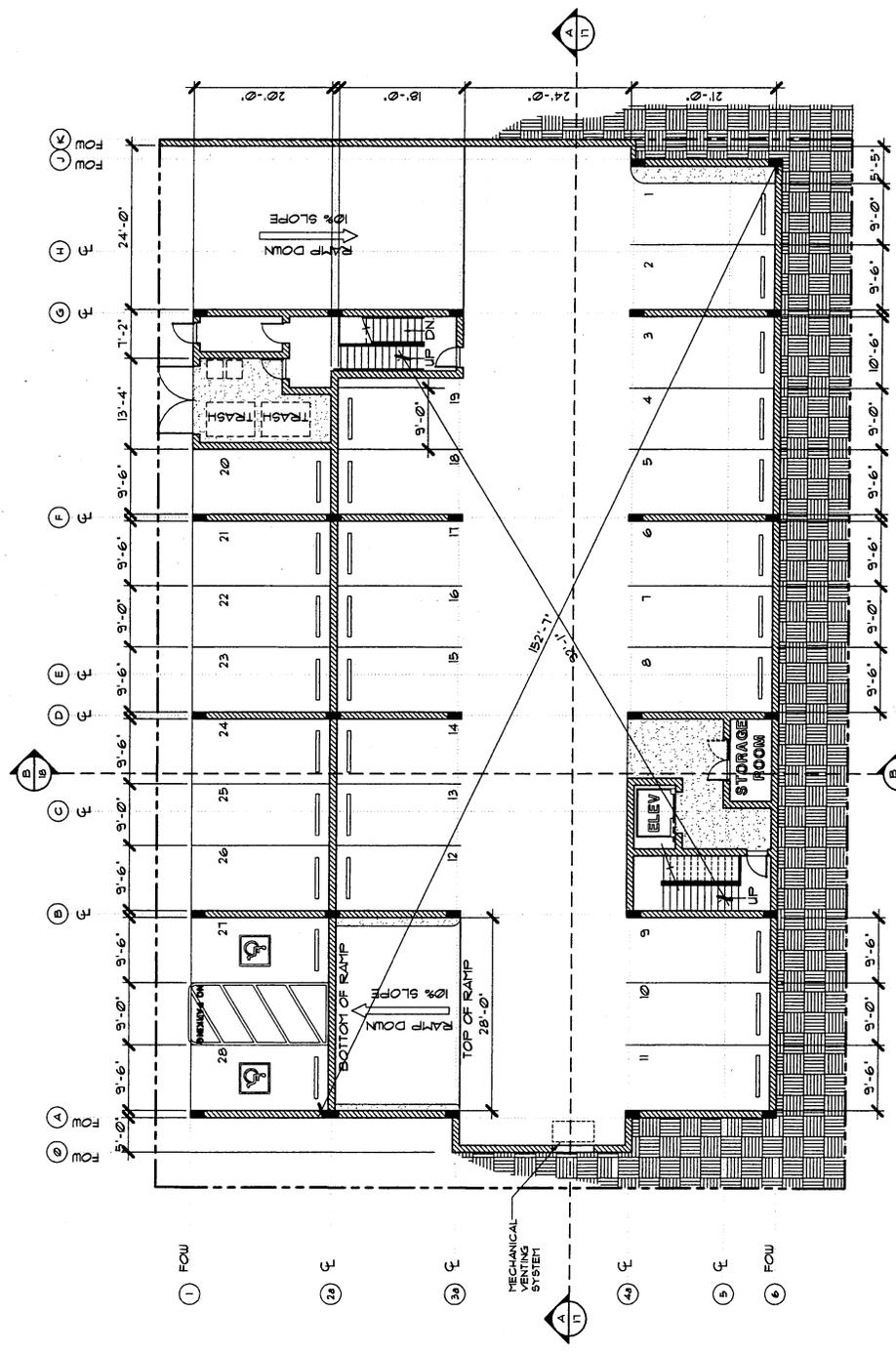


**CONSTRUCTION OUTLINE
 (BASEMENT)**

CONSTRUCTION: CONSTRUCTION TO BE TYPE I,
 3-HR CONCRETE CONSTRUCTED, FIRE
 SPRINKLED.
 FLOORS: BASEMENT FLOOR TO BE A MINIMUM OF
 4" THICK CONCRETE 9' LAB ON GRADE.
 EXTERIOR WALLS: SOLID GROUTED CONCRETE
 BLOCK LAID IN RUNNING BOND.
 INTERIOR BEARING WALLS: SOLID GROUTED
 CONCRETE BLOCKS LAID IN RUNNING BOND.
 INTERIOR NON-BEARING WALLS: TWO HOUR
 CONSTRUCTION PROVIDED WITH TWO LAYERS OF
 TYPE X GYPSUM BOARD EACH SIDE.
 CEILING: EXPOSED CONCRETE.
 DOORS: DOORS ARE TO BE SOLID CORE FULL
 FACE METAL 1-HR RATED. ELEVATOR DOORS TO
 HAVE A 3-HR RATED OH. CLOSURE.
 PAINTING: DOORS AND FRAMES TO BE PAINTED.
