



DATE: June 11, 2007

TO: Chairman and Members of the Planning Commission

FROM: Community Development Department/ Planning Division

SUBJECT: **CONSIDERATION OF A TENTATIVE PARCEL MAP (P-24-06), DEVELOPMENT PLAN (D-33-06), AND CONDITIONAL USE PERMIT (C-52-06), FOR THE SUBDIVISION OF TWO 4,981-SQUARE FOOT LOTS INTO FOUR PARCELS AND CONSTRUCTION OF FOUR NEW ROW HOMES AT 613 AND 617 NORTH HORNE STREET – CALIFORNIA ROW HOMES AT N. HORNE STREET – APPLICANT: JENNA SCIMONE**

RECOMMENDATION

Staff recommends that the Planning Commission by motion:

1. Confirm issuance of a Class 32, Categorical Exemption “In-Fill Development Project”; and,
2. Adopt Planning Commission Resolution No. 2007-P29 approving Tentative Parcel Map (P-24-06), Development Plan (D-33-06), and Conditional Use Permit (C-52-06) with findings and conditions of approval attached herein.

PROJECT DESCRIPTION AND BACKGROUND

Site Review: The project site is located on the west side of North Horne Street, between Windward Way and Surfrider Way and consists of two 0.11-acre parcels developed with single-story 850-square foot single-family ranch style homes built in 1947. The two structures do not qualify under any criteria for nomination and listing in the National Register of Historical Places, California Register for Historical Resources, or the Oceanside Historical Resources Register and are proposed to be demolished as part of the overall project.

The site’s topography creates a stepped down pad toward the west, with a total grade differential of approximately nine (9) feet between the highest point along North Horne Street and the lowest point along the alley way.

The zoning designation for the property is RH (High-Density Residential). The corresponding General Plan designation is HD-R (High-Density Residential), which permits development of the property at a density of 21-28.9 dwelling units per acre. The subject project's density is 18 dwelling units per acre.

Surrounding development and land uses include multi-family residential structures, single-story single-family dwelling units, and a recovery center to the east of North Home Street, south of Surfrider. Adjoining properties to the north and south of the site are developed with single family dwellings.

Project Description: The project application is comprised of three components; Tentative Parcel Map (P-24-06), Development Plan (D-33-06), and Conditional Use Permit (C-52-06), as follows:

Tentative Parcel Map represents a request for the following:

- (a) To subdivide two 4,981-square foot lots into four lots measuring 2,490.5 square feet each (net);

Conditional Use Permit represents a request for the following:

- (a) To permit the development of single-family detached dwelling units on a minimum 2,500-square foot parcels within a High-Density residential district pursuant to Article 10 Section 1050 (HH) of the OZO.

Development Plan represents a request for the following:

- (a) To construct four single-family dwelling units pursuant to the Oceanside Zoning Ordinance. The applicant's project includes two floor plans designed in a California Monterrey and Tuscan style which will be alternated along the proposed four lots. Specific floor plan information for the proposed units is summarized below.

Unit	Stories	Floor Area (Sq. Ft.)	No. of Bedrooms	Garage	Total Usable Outdoor/ Deck Area
Type (1)	4	2,467s.f.	3	422s.f.	1238s.f.
Type (2)	4	2,477s.f.	3	422s.f.	1238s.f.

The applicant proposes a four-lot subdivision and construction of four single-family detached dwelling units that will be oriented so that the garage and off-street parking access will occur off of the alley between Windward and Surfrider Way.

The project is subject to the following Ordinances and City policies:

1. Zoning Ordinance
2. General Plan
3. California Environmental Quality Act (CEQA)
4. The Subdivision Ordinance

ANALYSIS

KEY PLANNING ISSUES

1. **General Plan conformance**

The General Plan Land Use Map designation on the subject property is HD-R (High-Density Residential). The proposed project is consistent with this designation and the goals and objectives of the City's General Plan as follows:

A. Land Use Element

Goal 1.22: Landscaping

Objective: The enhancement of community and neighborhood identity through landscaping requirements that frame and soften the built environment consistent with water and energy conservation.

Policy: C. Drought tolerant materials, including native California plant species, shall be encouraged as a landscape type.

The proposed development will offer a landscaping theme that would utilize a combination of low massing shrub species such as Spanish Lavender, Bird of Paradise, Photinia, New Zealand Flax, Mexican Sage, and groundcover mixed with Trailing Lantana, Dwarf Periwinkle, and African Trailing Daisy. The proposed plant palette which has been incorporated into small planter strips around the perimeter of the property would assist in blending the single-family homes into the surrounding community without being overbearing. The project also proposes to incorporate three (3) Pistache Chinensis trees along North Horne Street, consistent with the City of Oceanside street tree-planting palette. Upon completion of the installation of the proposed landscape palette, the new single-family row homes will provide for a more pleasing environment and enhancement to the community as a whole.

Goal 1.23: Architecture

Objective: The architectural quality of all proposed projects shall enhance neighborhood and community values and City image.

Policy: A. Architectural form, treatments, and materials shall serve to significantly improve on the visual image of the surrounding neighborhood.

The single-family two-story detached row homes are designed in a California Monterey and Tuscan design. In order to provide for a suitable transition from the existing single-story dwelling units that occur along the entire block of Horne Street, the applicant is proposing to setback the second story elements approximately four and five feet. Off-setting the front elevation massing will provide a greater light and shadow play, and will subtly assist in blending the new style of single-family home product into the existing built environment. To further help in introducing a row home type product into the area, the applicant is proposing to finish the row homes with enhanced finish materials and design elements, such as decorative metal railings, a combination of stone veneer and plastered stucco wall treatments, turret elements along the front elevations, and Spanish clay tile roofs. In order to provide

for ample exterior outdoor space for the residents to use, the overall site design is proposing a ground floor patio area along the Horne streetscape, two balconies oriented along the rear elevations toward the west, and a roof top deck centrally located on the each of the two unit types.

2. Zoning Compliance

This project is located in the High-Density Residential (RH) zone district and complies with the requirements of that zone. The following table summarizes proposed and applicable development standards for the project site:

	MINIMUM REQUIRED	PROPOSED
MINIMUM LOT SIZE	2500 sq. ft.	2490.5 sq. ft. (due to early 1900 methods of survey)
PARKING SPACES	2 –Spaces/DU within a garage	2 –Spaces/DU within a garage
FRONTYARD SETBACK	10-ft.	10-ft.
SIDEYARD SETBACK	3-ft.	3-ft.
EXTERIOR SIDE-YARD	N/A	N/A
REARYARD SETBACK (Alley)	5-ft.	5-ft.
LOT WIDTH	25-ft.	24.99-ft
BUILDING HEIGHT	36-ft.	31.5'-ft.
LANDSCAPING	50%	50.4% & 52%

The proposed project meets all applicable requirements of the OZO, with the exception of the minimum lot size and width. The proposed 2,495 and 2,498-square foot lots along with the 24.99-foot wide lot is the result of special circumstances. The project site (APN's 147-052-2 & 3) were established in 1885 as a 50-foot by 100-foot lot based on surveying technology available at that time, and is slightly less in area and width than the actual area and width of the site, as determined by current more precise surveying technology. Due to this negligible lot area and width difference, it has been determined that strict application of the requirements of the Zoning Ordinance would deprive the subject property of privileges enjoyed by other properties in the vicinity and under identical zoning classification. Consequently, staff has determined that the two proposed lots to be created with a minimum lot square footage and lot width less than that required by the zoning code meets the intent of the RH classification, and a variance request is not required.

3. Land Use Compatibility with surrounding developments

LOCATION	GENERAL PLAN	ZONING	LAND USE
Subject Property:	HD-R (High-Density Residential)	RH (High-Density Residential)	Single Family Residential
North of Subject Property	HD-R (High-Density Residential)	RH (High-Density Residential)	Multi/Single Family Residential
East of Subject Property:	Redevelopment Project Area	D (Downtown)	Multi/Single Family Residential
South of Subject Property:	PC (Professional Commercial)	CP (Commercial Professional)	Multi/Single Family Residential
West of Subject Property:	HD-R (High-Density Residential)	RH (High-Density Residential)	Single Family Residential

The proposed single-family residential land use has been determined to be acceptable within General Plan and Zoning Ordinance designated areas of high-density residential. The proposed row homes would provide for a higher density than the currently established single family homes, and would create additional housing stock in the area. Staff has concluded that the design of the subdivision and the type of improvements proposed will not result in any serious public safety or health issues due to the proximity of the site and the types of uses immediately adjacent to the site.

DISCUSSION

Issue: Project Compatibility with the Existing Neighborhood Character: The row-home development project will be generally consistent with the on-going development trend throughout the Townsite area of Oceanside and associated transition from older single-family type homes into higher density units. The subject project would provide additional housing stock for independent ownership consistent with the City's Zoning Ordinance and General Plan vision for higher density residential development. Although a very eclectic mix of design and uses exist throughout the area, no one neighborhood characteristic dominates future direction within the surrounding area. The project has been designed in a manner consistent with row-home type developments found throughout the City and will be compatible with the character of existing development in the immediate area.

Recommendation: Staff finds that the overall design of the project is generally consistent with the existing neighborhood character, and since no known opposition has been voiced through public outreach efforts, staff supports the project as submitted by the applicant.

ENVIRONMENTAL DETERMINATION

Planning Division staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA), 1970. Based on that review, staff finds that the

proposed project constitutes in-fill development in an urbanized area, and the project is categorically exempt, Class 32, "In-Fill Development Projects" (Section 15332 (a-e)).

PUBLIC NOTIFICATION

Pursuant to Article 41 of the Oceanside Zoning Ordinance, legal notice was published in the North County Times and notices were sent to property owners of record within a 300-foot radius of the subject property, to individuals/organizations requesting notification, and to the applicant. Copies of this agenda item have been mailed to the applicant and their representative.

It should be further noted that the applicant has conducted public outreach efforts on the development proposal to the surrounding neighborhood as a courtesy. Approximately eight (8) letters of support have been submitted on the subject development application.

SUMMARY

The proposed Tentative Parcel Map is consistent with the requirements of the Zoning Ordinance and the land use policies of the General Plan. The project meets or exceeds all applicable development standards. The project is compatible in terms of residential product type, density, architecture, landscaping, and site design elements with the surrounding neighborhood. As such, staff recommends that the Planning Commission approve the project based on the findings and subject to the conditions contained in the attached resolution. Staff recommends that the Planning Commission:

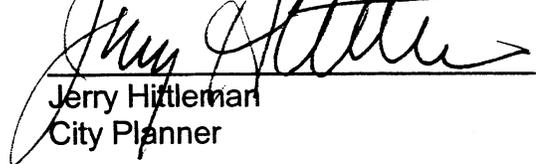
- Move to approve Tentative Parcel Map (P-24-06), Development Plan (D-33-06) and Conditional Use Permit (C-52-06) and adopt Planning Commission Resolution No. 2007-29 as attached.

