

STAFF REPORT



ITEM NO. 13
CITY OF OCEANSIDE

DATE: August 1, 2007

TO: Chairman and Members of the Community Development Commission

FROM: Economic Development and Redevelopment Department

SUBJECT: **CONSIDERATION OF A RESOLUTION APPROVING TENTATIVE PARCEL MAP (P-200-07), DEVELOPMENT PLAN (D-200-07), VARIATION (V-200-07) AND REGULAR COASTAL PERMIT (RC-200-07) FOR THE CONSTRUCTION OF A FOUR-UNIT MULTIFAMILY DEVELOPMENT LOCATED AT 412 SOUTH THE STRAND – APPLICANT: OCEANSIDE STRAND, LLC**

SYNOPSIS

The item under consideration is a Tentative Parcel Map, Development Plan, Variation, and Regular Coastal Permit for the construction of a four-unit multifamily development located at 412 South The Strand. Staff is recommending that the Commission approve the project and adopt the resolution as attached.

BACKGROUND

The subject site consists of two pre-existing legal parcels totaling 8,786 square feet in size that was part of the original Terrace Annex subdivision of 1907. The subject site currently maintains three buildings consisting of nine residential units which will be demolished as part of this development.

The subject site topography is relatively flat; however, the eastern portion of the site backs onto the Pacific Street bluff which accounts for the 12-foot grade differential between the highest and lowest points of the site. The subject site rear (eastern) property line extends approximately 10 feet up the bluff. This area will be graded and landscaped.

The subject site is situated within the South Strand neighborhood, which consists of old apartment buildings interspersed with new single-family and condominium units.

There are several units on the subject site that are over 45 years old; therefore, a Historic Assessment was prepared to determine its historical significance. The Historic Assessment is attached to the staff report.

Land Use and Zoning: The subject site is located within Subdistrict 4A of the "D" Downtown District. Subdistrict 4A is primarily intended to provide a mix of transient and permanent residential uses along the South Strand between Tyson and Wisconsin Streets. Multifamily residences are permitted. The project proposes a density of 19.83 dwelling units per acre which is well below the maximum of 43 dwelling units per acre.

Regular Coastal Permit: This project is situated within the Coastal Zone and requires a Regular Coastal Permit. Under the provisions of the Local Coastal Plan the project site is designated as Mixed High-Density and Transient Residential. Multifamily and single-family are primarily the uses allowed within this land use designation. The project is exempt from the low/moderate replacement housing requirement due to the project being less than 10 units in three buildings.

The project is also situated within the Coastal Zone "appeal jurisdiction". Any local action by the City on this proposed coastal development permit may be appealed to the California Coastal Commission.

Project Description: The project application consists of several components, which include a Tentative Parcel Map, Development Plan, Variation and Regular Coastal Permit. Each discretionary request is described as follows:

Tentative Map and Development Plan: The project proposes a four-unit multifamily residential development with the units ranging in size from 2,305 to 2,386 square feet to be situated on an 8,786-square-foot lot. The proposed project is a Modern design as evident by the geometric shapes and large expanse of glass.

Subdistrict 4A requires that a minimum of 20 percent of the site be landscaped. The project proposes that approximately 20.3 percent of the subject site is landscaped. The project proposes Mexican Fan Palm trees, shrubs include New Zealand Flax, Agave and Bird of Paradise, and groundcover consists of Blue Fescue and Natal Plum.

The project is required to provide 800 square feet of common and private useable open space. The project provides over 1,000 square feet of common and private useable open space.

Vehicular access to the units will be from The Strand via a driveway located on the southern portion of the subject site. Pedestrian access will also be provided via The South Strand. Please note that there will not be any pedestrian access from Pacific Street.

The overall project density is 19.83 dwelling units per acre. Outlined below is the residential unit breakdown:

Plan Type	Sq.Ft.	Bedrms.	Baths	Units
Plan 1	2,305	3	3	1
Plan 2	2,332	3	3	1
Plan 3	2,349	3	3	1
Plan 4	2,386	3	3	1
Total				4

Outlined below is a comparison chart summarizing the required development criteria with the proposed project:

	MINIMUM REQUIRED	PROPOSED
LOT SIZE	N/A (pre-existing lot)	N/A (pre-existing lot)
SETBACKS Front Side Rear	10 feet 3 feet 5 feet	17 feet 3 feet 5 feet
LANDSCAPING	20%	20.3%
PARKING	8 spaces	8 spaces
*BUILDING HEIGHT	24.8 feet	24.8 feet
DENSITY	43 du. Ac.(Maximum)	18.83 du. Ac.

*Building height cannot exceed the centerline of Pacific Street located immediately east of the subject site.

Regular Coastal Permit: A Regular Coastal Permit is required because the project is situated within the Coastal Zone and proposes new construction that requires discretionary action.

Variation: A Variation is being requested due to the reduction of two-way driveway width.

Environmental Determination: A Certificate of Exemption has been prepared for the project. Under the provisions of the California Environmental Quality Act, the Community Development Commission will consider the exemption during its hearing on the project.

The Historic Assessment has been prepared to determine the cultural significance of the subject site. The Historic Assessment chronicles the creation, ownership, and development of the subject site and concludes that the site does have a long and interesting ownership history; however, no significant cultural resources exist on the site today.

ANALYSIS

Staff's analysis focused on the compatibility of the project with existing development patterns of the area and the project's consistency with the underlying Redevelopment Plan, Zoning Ordinance, and the Local Coastal Program.

Since the proposed project is an infill project, staff's review centered on the project's compatibility with the existing residential patterns. The surrounding area consists of older apartments interspersed with newer condominium development and single-family residences. Staff believes that the proposed four-unit multifamily development is consistent with the surrounding neighborhood, especially with the newer multifamily residences that are located within the surrounding neighborhood.

Staff also reviewed the project's architectural compatibility and scale with the surrounding neighborhood. Staff has inventoried the surrounding neighborhood and has found a varied housing stock with a variety of unit types and unit sizes. In comparing the project's product type and corresponding square footages to the unit types and square footages that exist in the area, it can be found that the proposed unit sizes are comparable in size and would have a positive effect on the area.

Staff's review of the project examined the consistency of the development with the underlying zoning regulations and policies of the Local Coastal Program. The project is located within the "appealable area" which is defined as the first 300 feet east of The Strand (west side of Myers Street). The project provides a 17-foot front yard setback which is greater than typical front yard setbacks found on existing units located on South The Strand. Staff also evaluated the proposed residence and its effect on public coastal views. Staff believes that the 17-foot front yard setback is considerably greater than the existing residential units setbacks located on South The Strand and therefore would minimize any potential blockage of public coastal views.

A Wave Run-up Study was prepared (see attachment) which concluded that there will be some wave overtopping onto The Strand during severe winter storms similar to 1982-83. The result of the wave overtopping will be some minor nuisance floods. The report recommended that flood gates or even temporary flood gates such as sand bags will significantly reduce the nuisance flooding of the garage. The project proposes a wall located on the western portion of the subject site to reduce any potential nuisance flooding and sump with proposed alternating dual sump pump for any nuisance flooding located within the garage.

A Variation was necessary for the reduction of the driveway width from the required 12 feet wide (two-way) to two nine-foot wide one-way driveways located on the northern and southern portion of the subject site. The applicant has chosen to incorporate two, one-way driveways due to the narrow width of the subject site. The proposed separated one-way driveways will allow for the second floor units to have front entrances located at The Strand as well as a large side yard separation to provide more light and air from adjacent properties.

A central two-way driveway would have forced the second floor unit's entrance from the side yard affecting the privacy of both the first floor units and reducing the open space between the adjacent properties. In addition, this design will allow for better circulation within the underground garage in that it will minimize potential vehicle and pedestrian conflicts which may occur on two way traffic on the heavily traveled South Strand. The Engineering Department has reviewed and approved the proposed split driveway design.

In conclusion, staff believes that the project meets the intent of the Redevelopment Plan and goals, which encourage the development of new residential uses. The design of the project is consistent in both the height and scale of the surrounding neighborhood. The proposed project is consistent with the quality of design of the newer residences located along the South Strand corridor and the proposed Variation will create a better building design while increasing pedestrian and vehicular safety. The proposed project is also consistent with the goals and land use policies of the Local Coastal Plan.

COMMISSION OR COMMITTEE REPORTS

The Redevelopment Design Review Committee (RDRC) reviewed the project at its March 16, 2007, and at its June 8, 2007, meeting and approved the project on a 5-0 vote.

The Redevelopment Advisory Committee (RAC) reviewed the project at its June 13, 2007, meeting.

FISCAL IMPACT

The proposed project will add approximately \$73,000 of tax increment yearly to the project area.

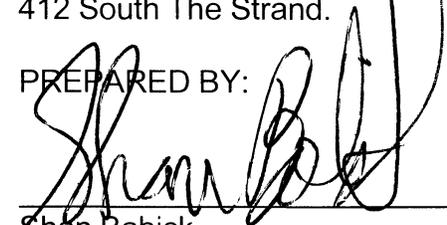
CITY ATTORNEY'S ANALYSIS

Pursuant to Oceanside Zoning Ordinance Article 4102, the Commission is authorized to hold a public hearing on this project's applications. Consideration of the project should be based on the evidence presented at the public hearing. After conducting the public hearing, the Commission shall approve, conditionally approve, or disapprove the project. The resolution has been reviewed and approved as to form by the City Attorney.

RECOMMENDATION

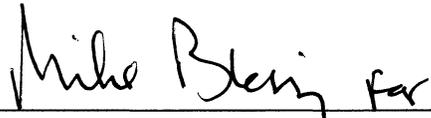
Staff recommends that the Commission adopt the resolution approving Tentative Parcel Map (P-200-07), Development Plan (D-200-07), Variation (V-200-07) and Regular Coastal Permit (RC-200-07) for the construction of a four-unit multifamily development located at 412 South The Strand.

PREPARED BY:



Shan Babick
Associate Planner

SUBMITTED BY:



Peter A. Weiss
Interim Executive Director

REVIEWED BY:

Michelle Skaggs Lawrence, Deputy City Manager
Jane McVey, Economic and Redevelopment Director
Kathy Baker, Redevelopment Manager
Mike Blessing, Deputy City Manager



EXHIBITS/ATTACHMENTS

1. Resolution
2. Notice of Exemption
3. Site Plan / Floor Plans / Elevations

RESOLUTION NO. 07-

A RESOLUTION OF THE COMMUNITY DEVELOPMENT COMMISSION OF THE CITY OF OCEANSIDE APPROVING A TENTATIVE PARCEL MAP, DEVELOPMENT PLAN, VARIATION AND REGULAR COASTAL PERMIT FOR THE CONSTRUCTION OF A 4-UNIT RESIDENTIAL CONDOMINIUM PROJECT LOCATED AT 412 SOUTH STRAND – APPLICANT: OCEANSIDE STRAND, LLC

WHEREAS, on July 11, 2007, the Community Development Commission held its duly noticed public hearing, considered an application for a Tentative Parcel Map (P-200-07), Development Plan (D-200-07), Variation (V-200-07) and Regular Coastal Permit (RC-200-07) for the construction of a 4-unit residential condominium project located at 412 South The Strand;

WHEREAS, the Redevelopment Design Review Committee (RDRC) of the City of Oceanside did, on March 16, 2007 and on June 16, 2007, review and recommend approval of Tentative Parcel Map (P-200-07), Development Plan (D-200-07), Variation (V-200-07) and Regular Coastal Permit (RC-200-07);

WHEREAS, the Redevelopment Advisory Committee (RAC) of the City of Oceanside did, on June 13, 2007 review and recommend approval of Tentative Parcel Map (P-200-07), Development Plan (D-200-07), Variation (V-200-07) and Regular Coastal Permit (RC-200-07);

WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee, dedication, reservation or other exaction to the extent permitted and as authorized by law;

WHEREAS, a Categorical Exemption was prepared by the Resource Officer of the City of Oceanside for this application pursuant to the California Environmental Quality Act 1970 and the State Guidelines implementing the Act. The project is considered an infill development and will not have a detrimental effect on the environment;

WHEREAS, there is hereby imposed on the subject development project certain fees, dedications, reservations and other exactions pursuant to state law and city ordinance;

WHEREAS, pursuant to Government Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the Project is subject to certain fees, dedications, reservations and other exactions as provided below:

1	<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
2			
3			
4	Parkland Dedication/Fee	Ordinance No. 91-10	\$3,503 per unit
5		Resolution No. 05-R0628-1	
6	Drainage Fee	Ordinance No. 85-23	\$2,843 per acre
7		Resolution No. 05-R0628-1	
8	Public Facility Fee	Ordinance No. 91-09	\$2,072 per unit
9		Resolution No. 05-R0628-1	
10	School Facilities Mitigation	Ordinance No. 91-34	\$2.63 per square foot
11	Fee		
12	Traffic Signal Fee	Ordinance No. 87-19	\$15.71 per vehicle trip
13			
14	Thoroughfare Fee	Ordinance No. 83-01	\$255 per vehicle trip (based on SANDAG trip generation table)
15			
16			
17			
18	Water System Buy-in Fees	Oceanside City Code	Fee based on water meter
19		§37.56.1	size. Residential is typically
20		Resolution No. 87-96	\$3,746 per unit;
21		Ordinance No. 05-OR 0611-1	
22	Wastewater System Buy-in	Oceanside City Code §	Based on meter size.
23	fees	29.11.1	Residential is typically
24		Resolution No. 87-97	\$4,587 per unit;
25		Ordinance No. 05-OR 0610-1	
26			
27	San Diego County Water	SDCWA Ordinance No.	Based on meter size.
28	Authority Capacity Fees	2005-03	Residential is typically

1	<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or</u>
2			<u>Calculation Formula</u>
3			
4			\$4,154 per unit

5
6 WHEREAS, the current fees referenced above are merely fee amount estimates of the
7 impact fees that would be required if due and payable under currently applicable ordinances and
8 resolutions, presume the accuracy of relevant project information provided by the applicant, and
9 are not necessarily the fee amounts that will be owing when such fees become due and payable;

10 WHEREAS, unless otherwise provided by this resolution, all impact fees shall be
11 calculated and collected at the time and in the manner provided in Chapter 32B of the
12 Oceanside City Code and the City expressly reserves the right to amend the fees and fee
13 calculations consistent with applicable law;

14 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,
15 dedication, reservation or other exaction to the extent permitted and as authorized by law;

16 WHEREAS, pursuant to Government Code §66020(d)(1), NOTICE IS FURTHER
17 GIVEN that the 90-day period to protest the imposition of any fee, dedication, reservation, or
18 other exaction described in this resolution begins on the effective date of this resolution and any
19 such protest must be in a manner that complies with Section 66020; and

20 WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes
21 effective upon its adoption.

22 NOW, THEREFORE, the Community Development Commission of the City of
23 Oceanside does resolve as follows:

24 FINDINGS:

25 **For the Tentative Parcel Map:**

- 26 1. The proposed condominium meets the requirement of the Subdistrict 4A zoning
27 designation in that the project creates one 8,786 square foot lot which exceeds the minimum lot
28 size of 5,000 square feet as stipulated within Article 12 of the Downtown District development
standards. The subdivision map is consistent with the General Plan, Redevelopment Plan, Local

1 Coastal Program, Article 12 of the Downtown District and the Subdivision Ordinance of the City
2 of Oceanside by creating one 8,786 square foot lot which meet the minimum development
3 standards.

