

STAFF REPORT



ITEM NO. 18

CITY OF OCEANSIDE

DATE: November 15, 2006

TO: Chairman and Members of the Community Development Commission

FROM: Economic Development and Redevelopment Department

SUBJECT: **CONSIDERATION OF A RESOLUTION APPROVING TENTATIVE MAP (T-203-05), DEVELOPMENT PLAN (D-213-05) AND REGULAR COASTAL PERMIT (RC-210-05) FOR THE CONSTRUCTION OF AN EIGHT-UNIT RESIDENTIAL CONDOMINIUM PROJECT LOCATED AT 314 SOUTH THE STRAND – 314 SOUTH THE STRAND – APPLICANT: THE STRAND CONDOMINIUMS, L.P.**

SYNOPSIS

The item under consideration is a Tentative Map, Development Plan and Regular Coastal Permit for the construction of an eight-unit residential condominium project located at 314 South The Strand. Staff is recommending that the Commission approve the project and adopt the resolution as attached.

BACKGROUND

The subject site consists of four pre-existing legal parcels totaling 17,208 square feet in size which was part of the original Terrace Annex Subdivision of 1907. The subject site currently maintains five buildings (ten units) situated on four parcels which will be demolished as part of the development of this project.

The subject site topography is relatively flat; however, the eastern portion of the site backs onto the Pacific Street bluff which accounts for the 18-foot grade differential between the highest and lowest points of the site. The subject site rear (eastern) property line extends approximately 10 feet up the bluff. This area will be graded and landscaped.

The subject site is situated within the South Strand neighborhood, which consists of old apartment buildings interspersed with new single-family and condominium units.

There are several units on the subject site that are over 45 years old; therefore, a Historic Assessment was prepared to determine its historical significance. The Historic Assessment is attached to the staff report.

Land Use and Zoning: The subject site is located within Subdistrict 4A of the "D"

Downtown District. Subdistrict 4A is primarily intended to provide a mix of transient and permanent residential uses along the South Strand between Tyson and Wisconsin Streets. Multifamily residences are permitted. The project proposes a density of 20.2 dwelling units per acre which is well below the maximum of 43 dwelling units per acre.

Regular Coastal Permit: This project is situated within the Coastal Zone and requires a Regular Coastal Permit. Under the provisions of the Local Coastal Plan the project site is designated as Mixed High-Density and Transient Residential. Multifamily and single-family are primarily the uses allowed within this land use designation.

The project is also situated within the Coastal Zone “appeal jurisdiction”. Any local action by the City on this proposed coastal development permit may be appealed to the California Coastal Commission.

Project Description: The project application consists of several components, which include a Tentative Map, Development Plan and Regular Coastal Permit. Each discretionary request is described as follows:

Tentative Map and Development Plan: The project proposes a 2-story, 8-unit residential condominium with units ranging in size from 1,652 to 2,378 square feet to be situated on a 17,208-square-foot lot. The project proposes an underground basement garage with 16 parking spaces, elevators and storage areas. The proposed design is a modern design as evident by the geometric shapes and expansive use of metal and glass.

Subdistrict 4A requires that a minimum of 20 percent of the site be landscaped. The project proposes that approximately 20.1 percent of the subject site is landscaped. The project proposes Mexican Fan Palm trees, shrubs include New Zealand Flax and Bamboo, and groundcover consists of Blue Fescue and grass.

The project is required to provide 1,600 square feet of common and private useable open space. The project provides approximately 2,032 square feet of common and private useable open space.

Vehicular access to the units will be from The Strand via a driveway located on the southern portion of the subject site. Pedestrian access will also be provided via The South Strand. Please note that there will not be any pedestrian access from Pacific Street.