PREPARED BY:



Richard Greenbauer
Senior Planner

SUBMITTED BY:



Jerry Hittlerman
City Planner

REVIEWED BY:


Amy Volzke, Principal Planner

JH/RG/fil

Attachments:

1. Tentative Parcel Map/Site Plan/Development Plan/Landscape Concept Plan
2. Planning Commission Resolution No. 2007-P29

PROJECT DATA:
PROJECT INFORMATION:
 AREA OF SITE: 10/31/06
 17/27/06
 17/29/07
 19/30/07
 19/30/07

PROJECT DATA:
PROJECT INFORMATION:
 AREA OF SITE: 0.91 ACRES OR 7,408 SQ. FT.
 LOT 1: 0.91 ACRES OR 7,408 SQ. FT.
 LOT 2: 0.91 ACRES OR 7,408 SQ. FT.
 LOT 3: 0.91 ACRES OR 7,408 SQ. FT.
 LOT 4: 0.91 ACRES OR 7,408 SQ. FT.
 TOTAL AREA: 3.76 ACRES OR 32,560 SQ. FT.
 BUILDING HEIGHT ALLOWED: 35'-0"
 HIGH EQUIP. HEIGHT ALLOWED: 45'-0"
 RETRAKES:
 FRONT YARD: 15'-0"
 REAR YARD: 5'-0"
 SIDE YARD: 5'-0"
 ZONING PLAN: RESIDENTIAL HIGH DENSITY RH
 GENERAL PLAN: RESIDENTIAL HIGH DENSITY RH
 ZONINGS:

PROJECT DATA:
PROJECT INFORMATION:
 DENSITY: 71 UNITS/ACRE
 MIN. ALLOWED: 18 UNITS/ACRE
 MAX. ALLOWED: 18 UNITS/ACRE
 PROPOSED DENSITY:
 PARKING REQUIREMENTS:
 REQUIRED PER UNIT: 2.5 STALLS
 PROVIDED PER UNIT: 3.0 STALLS
 BUILDING INFORMATION:
 UNIT AREAS:
 UNIT 1 (TYPE 1): 2,467 SQ. FT.
 UNIT 2 (TYPE 2): 2,471 SQ. FT.
 UNIT 3 (TYPE 1): 2,467 SQ. FT.
 UNIT 4 (TYPE 2): 2,471 SQ. FT.
 TOTAL AREA: 9,876 SQ. FT.

APPROVALS REQUIRED:
 P-24-06, D-33-06, V-11-06, C-97-06
PROJECT DESCRIPTION:
 DEPOSITION OF THE CONSTRUCTION OF FOUR
 NEW SINGLE FAMILY RESIDENCES.
PROJECT ADDRESS:
 1100 N. HORNE STREET
 OCEANVIEW, CA 92661

APN:
 141-097-01-03
LOCATION MAP:
 OCEANVIEW, CALIFORNIA
 TUCUMAN BROTHERS

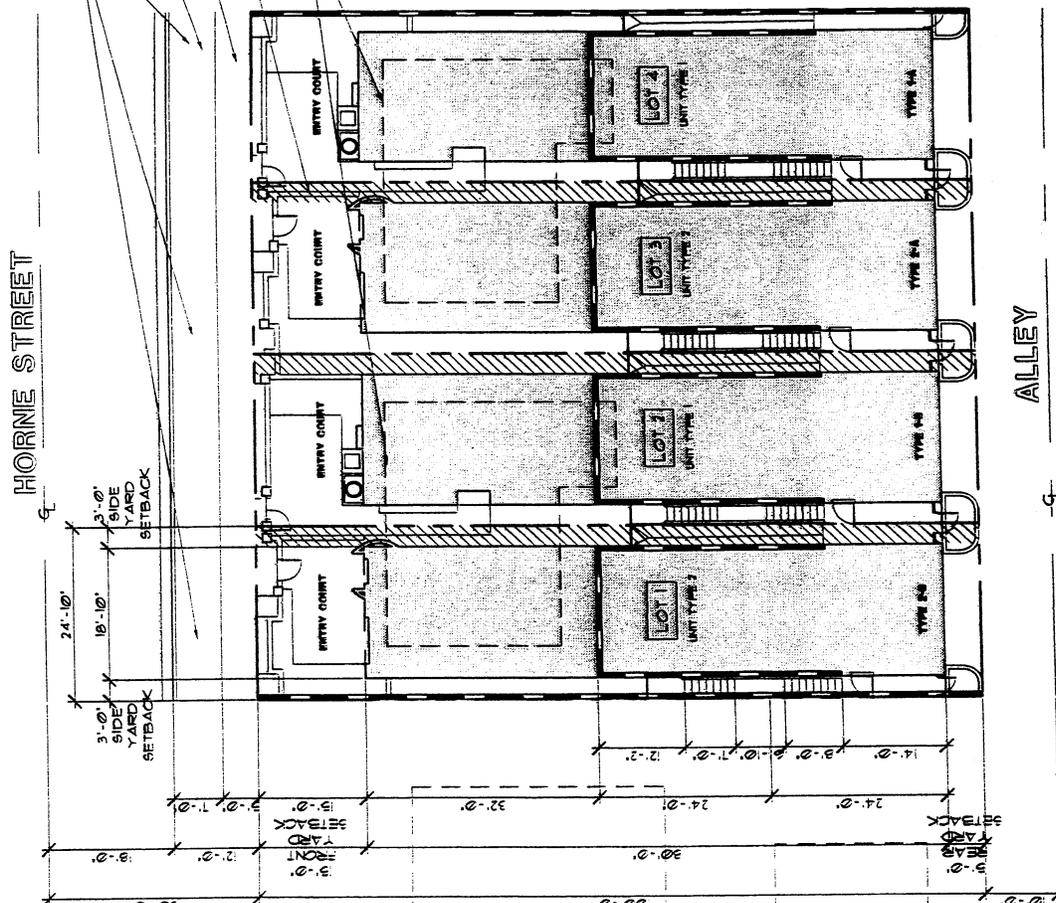
CLIENT/APPLICANT:
 C. W. WILSON, ARCHITECT
 1100 N. HORNE STREET
 OCEANVIEW, CA 92661
ARCHITECT:
 4 DESIGN ARCHITECTURE & PLANNING
 1100 N. HORNE STREET
 P.O. BOX 848
 OCEANVIEW, CA 92661
 PHONE: (760) 433-1100
 FAX: (760) 433-1100

SOILS CONSULTANT:
 GREGORY D. HAYES, P.E.
 2734 WY. ROAD
 OCEANVIEW, CA 92661
 (760) 685-8586
CIVIL ENGINEER:
 ELIZABETH L. GUNDEL
 5141 PALMER WAY
 CARLSBAD, CA 92008
 (760) 434-3165
PLANNING CONSULTANT:
 1100 N. HORNE STREET
 OCEANVIEW, CA 92661
 (760) 433-1100
HISTORIAN:
 RUTH ALLEN
 ARCHAEON, INC.
 1009 GOLDEN BIRCH WAY
 SAN DIEGO, CA 92101
 (619) 595-7000

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SINGLE FAMILY RESIDENCE

RECEIVED
MAY 31 2007
 Planning Department

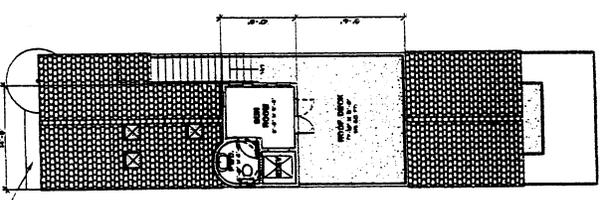
SITE PLAN
 SCALE: 1/8" = 1'-0"

RESURANCE NORTH

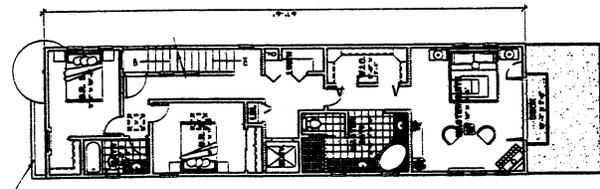
10/31/06
1/22/06
3/23/07
5/30/07

CALIFORNIA ROW HOMES ON HORNE - OCEANSIDE

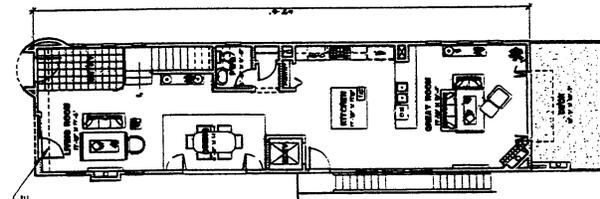
4
06-605A



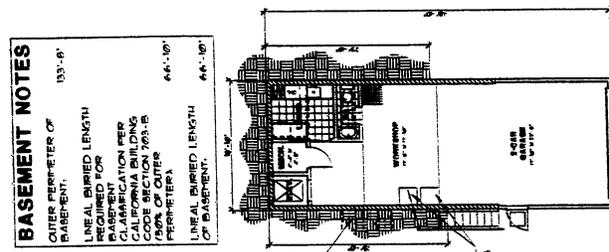
ROOF DECK
AREA: 318 SQ. FT.
ROOF DECK AREA: 318 SQ. FT.



SECOND FLOOR
AREA: 1849 SQ. FT.
DECK AREA: 318 SQ. FT.



FIRST FLOOR
AREA: 1716 SQ. FT.
DECK/COURT AREA: 818 SQ. FT.



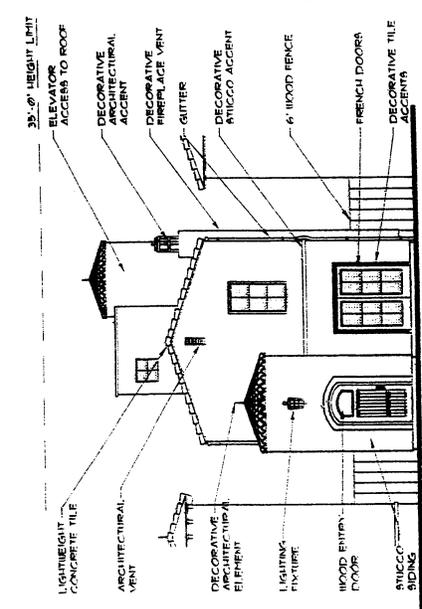
BASEMENT
AREA: 6170 SQ. FT.
GARAGE AREA: 6170 SQ. FT.