 MECHANICAL: ELECTRIC EXHAUST GASSE
 MECHANICAL VENTILATION SYSTEM TO BE
 INSTALLED.
 ELECTRICAL: ALL ELECTRICAL WORK TO BE
 PER THE NATIONAL ELECTRIC CODE. ALL
 ELECTRICAL SERVICE TO BE UNDERGROUND.
 FLUORESCENT CEILING LIGHTS WITH PROTECTIVE
 HOUSING TO BE INSTALLED THROUGHOUT. ALL
 EMERGENCY EXIT LIGHTING TO BE INSTALLED.

BASEMENT -1 STATISTICS

TOTAL BASEMENT AREA 17210 SQ. FT.
 RESIDENTIAL PARKING PROVIDED 9 STALLS
 REQUIRED 2 STALLS/UNIT
 COMMERCIAL PARKING PROVIDED 11 STALLS
 REQUIRED 15 STALLS/LOT
 ADDITIONAL STALLS (NOT REQUIRED) 9 STALLS



BASEMENT FLOOR PLAN -1

SCALE: 1/8" = 1'-0"
 AREA: 17210 SQ. FT.

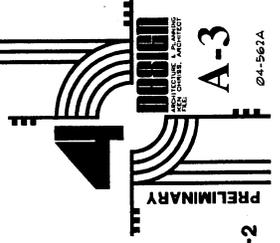
LEGEND:
 [Symbol] MASONRY WALL
 [Symbol] STRUCTURAL COLUMN