The overall project density is 20.2 dwelling units per acre. Outlined below is the residential unit breakdown:

Plan Type	Sq.Ft.	Bedrms.	Baths	Units
Plan 1	1,652	2	2	1
Plan 2	1,752	2	2	1
Plan 3	1,995	3	3	1

Plan 4	2,180	3	3	1
Plan 5	2,187	3	3	1
Plan 6	2,189	3	3	1
Plan 7	2,328	3	3	1
Plan 8	2,378	3	3	1
Total				8

Outlined below is a comparison chart summarizing the required development criteria with the proposed project:

	MINIMUM REQUIRED	PROPOSED
LOT SIZE	N/A (pre-existing lot)	N/A (pre-existing lot)
SETBACKS Front Side Rear	10 feet 3 feet 5 feet	20 feet 5 feet 12 feet
LANDSCAPING	20%	20.1%
PARKING	16 spaces	16 spaces
BUILDING HEIGHT	*20 feet	20 feet
DENSITY	43 du. Ac. Max.	20.2 du. Ac.

*Building height cannot exceed the centerline of Pacific Street located immediately east of the subject site.

Regular Coastal Permit: A Regular Coastal Permit is required because the project is situated within the Coastal Zone and the proposed project requires discretionary action.

Environmental Determination: A Certificate of Exemption has been prepared for the project. Under the provisions of the California Environmental Quality Act, the Community Development Commission will consider the exemption during its hearing on the project.

The Historic Assessment has been prepared to determine the cultural significance of the subject site. The Historic Assessment chronicles the creation, ownership, and development of the subject site and concludes that the site does have a long and interesting ownership history; however, no significant cultural resources exist on the site today.

ANALYSIS

Staff's analysis focused on the compatibility of the project with existing development patterns of the area and the project's consistency with the underlying Redevelopment Plan, Zoning Ordinance, and the Local Coastal Program.

Since the proposed project is an infill project, staff's initial concerns centered on the project's compatibility with the existing residential patterns. The surrounding area consists of older apartments interspersed with some newer condominium development. Staff believes that the proposed 8-unit condominium is consistent with the surrounding neighborhood, especially with the newer condominium units.

Staff is also concerned with the project's architectural compatibility and scale with the surrounding neighborhood. In comparing the project's product type and corresponding square footages to the newer product types and square footages that exist in the area, the proposed unit sizes are comparable in size and would have a positive effect to the area.

Staff's review of the project examined the consistency of the development with the underlying zoning regulations and policies of the Local Coastal Program. The project is located within the "appealable area" which is defined as the first 300 feet east of The Strand (west side of Myers Street). The project provides a 20-foot front yard setback which is greater than typical front yard setbacks found on existing units located on South The Strand. Staff also evaluated the proposed residence and its effect on public coastal views. Staff believes that the 20-foot front yard setback is considerably greater than the existing residential units setbacks located on South The Strand and therefore would not block public coastal views.

A Wave Runup Study was prepared (see attachment) which concluded that there will be some wave overtopping onto The Strand during severe winter storms similar to 1982-83. The result of the wave overtopping will be some minor nuisance floods. The report recommended that flood gates will significantly reduce the nuisance flooding of the garage. The project proposes 3' 2" high wall to reduce any potential nuisance flooding and sump with proposed alternating dual sump pump for any nuisance flooding located within the garage.

In conclusion, staff believes that the project meets the intent of the Redevelopment Plan and the underlying subdistrict goals, which encourage the development of new residential uses. The design of the project is consistent in both the height and scale of the surrounding neighborhood. The proposed project is consistent with the quality of design of the newer residences located within the emerging South The Strand area. In addition, the project is also consistent with the land use policies of the Local Coastal Plan.

COMMISSION OR COMMITTEE REPORTS

The Redevelopment Design Review Committee (RDRC) reviewed the project at its

October 13, 2006 meeting and approved it on a 3-0 vote.

The Redevelopment Advisory Committee (RAC) reviewed the project at its October 16, 2006 meeting and approved it on a 7-0 vote.

FISCAL IMPACT

The proposed project will add approximately \$158,000 of tax increment yearly to the project area.

CITY ATTORNEY'S ANALYSIS

Pursuant to Oceanside Zoning Ordinance Article 4102, the Commission is authorized to hold a public hearing on this project's applications. Consideration of the project should be based on the evidence presented at the public hearing. After conducting the public hearing, the Commission shall approve, conditionally approve, or disapprove the project. The resolution has been reviewed and approved as to form by the City Attorney.