4 2. The proposed building on the site will conform to the topography of the site,
5 therefore, making it suitable for residential development. The 8,786 square foot site is physically
6 suitable to allow for the development of a four unit multifamily residential project.

7 3. The subdivision complies with all other applicable ordinances, regulations and
8 guidelines of the City.

9 4. The design of the subdivision or proposed improvements will not conflict with
10 easements, acquired by the public at large, for access through or use of property within the
11 subdivision.

12 5. The design of the subdivision or the proposed improvements will not cause
13 substantial environment damage or substantially and avoidably injure fish or wildlife or their
14 habitat because the proposed project is an infill site that does not contain any sensitive habitat, river
15 or blue stream, wildlife, cultural resources, riparian habitat, sensitive landforms and/or geologic
16 formations or minerals, sensitive fauna and marine life.

17 **For the Development Plan:**

18 1. The site plan and physical design of the project as proposed is consistent with the
19 purposes of the City's Zoning Ordinance and the "D" Downtown District in that the
20 architectural design of the proposed structure and the landscaping of the open space meets or
21 exceeds the minimum development standards of the "D" Downtown District. The proposed
22 project meets the minimum setbacks, landscape, open space, height and parking spaces as
23 stipulated within the "D" Downtown District development standards.

24 2. The Development Plan as proposed conforms to the Redevelopment Plan, Local
25 Coastal Program and General Plan of the City in that the proposed four unit multifamily
26 development is consistent with the land uses of the Redevelopment Plan and the project meets
27 the minimum setbacks, landscape, open space, height and parking spaces as stipulated within
28 the "D" Downtown District development standards.

3. The area covered by the Development Plan can be adequately, reasonably and
conveniently served by existing and planned public services, utilities and public facilities. The

1 proposed four unit multifamily project will not create public service and facility demands
2 exceeding the capacity of existing and planned infrastructure. The project proposes to “tie
3 into” both the existing 12” sewer and 16” water line in addition to providing a 6” fire line.

4 4. The proposed project, a four unit multifamily development, is compatible with
5 the existing and potential development within the surrounding neighborhood in that in
6 comparing the project's product type and corresponding square footages to the unit types and
7 square footages that exist in the area, it can be found that the proposed unit sizes are comparable in
8 size and would have a positive effect on the area.

9 5. The site plan and physical design of the project is consistent with Section 1.24 and
10 1.25 of the Land Use Element of the General Plan, the Development Guidelines for Hillside and
11 Article 20 in that there is only 12 foot grade differentials from the highest and lowest points of the
12 subject site and therefore the project would not be subject to the guidelines of Article 20 and
13 Section 1.24 and 1.25 of the Land Use Element of the General Plan.

14 **For the Regular Coastal Permit:**

15 1. The granting of the Regular Coastal Permit is consistent with the purposes of the
16 California Coastal Act of 1976. The proposed 4 unit multifamily development is consistent
17 with the High Density Land Use as depicted in the Local Coastal Program Land Use Map. In
18 addition, the project does not impede public access to the beach because the subject site is
19 located in the middle of the block and approximately 100 feet south of the nearest public access
20 located at Pine Street and South The Strand. In addition, the project provides a 17 foot front
21 yard setback which exceeds typical front yard setbacks located on The South Strand, therefore,
22 impacts on public coastal views is minimal.

23 2. The proposed project is consistent with the policies of the Local Coastal Program
24 as implemented through the City Zoning Ordinance. The proposed 4-unit multifamily
25 development is consistent with the High Density Land Use as depicted in the Local Coastal
26 Program Land Use Map. In addition, the project will not substantially alter or impact the
27 existing public coastal views through the public rights-of-way view corridors by providing a 17
28 foot front yard setback.

27 ///
28 ///

1 3. The proposed project will not obstruct any existing or planned public beach
2 access; therefore, the project is in conformance with the policies of Chapter 3 of the Coastal
3 Act. The proposed project provides 17 foot front yard setback and the subject site is located
4 approximately 100 feet south of the new (currently under construction) beach access stairway
5 located at Pine and South Pacific streets.

6 **Variation for the Reduction of the Driveway Width:**

7 1. The application of certain regulations and development standards would result in
8 practical difficulties inconsistent with the intent of the Redevelopment Plan. The proposed
9 reduction in driveway width is the result of the narrow width of the lots located on South The
10 Strand. Construction of the driveway at the standard width would result in compromising
pedestrian and vehicle safety in addition to reduction of the overall quality of building design.

11 2. The exceptional circumstance or uniqueness of this particular property is that due
12 to the narrowness of the subject site developing the driveways at standard width would
13 compromise pedestrian and vehicle safety as well as reducing the quality of the building design.

14 3. Permitting the Variation will not be materially detrimental to the public welfare
15 or injurious to other properties or improvements within the 4A zone.

16 4. Permitting the Variation will not be contrary to the objectives and goals of the
17 Redevelopment Plan, General Plan and Local Coastal Plan.

18 SECTION 1. That Tentative Parcel Map (P-200-07), Development Plan (D-200-07),
19 Variation (V-200-07) and Regular Coastal Permit (RC-200-07) are hereby approved subject to
20 the following conditions:

21 **Building:**

22 1. Applicable Building Codes and Ordinances shall be based on the date of
23 submittal for Building Department plan check.

24 2. The granting of approval under this action shall in no way relieve the
25 applicant/project from compliance with all State and local building codes.

26 3. The building plans for this project are required by State law to be prepared by a
27 licensed architect or engineer and must be in compliance with this requirement prior to
28 submittal for building plan review.

1 4. All electrical, communication, CATV, etc. service lines, within the exterior lines
2 of the property shall be underground. (City Code Sec. 6.30)

3 5. Site development, common use areas, access and adaptability of apartments and
4 condominiums shall comply with the State's Disabled Accessibility Regulations (2001 California
5 Building Code (CBC), Chapter 11A)

6 6. The developer shall monitor, supervise and control all building construction and
7 supportive activities so as to prevent these activities from causing a public nuisance, including, but
8 not limited to, strict adherence to the following:

9 a) Building construction work hours shall be limited to between 7 a.m. and
10 b) 6 p.m. Monday through Friday, and on Saturday from 7 a.m. to 6 p.m. for
11 work that is not inherently noise-producing. Examples of work not permitted on Saturday are
12 concrete and grout pours, roof nailing and activities of similar noise-producing nature. No work
13 shall be permitted on Sundays and Federal Holidays (New Year's Day, Memorial Day, July 4th,
14 Labor Day, Thanksgiving Day, Christmas Day) except as allowed for emergency work under
15 the provisions of the Oceanside City Code Chapter 38. (Noise Ordinance)

16 c) The construction site shall be kept reasonably free of construction debris
17 as specified in Section 13.17 of the Oceanside City Code. Storage of debris in approved solid
18 waste containers shall be considered compliance with this requirement. Small amounts of
19 construction debris may be stored on-site in a neat, safe manner for short periods of time
20 pending disposal.

21 7. A complete soils report, structural and energy calculations will be required at
22 time of plans submittal to the Building Division for plan check.

23 8. A demolition permit shall be required for the demolition of the existing
24 structures. Plans for the demolition shall depict clearly all utilities are properly
25 terminated/capped in accordance with the requirements of the utility service provider.

26 9. A private sewer system design must be submitted to the Building Department
27 and approved prior to the construction of the sewer system. If a gravity flow system is not used,
28 an engineered mechanical system must be submitted and approved by all City of Oceanside
departments.

1 10. Separate/unique addresses will/may be required to facilitate utility releases.
2 Verification that the addresses have been properly assigned by the City's Planning Department
3 shall accompany the Building Permit application.

4 11. Compliance with the Federal Clean Water Act (BMP's) must be demonstrated on
5 the plans.

6 12. Building levels below grade (on all sides) shall be provided with a mechanical
7 drainage system that provides drainage to an approved location/receptor.

8 **Engineering:**

9 13. If the project involves demolition of an existing structure or surface
10 improvements, the grading plans shall be approved by the City Engineer prior to the issuance
11 of a demolition permit. No demolition shall be permitted without an approved erosion
12 control plan.

13 14. Vehicular access rights to The Strand shall be relinquished to the City except the
14 two proposed project driveways. In addition, sight distance requirements at exit only driveway
15 shall conform to the corner sight distance criteria as shown in the City Engineering Manual,
16 Standard Drawing T-1.

17 15. The design of the two proposed driveways shall conform to the City of Oceanside
18 Engineers Design Standards.

19 16. All right-of-way alignments, street dedications, exact geometrics and widths shall
20 be dedicated and improved as required by the City Engineer.

21 17. Design and construction of all improvements shall be in accordance with
22 standard plans, specifications of the City of Oceanside and subject to approval by the City
23 Engineer.

24 18. Prior to issuance of a building permit all improvement requirements shall be
25 covered by a development agreement and secured with sufficient improvement securities or
26 bonds guaranteeing performance and payment for labor and materials, setting of monuments,
27 and warranty against defective materials and workmanship.

28 19. Prior to approval of the parcel map, all improvement requirements shall be covered
by a subdivision agreement and secured with sufficient improvement securities or bonds
guaranteeing performance and payment for labor and materials, setting of monuments, and

1 warranty against defective materials and workmanship.

2 20. Pursuant to the State Map Act, improvements shall be required at the time of
3 development. A covenant, reviewed and approved by the City Attorney, shall be recorded
4 attesting to these improvement conditions and a certificate setting forth the recordation shall be
5 placed on the map.

6 21. Prior to the issuance of a grading permit, the Developer shall notify and host a
7 neighborhood meeting with all of the area residents located within 300 feet of the project site,
8 and residents of property along any residential streets to be used as a "haul route", to inform
9 them of the grading and construction schedule, haul routes, and to answer questions.

10 22. The developer shall monitor, supervise and control all construction and
11 construction-supportive activities, so as to prevent these activities from causing a public nuisance,
12 including but not limited to, insuring strict adherence to the following:

- 13 a) Dirt, debris and other construction material shall not be deposited on any public
14 street or within the City of Oceanside storm water conveyance system.
- 15 b) All grading and related site preparation and construction activities shall be
16 limited to the hours of 7 AM to 6 PM, Monday through Friday. No engineering
17 related construction activities shall be conducted on Saturdays, Sundays or legal
18 holidays unless written permission is granted by the City Engineer and/or Public
19 Works Director with specific limitations to the working hours and types of
20 permitted operations. All on-site construction staging areas shall be as far as
21 possible (minimum 100 feet) from any existing residential development.
22 Because construction noise may still be intrusive in the evening or on holidays,
23 the City of Oceanside Noise Ordinance also prohibits "any disturbing excessive
24 or offensive noise which causes discomfort or annoyance to reasonable persons
25 of normal sensitivity."
- 26 c) The construction site shall accommodate the parking of all motor vehicles used by
27 persons working at or providing deliveries to the site.
- 28 d) A haul route shall be obtained at least 7 days prior the start of hauling operations
and must be approved by the City Engineer. Hauling operations shall be 8:00 A.M.
to 3:30 P.M. unless approved otherwise.

1 23. A traffic control plan shall be prepared according to the City traffic control
2 guidelines and be submitted to and approved by the City Engineer prior to the start of work
3 within open City rights-of-way. Traffic control during construction of streets that have been
4 opened to public traffic shall be in accordance with construction signing, marking and other
5 protection as required by the Caltrans Traffic Manual and City Traffic Control Guidelines.
6 Traffic control plans shall be in effect from 8:00 a.m. to 3:30 p.m. unless approved otherwise.

7 24. Approval of this development project is conditioned upon payment of all
8 applicable impact fees and connection fees in the manner provided in chapter 32B of the
9 Oceanside City Code. All drainage fees, traffic signal fees and contributions, highway
10 thoroughfare fees, park fees, reimbursements, and other applicable charges, fees and deposits
11 shall be paid prior to recordation of the map or the issuance of any building permits, in
12 accordance with City of Oceanside Ordinances and policies. The developer shall also be
13 required to join into, contribute, or participate in any improvement, lighting, or other special
14 district affecting or affected by this project. Approval of the tentative parcel map (project) shall
15 constitute the developer's approval of such payments, and his agreement to pay for any other
16 similar assessments or charges in effect when any increment is submitted for final map or
17 building permit approval, and to join, contribute, and/or participate in such districts.

18 24. Prior to approval of the grading plans, the developer shall contract with a
19 geotechnical engineering firm to perform a field investigation of the existing pavement on The
20 Strand adjacent to the project boundary. The limits of the study shall be half-street plus twelve
21 (12) feet along the project's frontage. The field investigation shall include a minimum of one
22 pavement boring per every fifty (50) linear feet of street frontage. Should the existing AC
23 thickness be determined to be less than three (3) inches or without underlying Class II base
24 material, the Developer shall remove and reconstruct the pavement section as determined by the
25 pavement analysis submittal process detailed in Item No. 2 below.

26 25. Upon review of the pavement investigation, the City Engineer shall determine
27 whether the Developer shall: 1) Repair all failed pavement sections, header cut and grind, and
28 construct a two (2) inch thick rubberized AC overlay; or 2) Perform R-value testing and submit a
study that determines if the existing pavement meets current City standards/traffic index. Should
the study conclude that the pavement does not meet current requirements, rehabilitation/mitigation

1 recommendations shall be provided in a pavement analysis report, and the Developer shall
2 reconstruct the pavement per these recommendations, subject to approval by the City Engineer.

3 26. The Strand along the project frontage shall be improved with sidewalk. Sidewalk
4 improvements shall comply with ADA requirements.

5 27. Pavement sections for all streets, alleys, driveways and parking areas shall be based
6 upon approved soil tests and traffic index. The pavement design is to be prepared by the
7 developer's soil engineer and must be approved by the City Engineer, prior to paving.

8 28. Any existing broken pavement, concrete curb, gutter or sidewalk or any damaged
9 during construction of the project, shall be repaired or replaced as directed by the City Engineer.

10 29. Streetlights shall be maintained and installed on all public streets per City
11 Standards. The system shall provide uniform lighting, and be secured prior to occupancy. The
12 developer shall pay all applicable fees, energy charges, and/or assessments associated with City-
13 owned (LS-2 rate schedule) streetlights and shall also agree to the formulation of, or the annexation
14 to, any appropriate street lighting district.

15 30. The developer shall comply with all the provisions of the City's cable television
16 ordinances including those relating to notification as required by the City Engineer.

17 31. Grading and drainage facilities shall be designed and installed to adequately
18 accommodate the local storm water runoff and shall be in accordance with the City's Engineers
19 Manual and as directed by the City Engineer.

20 32. The applicant shall obtain any necessary permits and clearances from all public
21 agencies having jurisdiction over the project due to its type, size, or location, including but not
22 limited to the U. S. Army Corps of Engineers, California Department of Fish & Game, U. S. Fish
23 and Wildlife Service and/or San Diego Regional Water Quality Control Board (including NPDES),
24 San Diego County Health Department, prior to the issuance of grading permits.