FLOOR PLAN BASEMENT -1

PRELIMINARY
 A-4
 04-562A

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 11/01/05
 12/02/06

PORTOLA - OCEANSIDE, CA



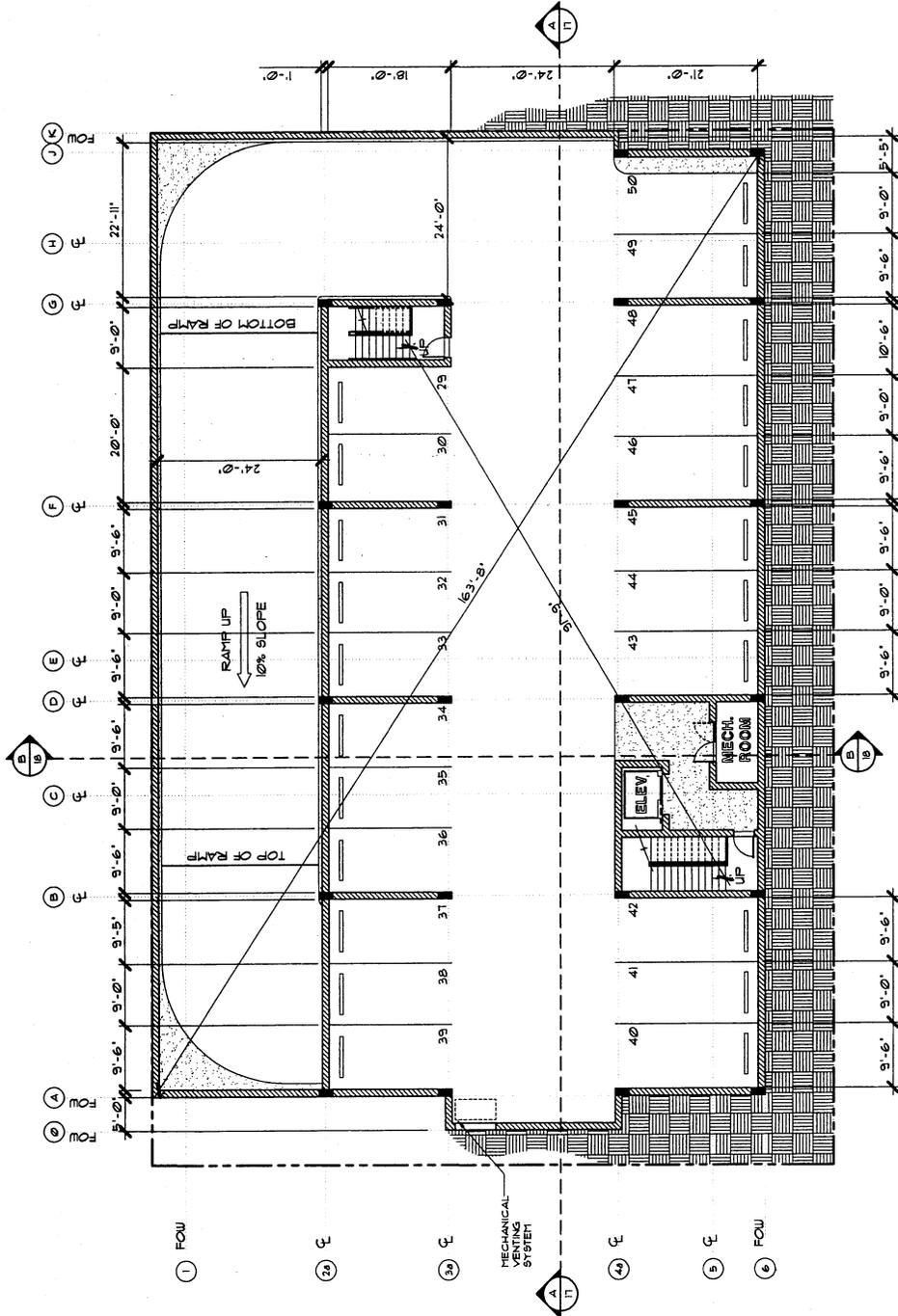
FLOOR PLAN BASEMENT -2

CONSTRUCTION OUTLINE (BASEMENT)

CONSTRUCTION TO BE TYPE I, CONCRETE CONSTRUCTED, FIRE SPRINKLED.
 FLOORS: BASEMENT FLOOR TO BE A MINIMUM OF 4" THICK CONCRETE SLAB ON GRADE.
 EXTERIOR WALLS: SOLID GROUTED CONCRETE BLOCK Laid IN RUNNING BOND.
 INTERIOR BEARING WALLS: SOLID GROUTED CONCRETE BLOCKS Laid IN RUNNING BOND.
 INTERIOR NON-BEARING WALLS: TWO HOUR CONSTRUCTION FRAMED WITH TWO LAYERS OF TYPE 'X' GYPSUM BOARD EACH SIDE.
 CEILING: EXPOSED CONCRETE.
 DOORS: DOORS ARE TO BE SOLID CORE FULL HEIGHT WITH GLASS INSERTS. GLASS PARTS TO HAVE A 3-HR. RATED GLASS INSERT.
 PAINTING: DOORS AND FRAMES TO BE PAINTED.
 MECHANICAL: ELECTRIC EXHAUST GARAGE MECHANICAL VENTILATION SYSTEM TO BE INSTALLED.
 ELECTRICAL: ALL ELECTRICAL WORK TO BE PER THE NATIONAL ELECTRICAL CODE. ALL ELECTRICAL WORK TO BE UNDERGROUND. FLUORESCENT CEILING LIGHTS WITH PROTECTIVE GRILLES TO BE USED THROUGHOUT FOR LIGHTING. EMERGENCY EXIT LIGHTING TO BE INSTALLED.