RECOMMENDATION

Staff recommends that the Commission adopt the resolution approving Tentative Map (T-203-05), Development Plan (D-213-05), and Regular Coastal Permit (RC-210-05) for the construction of an 8-unit residential condominium project located at 314 South The Strand.

PREPARED BY:



Shan Babick
Associate Planner

SUBMITTED BY:



Barry E. Martin
Interim Executive Director

REVIEWED BY:

Michelle Skaggs Lawrence, Assistant to the City Manager
Kathy Baker, Redevelopment Manager



EXHIBITS/ATTACHMENTS

1. Resolution
2. Notice of Exemption
3. Site Plan / Floor Plans / Elevations
4. Historic Assessment
5. Wave Run-up Study

RESOLUTION NO. 06-

A RESOLUTION OF THE COMMUNITY DEVELOPMENT COMMISSION OF THE CITY OF OCEANSIDE APPROVING A TENTATIVE MAP, DEVELOPMENT PLAN AND REGULAR COASTAL PERMIT FOR THE CONSTRUCTION OF AN 8-UNIT RESIDENTIAL CONDOMINIUM PROJECT LOCATED AT 314 SOUTH STRAND – APPLICANT: THE STRAND CONDOMINIUMS, L.P.

WHEREAS, on November 15, 2006, the Community Development Commission held its duly noticed public hearing, considered an application for a Tentative Map (T-203-05), Development Plan (D-213-05) and Regular Coastal Permit (RC-210-05) for the construction of a 8-unit residential condominium project located at 314 South The Strand;

WHEREAS, the Redevelopment Design Review Committee (RDRC) of the City of Oceanside did, on October 13, 2006, review and recommend approval of Tentative Map (T-203-05), Development Plan (D-213-05) and Regular Coastal Permit (RC-210-05);

WHEREAS, the Redevelopment Advisory Committee (RAC) of the City of Oceanside did, on October 16, 2006 review and recommend approval of Tentative Map (T-203-05), Development Plan (D-213-05) and Regular Coastal Permit (RC-210-05);

WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee, dedication, reservation or other exaction to the extent permitted and as authorized by law;

WHEREAS, a Categorical Exemption was prepared by the Resource Officer of the City of Oceanside for this application pursuant to the California Environmental Quality Act 1970 and the State Guidelines implementing the Act. The project is considered an infill development and will not have a detrimental effect on the environment;

WHEREAS, there is hereby imposed on the subject development project certain fees, dedications, reservations and other exactions pursuant to state law and city ordinance;

WHEREAS, pursuant to Government Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the Project is subject to certain fees, dedications, reservations and other exactions as provided below:

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1	<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or</u>
2			<u>Calculation Formula</u>
3			
4	Parkland Dedication/Fee	Ordinance No. 91-10	\$3,503 per unit
5		Resolution No. 05-R0628-1	
6	Drainage Fee	Ordinance No. 85-23	\$2,843 per acre
7		Resolution No. 05-R0628-1	
8	Public Facility Fee	Ordinance No. 91-09	\$2,072 per unit
9		Resolution No. 05-R0628-1	
10	School Facilities Mitigation	Ordinance No. 91-34	\$2.63 per square foot
11	Fee		
12	Traffic Signal Fee	Ordinance No. 87-19	\$15.71 per vehicle trip
13			
14	Thoroughfare Fee	Ordinance No. 83-01	\$255 per vehicle trip (based
15			on SANDAG trip generation
16			table)
17			
18	Water System Buy-in Fees	Oceanside City Code	Fee based on water meter
19		§37.56.1	size. Residential is typically
20		Resolution No. 87-96	\$3,746 per unit;
21		Ordinance No. 05-OR 0611-1	
22	Wastewater System Buy-in	Oceanside City Code §	Based on meter size.
23	fees	29.11.1	Residential is typically
24		Resolution No. 87-97	\$4,587 per unit;
25		Ordinance No. 05-OR 0610-1	
26			
27	San Diego County Water	SDCWA Ordinance No.	Based on meter size.
28	Authority Capacity Fees	2005-03	Residential is typically

1 2. The proposed building on the site will conform to the topography of the site,
2 therefore, making it suitable for residential development. The 17,208 square foot site is physically
3 suitable to allow for the development of eight residential condominium units.