25 33. Prior to any grading of any part of the tract or project, a comprehensive soils and
26 geologic investigation shall be conducted of the soils, slopes, and formations in the project. All
27 necessary measures shall be taken and implemented to assure slope stability, erosion control, and
28 soil integrity. No grading shall occur until a detailed grading plan, to be prepared in accordance
with the Grading Ordinance and Zoning Ordinance, is approved by the City Engineer.

34. This project shall provide year-round erosion control including measures for the site

1 required for the phasing of grading. Prior to the issuance of grading permit, an erosion control
2 plan, designed for all proposed stages of construction, shall be reviewed, secured by the applicant
3 with cash securities and approved by the City Engineer.

4 35. A precise grading and private improvement plan shall be prepared, reviewed,
5 secured and approved prior to the issuance of any building permits. The plan shall reflect all
6 pavement, flatwork, landscaped areas, special surfaces, footprints of all structures, walls, drainage
7 devices and utility services.

8 36. Landscaping plans, including plans for the construction of walls, fences or other
9 structures at or near intersections, must conform to intersection sight distance requirements.
10 Landscape and irrigation plans shall be approved by the City Engineer prior to the issuance of
11 occupancy permits, and a pre-construction meeting held, prior to the start of any improvements.

12 37. Landscaping plans, including plans for the construction of walls, fences or other
13 structures at or near intersections, must conform to intersection sight distance requirements.
14 Landscape and irrigation plans for disturbed areas must be submitted to the City Engineer prior to
15 the issuance of a preliminary grading permit and approved by the City Engineer prior to the
16 issuance of occupancy permits. Frontage and median landscaping shall be installed prior to the
17 issuance of any certificates of occupancy. Any project fences, sound or privacy walls and
18 monument entry walls/signs shall be shown on, bonded for and built from the landscape plans.
19 These features shall also be shown on the precise grading plans for purposes of location only.
20 Plantable, segmental walls shall be designed, reviewed and constructed by the grading plans and
21 landscaped/irrigated through project landscape plans. All plans must be approved by the City
22 Engineer and a pre-construction meeting held, prior to the start of any improvements.

23 38. The drainage design on the project tentative parcel map is conceptual only. The
24 final design shall be based upon a hydrologic/hydraulic study to be approved by the City Engineer
25 during final engineering. All drainage picked up in an underground system shall remain
26 underground until it is discharged into an approved channel, or as otherwise approved by the City
27 Engineer. All public storm drains shall be shown on City standard plan and profile sheets. All
28 storm drain easements shall be dedicated where required. The applicant shall be responsible for
obtaining any off-site easements for storm drainage facilities.

1 39. Open space areas and down-sloped areas visible from a collector-level or above
2 roadway and not readily maintained by the property owner, shall be maintained by a homeowners'
3 association that will insure installation and maintenance of landscaping in perpetuity. These areas
4 shall be indicated on the final map and reserved for an association.
5 Future buyers shall be made aware of any estimated monthly costs. The disclosure, together with
6 the CC&R's, shall be submitted to the City Engineer for review prior to the recordation of final
7 map.

8 40. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and
9 disposed of in accordance with all state and federal requirements, prior to stormwater discharge
10 either off-site or into the City of Oceanside drainage system.

11 41. Upon acceptance of any fee waiver or reduction by the Developer, the entire
12 project will be subject to prevailing wage requirements as specified by Labor Code section
13 1720(b)(4). The Developer shall agree to execute a form acknowledging the prevailing wage
14 requirements prior to the granting of any fee reductions or waivers.

14 **Fire:**

15 42. Fire Department Requirements shall be placed on plans in the notes section.

16 43. Smoke detectors are required, and detector locations must be indicated on the
17 plans.

18 44. Fire flow shall be determined at the time of building permit.

19 45. All proposed and existing fire hydrants within 400 feet of the project shall be
20 shown on the site plan. A fire hydrant will be required on The Strand within 150 feet of the
21 proposed project.

22 46. The fire hydrants shall be installed and tested prior to placing any combustible
23 materials on the job site.

24 47. Detailed plans of underground fire service mains shall be submitted to the
25 Oceanside Fire Department for approval prior to installation.

26 48. Blue hydrant identification markers shall be placed as per Oceanside's Engineers
27 Design and Processing Manual Standard Drawing No. M-13.

28 49. In accordance with the California Fire Code Sec. 901.4.4, City approved
addresses for residential occupancies shall be placed on the structure in such a position as to be

1 plainly visible and legible from the street or roadway fronting the property. Numbers shall be
2 contrasting with their background.

3 50. Multifamily dwellings require 6 inch address numbers.

4 51. Plans shall be submitted to the Fire Prevention Bureau for plan check review and
5 approval prior to the issuance of building permits.

6 52. Buildings shall meet Oceanside Fire Departments current codes at the time of
7 building permit application.

8 **Planning:**

9 53. This Tentative Parcel Map (P-200-07), Development Plan (D-200-07), Variation
10 (V-200-07) and Regular Coastal Permit (RC-200-07) shall expire on July 11, 2009, unless
11 implemented as required by the Zoning Ordinance.

12 54. This Tentative Parcel Map, Development Plan, Variation and Regular Coastal
13 Permit approves only the construction of a 4-unit residential condominium project as shown on
14 the plans and exhibits presented to the Community Development Commission for review and
15 approval. No deviation from these approved plans and exhibits shall occur without Economic
16 and Redevelopment Department approval. Substantial deviations shall require a revision to the
17 Tentative Parcel Map, Development Plan and Regular Coastal Permit or a new Tentative Parcel
18 Map, Development Plan and Regular Coastal Permit.

19 56. The applicant, permittee or any successor-in-interest shall defend, indemnify and
20 hold harmless the City of Oceanside, its agents, officers or employees from any claim, action or
21 proceeding against the City, its agents, officers, or employees to attack, set aside, void or annul
22 an approval of the City, concerning Tentative Parcel Map (P-200-07), Development Plan (D-
23 200-07), Variation (V-200-07) and Regular Coastal Permit (RC-200-07). The City will
24 promptly notify the applicant of any such claim, action or proceeding against the City and will
25 cooperate fully in the defense. If the City fails to promptly notify the applicant of any such
26 claim action or proceeding or fails to cooperate fully in the defense, the applicant shall not,
27 thereafter, be responsible to defend, indemnify or hold harmless the City.

28 57. All mechanical rooftop and ground equipment shall be screened from public
view as required by the Zoning Ordinance. That is, on all four sides and top. The roof jacks,
mechanical equipment, screen and vents shall be painted with non-reflective paint to match the
roof. This information shall be shown on the building plans.

1 58. Landscape plans, meeting the criteria of the City's Landscape Guidelines and
2 Water Conservation Ordinance No. 91-15, including the maintenance of such landscaping, shall
3 be reviewed and approved by the City Engineer and City Planner prior to the issuance of
4 building permits. Landscaping shall not be installed until bonds have been posted, fees paid,
5 and plans signed for final approval.

6 59. All landscaping, fences, walls, etc. on the site, in medians in the public right-of-
7 way and in any adjoining public parkways shall be permanently maintained by the owner, his
8 assigns or any successors in interest in the property. The maintenance program shall include
9 normal care and irrigation of the landscaping; repair and replacement of plant materials;
10 irrigation systems as necessary; and general cleanup of the landscaped and open areas, parking
11 lots and walkways, walls, fences, etc. Failure to maintain landscaping shall result in the City
12 taking all appropriate enforcement actions by all acceptable means including but not limited to
13 citations and/or actual work with costs charged to or recorded against the owner. This condition
14 shall be recorded with the covenant required by this resolution.

15 60. Front yard landscaping with a complete irrigation system, in compliance with
16 Water Conservation Ordinance No. 91-15, shall be required.

17 61. All multi-family unit dwelling projects shall dispose of or recycle solid waste in
18 a manner provided in City Ordinance 13.3.

19 62. A letter of clearance from the affected school district in which the property is
20 located shall be provided as required by City policy at the time building permits are issued.

21 63. A covenant or other recordable document approved by the City Attorney shall be
22 prepared by the applicant developer and recorded prior to the issuance of building permits. The
23 covenant shall provide that the property is subject to this resolution, and shall generally list the
24 conditions of approval.

25 64. Prior to the issuance of building permits, compliance with the applicable
26 provisions of the City's anti-graffiti (Ordinance No. 93-19/Section 20.25 of the City Code) shall
27 be reviewed and approved by the Economic and Redevelopment Department. These
28 requirements, including the obligation to remove or cover with matching paint all graffiti within
24 hours, shall be noted on the Landscape Plan and shall be recorded in the form of a covenant
affecting the subject property.

1 65. Prior to the transfer of ownership and/or operation of the site the owner shall
2 provide a written copy of the applications, staff report and resolutions for the project to the new
3 owner and or operator. This notification's provision shall run with the life of the project and
4 shall be recorded as a covenant on the property.

5 66. Failure to meet any conditions of approval for this development shall constitute a
6 violation of the Tentative Parcel Map (P-200-07), Development Plan (D-200-07), Variation (V-
7 200-07) and Regular Coastal Permit (RC-200-07).

8 67. Unless expressly waived, all current zoning standards and City ordinances and
9 policies in effect at the time building permits are issued are required to be met by this project.
10 The approval of this project constitutes the applicant's agreement with all statements in the
11 Description and Justification, and other materials and information submitted with this
12 application, unless specifically waived by an adopted condition of approval.

13 68. The developer's construction of all fencing and walls associated with the project
14 shall be in conformance with the approved Development Plan. Any substantial change in any
15 aspect of fencing or wall design from the approved Development Plan shall require a revision to
16 the Development Plan or a new Development Plan.

17 69. If any aspect of the project fencing and walls is not covered by an approved
18 Development Plan, the construction of fencing and walls shall conform to the development
19 standards of the City Zoning Ordinance. In no case, shall the construction of fences and walls
20 (including combinations thereof) exceed the limitations of the zoning code, unless expressly
21 granted by a Variation or other development approval.

22 70. The following unit type and floor plan mix, as approved by the Community
23 Development Commission, shall be indicated on plans submitted to the Building Division and
24 Economic and Redevelopment Department for building permit:

	Sq.Ft.	# Bedrms	# Baths	# Stories	# Units	%
24 Plan 1	2,305	3	3	1	1	25
25 Plan 2	2,332	3	3	1	1	25
26 Plan 3	2,349	3	3	1	1	25
27 Plan 4	2,386	3	3	1	1	25

28 71. Side and rear elevations and window treatments shall be trimmed to substantially
match the front elevations. A set of building plans shall be reviewed and approved by the

1
2 Economic and Redevelopment Department prior to the issuance of building permits.

3 72. Elevations, siding materials, colors, roofing materials and floor plans shall be
4 substantially the same as those approved by the Community Development Commission. These
5 shall be shown on plans submitted to the Building Division and Economic and Redevelopment
6 Department.

7 73. This project is subject to the provisions of the Local Coastal Plan for Coastal
8 Housing. The developer shall obtain a Coastal Affordable Housing Permit from the Director of
9 Housing and Neighborhood Services prior to issuance of building permits or recordation of a
10 final map, whichever occurs first.

11 74. An association of homeowners (HOA) shall be formed and Covenants,
12 Conditions and Restrictions (CC&R's) shall provide for the maintenance of all common open
13 space, and commonly owned fences and walls and adjacent parkways. The maintenance shall
14 include normal care and irrigation of landscaping, repair and replacement of plant material and
15 irrigation systems as necessary; and general cleanup of the landscaped and open area, parking
16 lots and walkways. The CC&R's shall be subject to the review and approval of the City
17 Attorney prior to the approval of the final map. The CC&R's are required to be recorded prior
18 to or concurrently with the final map. Any amendments to the CC&R's in which the association
19 relinquishes responsibility for the maintenance of any common open space shall not be
20 permitted without the specific approval of the City of Oceanside. Such a clause shall be a part
21 of the CC&R's. The CC&R's shall also contain provisions for the following:

- 22 a) The subterranean garage parking shall be exclusive to the residential
23 occupancy of the site and shall not be shared or used by any other occupancy.
- 24 b) Prohibition of parking or storage of recreational vehicles, trailers, or boats.
- 25 c) Maintenance of all common areas, and on-site and frontage landscaping.
- 26 d) Trash collection either at street level or within a subterranean garage and the
27 funding mechanism.

28 75. Prior to the issuance of a building permit, the applicant and landowner,
shall execute and record a covenant, in a form and content acceptable to the City Attorney,
Which shall provide:

1 a). That the applicant understands that the site may be subject to extraordinary
2 hazard from waves during storms and from erosion and the applicant assumes the liability from
3 those hazards.

4 b). That the applicant unconditionally waives any claim of liability on the part of the
5 City and agrees to defend and indemnify and hold harmless the City and its advisors relative to
6 the City's approval of the project for any damage due to natural hazards.

7 76. A trash enclosure must be provided as required by Chapter 13 of the City Code
8 and shall also include additional space for storage and collection of recyclable materials per
9 City standards. Recycling is required by City Ordinance and State Law. The enclosure must be
10 built in a flat, accessible location as determined by the City Engineer. The enclosure shall meet
11 City standards including being constructed of concrete block, reinforced with Rebar and filled
12 with cement. A concrete slab must be poured with a berm on the inside of the enclosure to
13 prevent the bin(s) from striking the block walls. The slab must extend out of the enclosure for
14 the bin(s) to roll out onto. Steel posts must be set in front of the enclosure with solid metal
15 gates. All driveways and service access areas must be designed to sustain the weight of a
16 50,000-pound service vehicle. Trash enclosures and driveways and service access areas shall be
17 shown on both the improvement and landscape plans submitted to the City Engineer. The
18 specifications shall be reviewed and approved by the City Engineer. The City's waste disposal
19 contractor is required to access private property to service the trash enclosure. A service
20 agreement must be signed by the property owner with the City's waste disposal contractor and
21 shall remain in effect for the life of the project. All trash enclosures shall be designed to
22 provide user access without the use and opening of the service doors for the bins. Trash
23 enclosures shall have design features such as materials and trim similar to that of the rest of the
24 project. If the developer chooses to incorporate the trash enclosures below the street level,
25 within an underground or podium parking structure, it will be the developer's responsibility and
26 cost to get the trash and recycling bins to the street level on the trash collection days. It will
27 also be the developer's responsibility to have the trash and recycling bins removed from the
28 street within three hours of the pick up of the trash. The handling of all of the trash and
recycled materials within a project will be clearly identified within the CC& R's and is subject
to the review and approval of the Economic and Redevelopment Department and Waste

1 Management prior to the issuance of a building permit, and shall be recorded as CC&R's against
2 the property. This design shall be shown on the landscape plans or the architecture plans and
3 shall be approved by the Economic and Redevelopment Department. The proposed location of
4 the trash enclosure (below grade) may also require additional services from Waste Management
5 which may result in higher fees.

6 77. The proposed building cannot exceed the height of the centerline of Pacific
7 Street located immediately east of the subject site. To ensure compliance, the applicant is
8 required, at their expense, to hire a registered surveyor or civil engineer to measure the building
9 height at various stages of construction.

9 **Water Utilities:**

10 78. All public water and/or sewer facilities not located within the public right-of-way
11 shall be provided with easements sized according to the City's Engineers Manual. Easements
12 shall be constructed for all weather access.