BASEMENT -2 STATISTICS

TOTAL BASEMENT AREA 12,308 SQ. FT.
 RESIDENTIAL PARKING PROVIDED 72 STALLS
 REQUIRED 7 STALLS/UNIT



BASEMENT FLOOR PLAN -2

SCALE: 1/8" = 1'-0"
 AREA: 12,308 SQ. FT.

- LEGEND:**
- ▨ MASONRY WALL
 - ▬ STRUCTURAL COLUMN

A-3
 PRELIMINARY
 04-567A

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 11/01/05
 11/01/06
 3.3.06

PORTOLA - OCEANSIDE, CA

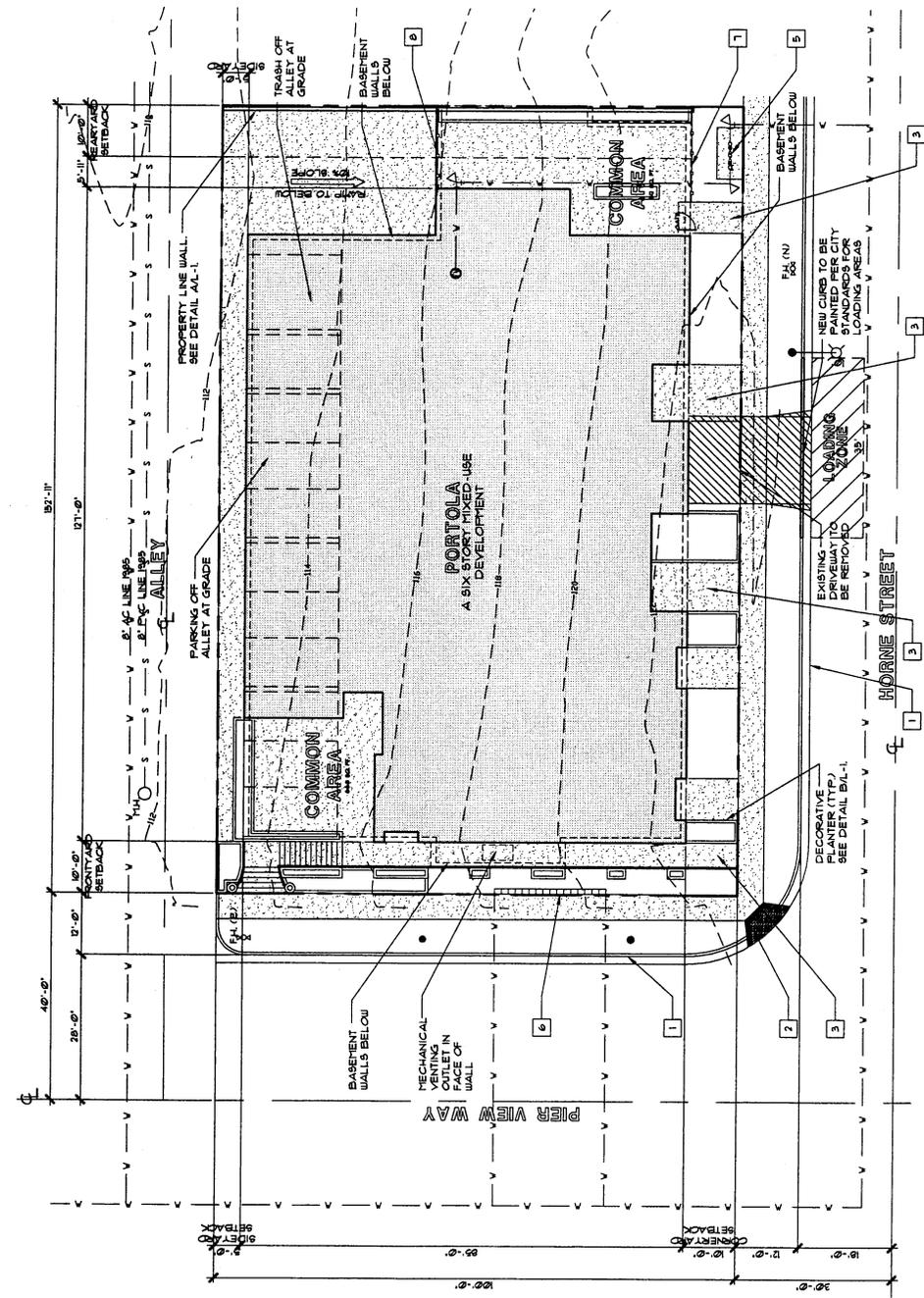
SITE PLAN NOTES:

1. EXISTING CURB AND GUTTER
2. NEW ACCESSIBLE CURB RAMP
3. NEW CONCRETE WALK
4. RAISED PLANTER. SEE LANDSCAPE CONCEPT PLAN
5. FIRE SPRINKLER SHUTOFF VALVE
6. LOCATION OF INDIVIDUAL WATER METERS, A HOUSE WATER METER, AND A SEPARATE LANDSCAPE METER
7. DECORATIVE METAL FENCE SEE LANDSCAPE CONCEPT PLAN, DETAIL DL-1
8. METAL GUARDRAIL FENCE. SEE LANDSCAPE CONCEPT PLAN, DETAIL CL-1

SITE INFORMATION:

SOFT. OF SITE 15,299 SQ. FT.
 SITE ACREAGE 0.351 ACRES
 LANDSCAPING REQUIRED (REQ.) 15% FINL. 20%
 BUILDING HEIGHT ALLOWED 65'-0"
 MECH. EQUIP. / ACCESS HGT. LIMIT 15'-0"
 DENSITY OF RESIDENTIAL UNITS: 15 UNITS
 MAXIMUM 43 UNITS PER ACRE (WITH SUBTERRANEAN PARKING)
 PROPOSED RESIDENTIAL UNITS: 15 UNITS
 PROPOSED COMMERCIAL LIVES/WORK LOFTS: 1

ZONING INFORMATION:
 ZONING: RES. BLDG. (RESIDENTIAL)
 SUBDISTRICT: 3
 SETBACKS:
 CORNER SIDE YARD 10'-0"
 SIDE YARD (ALLEY) 5'-0"
 REAR YARD (ADJACENT TO RESIDENTIAL) 10'-0"
 LAND USE: MIXED USE
 PERMITTED W/CLIP:
 GROSS AREA OF BUILDING 91,266 SQ. FT.
 FINISHED FLOOR AREA 9,868 SQ. FT.
 AREA SQUARE FOOTAGE 9,868 SQ. FT.
 PERCENT OF SITE COVERAGE 65%
 PERCENT OF PROJECT IN STREET PROJECT IN PAVEMENT 0%
 CORTION SPACE 3,666 SQ. FT.



SITE PLAN

SCALE: 3/32" = 1'-0"

- ### LEGEND:
- UP. O UTILITY POLE
 - S.S. STREET SIGN
 - F.H. (N) F.O. NEW FIRE HYDRANT
 - F.H. (E) F.O. EXISTING FIRE HYDRANT
 - EXISTING PALM TREE
 - W.M. WATER METER
 - M.H. MANHOLE
 - STREET LIGHT
 - WATER
 - SEWER
 - EXISTING GRADE