BASEMENT NOTES

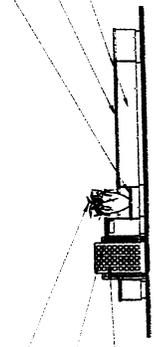
OUTER PERIMETER OF BASEMENT: 133'-0"

LINEAL BURIED LENGTH FOR BARRIERS FOR CALIFORNIA BUILDING CODE SECTION 703-B (100% OF OUTER PERIMETER)

LINEAL BURIED LENGTH OF BASEMENT: 644'-10"



EAST ELEVATION
SCALE: 3/8" = 1'-0"

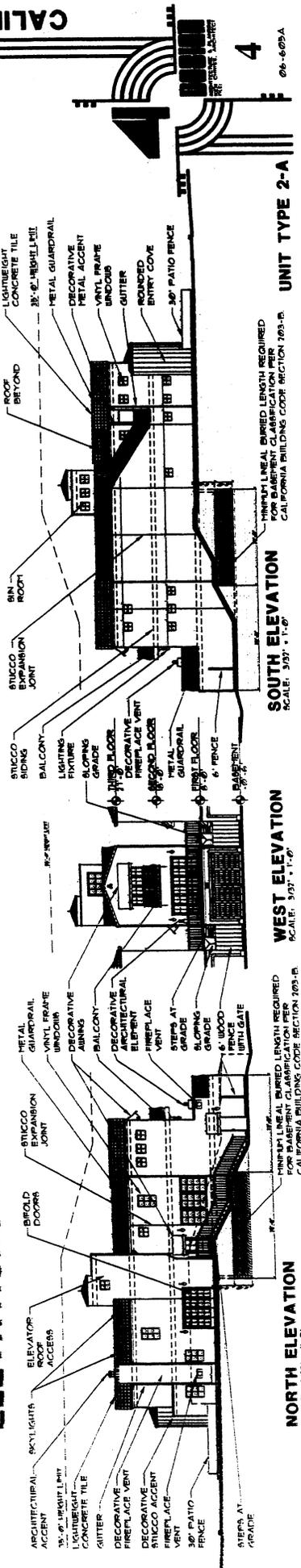


FENCE ELEVATION
SCALE: 3/8" = 1'-0"

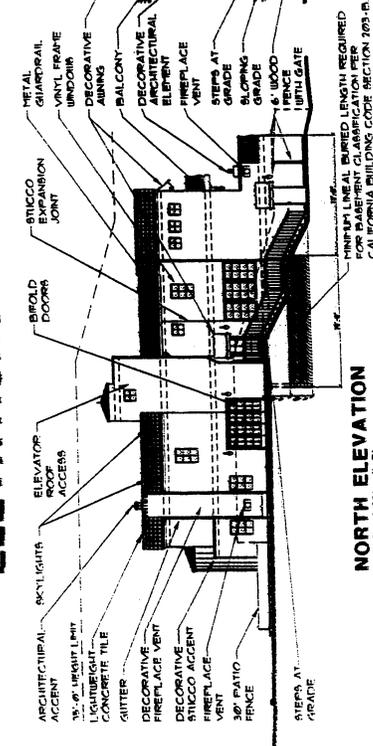


FLOOR PLANS
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



NORTH ELEVATION
SCALE: 3/32" = 1'-0"

WEST ELEVATION
SCALE: 3/32" = 1'-0"

UNIT TYPE 2-A

MINIMUM LINEAL BURIED LENGTH REQUIRED FOR BARRIERS FOR CALIFORNIA BUILDING CODE SECTION 703-B

MINIMUM LINEAL BURIED LENGTH REQUIRED FOR BARRIERS FOR CALIFORNIA BUILDING CODE SECTION 703-B

103106
 712106
 93106
 93107

CALIFORNIA ROW HOMES ON HORNE - OCEANSIDE

CONSTRUCTION OUTLINE

CONSTRUCTION TO BE TYPE V WOOD FRAME, NON-RATED CONSTRUCTION.

FLOORS, GARAGE FLOOR TO BE POURED IN PLACE CONCRETE. OTHER FLOORS TO BE PL-WOOD OVER WOOD FLOOR FRAMING. EXTERIOR DECKS TO BE 2" THICK MEMBRANE OVER PL-WOOD AND WOOD FRAMING.

EXTERIOR WALLS, EXTERIOR WALLS ARE TO BE CONCRETE ON GRADE. INTERIOR WALLS AT THE EXTERIOR AND GYPSUM BOARD AT THE INTERIOR.

INTERIOR WALLS, NONBEARING WOOD FRAMING WITH GYPSUM BOARD COVERING WITH SPRAY ON FIBROGLASS INSULATION.

ROOFING: ALL ROOFS TO BE LIGHTWEIGHT CONCRETE ROOFING TILE.

EXTERIOR DECKS, ALL EXTERIOR DECKS TO HAVE POSITIVE DRAINAGE AND HAVE A WEATHERPROOF MEMBRANE.

EXTERIOR SIDING, ALL EXTERIOR WALLS TO RECEIVE STICCO SIDING AND FINISH WITH AN EXTERIOR FINISH.

INSULATION, ALL EXTERIOR WALLS TO RECEIVE INSULATION. ALL ATTIC SPACES TO RECEIVE FIBERGLASS BATT INSULATION TO MEET TITLE 74 REGULATIONS.

DOORS, EXTERIOR ENTRANCE DOORS TO BE SOLID CORE WOOD WITH GLAZERS AND FIRE RATED AS REQUIRED. INTERIOR DOORS TO BE 1-3/8" RAISED PANEL FIBERGLASS DOORS.

METAL, ALL EXPOSED METAL TO BE COPPER.

GLASS AND GLAZING, ALL WINDOWS TO BE VINYL FINISHED. ALL GLAZING TO BE DELIVERED PRE-GLAZED AND WITH SCREENS.

CABINETS, ALL CABINETS TO BE HARDWOOD CURTAIN BRACE.

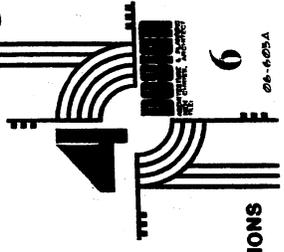
PAINTING, EXTERIOR EXPOSED WOOD TO RECEIVE TWO COATS OF LEAD-BASED COAT PRIMER AND ONE COAT PAINT. WORKMANSHIP TO BE IN THE BEST PRACTICE AND WITH QUALITY MATERIALS.

PLUMBING, ALL FIXTURES TO BE AMERICAN STANDARD OR AN APPROVED EQUAL. ALL PLUMBING TO BE INSTALLED AS PER THE UPC. WATER CLOSURES TO BE GAS-FIRED.

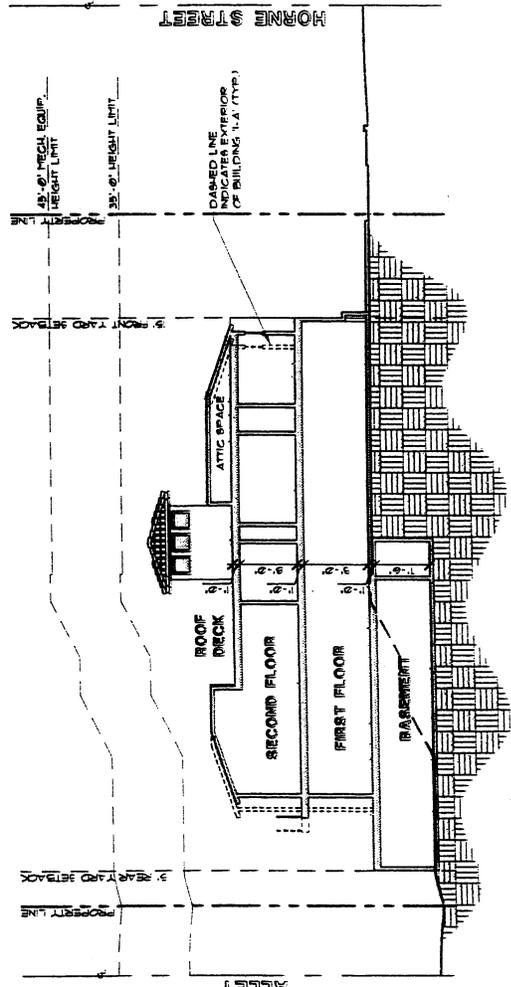
MECHANICAL, CENTRAL FORCED AIR HEATING/COOLING SYSTEM SHALL BE INSTALLED. A 14" SQUARE ROOM FAN SHALL BE INSTALLED. GAS SUPPLY SHALL BE INSTALLED ON DECK AND ROOF DECK.

ELECTRICAL, ALL ELECTRICAL WORK TO BE PER THE NATIONAL ELECTRIC CODE. ALL ELECTRICAL SERVICE TO BE UNDERGROUND.

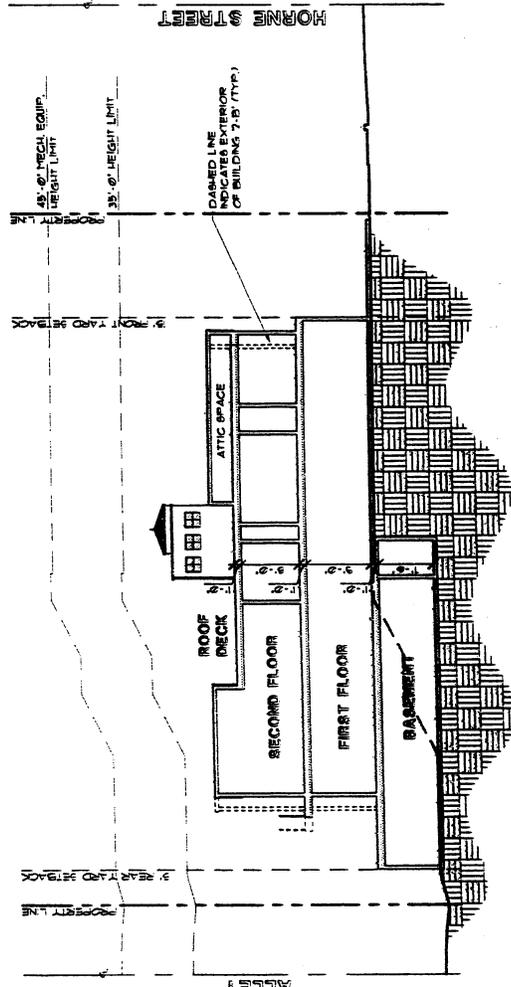
OTHER, INSTALL CENTRAL VACUUM SYSTEM AND BUILT-IN SOUND SYSTEM.



BUILDING SECTIONS



SECTION A-A - BLDG. 1-A



SECTION B-B - BUILDING 2-B

BUILDING SECTIONS

SCALE: 1/8" = 1'-0"

LANDSCAPE CALCULATIONS:

- LOT 1**
AREA OF LOT 2,489 SQ. FT.
AREA OF BLDG. CVRG. 15,063 SQ. FT.
AREA OF DRIVEWAY 831 SQ. FT.
LANDSCAPING REQUIRED 1,855 SQ. FT. OR 9.0%
PROPOSED 191.0 SQ. FT. OR 9.4%
- LOT 2**
AREA OF LOT 2,489 SQ. FT.
AREA OF BLDG. CVRG. 14,911 SQ. FT.
AREA OF DRIVEWAY 831 SQ. FT.
LANDSCAPING REQUIRED 1,855 SQ. FT. OR 9.0%
PROPOSED 191.0 SQ. FT. OR 9.4%
- LOT 3**
AREA OF LOT 2,489 SQ. FT.
AREA OF BLDG. CVRG. 15,063 SQ. FT.
AREA OF DRIVEWAY 831 SQ. FT.
LANDSCAPING REQUIRED 1,855 SQ. FT. OR 9.0%
PROPOSED 191.0 SQ. FT. OR 9.4%
- LOT 4**
AREA OF LOT 2,489 SQ. FT.
AREA OF BLDG. CVRG. 15,063 SQ. FT.
AREA OF DRIVEWAY 831 SQ. FT.
LANDSCAPING REQUIRED 1,855 SQ. FT. OR 9.0%
PROPOSED 191.0 SQ. FT. OR 9.4%

CONCEPTUAL PLANT LIST:

- TREES (15 GALLON MIN.)
ARCHONTOPOBIX ALEXANDRAE - KING PALM
- TREES (75 GALLON MIN.)
ERICORITRYA DEPLEXA - BROUZE LOGIAT
- TREES (15 GALLON MIN.)
MISTACHE CANNIBIS - KETHU DAVEY
- SHRUBS (1 AND 3 GAL.)
BURNING BUSH - SPANISH LAVENDER
STREPTOCARPA - GOLDEN SHIRAZ DAIRY
EQUISETARIUM - BIRD OF PARADISE
PHORNIUM TENAX - JACK BRAT - NEW ZEALAND FLAX
LYNCHIA CALYPTARIA - MEXICAN SAGE
ACUBA JAPONICA - JAPANESE ACUBA
PITHECOPHILUS INDULATIF - VICTORIAN BOY
AGAPANTHUS HYBRIDUS 'INKERBELL' - LILY OF THE LILIE
- GROUNDCOVERS (1 GAL. AND FLATS)
LANTANA MONTEVIDENSIS - TRAILING LANTANA
LANTANA CAMERATA - TRAILING LANTANA
OSTENTHOPEA FRUTICOSA - AFRICAN TRAILING DAIRY
- * 1" - 2" - 3" - 4" - 6" - 8" - 10" - 12" - 18" - 24" - 36" - 48" - 60" - 72" - 84" - 96" - 108" - 120" - 144" - 168" - 192" - 216" - 240" - 270" - 300" - 360" - 420" - 480" - 540" - 600" - 660" - 720" - 780" - 840" - 900" - 960" - 1020" - 1080" - 1140" - 1200"

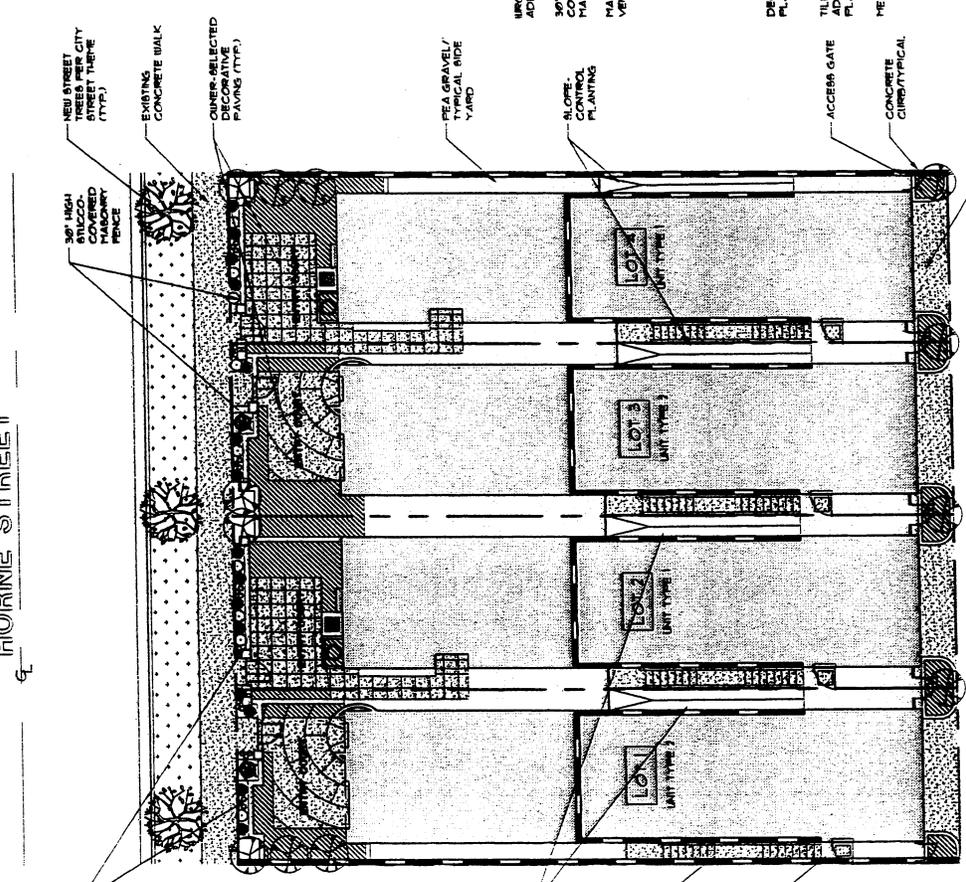
IRRIGATION NOTES

AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE COVERAGE FOR ALL PLANTING AREAS SHOWN ON THIS PLAN. PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH A MINIMUM WATER LOSS DUE TO WATER RUN-OFF. ALL LANDSCAPE AND IRRIGATION SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF OCEANSIDE LANDSCAPE GUIDELINES AND SPECIFICATIONS FOR LANDSCAPE DEVELOPMENT, CITY ORDINANCE 3048 AND THE WATER CONSERVATION ORDINANCE 091-15.

IN ALL DRIP IRRIGATION AREAS, 3" OF BARK MULCH SHALL BURY ALL TUBING AND STAKES. IF STATIC WATER PRESSURE IS 80 PSI OR GREATER, A PRESSURE REGULATOR SHALL BE INSTALLED.

PLANTING NOTES

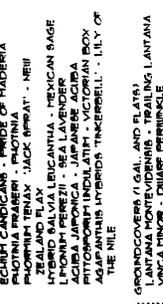
- THE SELECTION OF PLANT MATERIAL IS BASED ON CLIMATIC AND SOIL CONDITIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH SOIL CONDITIONER, FERTILIZERS, AND UPON APPROPRIATE SUPPLEMENTATION, AND UPON SOIL SAMPLES TAKEN FROM THE SITE.
- THE PLANTING DESIGN AND CONCEPTUAL PLANT PALETTE SHALL CONFORM TO THE GUIDELINES OF THE CITY OF OCEANSIDE LANDSCAPE GUIDELINES. THE DESIGN SHALL PROVIDE COLOR AND TEXTURAL CONTRASTS WITH EMPHASIS ON BOLD TROPICAL ACCENTS.
- ALL PLANTED AREAS ARE TO BE MAINTAINED UNLESS OTHERWISE NOTED.
- PLANTING AREAS SHALL BE A MINIMUM OF FOUR FEET IN WIDTH IF CONTAINING TREES.
- HARDSCAPE SHALL NOT EXCEED 50% OF THE REQUIRED FRONT YARD OR 1855 SQ. FT.
- EACH UNIT'S FRONT YARD SHALL BE PROVIDED WITH A MINIMUM OF 15 SHRUBS AND BARK MULCH OR GROUND COVER.



FENCE ELEVATION-UNIT TYPE 1
SCALE: 3/16" = 1'-0"



FENCE ELEVATION-UNIT TYPE 2
SCALE: 3/16" = 1'-0"



SIDE YARD LOT USAGE

LOT	NORTH		SOUTH	
	HARDSCAPE	SOFTSCAPE	HARDSCAPE	SOFTSCAPE
1	81.07/45%	89.07/46%	21.07/40%	216.07/40%
2	150.07/24%	160.07/45%	0.07/0%	240.07/40%
3	81.07/45%	89.07/46%	21.07/40%	216.07/40%
4	150.07/24%	160.07/45%	0.07/0%	240.07/40%

LANDSCAPE CONCEPT PLAN
SCALE: 1/8" = 1'-0"



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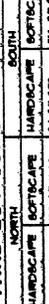
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1
2 PLANNING COMMISSION
3 RESOLUTION NO. 2007-P29

4 A RESOLUTION OF THE PLANNING COMMISSION OF THE
5 CITY OF OCEANSIDE, CALIFORNIA APPROVING A
6 TENTATIVE PARCEL MAP, DEVELOPMENT PLAN, AND
7 CONDITIONAL USE PERMIT ON CERTAIN REAL PROPERTY
8 IN THE CITY OF OCEANSIDE

8 APPLICATION NO: P-24-06, D-33-06 and C-52-06
9 APPLICANT: Jenna Scimone
10 LOCATION: 613 and 617 North Horne Street

10 THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES
11 RESOLVE AS FOLLOWS:

12 WHEREAS, there was filed with this Commission a verified petition on the forms
13 prescribed by the Commission requesting a Tentative Parcel Map, Development Plan and
14 Conditional Use Permit under the provisions of Articles 10, 41 and 43 of the Zoning Ordinance of
15 the City of Oceanside to permit the following:

16 a four-lot subdivision, and construction of four single-family detached dwellings;
17 on certain real property described in the project description.

18 WHEREAS, the Planning Commission, after giving the required notice, did on the 11th day
19 of June, 2007 conduct a duly advertised public hearing as prescribed by law to consider said
20 application.

21 WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State
22 Guidelines thereto; this project has been found to be categorically exempt per Article 19, Section
23 15303, "New Construction or Conversion of Small Structures" from further environmental review;

24 WHEREAS, there is hereby imposed on the subject development project certain fees,
25 dedications, reservations and other exactions pursuant to state law and city ordinance;

26 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the
27 project is subject to certain fees, dedications, reservations and other exactions as provided below:
28
29

<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
Parkland Dedication/Fee	Ordinance No. 91-10 Resolution No. 06-R0334-1	\$3,503 per unit
Drainage Fee	Ordinance No. 85-23 Resolution No. 06-R0334-1	Depends on area (range is \$2,843-\$15,964 per acre)
Public Facility Fee	Ordinance No. 91-09 Resolution No. 06-R0334-1	\$2,072 per unit for residential
School Facilities Mitigation Fee	Ordinance No. 91-34	\$2.63 per square foot residential
Traffic Signal Fee	Ordinance No. 87-19 Resolution No. 06-R0334-1	\$15.71 per vehicle trip
Thoroughfare Fee	Ordinance No. 83-01 Resolution No. 06-R0334-1	\$255 per vehicle trip
Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 05-OR 0611-1	Fee based on water meter size. Residential is typically \$3,746 per unit.
Wastewater System Buy-in fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 05-OR 0610-1	Based on capacity or water meter size. Residential is typically \$4,587 per unit.
San Diego County Water Authority Capacity Fees	SDCWA Ordinance No. 2005-03	Based on meter size. Residential is typically \$4,154 per unit.
Inclusionary housing in lieu fees—Residential only.	Chapter 14-C of the City Code.	\$1,000 per development project + \$100 per unit plus \$10,275 per unit.

WHEREAS, the current fees referenced above are merely fee amount estimates of the impact fees that would be required if due and payable under currently applicable ordinances and resolutions, presume the accuracy of relevant project information provided by the applicant, and are not necessarily the fee amount that will be owing when such fee becomes due and payable;

1 WHEREAS, unless otherwise provided by this resolution, all impact fees shall be calculated
2 and collected at the time and in the manner provided in Chapter 32B of the Oceanside City Code
3 and the City expressly reserves the right to amend the fees and fee calculations consistent with
4 applicable law;

5 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,
6 dedication, reservation or other exaction to the extent permitted and as authorized by law;

7 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that
8 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction
9 described in this resolution begins on the effective date of this resolution and any such protest must
10 be in a manner that complies with Section 66020;

11 WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes
12 effective 10 days from its adoption in the absence of the filing of an appeal or call for review;

13 WHEREAS, studies and investigations made by this Commission and in its behalf reveal
14 the following facts:

15 FINDINGS:

16 For the Tentative Parcel Map:

- 17 1. The proposed subdivision creates parcels that are consistent with the requirements of the
18 RH (High Density Residential) Zoning and General Plan designations in that the density
19 of the subdivision would result in a density of 18 dwelling units per acre.
- 20 2. The proposed building pads on the site will conform to the sloping topography of the site;
21 thus, making the 9,962-square foot (approx.) site physically suitable for the development
22 of four residential lots.
- 23 3. The subdivision complies with all other applicable ordinances, regulations and guidelines
24 of the City.
- 25 4. The design of the subdivision or proposed improvements will not conflict with
26 easements, acquired by the public at large, for access through, or the use of, property
27 within the subdivision, in that the subdivision will maintain access for the four newly
28 created parcels via the existing alley way between Windward Way and Surfrider Way.
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5. The design of the subdivision or the proposed improvements will not cause substantial environment damage or substantially and avoidably injure fish or wildlife or their habitat, in that the site exists as a fully developed residential lot.