13 79. No trees, structures or building overhang shall be located within any water or
14 wastewater utility easement.

15 80. The property owner will maintain private water and wastewater utilities located
16 on private property.

17 81. Water services and sewer laterals constructed in existing right-of-way locations
18 are to be constructed by approved and licensed contractors at developer's expense.

19 82. The developer will be responsible for developing all water and sewer utilities
20 necessary to develop the property. Any relocation of water and/or sewer utilities is the
21 responsibility of the developer and shall be done by an approved licensed contractor at the
22 developer's expense.

23 83. All lots with a finish pad elevation located below the elevation of the next upstream
24 manhole cover of the public sewer shall be protected from backflow of sewage by installing and
25 maintaining an approved type backwater valve, per the Uniform Plumbing Code (U.P.C.).

26 84. Water and Wastewater Buy-in fees and the San Diego County Water Authority Fees
27 are to be paid to the City and collected by the Water Utilities Department at the time of Building
28 Permit issuance.

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28

85. All Water and Wastewater construction shall conform to the most recent edition of the City's Engineers Manual, or as approved by the Water Utilities Director.

86. All new development of multi-family residential units shall include hot water pipe insulation and installation of a hot water re-circulation device or design to provide hot water to the tap within 15 seconds in accordance with City of Oceanside Ordinance No. 02-0R126-1.

87. Subterranean parking spaces shall be drained to the City's Storm Drain System and shall comply with the California Regional Water Quality Control Board Order No. 2001-01.

PASSED AND ADOPTED by the Oceanside Community Development Commission of the City of Oceanside this ___ day of _____ 2007 by the following vote:

- AYES:
- NAYS:
- ABSENT:
- ABSTAIN:

Chairman

ATTEST:

Secretary

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY

by 
General Counsel

CITY OF OCEANSIDE
PLANNING DEPARTMENT

NOTICE OF EXEMPTION

TO: X RECORDER/COUNTY CLERK
COUNTY OF SAN DIEGO
P.O. BOX 1750
SAN DIEGO, CA 92112-4147

PROJECT TITLE AND FILE NUMBER:
TENTATIVE PARCEL MAP (P-200-07), DEVELOPMENT PLAN (D-200-07), VARIATION (V-200-07) and
REGULAR COASTAL PERMIT (RC-200-07) for the construction of a 4-unit multifamily condominium located
at 412 South the Strand on a 8,786 sq. ft. lot.

PROJECT LOCATION - SPECIFIC:
412 S. The Strand

PROJECT LOCATION - GENERAL:
South Strand and Pine streets

TENTATIVE PARCEL MAP (P-200-07)
DEVELOPMENT PLAN (D-200-07)
CONDITIONAL USE PERMIT (C-200-07)
REGULAR COASTAL PERMIT (RC-200-07)

DESCRIPTION OF NATURE, PURPOSE AND BENEFICIARIES OF PROJECT:
The construction of a 4-unit multifamily condominiums located at 412 South the Strand.

NAME OF PUBLIC AGENCY APPROVING PROJECT:

City of Oceanside

NAME OF PERSON(S) OR AGENCY CARRYING OUT PROJECT:

Lightfoot Planning
5750 Fleet Street
Carlsbad, CA 92008
(760) 692-1924

Exempt Status per the Guidelines to Implement the California Environmental Quality Act (CEQA)
(Public Resources Code Section 21000 et. al.):

NOT SUBJECT TO CEQA PER THE GENERAL RULE, SECTION 15061(B)(3)

STATUTORY EXEMPTION PER ARTICLE 18, SECTION(S)

CATEGORICAL EXEMPTION PER ARTICLE 19, SECTION 15301(b)

REASONS WHY PROJECT IS EXEMPT:

The proposed project consists of the construction of a 4-unit multifamily condominium development located at 412 South The Strand Street on a 8,786 sq. ft. lot. The 4-unit residential multifamily condominiums is considered an infill development and the subject site is less than 5 acres.

Contact Person: Shan Babick, Associate Planner

SIGNATURE

For: Jerry Hittleman, Interim City Planner

June 6, 2007

DATE



JOHN C. PERKINS ARCHITECTS
 412 SOUTH THE STRAND
 OCEANSIDE, CALIFORNIA 92054
 TEL: 760.434.1234
 FAX: 760.434.1235
 WWW.JCPARCHITECTS.COM



These drawings are the property of JCP Architects and are to be used only for the project and location specified. No part of these drawings may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of JCP Architects.

412 SOUTH
 THE STRAND
 OCEANSIDE, CALIFORNIA 92054

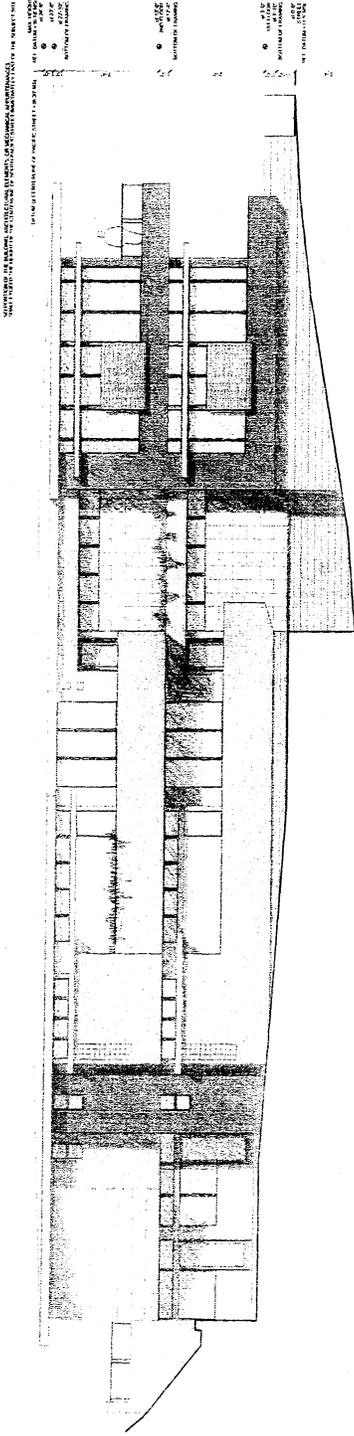
No.	Date	Issue
1	02/08/06	Concept Design
2	7/3/06	Draw Preliminary
3	11/16/06	Contract Application
4	02/24/06	City Revision #1

Project Number
 06002

A-3.1

KEYNOTES

- CEMENT PLASTER WITH SMOOTH FINISH COAT
- METAL STAINING SEAM SPRING
- WOOD DOORS WITH CLEAR FINISHED GLAZING
- CLAD WOOD WINDOW
- TEMPERED GLAZED GLASS PANEL WITH METAL CAP
- PATTERNED GLASS IN LOCK
- METAL SIGN SHIELD
- STONE TILE VENEER
- METAL PANEL
- GRANITE FACE CONCRETE CURB
- FOLDING WOOD DOORS WITH CLEAR FINISHED GLAZING
- PAINTED METAL FENCE AND GATE
- MATTE ALUMINUM FINISH SIGNAGE
- CORNER METAL SIGNAGE
- RUN UP STAIR WITH COP SAFETY
- PAINTED METAL PIPE GUARDRAIL

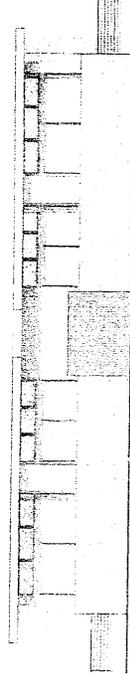


NORTHWEST ELEVATION

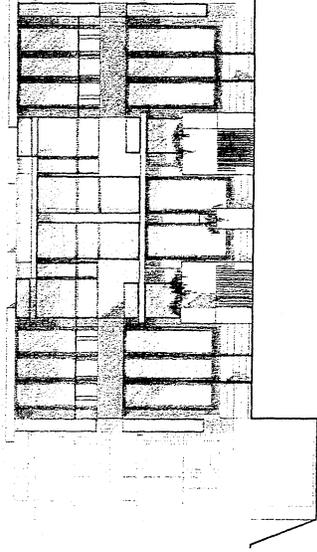
SCALE: 3/16" = 1'-0"

LEGEND

NOT TO SCALE
 SEE ARCHITECTURAL RECORDS FOR MATERIALS AND FINISHES
 SEE ARCHITECTURAL RECORDS FOR MATERIALS AND FINISHES
 SEE ARCHITECTURAL RECORDS FOR MATERIALS AND FINISHES



NORTHEAST ELEVATION



SOUTHWEST ELEVATION



These drawings and specifications are the property of JOP ARCHITECTS and shall remain the property of JOP ARCHITECTS. No part of these drawings or specifications may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of JOP ARCHITECTS.

412 SOUTH
412 SOUTH THE STRAND
OAKLAND, CALIFORNIA 94612

No.	Date	Issue
1	6/20/06	Concept Design
2	7/25/06	Draft Preliminary
3	11/11/06	Coastal Appeals
4	02/24/08	City Revision #

Project Number
06002

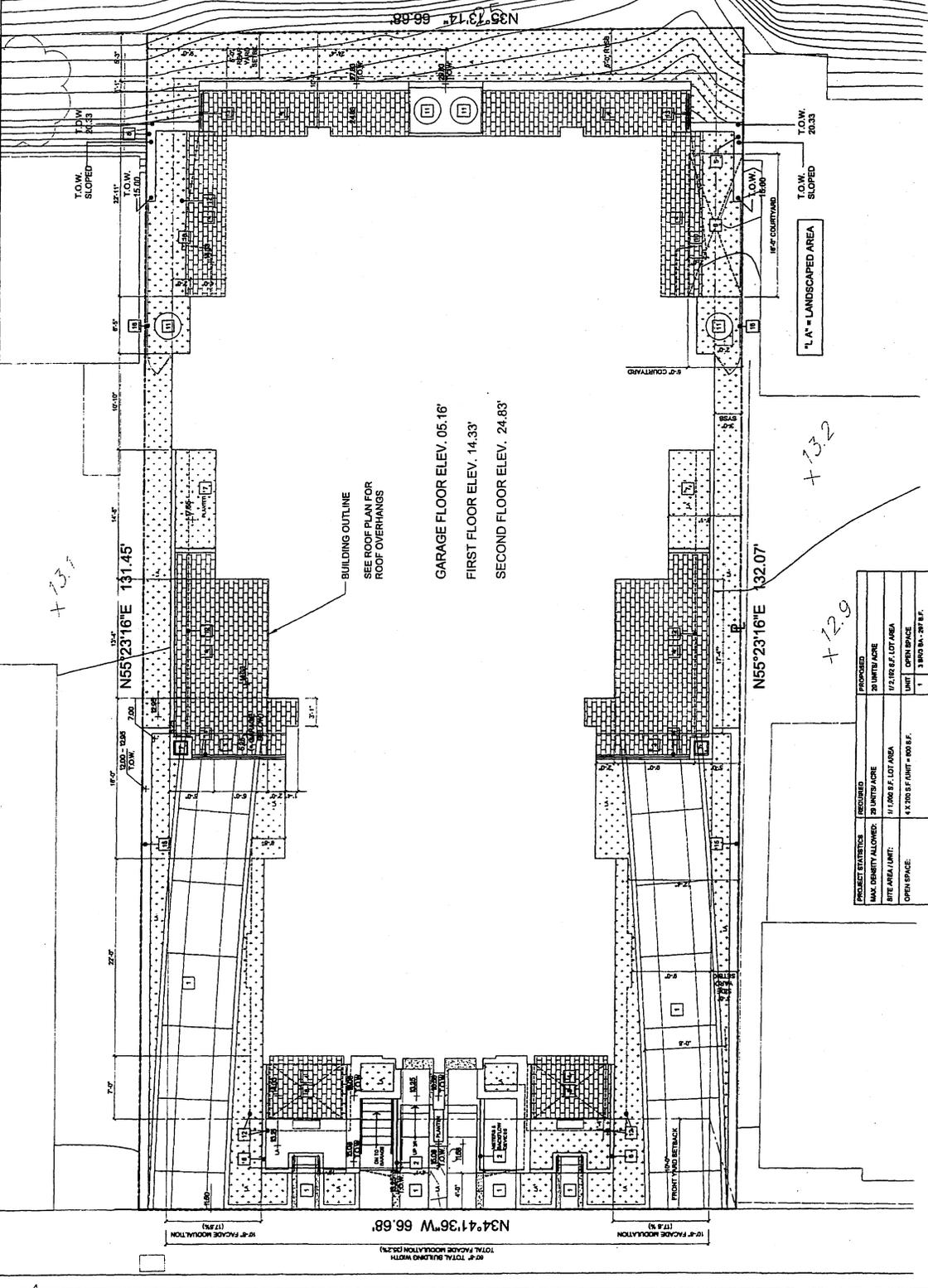
A-1.0

KEYNOTES

- 1 CONCRETE PAVING
- 2 42" HIGH METAL FENCE - PAINT
- 3 PLAN SHOWS BOTH FIRST FLOOR AND SECOND FLOOR LANDSCAPING ELEMENTS SUPERIMPOSED.
- 4 EXTERIOR TILED DECK / PATIO
- 5 CONCRETE RETAINING WALL
- 6 RETAINING WALL UNDER 3'
- 7 LANDSCAPING COUNTED TOWARDS GARAGE FLOOR AREA FOR THE PORTION ABOVE A RED ON GRADE PAVING GARAGE
- 8 PRIVATE OUTDOOR LIVING SPACE
- 9 COURT AT REQUIRED WINDOW OPENING
- 10 BAY WINDOW ABOVE COURT
- 11 PAD MOUNTED HEAT PUMP
- 12 BUILDING OR DECK ABOVE
- 13 PAINTED METAL GUARDRAIL
- 14 ALL GLASS GUARDRAIL
- 15 PLANTED CURB RETAINING WALL
- 16 6" HIGH 1/2" THICK BOARD FENCE

LEGEND

- REQUIRED LANDSCAPING
- TILE PAVING
- CONCRETE PAVING - INTERIOR COLOR - NON-DIRECTIONAL TOILET SCORE UNED 75 SHOWN
- CONCRETE PAVING - EXTERIOR COLOR - INTERIOR COLOR - NON-DIRECTIONAL TOILET SCORE UNED 75 SHOWN
- CONCRETE PAVING - EXTERIOR COLOR - INTERIOR COLOR - NON-DIRECTIONAL TOILET SCORE UNED 75 SHOWN
- NEW BUILDING FOOTPRINT
- NEW 6" CONCRETE CURB



AREA CALL	AREA	FLOOR AREA
1A	8738 SQUARE FEET	8738 S.F.
1B	4111 SQUARE FEET	4111 S.F.
1C	4581 SQUARE FEET	4581 S.F.
TOTAL	17430 SQUARE FEET	17430 S.F.

SITE PLAN

SCALE: 3/16" = 1'-0"

PROJECT ELEMENTS	REQUIRED	PROVIDED	LANDSCAPING PROVIDED: 1,885 S.F.
MAX. DENSITY ALLOWED	21 UNITS/ACRE	20 UNITS/ACRE	
NET AREA / UNIT	4,120 S.F. / UNIT = 100 S.F.	4,120 S.F. / UNIT = 100 S.F.	
PARKING SPACES	2 / UNIT = 4,120 S.F.	2 / UNIT = 4,120 S.F.	
LANDSCAPING	3,200 S.F. / UNIT = 1,280 S.F.	1,885 S.F. / UNIT = 1,280 S.F.	