4 3. The subdivision complies with all other applicable ordinances, regulations and
5 guidelines of the City.

6 4. The design of the subdivision or proposed improvements will not conflict with
7 easements, acquired by the public at large, for access through or use of property within the
8 subdivision.

9 5. The design of the subdivision or the proposed improvements will not cause
10 substantial environment damage or substantially and avoidably injure fish or wildlife or their
11 habitat.

For the Development Plan:

12 1. The site plan and physical design of the project as proposed is consistent with the
13 purposes of the City's Zoning Ordinance and the "D" Downtown District.

14 2. The Development Plan as proposed conforms to the Redevelopment Plan and
15 General Plan of the City.

16 3. The area covered by the Development Plan can be adequately, reasonably and
17 conveniently served by existing and planned public services, utilities and public facilities.

18 4. The project as proposed is compatible with the existing and potential
19 development on adjoining properties or in the surrounding neighborhood.

20 5. The location of the eight residential condominium units and proposed conditions
21 under which this use will be operated or maintained will be consistent with the General Plan and
22 will not be detrimental to the public health, safety or welfare of persons residing or working in
23 or adjacent to the neighborhood of such use and will not be detrimental to properties or
24 improvements in the vicinity or the general welfare of the City.

25 6. The project and uses will comply with the provisions of the Zoning Ordinance,
26 including any specific condition required for such use in Subdistrict 4A.

For the Regular Coastal Permit:

27 1. The granting of the Regular Coastal Permit is consistent with the purposes of the
28 California Coastal Act of 1976.

1 2. The proposed project is consistent with the policies of the Local Coastal Program
2 as implemented through the City Zoning Ordinance. In addition, the project will not
3 substantially alter or impact the existing coastal views through the public rights-of-way view
4 corridors.

5 3. The proposed project will not obstruct any existing or planned public beach
6 access; therefore, the project is in conformance with the policies of Chapter 3 of the Coastal
7 Act.

8 SECTION 1. That Tentative Map (T-203-05), Development Plan (D-213-05), and
9 Regular Coastal Permits (RC-210-05) are hereby approved subject to the following conditions:

10 **Building:**

11 1. Applicable Building Codes and Ordinances shall be based on the date of
12 submittal for Building Department plan check.

13 2. The granting of approval under this action shall in no way relieve the
14 applicant/project from compliance with all State and local building codes.

15 3. The building plans for this project are required by State law to be prepared by a
16 licensed architect or engineer and must be in compliance with this requirement prior to
17 submittal for building plan review.

18 4. All electrical, communication, CATV, etc. service lines, within the exterior lines
19 of the property shall be underground. (City Code Sec. 6.30)

20 5. All outdoor lighting must comply with Chapter 39 of the City Code. (Light
21 Pollution Ordinance) Where color rendition is important, high-pressure sodium, metal halide or
22 other such lights may be utilized and shall be shown on building and electrical plans.

23 6. The developer shall monitor, supervise and control all building construction and
24 supportive activities so as to prevent these activities from causing a public nuisance, including, but
25 not limited to, strict adherence to the following:

26 a) Building construction work hours shall be limited to between 7 a.m. and
27 6 p.m. Monday through Friday, and on Saturday from 7 a.m. to 6 p.m. for work that is not
28 inherently noise-producing. Examples of work not permitted on Saturday are concrete and
grout pours, roof nailing and activities of similar noise-producing nature. No work shall be
permitted on Sundays and Federal Holidays (New Year's Day, Memorial Day, July 4th, Labor
Day, Thanksgiving Day, Christmas Day) except as allowed for emergency work under the

1 provisions of the Oceanside City Code Chapter 38. (Noise Ordinance)

2 b) The construction site shall be kept reasonably free of construction debris
3 as specified in Section 13.17 of the Oceanside City Code. Storage of debris in approved solid
4 waste containers shall be considered compliance with this requirement. Small amounts of
5 construction debris may be stored on-site in a neat, safe manner for short periods of time
6 pending disposal.

7 7. A complete soils report, structural and energy calculations will be required at
8 time of plans submittal to the Building Division for plan check.