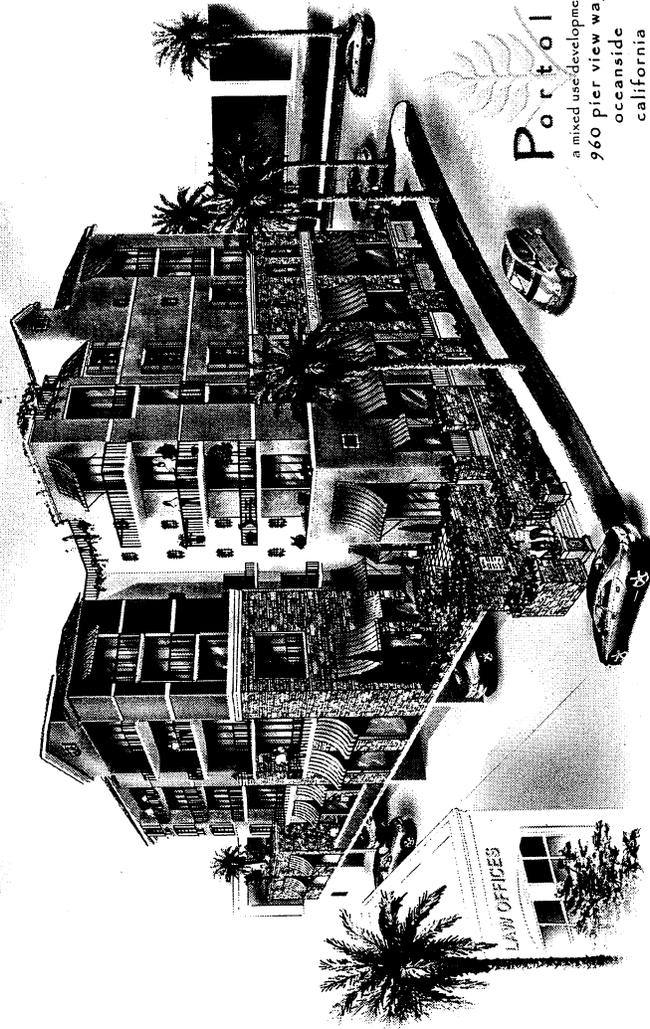
PORTOLA
 PRELIMINARY
 A-2
 JAMES H. HUNTER ARCHITECT
 04-567A

SITE PLAN

RECEIVED

APR 17 2006

OCEANSIDE REDEVELOPMENT



Portola
a mixed use development
960 pier view way
oceanside
california

CIVIL ENGINEER:
MARTIN I. ZIENIAK
CIVIL ENGINEERING
PROFESSIONAL
9960 CANTON SANTA FE
SAN DIEGO, CA 92121
PHONE: (619) 591-9100
FAX: (619) 591-9101

LANDSCAPE:
4 DESIGN ARCHITECTURE + PLANNING
KENNETH L. CHRISB, ARCHITECT
PROFESSIONAL
P.O. BOX 848
OCEANSIDE, CA 92054
PHONE: (760) 433-1185
FAX: (760) 433-1186

TRAFFIC:
LINSCOTT LAU + GREENSPAN ENGINEERS
JOSE NANEZ, TRANSPORTATION PLANNER II
1565 HOTEL CIRCLE SOUTH, SUITE 310
SAN DIEGO, CA 92108
PHONE: (619) 793-5200
FAX: (619) 793-1041

SOILS:
SECCON INCORPORATED
6560 FLANDERS DRIVE
SAN DIEGO, CA 92121
PHONE: (619) 598-6500
FAX: (619) 598-6195

RECEIVED

APR 17 2006

OCEANSIDE REDEVELOPMENT

PROJECT DATA:

SITE INFORMATION:
SOFT. OF SITE
LANDSCAPING REQUIRED (RES.)
LANDSCAPING PROPOSED

ZONING INFORMATION:
GENERAL PLAN
ZONING
FINISHED FLOOR HEIGHT LIMIT

MECH. EQUIP. / ACCESS HGT. LIMIT

DENSITY OF RESIDENTIAL UNITS (WITH SUBTERRANEAN PARKING)