TENTATIVE PARCEL MAP FOR A CONDOMINIUM PROJECT P-200-07, D-200-07, V-200-07 RC-200-07

SHEET 1 OF 2

APPLICATION DESCRIPTION
 THIS PARCEL MAP IS SUBMITTED FOR THE REDEVELOPMENT OF THE PROJECT SITE AND IS TO BE USED IN CONNECTION WITH THE CONDOMINIUM ACT AND THE SUBDIVISION MAP ACT.

LEGAL DESCRIPTION
 THE TRACT OF LAND, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, PER MAP NO. 1044 RECORDED APRIL 29, 1992.

DEVELOPMENT CRITERIA
 DEVELOPER: [REDACTED]
 SUBDIVISION: [REDACTED]
 DISTRICT: [REDACTED]
 SITE AREA: [REDACTED]

PROJECT DATA
 1) SITE AREA: 104,300 SF.
 2) TOPOGRAPHIC SURVEY: BY PHOTOGRAMMETRY METHOD COMPLETED BY PHOTO GEOMETRIC CORP. CONTROL INTERVAL = 1".
 3) GENERAL PLAN RESOLUTION: DOWNTOWN DISTRICT.
 4) ZONING SUBDISTRICT: (AS EXISTING AND PROPOSED).
 5) LAND USE: RESIDENTIAL.
 6) NUMBER OF UNITS: EXISTING 2, PROPOSED 1.
 7) EXISTING RIGHTS: RESERVED TO THE STATE OF CALIFORNIA.
 8) ZONING/TWO SETBACKS: FRESH: 10 FT.
 9) SIDE: 5 FT.
 10) REAR: 5 FT.
 11) GRADING COMMITTEE: EXAMINER: 44 C.T.
 12) EXAMINER: 899 C.T.
 13) REPORT: 025 C.T.

SITE ADDRESS
 102 SOUTH STRAND
 OCEANSIDE, CA

SEWERAGE SYSTEM
 ALL SANITARY WASTEWATER UNDERGROUND SEWERAGE SHALL BE COLLECTED AND PUMPED TO THE DRAINAGE SURFACE DRAINAGE SYSTEM.



- CONSTRUCTION LEGEND**
- ① CATCH BASIN
 - ② DRAINAGE PIPE
 - ③ GRASS LINED SWALE PER DETAIL "A" ON SHEET 1
 - ④ TIE-UP TO PRIVATE HOMEOWNER AREA
 - ⑤ 4" SEWER LATERAL

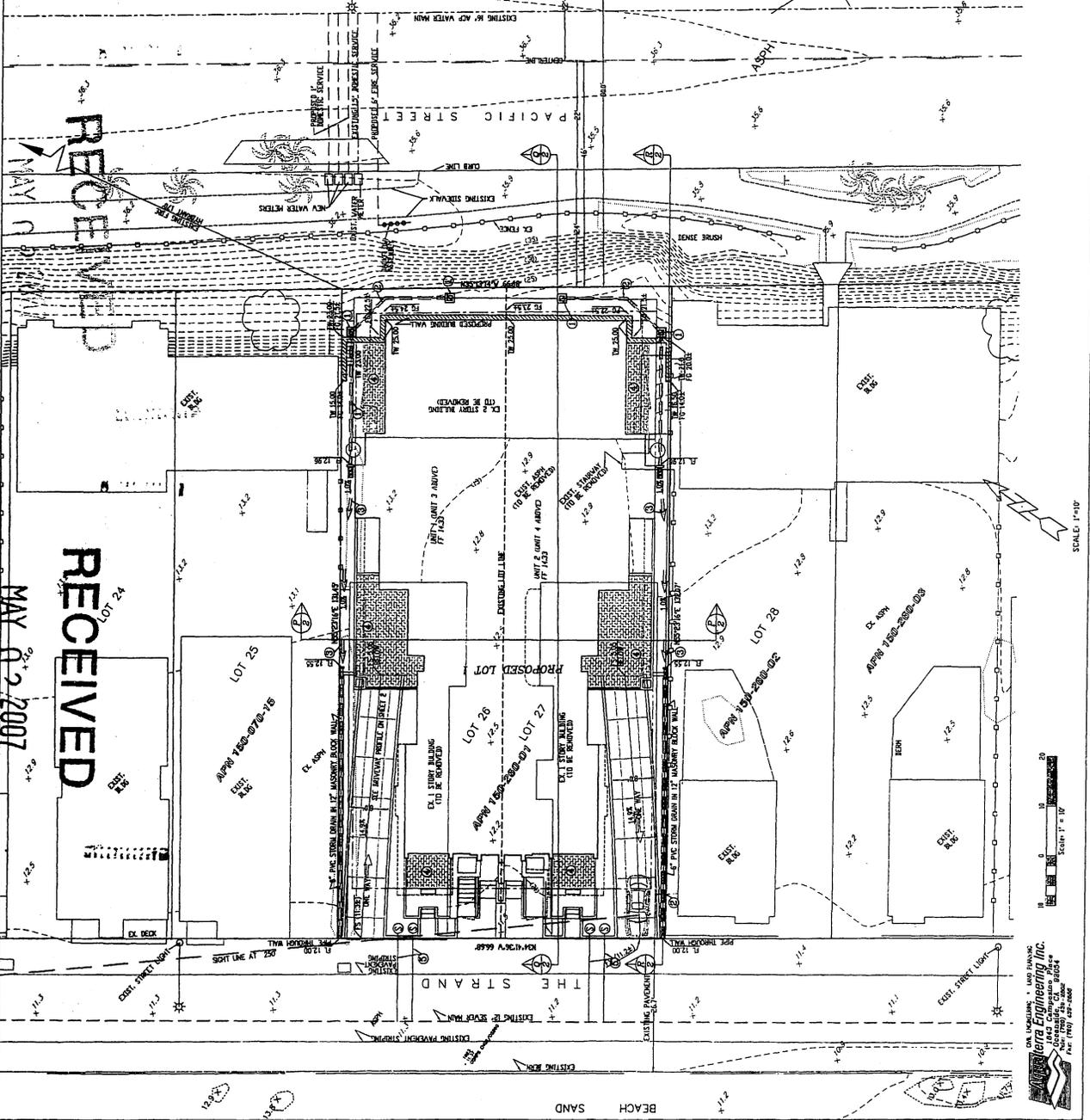
OWNER AND APPLICANT
 DEANSTRAND STRAND LLC
 102 SOUTH STRAND STREET
 SAN DIEGO, CA 92101
 TEL: 619-291-2727

ENGINEER OF WORK
 TERRA ENGINEERING INC.
 1025 CAMPBELL PLACE
 SAN DIEGO, CA 92108
 TEL: 619-594-2888
 FAX: 619-594-2889
 PREPARED UNDER THE SUPERVISION OF:
 GARY J. PASKA, P.E. DATE: 4/12/07
 EXPIRES: 12/31/07



OCEANSIDE REDEVELOPMENT

OCEANSIDE REDEVELOPMENT



ON INCLUDE: 1. TWO FINISH LOTS
 TERRA ENGINEERING INC.
 1025 CAMPBELL PLACE
 SAN DIEGO, CA 92108
 TEL: 619-594-2888
 FAX: 619-594-2889

LANDSCAPE CONCEPT PLAN

412 SOUTH THE STRAND

LANDSCAPE CONCEPT DESIGN STATEMENT

The landscape is designed to enhance architectural features. All on-site plant material will be low or sculptural forms, and shall use the ocean or walls as backdrops. Layering different varieties of grasses, layering ocean breeze and bring the rolling movement of the ocean into the landscape. The plant palette is specialized in nature to survive the salt, sand, and wind, along with the hot south to west exposure. The project shall protect landscape in the right-of-way on the strand, and repair any construction damage to existing right-of-way planting. Any bluff areas disturbed during construction shall be landscaped for erosion control.

CONCEPTUAL PLANT LIST

- TREES**
- PHOENIX ROBELENI - FORTY DATE PALM, 15' GAL MULTI-TRUNKED (80" x 80")
 - WASHINGTONIA ROBUSTA - TEXICAN FAN PALM, 15' BTH (80" x 10")
- SHRUBS**
- AGAVE FILIFERA - AGAVE, 5 GAL (7" x 7")
 - ALOE STRIATA - CORAL ALOE, 5 GAL (7" x 7")
 - ANACARDIUM HYBRIDUS 'BUSH BABY' - 'BUSH BABY', 1 BUSH RANGER - KANGAROO PALM, 5 GAL (30" x 30")
 - DODONAEA VISCOSA 'PURPUREA' - PURPLE HOPBRED BUSH, 5 GAL (6" x 6")
 - MANISIA DORSTENI 'COMPACTA' - COMPACT HEAVENLY BAMBINO, 5 GAL (4' to 5' x 3')
 - PHOENIX HYBRIDS 'MORRIS HADEN' - NEW ZEALAND FLAX HYBRID, 5 GAL (3' to 4' x 4' to 6')
 - PHOENIX 'TENAX TOT THOMP' - NEW ZEALAND FLAX, 5 GAL (7' to 3' x 7' to 3')
 - STRELTZIA NICOLAI - GIANT BIRD OF PARADISE, 5 GAL (30" x 30")
- GROUNDCOVERS AND GRASSES**
- CARRISA MACROCARPA 'PROSTRATA' - PROSTRATE NATAL PLUM, 1 GAL (7")
 - PENTICA GLAUCA 'ELIJAH BLUE' - COMMON BLUE PEECIE, 1 GAL (6")
 - PHILARIS ARUNDINACEA - VAREGATED RIBBON GRASS, 1 GAL (4" x emptying mesh)
 - STIPA TENISSIMA - TEXICAN TEAHER GRASS, 1 GAL (8" x 18")
 - BIO-SWALE GRASSES
- VINES FOR LINDOON BOX PLANTERS**
- CAMPANULA BOPHYLLA - ITALIAN BELLFLOWER, 1 GAL, # 17' oc (trailing vine to 1' long)
 - CAMPANULA POSCHARYANKA - SERBIAN BELLFLOWER, 1 GAL, # 17' oc (8") with 17' flower stems)
 - L'YPMACHIA NIPULARIA - CREEPING BERRY, 1 GAL, # 18' oc (8" x 7")

NOTES:

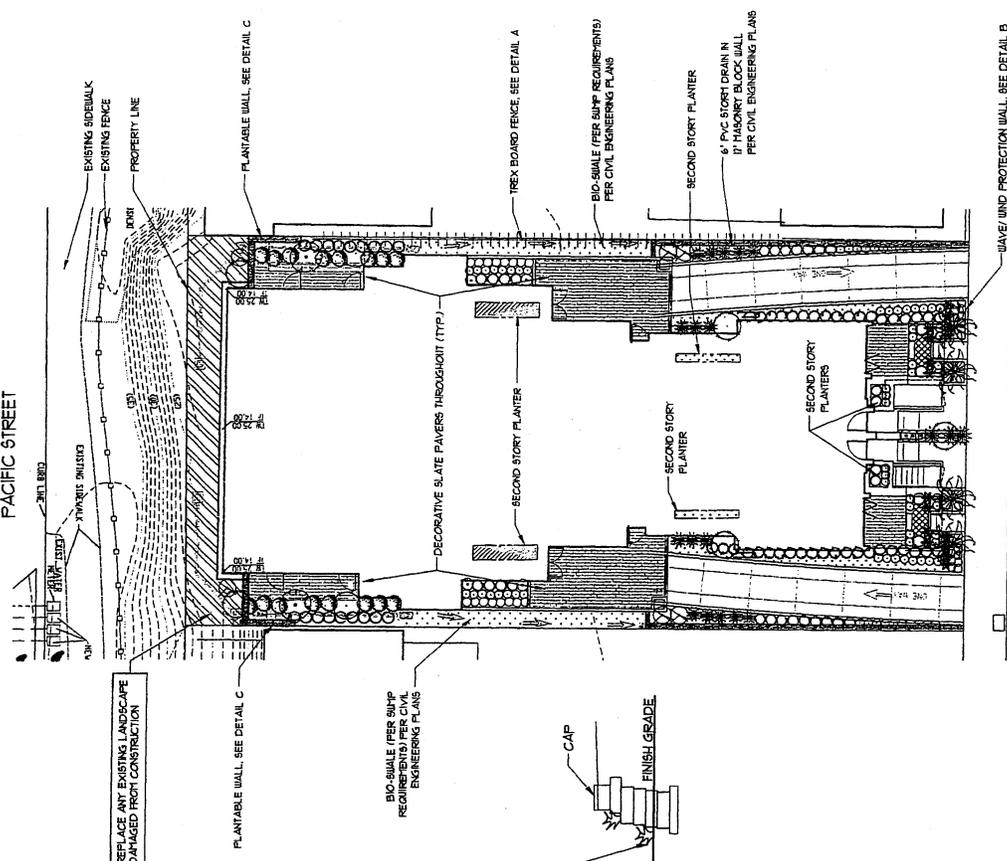
- Minimum plant heights and widths taken from Sunset Western Garden Book (2000 edition)
- All tree species and locations are subject to final Fire Marshall approval.
- Trees and large shrubs shall be 10' off of structure measured from the center projection of the structure to the drip line of the tree at 100% canopy.

IRRIGATION NOTES

An automatic irrigation system shall be installed or redesigned to provide coverage for all planting areas shown on the plan. Low precipitation equipment shall provide sufficient water for plant growth with a minimum of water loss due to run-off. All irrigation improvements shall be installed as per the provisions of the City of Oceanside Zoning Ordinance and Specifications for the City of Oceanside Guidelines and Specifications for Landscape Development (1985, revised 1997) and Water Conservation Ordinance 029-15.

PLANTING NOTES

The selection of plant material is based on cultural, aesthetic, and maintenance considerations. All planting areas shall be prepared with soil conditioners, fertilizers, and appropriate supplements based upon soil samples taken from the site. Groundcovers shall fill in between the shrubs to shield the soil from the sun and evapotranspiration. All flower and shrub beds shall be mulched to help conserve water, lower the soil temperature, and reduce weed growth. The shrubs shall be allowed to grow in their more natural forms. This will work together with the groundcovers and mulches to reduce the evapotranspiration rates of the soil. All landscaping will meet the requirements of the City of Oceanside Guidelines and Specifications for Landscape Development (1985, revised 1997).



SEE PAGE ANY EXISTING LANDSCAPE DAMAGED FROM CONSTRUCTION

PLANTABLE WALL, SEE DETAIL C

BIO-SWALE (PER SWMP REQUIREMENTS) PER CIVIL ENGINEERING PLANS

DECORATIVE SLATE PAVERS THROUGH-HOLE (THP)

SECOND STORY PLANTER

TREX BOARD FENCE, SEE DETAIL A

BIO-SWALE (PER SWMP REQUIREMENTS) PER CIVIL ENGINEERING PLANS

SECOND STORY PLANTER

6' PVC STORM DRAIN IN 12' MASONRY BLOCK WALL PER CIVIL ENGINEERING PLANS

WAVE/WIND PROTECTION WALL, SEE DETAIL B

BEACH

SOUTH THE STRAND

REQUIRED LANDSCAPE AREA - PROPOSED LANDSCAPE AREA - SEE ARCHITECTURE PLANS FOR LANDSCAPE AREA EXHIBIT

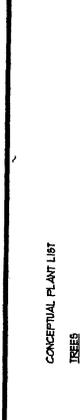
SCALE: 1" = 10'

CONCEPTUAL PLANT LIST

IRRIGATION NOTES

PLANTING NOTES

SCALE: NTS.