9 8. A demolition permit shall be required for the demolition of the existing
10 structures. Plans for the demolition shall depict clearly all utilities are properly
11 terminated/capped in accordance with the requirements of the utility service provider.

12 9. A private sewer system design must be submitted to the Building Department
13 and approved prior to the construction of the sewer system. If a gravity flow system is not used,
14 an engineered mechanical system must be submitted and approved by all City of Oceanside
15 departments.

16 10. The common use areas and the access to the apartment and/or condominiums
17 shall comply with the State's Disabled Accessibility Regulations (2001 California Building
18 Code, Chapter 11A)

19 11. Compliance with the Federal Clean Water Act (BMP's) must be demonstrated on
20 the plans.

21 12. Building levels below grade (on all sides) shall be provided with a mechanical
22 drainage system that provides drainage to an approved location/receptor.

23 **Engineering:**

24 13. Because the project involves demolition of existing structures or surface
25 improvements, the Public Works Director shall approve the grading plans prior to the issuance
26 of a demolition permit. No demolition shall be permitted without an approved erosion control
27 plan.

28 14. All right-of-way alignments, street dedications, exact geometrics and widths
shall be dedicated and improved as required by the Public Works Director.

 15. Vehicular access rights to South The Strand shall be relinquished to the City with

1 the exception of the access driveway.

2 16. Design and construction of all improvements shall be in accordance with
3 standard plans, and specifications of the City of Oceanside and subject to approval by the Public
4 Works Director.

5 17. Prior to the issuance of a building permit, all improvement requirements shall be
6 covered by a development agreement and secured with sufficient improvement securities or
7 bonds guaranteeing performance and payment for labor and materials, setting of monuments,
8 and warranty against defective materials and workmanship.

9 18. Prior to issuance of a building permit a phasing plan for the construction of
10 public and private improvements including landscaping, shall be approved by the Public Works
11 Director.

12 19. The approval of the Tentative Map shall not mean that closure, vacation, or
13 abandonment of any public street, right-of-way, easement, or facility is granted or guaranteed to
14 the developer. The subdivider is responsible for applying for all closures, vacations, and
15 abandonments as necessary. The application(s) shall be reviewed and approved or rejected by
16 the City under separate process (es) per codes, ordinances, and policies in effect at the time of
17 the application.

18 20. Prior to approval of the Final Map, all improvement requirements, required by
19 the Public Works Director, shall be covered by a subdivision agreement and secured with
20 sufficient improvement securities or bonds guaranteeing performance and payment for labor and
21 materials, setting of monuments, and warranty against defective materials and workmanship.

22 21. Where proposed off-site improvements, including but not limited to slopes, public
23 utility facilities, and drainage facilities, are to be constructed, the applicant shall, at his own
24 expense, obtain all necessary easements or other interests in real property and shall dedicate the
25 same to the City as required. The applicant shall provide documentary proof satisfactory to the City
26 that such easements or other interest in real property have been obtained prior to issuance of any
27 grading, building or improvement permit for the project. Additionally, the City, may at its sole
28 discretion, require that the applicant obtain at his sole expense a title policy insuring the necessary
title for the easement or other interest in real property to have vested with the City of Oceanside or
the applicant, as applicable.

1 22. Pursuant to the State Map Act, improvements shall be required at the time of
2 development. A covenant, reviewed and approved by the City Attorney, shall be recorded attesting
3 these improvements conditions and a certificate setting forth the recordation shall be placed on the
4 map.

5 23. Prior to the issuance of a grading permit, the Developer shall notify and host a
6 neighborhood meeting with all of the area residences located within 300-feet of the project site, and
7 residents of property along any residential streets to be used as a “haul route”, to inform them of
8 the grading and construction schedule, haul routes and to answer questions.

9 24. The developer shall monitor, supervise and control all construction and
10 construction-supportive activities, so as to prevent these activities from causing a public
11 nuisance, including but not limited to, insuring strict adherence to the following:

12 a) Dirt, debris and other construction material shall not be deposited on any
13 public street or within the City’s storm water conveyance system.