PROPOSED RESIDENTIAL UNITS

PROPOSED RES. SELLABLE AREA

PROPOSED COMMERCIAL LIVE/WORK LOFTS

FLOOR AREA RATIO ALLOWED

FLOOR AREA RATIO PROPOSED

SETBACKS:
FRONT YARD
CORNER SIDE YARD
SIDE YARD (ADJACENT TO RESIDENTIAL)
REAR YARD (ADJACENT TO RESIDENTIAL)

LAND USE:
MIXED USE OF BUILDINGS
PROPOSED BLDG. COVERAGE
AREA SQUARE FOOTAGE
PERCENT OF PROJECT IN STREET
PERCENT OF PROJECT IN PAVEMENT
COMMON SPACE

PARKING:
LOADING SPACES REQUIRED:
RESIDENTIAL
COMMERCIAL
CURB DESIGNATION IN FRONT OF PROJECT
(ON HORNE STREET)

OFF-STREET PARKING REQUIRED:
RESIDENTIAL
COMM-WORK/LIVE LOFTS
OFF-STREET PARKING REQUIRED AND PROVIDED:

RESIDENTIAL
COMM-WORK/LIVE LOFTS
TOTAL:

STALLS DATA
SUBTERRANEAN TYPE:
RESIDENTIAL / COMMERCIAL
OCCUPANCY TYPE:
SUBTERRANEAN PARKING
RESIDENTIAL
COMMERCIAL

SHEET SCHEDULE:

A-1 COVER SHEET
A-2 TITLE SHEET
A-3 TENTATIVE MAP
A-4 GRADING PLAN (ALLEY LEVEL)
A-5 GRADING PLAN (GARAGE LEVEL)
A-6 GRADING PLAN (GARAGE DRIVE PROFILE)
A-7 UTILITY PLAN LEVEL 2
A-8 PRELIMINARY STORM WATER PLAN
A-9 PERMITS GROUND TURN RADIUS EXHIBIT
A-10 CONCEPTUAL LANDSCAPE PLAN
A-11 BASEMENT BUILDING PLAN (7)
A-12 FIRST FLOOR BUILDING PLAN
A-13 SECOND FLOOR BUILDING PLAN
A-14 THIRD FLOOR BUILDING PLAN
A-15 SIXTH FLOOR BUILDING PLAN
A-16 FIFTH FLOOR BUILDING PLAN
A-17 ROOF DECK PLAN
A-18 NORTH EXTERIOR ELEVATION
A-19 EAST EXTERIOR ELEVATION
A-20 WEST EXTERIOR ELEVATION
A-21 SECTION A
A-22 SECTION B

EXHIBITS
A REQUIRED WINDOW EXHIBIT - THIRD FLOOR
B REQUIRED WINDOW EXHIBIT - FOURTH FLOOR
C REQUIRED WINDOW EXHIBIT - FIFTH FLOOR
D REQUIRED WINDOW EXHIBIT - SIXTH FLOOR
E REDEVELOPMENT

A.P.N.:
141-1071-0914

PROJECT ADDRESS:
960 PIER VIEW WAY
OCEANSIDE, CA 92054

LOCATION MAP:
SAN DIEGO COUNTY
THOMAS BROTHERS 1096-A1



OWNER:
PORTOLA INVESTMENTS LLC
1642 TIBURON BLVD., SUITE 14
TIBURON, CA 94920
PHONE: (415) 195-9100

ARCHITECT:
4 DESIGN ARCHITECTURE + PLANNING
KENNETH L. CHRISB, ARCHITECT
PROFESSIONAL
P.O. BOX 848
OCEANSIDE, CA 92054
PHONE: (760) 433-1185
FAX: (760) 433-1186

DESCRIPTION OF WORK:
PORTOLA IS A SIX-LEVEL, MIXED-USE STRUCTURE FOR THE SOUTHWEST SIDE OF PIER VIEW WAY. THE PROJECT CONSISTS OF 15 COMMUNITY UNITS AND 1 WORK/LIVE LOFT UNITS.