THE LIGHTFOOT PLANNING GROUP

PLANNING SITE DESIGN LANDSCAPE ARCHITECTURE

1100 HULL STREET, SUITE 100, OCEANSIDE, CA 92054 (619) 431-1111 WWW.LIGHTFOOTPLANNING.COM

DATE: 11.1.07
 SHEET: 01/02/06
 DRAWN BY: LLD
 CHECKED BY: JLD
 PROJECT NO: 02-0005-02
 DATE: 4/6/07

LANDSCAPE CONCEPT PLAN

412 SOUTH THE STRAND

OCEANSIDE STRAND, LLC

OCEANSIDE, CALIFORNIA

LANDSCAPE CONCEPT PLAN

DATE: 11.1.07
 SHEET: 01/02/06
 DRAWN BY: LLD
 CHECKED BY: JLD
 PROJECT NO: 02-0005-02
 DATE: 4/6/07

LANDSCAPE CONCEPT PLAN

412 SOUTH THE STRAND

OCEANSIDE STRAND, LLC

OCEANSIDE, CALIFORNIA

LANDSCAPE CONCEPT PLAN

DATE: 11.1.07
 SHEET: 01/02/06
 DRAWN BY: LLD
 CHECKED BY: JLD
 PROJECT NO: 02-0005-02
 DATE: 4/6/07



This project has been prepared by the undersigned for the use of the client and is not to be used for any other project without the written consent of the undersigned. The undersigned shall be held responsible for the accuracy of the information and the drawings and shall be held liable for the consequences of any error or omission.

412 SOUTH THE STRAND
 OCEANA, CALIFORNIA 92054

No.	Date	Issue
1	02/08/08	Concept Design
2	07/31/08	Draft Preliminary
3	11/18/08	Coastal Permit
4	02/24/09	City Revision

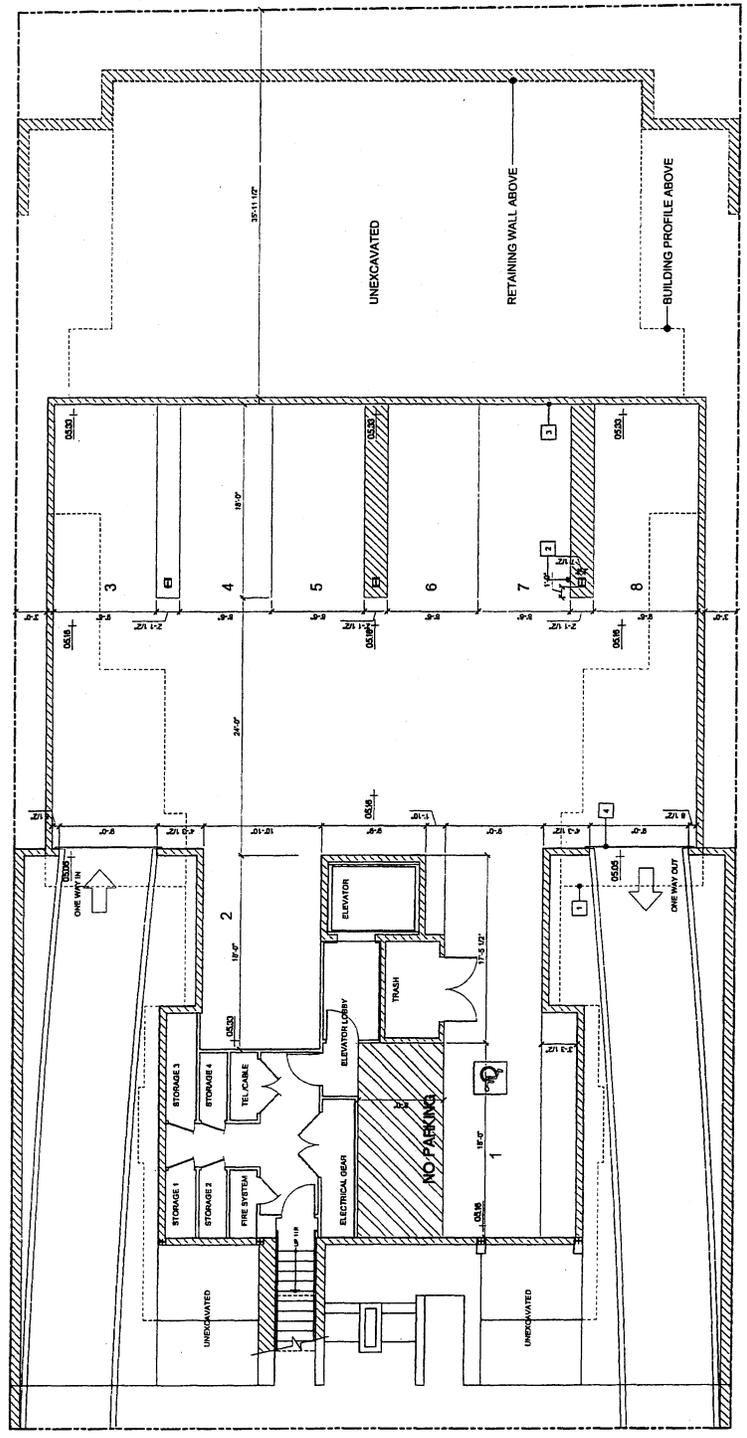
Project Number
 06002

A-2.0

KEYNOTES

- 1 BUILDING ABOVE
- 2 CONCRETE COLUMN
- 3 CAR WALLS
- 4 ALUMINUM SECURITY GRILL

LEGEND



BASEMENT PLAN

SCALE: 3/16" = 1'-0"
 3,989 SQUARE FEET



GANNON-CENTRILLO-PASARILE
ARCHITECTS
INC.
1775 MARSHALL BLVD., SUITE 500
SAN DIEGO, CALIFORNIA 92108
TEL: 619.594.1111 FAX: 619.594.1112



These drawings and specifications are the property of GANNON-CENTRILLO-PASARILE ARCHITECTS, INC. and shall remain the property of the architect. No part of these drawings and specifications shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect.

412 SOUTH
412 SOUTH THE STRAND
SAN DIEGO, CALIFORNIA 92054

No.	Date	Issue
1	6/30/06	Concept Design
2	7/31/06	Draft Preliminary
3	11/16/06	Coastal Approval
4	02/24/08	City Revisions #

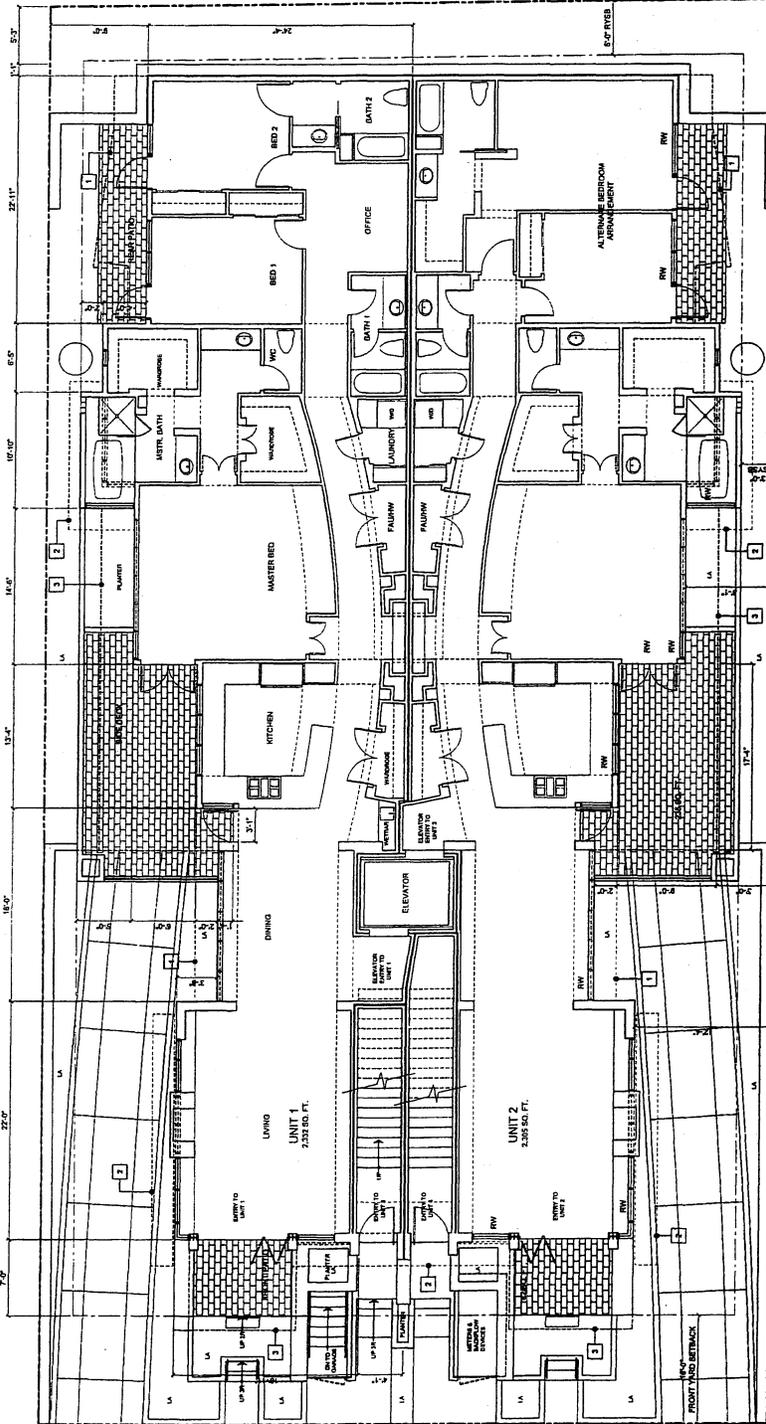
Project Number
06002

A-2.1

KEYNOTES

- 1 BUILDING ABOVE
- 2 SUNSHADE ABOVE
- 3 DECK ABOVE

LEGEND



RW = REQUIRED WINDOW



FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"
4,871 SQUARE FEET



JOP ARCHITECTS
 177 MANCIE STREET, SUITE 100
 SAN DIEGO, CALIFORNIA 92101
 619.591.1110
 JOPARCHITECTS.COM



These drawings and specifications are the property of JOP ARCHITECTS and are to be used only for the project and site identified on the title block. No other use, reproduction, or distribution is permitted without the written consent of JOP ARCHITECTS. The architect shall be held responsible for the accuracy of the information provided in these drawings and specifications. It is the responsibility of the contractor to verify the accuracy of the information provided in these drawings and specifications prior to the commencement of any work.

412 SOUTH
412 SOUTH THE STRAND
 OCEAN VIEW, CALIFORNIA 92054

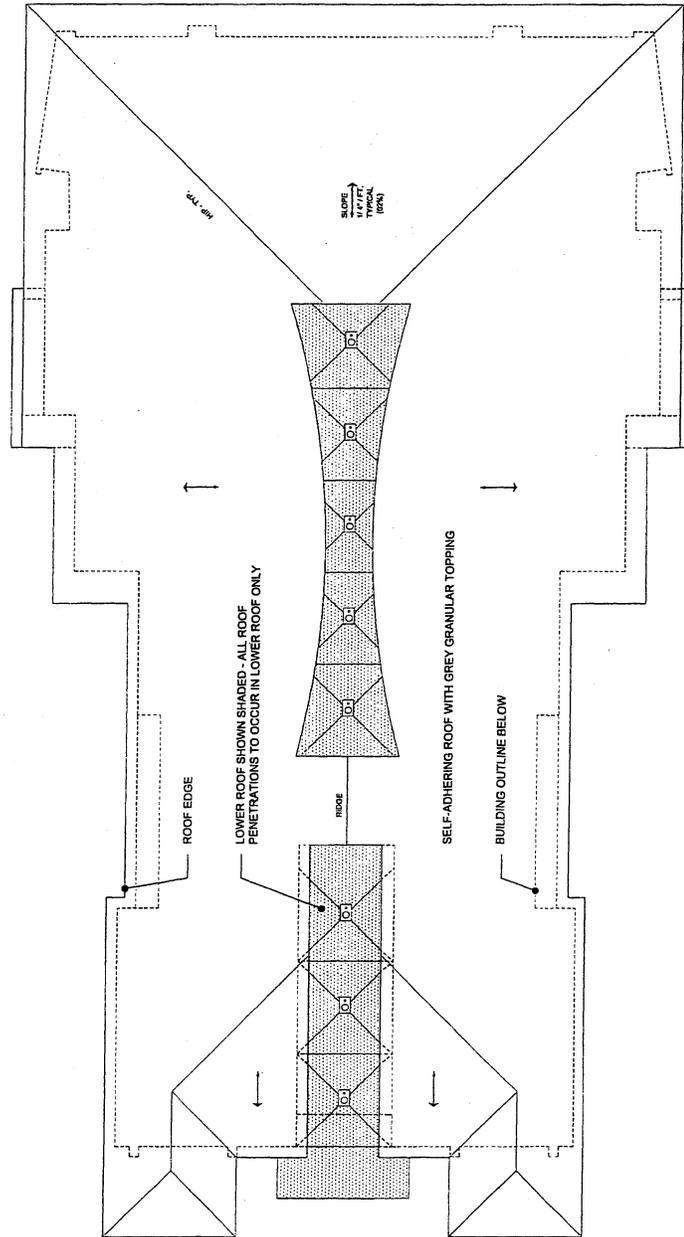
No.	Date	Issue
1	6/30/06	Concept Design
2	7/3/06	Draft Preliminary
3	11/16/06	Coastal Applied
4	02/24/08	City Revision 1

Project Number
 06002

A-2.3

KEYNOTES

LEGEND



ROOF PLAN

SCALE: 3/16" = 1'-0"



JOP ARCHITECTS
 1725 W. UNIVERSITY AVENUE
 SUITE 100
 OCEAN BLVD, CALIFORNIA 92054



These drawings and specifications are the property of JOP ARCHITECTS, INC. and are to be used only for the project and site identified herein. No part of these drawings or specifications may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of JOP ARCHITECTS, INC.