14 b) All grading and related site preparation and construction activities shall
15 be limited to the hours of 7 a.m. to 6 p.m., Monday through Friday. No engineering related
16 construction activities shall be conducted on Saturdays, Sundays or legal holidays unless written
17 permission is granted by the Public Works Director with specific limitations to the working hours
18 and types of permitted operations. Because construction noise may still be intrusive in the
19 evening or on holidays, the City of Oceanside Noise Ordinance also prohibits “any disturbing
20 excessive or offensive noise which causes discomfort or annoyance to reasonable persons of
21 normal sensitivity.”

22 c) A haul route shall be obtained at least 7 days prior to the start of hauling
23 operations and must be approved by the Community Development Director. Hauling operations
24 shall be 8:00 a.m. to 3:30 p.m. unless approved otherwise.

25 25. Approval of this development project is conditioned upon payment of all
26 applicable impact fees and connection fees in the manner provided in chapter 32B of the
27 Oceanside City Code. All drainage fees, traffic signal contributions, highway thoroughfare
28 fees, park fees, reimbursements, and other applicable charges, fees and deposits shall be paid
prior to recordation of the map or the issuance of any building permits, in accordance with City
Ordinances and policies. The developer shall also be required to join into, contribute, or

1 participate in any improvement, lighting, or other special district affecting or affected by this
2 project. Approval of the project shall constitute the developer's approval of such payments, and
3 his agreement to pay for any other similar assessments or charges in effect when any increment
4 is submitted for final map or building permit approval, and to join, contribute, and/or participate
5 in such districts.

6 26. A traffic control plan shall be prepared according to the City traffic control
7 guidelines and be submitted to and approved by the Community Development Director prior to
8 the start of work within open City rights-of-way. Traffic control during construction of streets
9 that have been opened to public traffic shall be in accordance with construction signing,
10 marking and other protection as required by the Caltrans Traffic Manual and City Traffic
11 Control Guidelines. Traffic control plans shall be in effect from 8:00 a.m. to 3:30 p.m. unless
12 approved otherwise.

13 27. Sight distance requirements at the project driveway shall conform to the corner
14 sight distance criteria as provided by the California Department of Transportation Highway
15 Design Manual.

16 28. Streetlights shall be maintained on The South Strand along the frontage of the
17 project. The system shall provide uniform lighting, and be secured prior to building permit
18 issuance, if a map is not recorded. The developer shall pay all applicable fees, energy charges,
19 and/or assessments associated with City-owned (LS-2 rate schedule) streetlights and shall also
20 agree to the formulation of, or the annexation to, any appropriate street lighting district.

21 29. Prior to approval of the grading plans, the developer shall contract with a
22 geotechnical engineering firm to perform a field investigation of the existing street section on
23 all streets adjacent to the project boundary. The limits of the study shall be half-street plus
24 twelve (12) feet along the subdivision's frontage. The field investigation shall determine
25 whether the street meets current City Standards. The Subdivider shall remove and reconstruct
26 the pavement section as determined by the pavement analysis submittal process.

27 30. Upon review of the pavement investigation the Public Works Director shall
28 determine whether the Subdivider shall: 1) Repair all failed pavement sections, header cut and
grind per the direction of the Transportation/Development Inspector, and construct a two (2)
inch thick rubberized AC overlay; or 2) Perform R-value testing and submit a study that

1 determines if the existing pavement meets current City standards/traffic indices. Should the
2 study conclude that the pavement does not meet current requirements, rehabilitation/mitigation
3 recommendations shall be provided in a pavement analysis report, and the Subdivider shall
4 reconstruct the pavement per these recommendations, subject to approval by the Public Works
5 Director.

6 31. Any existing broken pavement, concrete curb and gutter, or sidewalk or any
7 damaged during construction of the project, shall be repaired or replaced as directed by the
8 Public Works Director.

9 32. The developer shall comply with all the provisions of the City's cable television
10 ordinances including those relating to notification as required by the Public Works Director.

11 33. Grading and drainage facilities shall be designed and installed to adequately
12 accommodate the local storm water runoff and shall be in accordance with the City's Engineers
13 Manual and as directed by the Public Works Director.