TRAFFIC:
1 SPACE - 1' X 35' X 14'
CURB DESIGNATION IN FRONT OF PROJECT
(ON HORNE STREET)

OFF-STREET PARKING REQUIRED:
RESIDENTIAL
COMM-WORK/LIVE LOFTS
OFF-STREET PARKING REQUIRED AND PROVIDED:

RESIDENTIAL
COMM-WORK/LIVE LOFTS
TOTAL:

STALLS DATA
SUBTERRANEAN TYPE:
RESIDENTIAL / COMMERCIAL
OCCUPANCY TYPE:
SUBTERRANEAN PARKING
RESIDENTIAL
COMMERCIAL

SOILS:
SECCON INCORPORATED
6560 FLANDERS DRIVE
SAN DIEGO, CA 92121
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PHONE: (619) 793-5200
FAX: (619) 793-1041

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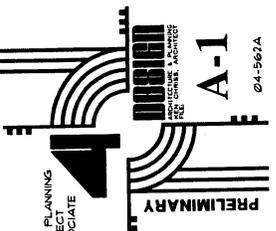
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PORTOLA - OCEANSIDE, CA



A-1

04-562A

CITY OF OCEANSIDE
PLANNING DEPARTMENT

NOTICE OF EXEMPTION

TO: RECORDER/COUNTY CLERK
COUNTY OF SAN DIEGO
P.O. BOX 1750
SAN DIEGO, CA 92112-4147

PROJECT TITLE AND FILE NUMBER:

Portola

PROJECT LOCATION - SPECIFIC:

NW Corner of Horne and Pier View Way
TENTATIVE MAP (T-203-04)
DEVELOPMENT PLAN (D-211-04)
CONDITIONAL USE PERMIT (C-209-04)
VARIANCES (V-209-04)

PROJECT LOCATION - GENERAL:

Horne and Pier View Way
City of Oceanside

DESCRIPTION OF NATURE, PURPOSE AND BENEFICIARIES OF PROJECT:

TENTATIVE MAP (T-203-04), DEVELOPMENT PLAN (D-211-04), CONDITIONAL USE PERMIT (C-209-04) and VARIANCE (V-209-04) for construction of 15 unit multi-family condominium units and 7 live/work lofts situated on a 15,299 sq. ft. site, located at the northwest corner of Horne and Pier View Way streets.

NAME OF PUBLIC AGENCY APPROVING PROJECT:

City of Oceanside

NAME OF PERSON(S) OR AGENCY CARRYING OUT PROJECT:

4-Design Architecture
707 Mission Avenue
Oceanside, CA 92054
(760) 433-1785

Exempt Status per the Guidelines to Implement the California Environmental Quality Act (CEQA)
(Public Resources Code Section 21000 et. al.):

NOT SUBJECT TO CEQA PER THE GENERAL RULE, SECTION 15061(B)(3)

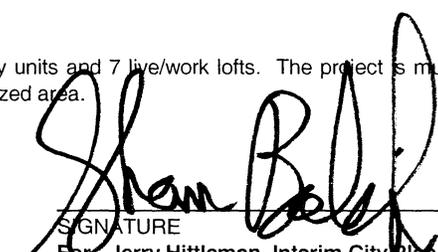
STATUTORY EXEMPTION PER ARTICLE 18, SECTION(S)

CATEGORICAL EXEMPTION PER ARTICLE 19, SECTION 15332(b)

REASONS WHY PROJECT IS EXEMPT:

The project involves the construction of 15 multi-family units and 7 live/work lofts. The project is multi-family housing development situated on a less than 5-acres site within an urbanized area.

Contact Person: Shan Babick, Associate Planner


SIGNATURE

April 17, 2006

DATE

For: Jerry Hittleman, Interim City Planner

CITY HALL, 300 NORTH COAST HIGHWAY, OCEANSIDE CA 92054, TELEPHONE (760) 435-3520, FAX (760) 435-3538