For the Development Plan:

1. The site plan and physical design of the project is consistent with the Zoning Ordinance and the underlying RH (High Density Residential) zoning district.
2. The Development Plan conforms to the General Plan of the City.
3. The project site can be adequately served by existing public facilities, services and utilities.
4. The project, as proposed, is compatible with the existing and potential development on adjoining properties or in the surrounding neighborhood.
5. The site plan and parameters for the architecture and physical design of the project is consistent with the policies contained within Sections 1.22 and 1.23 of the Land Use Element of the General Plan.

For the Conditional Use Permit to allow for the Small-Lot Development:

1. The proposed development is located within the High Density Residential zone and meets or exceeds all applicable development requirements of the subject district as designed and presented.
2. The location and conditions under which the subject application is approved insures that the project will not cause detriment to the public health safety or welfare of persons residing or working in or adjacent to the project area.
3. The project has been adequately conditioned or designed to comply with applicable requirements of the Zoning Ordinance.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby approve Tentative Parcel Map (P-24-06), Development Plan (D-33-06), and Conditional Use Permit (C-52-06), subject to the following conditions:

Building:

1. Applicable Building Codes and Ordinances shall be based on the date of submittal for Community Development Department/Building Division plan check.

1. The granting of approval under this action shall in no way relieve the applicant/project from compliance with all State and local building codes.
2. The building plans for this project are required by State Law to be prepared by a licensed architect or engineer and shall be in compliance with this requirement prior to submittal for building plan review.
3. All electrical, communication, CATV, etc. service lines, within the exterior lines of the property shall be underground (City Code Sec. 6.30).
4. Compliance with the Federal Clean Water Act (BMPs) shall be demonstrated on the plans.
5. A complete soils report, structural calculations and energy calculations/documentation shall be required at time of plans submittal to the Building Division for plan check.
6. Separate/unique addresses shall be required to facilitate utility releases. Verification that the addresses have been properly assigned by the Community Development Department/Planning Division shall accompany the building permit application.
7. A demolition permit shall be required for the demolition of any existing structures. Plans for the demolition permit shall clearly show that all utilities (electric, gas, water and sewer) are properly terminated/capped in accordance with the requirements of the utility service provider. All/any underground septic or water storage tanks shall be removed or filled in accordance with the Uniform Plumbing Code and or the City's Grading Ordinance.

Engineering:

8. The project involves demolition of existing structures and surface improvements. The grading plans shall be submitted and erosion control plans be approved by the City Engineer prior to the issuance of a demolition permit. No demolition shall be permitted without an approved erosion control plan.
9. Vehicular access rights to Horne Street shall be relinquished to the City from all abutting lots.
10. All right-of-way alignments, street dedications, exact geometrics, widths, and improvements shall comply with current city standards as required by the City Engineer.
11. Design and construction of all improvements shall be in accordance with standard plans, specifications of the City of Oceanside and subject to approval by the City Engineer.

- 1 12. Prior to issuance of a building permit all improvement requirements shall be covered by
2 a development agreement and secured with sufficient improvement securities or bonds
3 guaranteeing performance and payment for labor and materials, setting of monuments,
4 and warranty against defective materials and workmanship.
- 5 13. The approval of the tentative parcel map shall not mean that closure, vacation, or
6 abandonment of any public street, right-of-way, easement, or facility is granted or
7 guaranteed to the developer. The developer is responsible for applying for all closures,
8 vacations, and abandonments as necessary. The application(s) shall be reviewed and
9 approved or rejected by the City of Oceanside under separate process(es) per codes,
10 ordinances, and policies in effect at the time of the application.
- 11 14. Prior to approval of the final parcel map, all improvement requirements shall be covered
12 by a subdivision agreement and secured with sufficient improvement securities or bonds
13 guaranteeing performance and payment for labor and materials, setting of monuments,
14 and warranty against defective materials and workmanship.
- 15 15. Prior to approval of the final parcel map a phasing plan for the construction of public
16 and private improvements including landscaping and street improvements shall be
17 approved by the City Engineer. All improvements shall be under construction to the
18 satisfaction of the City Engineer prior to the issuance of any building permits. All
19 improvements shall be completed prior to issuance of any certificates of occupancy.
- 20 16. Pursuant to the State Map Act, improvements shall be required at the time of
21 development. A covenant, reviewed and approved by the City Attorney, shall be
22 recorded attesting to these improvement conditions and a certificate setting forth the
23 recordation shall be placed on the map.
- 24 17. The developer shall monitor, supervise and control all construction and construction-
25 supportive activities, so as to prevent these activities from causing a public nuisance,
26 including but not limited to, insuring strict adherence to the following:
27 18. Dirt, debris, and other construction material shall not be deposited on any public street or
28 within the City's stormwater conveyance system.
29 19. All grading and related site preparation and construction activities shall be limited to the
hours of 7:00 a.m. to 6:00 p.m., Monday through Friday. o engineering related

1 construction activities shall be conducted on Saturdays, Sundays or legal holidays unless
2 written permission is granted by the City Engineer with specific limitations to the working
3 hours and types of permitted operations. All on-site construction staging areas shall be as
4 far as possible (minimum 100 feet) from any existing residential development. Because
5 construction noise may still be intrusive in the evening or on holidays, the City of
6 Oceanside Noise Ordinance also prohibits "any disturbing excessive, or offensive noise
7 which causes discomfort or annoyance to reasonable persons of normal sensitivity."

8 20. The construction site shall accommodate the parking of all motor vehicles used by
9 persons working at or providing deliveries to the site.

10 21. A haul route shall be obtained at least 7 days prior the start of hauling operations and
11 must be approved by the City Engineer. Hauling operations shall be 8:00 a.m. to 3:30
12 p.m. unless approved otherwise.

13 22. A traffic control plan shall be prepared according to the City traffic control guidelines
14 and be submitted to and approved by the City Engineer prior to the start of work within
15 open City rights-of-way. Traffic control during construction of streets that have been
16 opened to public traffic shall be in accordance with construction signing, marking and
17 other protection as required by the Caltrans Traffic Manual and City Traffic Control
18 Guidelines. Traffic control plans shall be in effect from 8:00 a.m. to 3:30 p.m. unless
19 approved otherwise.

20 23. Approval of this development project is conditioned upon payment of all applicable
21 impact fees and connection fees in the manner provided in chapter 32B of the Oceanside
22 City Code. All drainage fees, traffic signal fees and contributions, highway thoroughfare
23 fees, park fees, reimbursements, and other applicable charges, fees and deposits shall be
24 paid prior to recordation of the map or the issuance of any building permits, in
25 accordance with City Ordinances and policies. The developer shall also be required to
26 join into, contribute, or participate in any improvement, lighting, or other special district
27 affecting or affected by this project. Approval of the tentative parcel map (project) shall
28 constitute the developer's approval of such payments, and his agreement to pay for any
29 other similar assessments or charges in effect when any increment is submitted for final
parcel map or building permit approval, and to join, contribute, and/or participate in such

- 1 districts.
- 2 24. Horne Street along the project frontage shall be improved with standard curb, gutter, and
3 sidewalk.
- 4 25. Horne Street along the project frontage shall provide a minimum of 10 feet parkway
5 between the face of curb and the right of way line. Sidewalk improvements shall comply
6 with ADA requirements.
- 7 26. Sight distance requirements at the project driveway or street shall conform to the corner
8 sight distance criteria as provided by the California Department of Transportation
9 Highway Design Manual.
- 10 27. Streetlights shall be maintained and installed on all public streets per City Standards.
11 The system shall provide uniform lighting, and be secured prior to occupancy. The
12 developer shall pay all applicable fees, energy charges, and/or assessments associated
13 with City-owned (LS-2 rate schedule) streetlights and shall also agree to the formulation
14 of, or the annexation to, any appropriate street lighting district.
- 15 28. Prior to approval of the grading plans, the developer shall contract with a geotechnical
16 engineering firm to perform a field investigation of the existing pavement on all streets
17 adjacent to the project boundary. The limits of the study shall be half-street plus 12 feet
18 of Horne Street and the entire width of the alley along the project's frontages. The field
19 investigation shall include a minimum of one pavement boring per every 50 linear feet of
20 street frontage. Should the existing AC thickness be determined to be less than three
21 inches or without underlying Class II base material, the developer shall remove and
22 reconstruct the pavement section as determined by the pavement analysis submittal
23 process detailed in Item No. 2 below.
- 24 29. Upon review of the pavement investigation, the City Engineer shall determine whether
25 the developer shall: 1) Repair all failed pavement sections, header cut and grind per the
26 direction of the City Engineer and/or Public Works Director, and construct a two-inch
27 thick rubberized AC overlay; or 2) Perform R-value testing and submit a study that
28 determines if the existing pavement meets current City standards/traffic indices. Should
29 the study conclude that the pavement does not meet current requirements,
rehabilitation/mitigation recommendations shall be provided in a pavement analysis

1 report, and the developer shall reconstruct the pavement per these recommendations,
2 subject to approval by the City Engineer.

3 30. Pavement sections for all streets, alleys, driveways and parking areas shall be based upon
4 approved soil tests and traffic indices. The pavement design is to be prepared by the
5 developer's soil engineer and must be approved by the City Engineer, prior to paving.

6 31. Any existing broken pavement, concrete curb, gutter or sidewalk or any damaged during
7 construction of the project, shall be repaired or replaced as directed by the City Engineer.

8 32. Full-width alley improvements shall be constructed in accordance with the standard
9 plans and specifications of the City of Oceanside and as approved by the City Engineer.

10 33. All existing overhead utility lines within the subdivision and/or within any full width
11 street or right-of-way abutting a new subdivision, and all new extension services for the
12 development of the project, including but not limited to, electrical, cable and telephone,
13 shall be placed underground per Section 901.G. of the Subdivision Ordinance (R91-166)
14 and as required by the City Engineer and current City policy.

15 34. For the determination of the extent of required undergrounding, the developer shall
16 submit undergrounding plans and quantity takeoff estimates for review and approval by
17 the City Engineer prior to the approval of the final Parcel Map or issuance of a building
18 permit (whichever is requested first). The plans shall be prepared by a qualified
19 professional in full compliance with the design requirements set forth by Section 901.G.
20 Prior to submittal to the City Engineer, the plans and estimates shall be approved by all
21 utility companies whose overhead lines are required to be undergrounded.

22 35. The developer shall comply with all the provisions of the City's cable television
23 ordinances including those relating to notification as required by the City Engineer.

24 36. Grading and drainage facilities shall be designed and installed to adequately
25 accommodate the local storm water runoff and shall be in accordance with the City's
26 Engineers Manual and as directed by the City Engineer.

27 37. The applicant shall obtain any necessary permits and clearances from all public agencies
28 having jurisdiction over the project due to its type, size, or location, including but not
29 limited to the U. S. Army Corps of Engineers, California Department of Fish & Game,
U. S. Fish and Wildlife Service and/or San Diego Regional Water Quality Control Board

1 (including NPDES), San Diego County Health Department, prior to the issuance of
2 grading permits.

3 38. Prior to any grading of any part of the project, a comprehensive soils and geologic
4 investigation shall be conducted of the soils, slopes, and formations in the project. All
5 necessary measures shall be taken and implemented to assure slope stability, erosion
6 control, and soil integrity. No grading shall occur until a detailed grading plan, to be
7 prepared in accordance with the Grading Ordinance and Zoning Ordinance, is approved
8 by the City Engineer.