412 SOUTH THE STRAND
 OCEAN BLVD, CALIFORNIA 92054

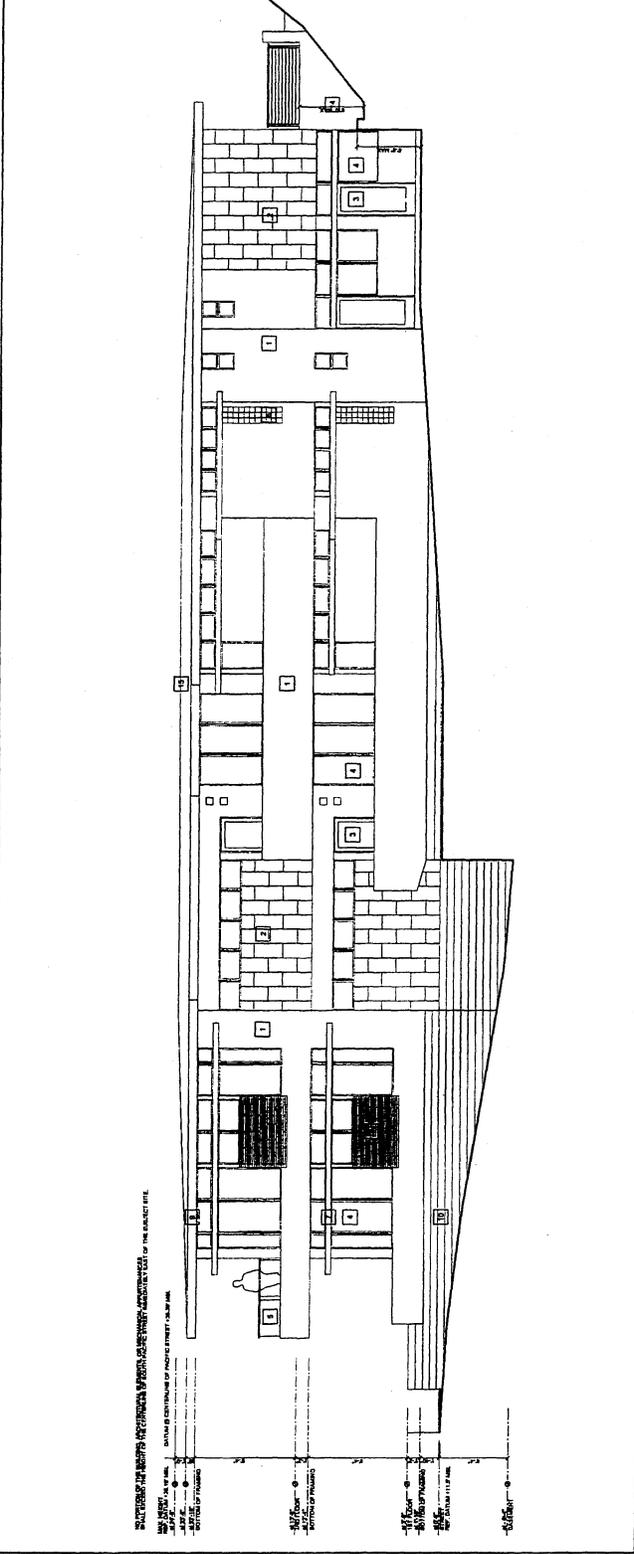
No.	Date	Issue
1	05/01/06	Concept Design
2	07/11/06	Draft Preliminary
3	11/18/06	Contract Approval
4	02/24/08	City Revision #1

Project Number
 06002

A-3.0

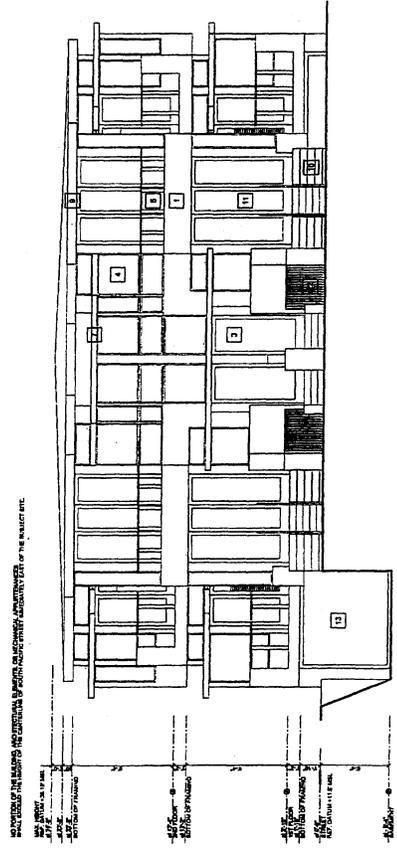
KEYNOTES

- 1 CONCRETE SLAB WITH SMOOTH EPDM FINISH COAT
- 2 METAL STANDING SEAM ROOFING
- 3 WOOD DOOR WITH CLEAR TEMPERED GLAZING
- 4 GLAZ WOOD WINDOW
- 5 TEMPERED CLEAR GLASS RAIL WITH METAL CAP
- 6 PATTERED GLASS BLOCK
- 7 METAL SEAM ROOFING
- 8 ROOF TILE VENER
- 9 METAL PANEL
- 10 BRICK FACE COLORED CMU
- 11 POLYMER WOOD DOORS WITH CLEAR TEMPERED GLAZING
- 12 PAINTED METAL FENCE AND GATE
- 13 WHITE ALUMINUM ROLLING GRIFFLE
- 14 CONCRETE RETAINING WALL
- 15 BUILD UP ROOF



SOUTHEAST ELEVATION

SCALE: 3/16" = 1'-0"



SOUTHWEST ELEVATION

SCALE: 3/16" = 1'-0"



GWYNETH CRISTINA ARREARQUE
ARCHITECTS
1475 BIRCHMOUNT DRIVE, SUITE 100
SAN DIEGO, CALIFORNIA 92108
PH: 619-594-7110



These drawings were prepared and used under the supervision of the architect and are not to be used for any other purpose without the written consent of the architect. Any dimensions shall be brought to the attention of the architect prior to the commencement of any work.

412 SOUTH THE STRAND
OCEAN VIEW, CALIFORNIA 92054

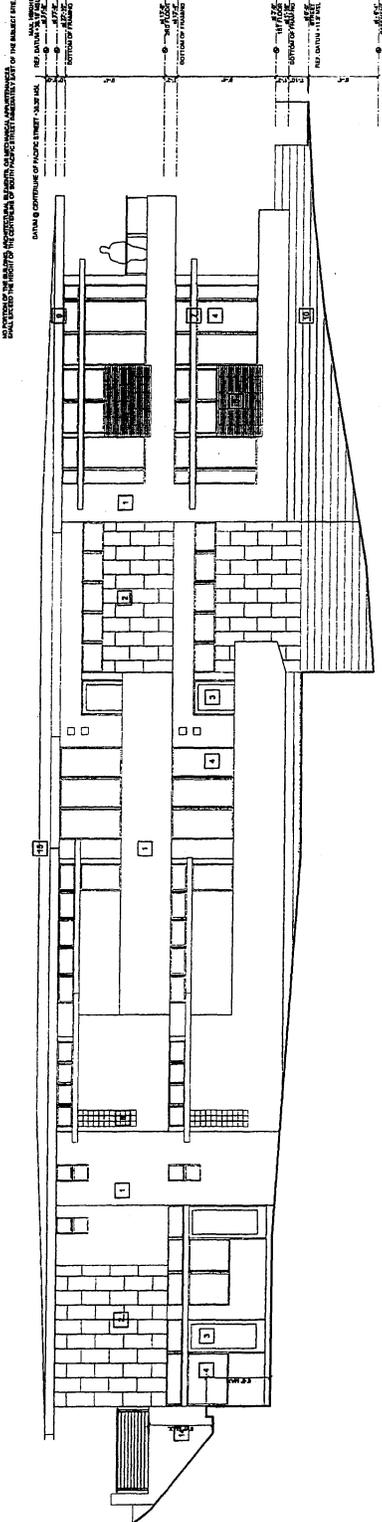
No.	Date	Issue
1	03/08/08	Concept Design
2	07/01/08	Draft Preliminary
3	11/16/08	Coastal Approval
4	02/24/09	City Revision #

Project Number
06002

A-3.1

KEYNOTES

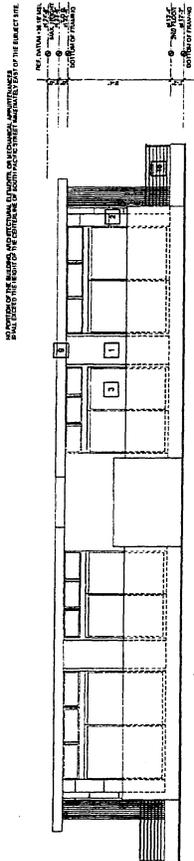
- 1 CEMENT PLASTER WITH SMOOTH EPS FINISH COAT.
- 2 METAL STANDING SEAM ROOFING
- 3 WOOD DOOR WITH CLEAR TEMPERED GLAZING
- 4 GLAZED WOOD WINDOW
- 5 TEMPERED CLEAR GLASS RAIL WITH METAL CAP
- 6 PAINTED GLASS BLOCK
- 7 METAL BOAT SHED
- 8 STONE TILE VENEER
- 9 METAL FACIA
- 10 GROUND FACE COLORED OAK
- 11 FOLDING WOOD DOORS WITH CLEAR TEMPERED GLAZING
- 12 PAINTED METAL FENCE AND GATE
- 13 MATTE ALUMINUM ROLLING GRILLE
- 14 CONCRETE RETAINING WALL
- 15 WALK UP ROOF WITH CAP SHEET
- 16 PAINTED METAL PIPE QUADRANT



NORTHWEST ELEVATION

SCALE: 3/16" = 1'-0"

LEGEND



NORTHEAST ELEVATION

SCALE: 3/16" = 1'-0"

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 6Z

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 5

*Resource Name or #: (Assigned by recorder) 412 S. The Strand (Units A-D)

*P1. Other Identifier: Arnold F. and Willie R. Blesse Sandy Shore Apartments

*P2. Location: Not for Publication Unrestricted * a. County: San Diego

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

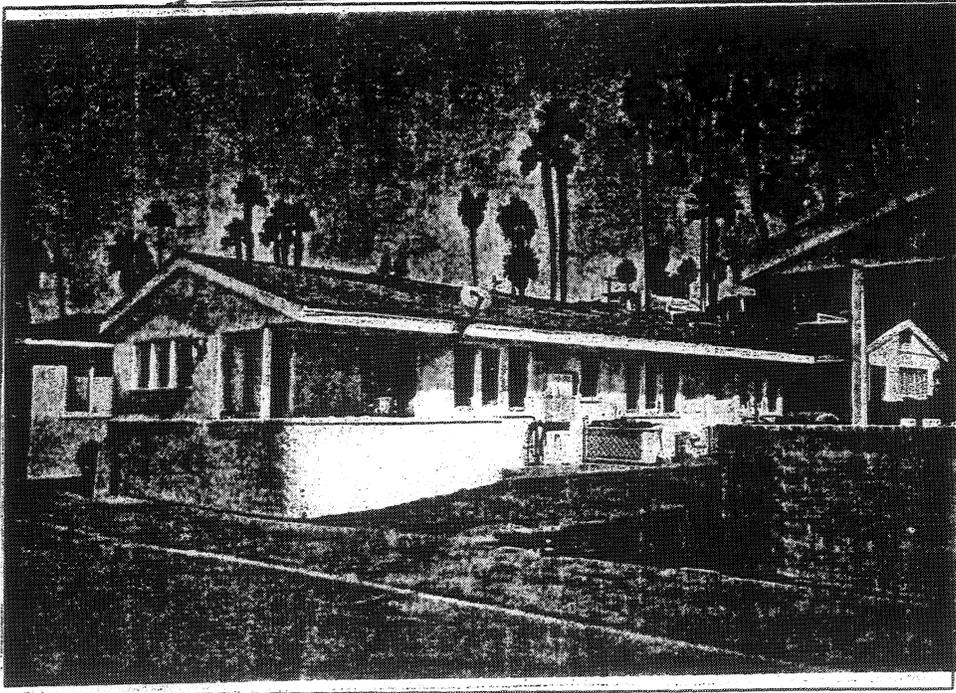
*b. USGS 7.5' Quad San Luis Rey *Date: 1975 T11S R 5W; $\frac{1}{4}$ of $\frac{1}{4}$ of Sec; B.M.: SB

c. Address: 412 S. The Strand City: Oceanside Zip: 92054

d. UTM: (Give more than one for large or linear resources) Zone ; Me/ mN

e. Other Locational Data (e.g., parcel #, directions to resource, elevation, etc., as appropriate): The legal description of this property is Lots 26 and 27, Block B, of the Terrace Annex Subdivision; the Assessor's Parcel Number for the property is 150-260-01.

*P3a. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries): The resource is part of a three building complex. It consists of a one story, L-shaped, frame and stucco, 4-unit Ranch style building resting on a concrete foundation; it is situated west-to-east at the front of the property. The building has an asymmetrical facade. The medium pitched, cross gabled roof is covered with composition shingles. The rake is open, with exposed rafters and a wide overhang. The fenestration consists of primarily original wood framed, single and double casement windows. The focal windows have a central fixed pane flanked by casements. The windows are of varying shapes and sizes. The building is accessed from the sidewalk, to the central asphalt drive, to a concrete walk, to the units. The entries have single wood doors, except for the front unit, A, which has two entry doors. The front unit also has a small curved half walled patio facing the ocean. The integral roof is supported by a square half post mounted on the patio walls. Wood, lattice sided planters separate the two middle units. A central asphalt driveway leads from the street to the rear of the property; the subject building lies north of this driveway. Landscaping is minimal. The building appears to be in good condition.



*P3b. Resource Attributes: (List attributes and codes) HP3 - Multiple-family residence

P4. Resources Present: Building Structure Object Site District Element of District Other (isolates, etc.) P5b.