9 39. Prior to the issuance of a grading permit, the developer shall notify and host a
10 neighborhood meeting with all of the area residents located within 300 feet of the project
11 site, and residents of property along any residential streets to be used as a "haul route", to
12 inform them of the grading and construction schedule, haul routes, and to answer
13 questions.

14 40. An erosion control plan and precise grading and private improvement plan shall be
15 prepared, reviewed, secured and approved prior to the issuance of any building permits.
16 The plan shall reflect all pavement, flatwork, landscaped areas, special surfaces, curbs,
17 gutters, striping, signage, footprints of all structures, walls, drainage devices and utility
18 services.

19 41. Landscaping plans, including plans for the construction of walls, fences or other
20 structures at or near intersections, must conform to intersection sight distance
21 requirements. Landscape and irrigation plans shall be approved by the City Engineer
22 prior to the issuance of occupancy permits, and a pre-construction meeting held, prior to
23 the start of any improvements.

24 42. The drainage design on the tentative parcel map is conceptual only. The final design
25 shall be based upon a hydrologic/hydraulic study to be approved by the City Engineer
26 during final engineering. All drainage picked up in an underground system shall remain
27 underground until it is discharged into an approved channel, or as otherwise approved by
28 the City Engineer. All public storm drains shall be shown on City standard plan and
29 profile sheets. All storm drain easements shall be dedicated where required. The
applicant shall be responsible for obtaining any off-site easements for storm drainage

1 facilities.

2 43. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and
3 disposed of in accordance with all state and federal requirements, prior to stormwater
4 discharge either off-site or into the City drainage system.

5 44. Upon acceptance of any fee waiver or reduction by the developer, the entire project will
6 be subject to prevailing wage requirements as specified by Labor Code section
7 1720(b)(4). The developer shall agree to execute a form acknowledging the prevailing
8 wage requirements prior to the granting of any fee reductions or waivers.

9 45. The single-family dwelling units shall designate and maintain adequate space for the
10 storage of solid waste and recycling containers on private property to include appropriate
11 bin enclosures to adequately provide for trash, green waste, and other recycling
12 containers in accordance with OCC 13.39.

13 46. The newly created single-family dwelling units shall separate all recyclable material
14 from solid waste for separate collection, and in accordance with OCC 13.16(h).

15 47. The newly created single-family dwelling units shall ensure separation of all green waste
16 from solid waste using the approved city collection service and the collection of the
17 material in compliance with standards as identified in the city code.

18 48. All landscaping, fences, walls, etc. on the site, in medians in the public right-of-way and
19 in any adjoining public parkways shall be permanently maintained by the owner, his
20 assigns or any successors-in-interest in the property. The maintenance program shall
21 include normal care and irrigation of the landscaping; repair and replacement of plant
22 materials; irrigation systems as necessary; and general cleanup of the landscaped and
23 open areas, parking lots and walkways, walls, fences, etc. Failure to maintain
24 landscaping shall result in the City taking all appropriate enforcement actions by all
25 acceptable means including but not limited to citations and/or actual work with costs
26 charged to or recorded against the owner. This condition shall be recorded with the
27 covenant required by this resolution.

28 49. Landscape plans, meeting the criteria of the City's Landscape Guidelines or City
29 Engineer criteria and Water Conservation Ordinance No. 91-15, including the
maintenance of such landscaping, shall be approved by the City Engineer prior to the

1 issuance of building permits. Landscaping shall not be installed until bonds have been
2 posted, fees paid, and plans signed for final approval. The following special landscaping
3 requirements shall be met:

- 4 a) To mitigate the loss of landmark and/or mature existing trees on-site the
5 determination of replacement shall be based on tree number, type, and caliper
6 (caliper measured 2 1/2 feet from the base of the tree at existing grade). The total
7 number of tree caliper lost shall be equal to the total number of caliper replaced.
8 Replacement trees shall be a minimum of 15-gallon container stock. A field
9 survey shall be performed under the supervision of the City Landscaping Section
10 to evaluate the existing tree population and the replacement requirements. The
11 existing trees to remain or proposed for removal shall be identified on the
12 Preliminary Grading Plan, Precise Grading Plan and Landscape Plan. The
13 existing tree type, location, and caliper shall be shown on the above plans.
14 Replacement trees shall be identified and shown on the Landscape Plan and shall
15 be subject to review and approval by the City Engineer.
- 16 b) Street trees shall be located 30'-0" on center and shall be maintained by the
17 owner of the property in perpetuity to meet the satisfaction of the City Engineer.
18 Street trees shall be a minimum 24" box size and meet the approval of the City
19 Engineer.
- 20 c) Yards adjoining streets shall be landscaped or planter area of a minimum of 50
21 percent of the required yard. Side and rear yards shall be planting area or
22 landscape of a minimum of 50 percent. On-site trees shall be a minimum 15-
23 gallon container size and palm trees a minimum of 12'-0" brown trunk height.
- 24 d) The Landscape Architect shall field verify location of sight lines, utility, storm
25 drain and sewer easements and adjust location of planting accordingly.
- 26 e) All landscaping, walls and fencing on site and within the public right of way shall
27 comply with City Zoning Ordinance and the City of Oceanside Guidelines and
28 Specifications for Landscape Developments 1985, addenda 1997.
29

- 1 f) Landscape plans shall meet the minimum criteria required by the transportation
2 division, shall not obstruct sight distance, shall match the grading and
3 improvement plans and meet the satisfaction of the City Engineer.
- 4 g) These conditions of approval are in addition to the conceptual landscape plan and
5 shall supersede any conflict with the landscape conceptual plan.
- 6 h) Automatic Irrigation shall be provided for all planter areas in compliance with the
7 current City of Oceanside requirements.
- 8 i) Walls, fences and gates shall meet the approval of the City Planner and City
9 Engineer.
- 10 j) Plant materials shall be sized and spaced appropriate for the planting area and
11 achieve immediate effect; species shall be selected to be easily maintained
12 through maturity in the planted area specified.
- 13 k) Enhanced paving shall be shown and detailed on the landscape plans; all
14 enhanced paving shall be sealed.

15 **Fire:**

- 16 50. This project will require smoke detectors. Plans submitted for building permit issuance
17 shall identify the location of all required smoke detectors.
- 18 51. Plans submitted for building permit issuance shall be prepared in accordance with
19 Oceanside Fire Department's current codes and regulations.
- 20 52. In accordance with the Fire Code Sec. 901.4.4, approved address for residential
21 occupancies shall be placed on the structure in such a position as to be plainly visible
22 and legible from the street or roadway fronting the property. Numbers shall be
23 contrasting with their background and shall include minimum 4-inch letter heights.
- 24 53. Prior to the issuance of building permits, plans shall be submitted to the Fire Prevention
25 Bureau for plan check review and approval.

26 **Planning:**

- 27 54. This Tentative Parcel Map, Development Plan, and Conditional Use Permit shall expire
28 on June 11, 2009, unless a time extension is granted by the Planning Commission.
- 29 55. This Tentative Parcel Map, Development Plan, and Conditional Use Permit, approves
only a four-lot single-family subdivision, development of four single-family dwellings in

1 a row home configuration with the associated lot depth, lot area, as shown on the plans
2 and exhibits presented to the Planning Commission for review and approval. No
3 deviation from these approved plans and exhibits shall occur without Planning Division
4 approval. Substantial deviations shall require a revision to the Tentative Parcel Map,
5 Development Plan, and Conditional Use Permit, or a new Tentative Parcel Map,
6 Development Plan, and Conditional Use Permit.

7 56. The applicant, permittee, or any successor-in-interest shall defend, indemnify and hold
8 harmless the City of Oceanside, its agents, officers or employees from any claim, action
9 or proceeding against the City, its agents, officers, or employees to attack, set aside, void
10 or annul an approval of the City, concerning Tentative Parcel Map P-24-06,
11 Development Plan D-33-06, and Conditional Use Permit C-52-06. The City will
12 promptly notify the applicant of any such claim, action or proceeding against the City
13 and will cooperate fully in the defense. If the City fails to promptly notify the applicant
14 of any such claim action or proceeding or fails to cooperate fully in the defense, the
15 applicant shall not, thereafter, be responsible to defend, indemnify or hold harmless the
16 City.

17 57. A covenant or other recordable document approved by the City Attorney shall be
18 prepared by the subdivider and recorded prior to the approval of the final map. The
19 covenant shall provide that the property is subject to this resolution, and shall generally
20 list the conditions of approval.

21 58. Prior to the transfer of ownership and/or operation of the site the owner shall provide a
22 written copy of the applications, staff report and resolutions for the project to the new
23 owner and or operator. This notification's provision shall run with the life of the project
24 and shall be recorded as a covenant on the property.

25 59. Failure to meet any conditions of approval for this development shall constitute a
26 violation of the Tentative Parcel Map, Development Plan, and Conditional Use Permit.

27 60. Unless expressly waived, all current zoning standards and City ordinances and policies
28 in effect at the time building permits are issued are required to be met by this project.
29 The approval of this project constitutes the applicant's agreement with all statements in
the Description and Justification, and other materials and information submitted with

1 this application, unless specifically waived by an adopted condition of approval.

2 61. Prior to issuance of any building permits, reciprocal access, maintenance and use
3 easements, consistent with the approved development plan, shall be recorded against all
4 affected parcels. A copy of the recorded access, maintenance, and use easement
5 documents shall be filed with the City of Oceanside Planning Division.

6 62. Fences and/or walls within front yard setback areas shall be limited to 42 inches (max),
7 unless the wall/fence incorporates a decorative and 75 percent open design for the
8 portion of the wall/fence above 42 inches in which case the combined maximum
9 wall/fence height will be limited to 5 feet (max).

10 63. The project design shall comply with Zoning Ordinance Section 3015 Building
11 Projections into Yards and Courts.

12 64. The developer's construction of all fencing and walls associated with the project shall be
13 in conformance with the approved development plan associated with the development
14 plan or as amended by conditions of project approval. Any substantial change in any
15 aspect of fencing or wall design from the approved development plan shall require a
16 revision to the development plan or a new development plan.

17 65. If an approved development plan does not cover any aspect of the project fencing and
18 walls, the construction of fencing and walls shall conform to the development standards
19 of the City Zoning Ordinance. In no case, shall the construction of fences and walls
20 (including combinations thereof) exceed the limitations of the zoning code, unless
21 expressly granted by a Variance or other development approval.

22 66. Elevations, siding materials, colors, roofing materials and floor plans shall be
23 substantially the same as those approved by the Planning Commission. These shall be
24 shown on plans submitted to the Community Development Department/Building and
25 Planning Divisions.

26 67. A letter of clearance from the affected school district in which the property is located
27 shall be provided as required by City policy at the time building permits are issued.

28 **Water Utilities:**

29 68. The developer will be responsible for developing all water and sewer utilities necessary
to develop the property. Any relocation of water and/or sewer utilities is the

responsibility of the developer and shall be done by an approved licensed contractor at the developer's expense.

69. The property owner will maintain private water and wastewater utilities located on private property.

70. Water services and sewer laterals constructed in existing right-of-way locations are to be constructed by approved and licensed contractors at developer's expense.

71. All Water and Wastewater construction shall conform to the most recent edition of the Water, Sewer, and Reclaimed Water Design and Construction Manual or as approved by the Water Utilities Director.

72. The following conditions shall be met prior to the approval of engineering design plans.

73. All public water and/or sewer facilities not located within the public right-of-way shall be provided with easements sized according to the Water, Sewer, and Reclaimed Water Design and Construction Manual. Easements shall be constructed for all weather access.

74. No trees, structures or building overhang shall be located within any water or wastewater utility easement.

75. All lots with a finish pad elevation located below the elevation of the next upstream manhole cover of the public sewer shall be protected from backflow of sewage by installing and maintaining an approved type backwater valve, per the Uniform Plumbing Code (U.P.C.).

76. The developer shall construct a public reclamation water system that will serve each lot and or parcels that are located in the proposed project in accordance with the City of Oceanside Ordinance No. 91-15. The proposed reclamation water system shall be located in the public right-of-way or in a public utility easement.

77. The following conditions of approval shall be met prior to issuance of building permits.

78. Water and Wastewater Buy-in fees and the San Diego County Water Authority Fees are to be paid to the City and collected by the Water Utilities Department at the time of Building Permit issuance.

79. The following conditions of approval shall be met prior to occupancy.

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1 80. All new development of single-family and multi-family residential units shall include
2 hot water pipe insulation and installation of a hot water recirculation device or design to
3 provide hot water to the tap within 15 seconds in accordance with City of Oceanside
4 Ordinance No. 02-OR126-1.

5 PASSED AND ADOPTED Resolution No. 2007-P29 on June 11, 2007 by the
6 following vote, to wit:

7 AYES:

8 NAYS:

9 ABSENT:

10 ABSTAIN:

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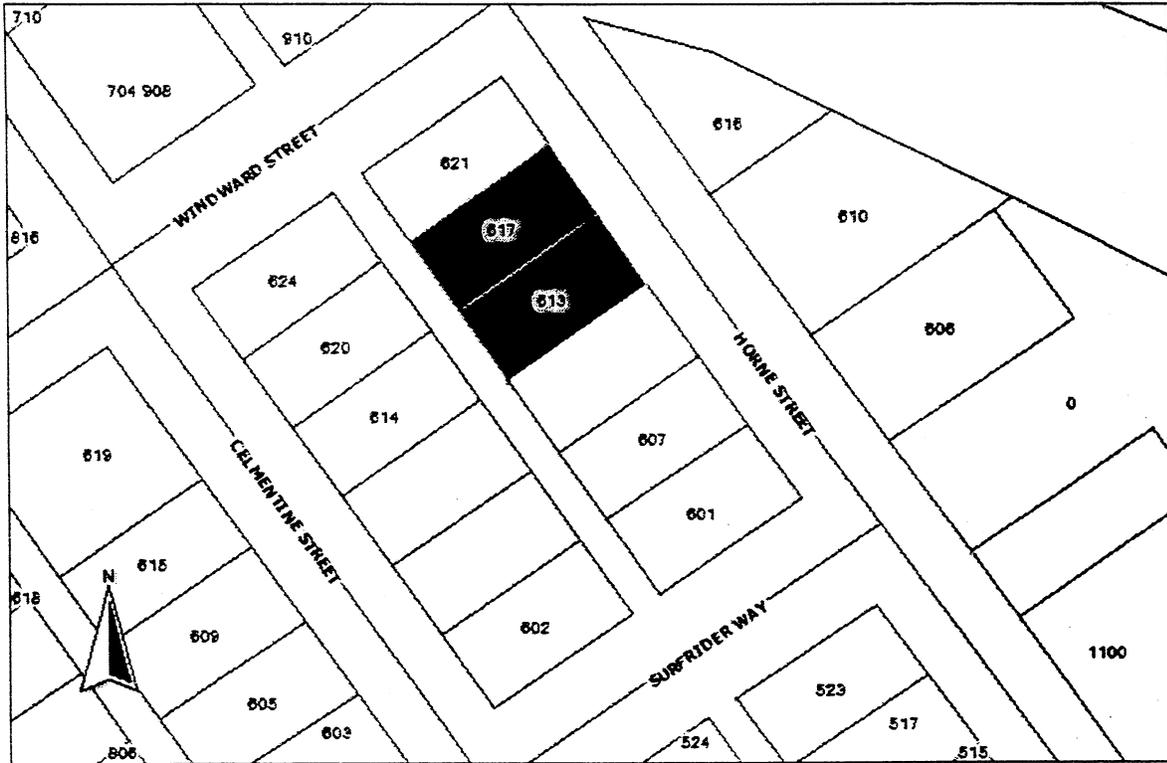
Dennis Martinek, Chairman
Oceanside Planning Commission

ATTEST:

Jerry Hittleman, Secretary

I, JERRY HITTLEMAN, Secretary of the Oceanside Planning Commission, hereby certify that
this is a true and correct copy of Resolution No. 2007-P29.

Dated: June 11, 2007



File Number: P-24-06,D-33-06,C-52-06

Applicant: Jenna Scimone

Description:

TENTATIVE PARCEL MAP (P-24-06), DEVELOPMENT PLAN (D-33-06), and CONDITIONAL USE PERMIT (C-52-06), in order to subdivide two 4,981-square foot lots into four parcels and permit construction of four new row homes located at 613 & 617 North Home Street. The project site is zoned RH (High Density Residential) and is situated within the Townsite Neighborhood – **CALIFORNIA ROW HOMES**

Environmental Determination:

The project is exempt from the California Environmental Quality Act.

City of Oceanside, Planning Division
300 N. Coast Highway
Oceanside, CA 92054
(760) 435-3520

CALIFORNIA ROW HOMES @ HORNE ST.

Application For Planning Commission Hearing Planning Department (760) 435-3520 Oceanside Civic Center 300 N. Coast Highway Oceanside, California 92054-2885			STAFF USE ONLY	
			ACCEPTED 11/14/06	BY SN.
Please print or type all information			HEARING	
PART I - APPLICANT INFORMATION			GPA	
1. APPLICANT Clifford Bruner Kenneth and Margaret Miller		2. STATUS owner/applicant		MASTER/SP PLAN
3. ADDRESS: 617 N. Horne St. Oceanside, 92054		4. PHONE/FAX 714 633-0614 (Cliff) 760 754-1773 (Ken)		ZONE CH.
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing) 4-Design Architecture and Planning				TENT. MAP
6. ADDRESS 707 Mission Ave. Oceanside, CA 92054		7. PHONE/FAX 760-433-1785 760-433-2810		PAR. MAP D-24-06
				DEV. PL. D-33-06
				C.U.P. C-52-06
				VARIANCE V-17-06
				COASTAL
				O.H.P.A.C.
PART II - PROPERTY DESCRIPTION				
8. LOCATION South west side of Windward Way and Horne at 613 and 617 N. Horne			9. SIZE 10,000 sq. ft.	
10. GENERAL PLAN High Density Residential	11. ZONING RH	12. LAND USE existing single family homes		13. ASSESSOR'S PARCEL NUMBER 147-052-2 and 3
PART III - PROJECT DESCRIPTION				
14. GENERAL PROJECT DESCRIPTION California Row Homes on North Horne is a four-unit development plan/tentative map conditional use permit and variance to create varied single family row homes on 25-foot wide lots on the West Side of Horne Street in the 600 block at Windward Way, close to the Downtown Redevelopment Area and in the RH High Density Residential Zone. <i>REV-2/12/07, 4/5/07</i>				
15. PROPOSED GENERAL PLAN n/a	16. PROPOSED ZONING n/a	17. PROPOSED LAND USE four single family row homes	18. NO. UNITS 4	19. DENSITY 18
20. BUILDING SIZE 2174 sq ft. each	21. PARKING SPACES 8	22. % LANDSCAPE 36.2	23. % LOT COVERAGE 60.5	
PART IV - ATTACHMENTS				
ALL APPLICATIONS			DEV. PLANS, C.U.P.S & TENT. MAPS	
<input checked="" type="checkbox"/> 24. DESCRIPTION/JUSTIFICATION	<input checked="" type="checkbox"/> 25. LEGAL DESCRIPTION	<input checked="" type="checkbox"/> 30. FLOOR PLANS AND ELEVATIONS		
<input checked="" type="checkbox"/> 26. 300-FOOT RADIUS MAP	<input checked="" type="checkbox"/> 27. PROPERTY OWNER'S LIST	<input type="checkbox"/> 31. CONSTRUCTION SCHEDULE		
<input checked="" type="checkbox"/> 28. ENVIRONMENTAL ASSESSMENT	<input checked="" type="checkbox"/> 29. PLOT PLANS	<input type="checkbox"/> 32. OTHER		
PART V - SIGNATURES				
THE APPLICANT OR HIS/HER REPRESENTATIVE MUST BE PRESENT AT THE HEARING. FAILURE TO BE PRESENT MAY RESULT IN DENIAL OF THE APPLICATION.		SIGNATURES OF ALL OWERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).		
33. APPLICANT OR REPRESENTATIVE (Print): <i>Jenna Simone</i>		34. DATE 11-8-06		
Sign: <i>Jenna Simone</i>		37. OWNER (Print): Kenneth Miller Margaret Miller		38. DATE 11-8-06
I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.		Sign: <i>Kenneth L Miller</i>		
35. APPLICANT (Print): Margaret Miller		36. DATE 11-8-06		39. OWNER (Print): Clifford Bruner
Sign: <i>J Miller</i>		Sign: <i>Clifford Bruner</i>		40. DATE 11-8-06

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Planning Department

Amy

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DESCRIPTION AND JUSTIFICATION
CALIFORNIA ROW HOMES ON HORNE

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Planning Department

Four California Row Homes are proposed for the west side of North Horne Street between Windward Way and Surfrider Way, just outside of the Redevelopment Area.

Each home will have ocean views from the second floor and from the roof deck, looking westerly down Windward Way. The homes will each have street-level entry courts and patio entrances, creating a pedestrian-oriented and community-friendly streetscape.

The design of the homes will present a combination of a California Monterey design and a light Tuscan design, featuring earthy colors and materials. Each home will incorporate a residential elevator with stops on each floor from the garage/basement level to the roof deck.

Each home will feature a two-car garage accessible from the alley; a small basement; a first floor extending from the entry patio to a large deck over the garage; a second floor encompassing the master suite and guest bedrooms; and a small library leading to the roof deck, completing the terracing structure.

The zoning is RH (High Density Residential). The Zoning Ordinance states that this district is intended "to provide opportunities for an intensive form of residential development including apartments and town houses with relatively high land coverage at appropriate locations. In the RH District the base density is 21 dwelling units per gross acre, and the maximum potential density is 28.9 units per gross acre." This project is proposed at a density of 18 units per acre.

Additionally, according to Note HH under Article 10 Residential Districts of the City, Additional Development Regulations:

"Single family Detached Units on a minimum of 2,500 square foot lots are allowed with a Conditional Use Permit within the RM-B, RM-C and RH Districts when determined to be compatible with existing and future land uses and plans. The following minimum development regulations are also required: 25-foot lot width; 100-foot lot depth; 10-foot front setback, 3-foot side setback, 10-foot corner side setback. Garage access shall be from the rear yard via a public alley or private drive."

Due to the inaccuracy of the original surveying that took place in 1885 in the older parts of Oceanside, a variance is included in this application. Many of these older surveys show recorded subdivisions of 50 feet by 100 feet (or other standard lot sizes), while modern surveying methods determine that the parcel sizes are slightly smaller than intended when first subdivided. Both of this project's 5,000-square-foot lots survey at an actual lot size of 4,981 square feet, 19 square feet smaller than indicated by the original surveys. Each of the resulting new lots will be 2,490.5 square feet in size. The City has found in previous cases that these projects meet the intent of the ordinance for allowing 2,500-square-foot lots for single-family homes in the older High Density neighborhoods.