Description of Photo: (View, date, accession #) Northeast, Units A-D, 10/17/06, 1037:1

*P6. Date Constructed/Age and Source Historic Prehistoric Both Constructed 1953 per Notice of Completion

*P7. Owner and Address: Oceanside Strand, LLC, 1775 Hancock Street, #160, San Diego, CA 92110

*P8. Recorded by (Name, affiliation, and address): Ruth Alter, Archaeos, 11209 Golden Birch Way, San

Diego, CA 92131 *P9. Date Recorded: 10/17/06 *P10. Type of Survey: (Describe) Field Check *P11. Report

Citation (Cite survey report and other sources, or enter "none".) None *Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Resource Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

PRIMARY RECORD

Primary # _____

HRI # _____

Trinomial _____

NRHP Status Code 6Z

Other Listings _____

Review Code _____ Reviewer _____ Date _____

Page 2 of 5

*Resource Name or #: (Assigned by recorder) 412 S. The Strand (Units E-H)

*P1. Other Identifier: Arnold F. and Willie R. Blesse Sandy Shore Apartments

*P2. Location: Not for Publication Unrestricted * a. County: San Diego

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

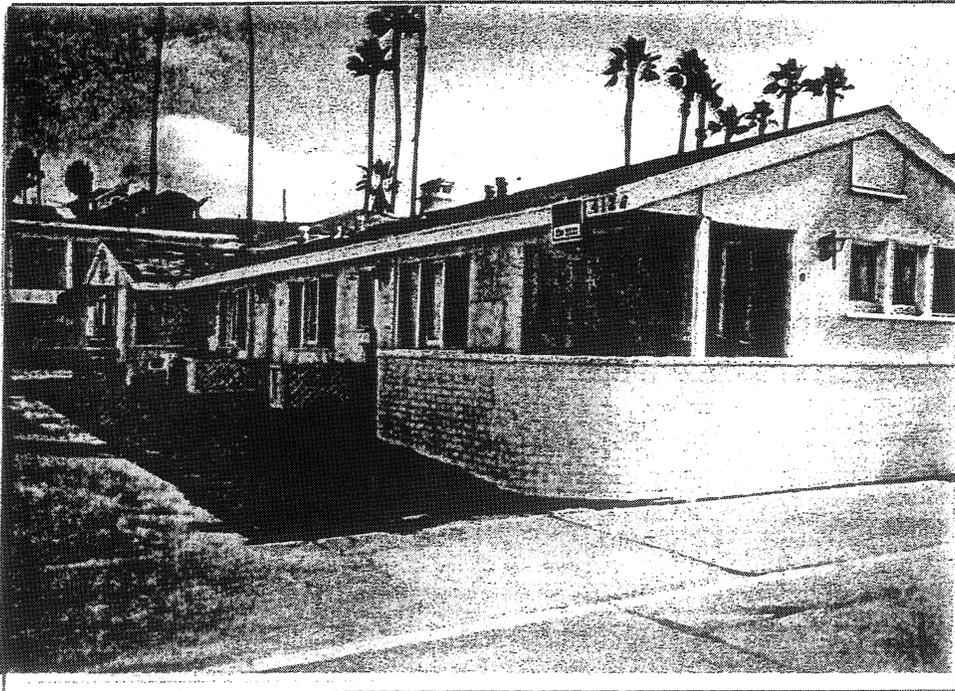
*b. USGS 7.5' Quad San Luis Rey *Date: 1975 T11S R 5W; 1/4 of 1/4 of Sec; B.M.: SB

c. Address: 412 S. The Strand City: Oceanside Zip: 92054

d. UTM: (Give more than one for large or linear resources) Zone ; Me/ mN

e. Other Locational Data (e.g., parcel #, directions to resource, elevation, etc., as appropriate): The legal description of this property is Lots 26 and 27, Block B, of the Terrace Annex Subdivision; the Assessor's Parcel Number for the property is 150-260-01.

*P3a. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries): The resource is part of a three building complex. It consists of a one story, L-shaped, frame and stucco, 4-unit Ranch style building resting on a concrete foundation; it is situated west-to-east at the front of the property. The building facade is asymmetrical and is essentially the mirror image of Units A-D, except that unit E, at the easternmost end of the subject building, lacks a porch and a set of windows has been replaced with metal sliders. The rear gable end has a horizontal louvered vent that is lacking in the northerly building. The medium pitched, cross gabled roof is covered with composition shingles. The rake is open, with exposed rafters and a wide overhang. The fenestration consists of primarily original wood framed, single and double casement windows. The focal windows have a central fixed pane flanked by casements. The windows are of varying shapes and sizes. The building is accessed from the sidewalk, to the central asphalt drive, to a concrete walk, to the units. The entries have single wood doors, except for the front unit, H, which has two entry doors. The front unit also has a small curved half brick walled patio facing the ocean. The integral roof is supported by a square half post mounted on the patio walls. Wood, lattice sided planters separate the two middle units. A central asphalt driveway leads from the street to the rear of the property; the subject building lies south of the driveway. The building appears to be in good condition.



*P3b. Resource Attributes: (List attributes and codes) HP3 - Multiple-family residence

P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5b. Description of Photo: (View, date, accession #) Northeast, Units E-H, 10/17/06, 1037:2

*P6. Date Constructed/Age and Source Historic Prehistoric Both Constructed 1953 per Notice of Completion

*P7. Owner and Address: Oceanside Strand, LLC, 1775 Hancock Street, #160, San Diego, CA 92110

*P8. Recorded by (Name, affiliation, and address): Ruth Alter, Archaeos, 11209

Golden Birch Way, San Diego, CA 92131 *P9. Date Recorded: 10/17/06 *P10. Type of Survey: (Describe) Field Check

*P11. Report Citation (Cite survey report and other sources, or enter "none"). None *Attachments: NONE

Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Resource Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

PRIMARY RECORD

Primary # _____

HRI # _____

Trinomial _____

NRHP Status Code 6Z

Other Listings _____

Review Code _____ Reviewer _____ Date _____

Page 3 of 5

*Resource Name or #: (Assigned by recorder) 412 S. The Strand (Rear unit)

*P1. Other Identifier: Thomas R. and Elaine S. Smith Rental Unit

*P2. Location: Not for Publication Unrestricted * a. County: San Diego

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad San Luis Rey *Date: 1975 T11S R 5W; $\frac{1}{4}$ of $\frac{1}{4}$ of Sec; B.M.: SB

c. Address: 412 S. The Strand City: Oceanside Zip: 92054

d. UTM: (Give more than one for large or linear resources) Zone ; Me/ mN

e. Other Locational Data (e.g., parcel #, directions to resource, elevation, etc., as appropriate): The legal description of this property is Lots 26 and 27, Block B, of the Terrace Annex Subdivision; the Assessor's Parcel Number for the property is 150-260-01.

*P3a. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries): The resource is part of a three building complex. It consists of a two story, rectangular, frame and stucco, Ranch style building resting on a concrete foundation; it is situated north-south at the rear of the property. The building facade is asymmetrical. The low pitched, end gabled roof is covered with composition shingles and the eaves are boxed with a wide overhang. The focal fenestration consists of four metal framed fixed pane uppers with smaller metal slider lowers. The building is accessed from the asphalt parking area located at the end of the driveway that runs between the two front buildings. The single upper unit is reached by way of a wood rail and post staircase located on the south end of the building. A deck extends along the south wall, leading to the single, wood, entry door with recessed panels. Three parking spaces, a laundry room, and a storage room are located beneath the unit. Metal poles support the

upper level. The building appears to be in good condition.

*P3b. Resource Attributes: (List attributes and codes) HP2 - Single-family residence

P4. Resources Present: Building Structure Object Site District Element of District Other (isolates, etc.) P5b.

Description of Photo: (View, date, accession #) Northeast, Rear unit, 10/17/06, 1037:3

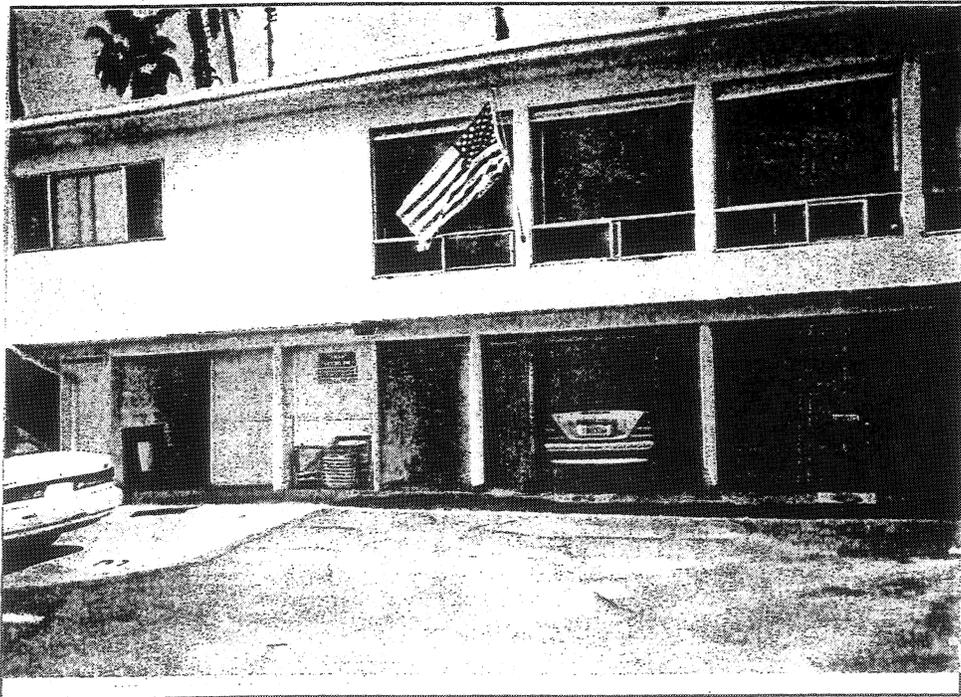
*P6. Date Constructed/Age and Source Historic Prehistoric Both Constructed 1961 per Notice of Completion

*P7. Owner and Address: Oceanside Strand, LLC, 1775 Hancock Street, #160, San Diego, CA 92110

*P8. Recorded by (Name, affiliation, and address): Ruth Alter, Archaeos, 11209 Golden Birch Way, San Diego, CA 92131 *P9. Date Recorded: 10/17/06

*P10. Type of Survey: (Describe) Field Check *P11. Report Citation (Cite survey report and other sources, or enter "none".) None

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Resource Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 4 of 5

*Resource Name or # (Assigned by recorder) 412 S. The Strand

*Recorded by Ruth C. Alter

*Date 10/30/06

Continuation Update

Two lots comprise this parcel - Lots 26 and 27, Block B, of the Terrace Annex. The properties had separate histories of ownership until 1943, ten years prior to the construction of the first two of the three subject resources.

Lot 26. According to the chain of title, Fred Hayes, the son of Oceanside co-founder J. Chauncey Hayes, and a member of the family real estate company, sold Lot 26 to W.H. Henley in August, 1912. Mr. Henley and his wife Sarah owned and operated the El San Luis Rey Hotel, also known as the Beach Hotel and the Colonial Inn in Oceanside. The Henleys deeded the lot to their eldest daughter Pearl Blackman in February, 1933, and Mrs. Blackman and her husband sold the property to Edward G. and Beatrice Schaffnit in October, 1937. Mr. Schaffnit was a retired miner who acquired a number of rental properties in Oceanside. The Schaffnits may have built a beach cottage on this lot shortly after its acquisition, as Mr. Schaffnit's obituary mentions that he resided at 412 S. The Strand for 12 years prior to his death in April, 1950 (*Oceanside Blade Tribune* April 28, 1950).

Lot 27. According to the chain of title, Charley Everett Cole bought this lot from Fred Hayes in February, 1914. Mr. Cole, one of Oceanside's earliest African-American residents, worked for the Henleys at the El San Luis Rey Hotel as a porter and clerk. He also invested in a number of other beach real estate, including lots located in South Oceanside. Thomas and Dorothy Iiams purchased Lot 27 from Cole in September, 1925. Mr. Iiams deeded the property to Edward G. and Beatrice Schaffnit in October, 1943.

Lots 26 and 27. The lots were united under common ownership with the Schnaffnit's purchase of Lot 27 in October, 1943. Following her husband's death, Mrs. Schaffnit sold the property to Louise Luedtke and her widowed mother Anna Luedtke in November, 1950. Miss Luedtke assumed sole title in July, 1951. Arnold F. and Willie R. Blesse acquired the property from Luedtke in September, 1952. Per the Notice of Completion, shortly after the purchase, Mr. Blesse, acting as his own contractor, had the two front subject buildings constructed. The 1955-56 City Directory shows that the Blesses occupied one of the units at that time.

In June, 1959, Thomas R. Smith and his wife Elaine bought the units. The couple subsequently hired H.R. Andrews to build the rear two story building, which according to the Notice of Completion, was finished in June, 1961. For a time, the new building was given the address of 412 S. The Strand, and the front two units assumed the address of 414 S. The Strand (Units A-H). Currently all three buildings carry the 412 S. The Strand address.

Title to the property was conveyed to James J. and William T. Weaver in April, 1965; William Bartlett acquired sole title in April, 1966. Balboa Mortgage acquired the property from Mr. Bartlett in March, 1969, and deeded it the same day to Richard and Carrie Heramb, Harry and Christine Stark, and A.O. and Lavinia Weiss. Richard W. Wright, Charles and Betty Neunendorf, and James and Shirley Summers purchased the property in January, 1972. The apartments were purchased by realtor Rita Butterworth October, 1973. B.C. Dage acquired the buildings in July, 1974, and title was transferred to William and Peggy Jacinto in September, 1975. In May, 1977, Thelma Blanche Williams bought the property. Title was conveyed to Oceanfront Property I in May, 1984 and was acquired by Richard and Robin McCormick in July 7, 1987. The current owner, Oceanside Strand, LLC took title in December, 2004.

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 412 S. The Strand

B1. Historic Name: Arnold F. and Willie R. Blesse Sandy Shore Apartments

B2. Common Name: Thomas R. and Elaine S. Smith Apartments

B3. Original Use: Multiple-family complex B4. Present Use Multiple-family complex

*B5. Architectural Style: Ranch

*B6. Construction History: (Construction date, alterations, and date of alterations) The front two subject buildings were constructed in 1953; the rear building was constructed in 1961. Minor modifications have been made to the buildings including a probable reorientation of the entry to Unit E, but no other major alterations are evident.

*B7. Moved? No Yes Unknown Date: _____ Original Location: _____

*B8. Related Features: Three related buildings make up the complex - two single story buildings (constructed 1953) at the front of the property and a rear two story building (constructed 1961) with an upper unit and three covered parking spaces, a laundry room, and a storage room beneath.

B9a. Architect: None b. Builder: Arnold Blesse-414 S. The Strand/ H.R. Andrews-412 S. The Strand

*B10. Significance: Theme: residential development Area Oceanside, California
 Period of Significance 1890 to 1960 Property Type Residential Applicable Criteria N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.) The subject resource is located in the Terrace Annex Subdivision, one of Oceanside's early subdivisions, created in 1907. Because of its desirable coastal locale, land speculators often purchased multiple lots, hoping to capitalize on visitors appreciation of the climate, the proximity of the railroad station, and the Pacific Ocean and its beaches. The neighborhood built up slowly, initially consisting of small vacation cottages and residences. The dominant architectural styles of the area until the 1920s were Victorian and Craftsman. Many of the properties were used as beach rentals. Following World War II, many of these buildings were torn down and replaced with multi-family units. The immediate neighborhood currently consists of post-war apartments, a few Craftsman and Spanish Eclectic houses, several nondescript multi-family units, and Neo-Mediterranean and Contemporary residences. The three subject buildings appear to be very typical of their setting. They were constructed as beach rentals and have retained this use until the present time. No individuals of national, state or local historic standing are directly associated with the buildings. They are not the work of a master architect or craftsman, they are not constructed of rare or unique materials, and no known historic events are associated with the complex. The buildings are unlikely to yield important information relevant to local, state or national history. Their locational and associational integrity are intact, and their design and feeling are relatively uncompromised, as well. The setting has been somewhat altered by post-war multi-family residential units and recently constructed Contemporary and Neo-Mediterranean style residences, but the neighborhood remains single- and multiple- family residential. The subject complex does not qualify under any criteria for nomination for listing in the National Register of Historical Places, California Register of Historical Resources, or the Oceanside historical resources register.

B11. Additional Resource Attributes: (List attributes and codes) None

*B12. References: Hawthorne, K., Oceanside, Where Life is Worth Living, Donning Company Publishers, Virginia Beach, Virginia, 2002; McAlester, V. and L., A Field Guide to American Houses, 2000. Alfred A. Knopf, New York, Oceanside Historic Resources Inventory, 1992; Oceanside Blade Tribune April 28, 1950.

B13. Remarks:

*B14. Evaluator: Ruth Alter, Archaeos, 11209 Golden Birch Way, San Diego, CA 92131

*Date of Evaluation 10/30/06

(This space reserved for official comments.)