The current site consists of two (2) small single-family residences that were built circa 1947; neither is of any architectural significance as determined by the attached cultural survey

prepared by Historian Ruth Alter. Corresponding to the age of these homes, the site contains outdated sewer and power lines, deficient parking and storage, and does not conform to the aesthetics sought by the community of Oceanside: to create a better environment for everyone in the community.

California Row Home Details

The floor plans of each row home will be identical, each with an area of 2,417 square feet. Each plan has been designed with 3 bedrooms, two full baths, and three half baths. The master suite contains a bedroom and a full bath, while the two guest bedrooms share a full bath. Half baths are located next to the laundry room in the basement, on the first floor, and on the roof deck.

FLOOR PLAN SUMMARY CHART

Level	Size (sq. ft.)	Deck or decks (sq. ft.)	Bedrooms	Bath	Extras
Basement					
1	112			1/2	Laundry Room, Elevator
First Floor					
2	1169	200		1/2	Elevator, Laundry Chute, Pantry, Fireplace
Second Floor					
3	1102		3	2	Elevator, Fireplace, Laundry Chute
Roof					
4	88	400		1/2	Library, Elevator

Each home will have a 2-car garage measuring 18' x 24'.

The roof decks can be accessed either by the stairway or by the elevator.

DEVELOPMENT STANDARDS CHART

	Required	Provided
Lot Size	2,500 sq. ft.	2,490.5 sq. ft.
Height	35'	31'-5"
Size of Homes	N/A	2,471 sq. Ft.
<u>Setbacks:</u>		
Front	10'	10'
Rear (Alley)	5'	5'
Side	3'	3'

Percent of Lot Coverage	N/A	60.5%
Percent of Lot in Landscaping	N/A	36.2%
Parking	2 spaces per unit	2 spaces per home

This project carries out the intent of the existing Residential Zoning set forth in the RH District. It will add value to its surrounding and provide luxury living near the ocean.

Community Input Process

The applicants have personally visited many individuals in the neighborhood, and they conducted an open house on the site in October. The sign-in sheets and photos from that event are part of this application. Most of the neighbors have expressed a positive attitude toward seeing new development in the neighborhood.

Neighborhood Context and Compatibility

The neighborhood is bounded by Neptune Way on the north, Interstate-5 and Horne Street on the east, Civic Center Drive on the south, and Freeman Street on the west. It is also bounded by the Redevelopment Area on the north, south, and east.

The City's underlying policies for land use are reflected in the Land Use Element Designation of High Density Residential (21-28.9 units per acre) and its RH (Residential High Density) Zoning.

The underlying mapping of this neighborhood in 1885 created relatively small lots which were sold to individuals for their own unique homes of various styles and sizes. The neighborhood is beginning to reflect a natural evolution from these old development patterns. Single homes from the last 120 years and apartments built in the last 20 years are mixed with larger new residential projects. Adjacent to the neighborhood, in the Redevelopment Area along Freeman Street, some row homes are in progress; other new large projects exist along Horne Street just to the south of this project. Across Interstate 5 is a large new condominium project.

When the Redevelopment Area was created in the early 1970s, there was a conscious decision not to include this neighborhood and to leave the High Density Residential Zoning and General Plan designations as-is. This designation remained through the major city-wide zoning and General Plan efforts that were completed during the 1990s.

With the construction of larger projects in the vicinity and the emergence of downtown now underway, the property owners are beginning to request authorization to fulfill the value of the property allowed by these designations. Many have been waiting for years to use the underlying high-density residential zoning and land-use policies to enhance their properties and the neighborhood.

Adding to the evolution of the neighborhood are purported plans to add additional lanes to Interstate 5 just to the north and east of the site. Another plan that has been discussed in the neighborhood (said to have been circulated by Caltrans) appears to remove the homes on Horne Street directly across the street from this proposal, replacing them with an open space buffer or berm.

Many residents in the beach neighborhoods south of Mission Avenue have expressed concern that single-family character and scale should be maintained, and have thereby preserved many of the older homes. There have been some citizen movements to change standards in the Redevelopment Area and other neighborhoods closer to the beach to reduce the scale of new projects.

In this area, however, there has not been any attempt or request by the neighborhood to downzone for less density. This reflects a desire by the property owners in the area to maintain and enhance the high property values that more intense development would bring.

The General Plan and Zoning designations that allow High Density Residential development are not working for owners of single lots who want to add density by building two units or adding a second unit. The standards of the RH zone for setbacks and parking preclude this type of small-scale development as a way that the neighborhood can intensify while retaining its character. This mismatch of standards with lot sizes favors large projects and builders who can afford to assemble a number of lots, tear down the older homes and build multi-unit, stacked apartments or condominiums.

The section of the ordinance being used for this project was adopted only a couple of years ago to allow 25-foot lots for row homes "when determined to be compatible with existing and future land uses and plans." This allows for a "bridge" between these discrepancies in zoning standards and lot size, which provides both an opportunity to enhance the value of the property and maintain a single family character with a more street-oriented scale than larger condominium or apartment projects bring.

This particular site is ideal for this development pattern because it is at the top of the hill where there are no views to be blocked. It is close to the physical edge of the neighborhood with the freeway, just across the street from the freeway expansion, and will provide a smooth transition into the area.

The units are designed to be very street-friendly; recesses, courtyards, and landscaping provide an intimate pedestrian-friendly environment. The elements of traditional California architecture combined with single-family character will improve the surrounding neighborhood without imposing a monolithic, high-intensity quality.

Proposed Findings

Below are the findings that can be used for approving this project

For the Variance for the small discrepancy in lot sizes:

1. That because of special circumstances or conditions applicable to the development site-including size, shape, topography, location or surroundings-strict application of the requirements of the Zoning Ordinance deprive such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

Lot sizes measured in 1885 and shown on the recorded subdivision maps have, upon modern surveying, measured slightly smaller than indicated. The new lots meet the intent of the ordinance, which allows 25-foot-wide lots to be created in this land use designation.

2. That granting the application will not be detrimental or injurious to property or improvements in the vicinity of the development site, or to the public health, safety or general welfare.

The project will improve the area by providing development matching the goals of the High Density Residential Zone and maintaining the scale and pedestrian-orientation of a single-family neighborhood.

3. That granting the application is consistent with the purposes of the Zoning Ordinance and will not constitute a grant of special privilege inconsistent with limitations on other properties in the vicinity and in the same zoning district.

The City has found on other occasions where the recorded subdivisions from the 1880s reflect surveying discrepancies, that the project meets the intent of the Zoning Ordinance.

For the Tentative Parcel Map:

1. That the proposed map is consistent with the General Plan of the City or any applicable specific plan or other provisions of the Zoning Ordinance and the Subdivision Ordinance.

The project meets the density standards of the Residential High Density Land Use Designation and the RH-U Zone development regulations for single-family detached units on 2,500-square-foot lots.

2. That the site is physically suitable for the type and proposed density of development.

The site is at the crest of a hill in an older, improved neighborhood near the freeway, containing a mixture of land uses including single-family homes and apartments.

3. That the design of the subdivision or the proposed improvements will not cause substantial environment damage or substantially and avoidably injure fish or wildlife or their habitat and has been categorically exempted from review under the California Environmental Quality Act.

For the Development Plan:

1. That the site plan and physical design of the project as proposed is consistent with the purposes of the Zoning Ordinance.

The project meets the density standards of the Residential High Density Land Use Designation and the RH-U Zone development regulations for single-family detached units on 2,500 square-foot-lots.

2. That the Development Plan as proposed conforms to the General Plan of the City.

The General Plan Land Use Element indicates this property as High Density Residential with a density range of up to 29 units per acre. This project results in a density of 18 units per acre.

3. That the area covered by the Development Plan can be adequately, reasonably, and conveniently served by existing and planned public services, utilities and public facilities.

The site is in an already developed neighborhood with streets, sidewalks and alleys. Any necessary additions or changes to upgrade the facilities as required by the City will be provided.

4. That the project as proposed is compatible with the existing and potential development on adjoining properties or in the surrounding neighborhood.

The neighborhood contains a mixture of single-family homes and apartment complexes of various sizes. It is adjacent to Interstate 5. This project will provide a single-family residential scale at the street level while utilizing the allowed density and other urban characteristics of the area.

For the Conditional Use Permit for the 25-foot lots:

1. That the proposed location of the use is in accord with the objectives of the Zoning Ordinance and the purposes of the district in which the site is located.

The HH Designator in Article 10 of the Oceanside Zoning Ordinance allows for single family detached units on 2,500- square- foot lots when determined to be compatible with existing and future land uses and plans. This project allows additional density in the RH (Residential High Density) Zone, while creating a single-family character in an area next to the freeway on a hill overlooking downtown.

2. That the proposed location of the conditional use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety, welfare of persons residing or working in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the City.

This example of new development in this neighborhood will enhance the property values of the area, providing a balance between existing and future larger apartment projects and the remaining single-family character.

3. That the proposed conditional use will comply with the provisions of the Zoning Ordinance, including any specific condition required for the proposed conditional use in the district in which it would be located.

The project meets the development standards of the HH Designator of Article 10 of the Zoning Ordinance for this RH Zoned area.

LEGAL DESCRIPTION – CALIFORNIA ROW HOMES ON HORNE STREET

1. Lot 2 in Block 56 of Myers and McComber's Addition to Oceanside according to th Map thereof No. 332, filed in the Office of the County Recorder of San Diego County, November 30, 1885.
2. Lot 3 of Block 56 of City of Oceanside County of San Diego, State of California, according to map of a portion of Oceanside surveyed in November 1885 by C.J. Coutts, being No. 332 and filed in the office of the County Recorder of San Diego County, November 30, 1865, and being commonly known as Myers and McComer's Addition to Oceanside

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Planning Department



NOTICE OF EXEMPTION

City of Oceanside, California

Post Date:
Removal:
(30 days)

1. **APPLICANT:** Jenna Simone
2. **ADDRESS:** 617 North Horne Street, Oceanside, CA. 92054
3. **PHONE NUMBER:** (760) 754-1773
4. **LEAD AGENCY:** City of Oceanside
5. **PROJECT MGR.:** Richard Greenbauer, Senior Planner
6. **PROJECT TITLE:** P-24-06, D-33-06, C-52-06; California Row Homes Horne St.
7. **DESCRIPTION:** A request to subdivide two 4,981-square foot lots into four lots measuring 2,490.5 square feet each (net) and permit construction of four new row homes on property located at 613 & 617 North Horne Street. The project site is zoned RH (High Density Residential) and is situated within the North Townsite Neighborhood.

ADMINISTRATIVE DETERMINATION: Planning Division staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA), 1970. Based on that review, the Environmental Coordinator finds that the proposed project constitutes in-fill development in an urbanized area, and the project is categorically exempt. Therefore, the Environmental Coordinator has determined that further environmental evaluation is not required because:

- "The activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA" (Section 15061(b)(3)); or,
- The project is statutorily exempt, Section _____, <name> (Sections 15260-15277); or,
- The project is categorically exempt, Class 32, "In-Fill Development Projects" (Section 15332); or,
- The project does not constitute a "project" as defined by CEQA (Section 15378).

Richard Greenbauer, Senior Planner

Date:

cc: Project file Counter file Library

Posting: County Clerk \$50.00 Admin. Fee