14 34. Prior to any grading of any part of the tract or project, a comprehensive soils and
15 geologic investigation shall be conducted of the soils, slopes, and formations in the project. All
16 necessary measures shall be taken and implemented to assure slope stability, erosion control,
17 and soil integrity. No grading shall occur until a detailed grading plan, to be prepared in
18 accordance with the Grading Ordinance and Zoning Ordinance, is approved by the Public
19 Works Director.

20 35. This project shall provide year-round erosion control including measures for the
21 site required for the phasing of grading. Prior to the issuance of grading permit, an erosion
22 control plan, designed for all proposed stages of construction, shall be reviewed, secured by the
23 applicant with cash securities and approved by the Public Works Director.

24 36. Precise grading and private improvement plans shall be prepared, reviewed,
25 secured and approved prior to the issuance of any building permits. The plan shall reflect all
26 pavement, flatwork, landscaped areas, special surfaces, curbs, gutters, medians, striping,
27 signage, footprints of all structures, walls, drainage devices and utility services. Parking lot
28 striping and any on site traffic calming devices shall be shown on all Precise Grading and
Private Improvement Plans.

37. Landscaping plans, including plans for the construction of walls, fences or other

1 structures at or near intersections, must conform to intersection sight distance requirements.
2 Landscape and irrigation plans for disturbed areas must be submitted to the Public Works
3 Director prior to the issuance of a preliminary grading permit and approved by the Public Works
4 Director prior to the issuance of building permits. Frontage and median landscaping shall be
5 installed prior to the issuance of any building permits. Any project fences, sound or privacy
6 walls and monument entry walls/signs shall be shown on, bonded for and built from the
7 landscape plans. These features shall also be shown on the precise grading plans for purposes
8 of location only. Plantable, segmental walls shall be designed, reviewed and constructed by the
9 grading plans and landscaped/irrigated through project landscape plans.

10 38. All landscape plans must be approved by the Public Work Director and a pre-
11 construction meeting held, prior to the start of any improvements.

12 39. Open space areas and down-sloped areas visible from a collector-level or above
13 roadway and not readily maintained by the property owner, shall be maintained by a homeowners'
14 association that will insure installation and maintenance of landscaping in perpetuity. These areas
15 shall be indicated on the final map and reserved for an association.
16 Future buyers shall be made aware of any estimated monthly costs. The disclosure, together with
17 the CC&R's, shall be submitted to the Public Works Director for review prior to the recordation of
18 final map. In the event the homeowner's association dissolves, responsibility for irrigation and
19 maintenance of the slopes (open space areas) adjacent to each property shall become that of the
20 individual property owner.

21 40. The drainage design on the project Tentative Map is conceptual only. The final
22 design shall be based upon a hydrologic/hydraulic study to be approved by the Public Works
23 Director during final engineering. All drainage picked up in an underground system shall remain
24 underground until it is discharged into an approved channel, or as otherwise approved by the
25 Public Works Director. All public storm drains shall be shown on City standard plan and profile
26 sheets. All storm drain easements shall be dedicated where required. The applicant shall be
27 responsible for obtaining any off-site easements for storm drainage facilities.

28 41. Storm drain facilities shall be designed and located such that the inside travel lanes
on streets with Collector or above design criteria shall be passable during conditions of a 100-year
frequency storm.

1 42. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and
2 disposed of in accordance with all state and federal requirements, prior to storm water discharge
3 either off-site or into the City drainage system.

4 43. Unless determined to be exempt, this development shall comply with any
5 applicable regulations established by the United States Environmental Protection Agency
6 (USEPA) as set forth in the National Pollutant Discharge Elimination System (N.P.D.E.S.)
7 permit requirements for urban runoff and storm water discharge and any regulations adopted by
8 the City pursuant to the N.P.D.E.S. regulations or requirements. Further, the applicant may be
9 required to file a Notice of Intent with the State Water Resources Control Board to obtain
10 coverage under the N.P.D.E.S. General Permit for Storm Water Discharges Associated with
11 Construction Activity and may be required to implement a Storm Water Pollution Prevention
12 Plan (SWPPP) concurrent with the commencement of grading activities. SWPPP include both
13 construction and post construction pollution prevention and pollution control measures and
14 identify funding mechanisms for post construction control measures.

15 44. The developer shall comply with all the provisions of the Clean Water Program
16 during and after all phases of the development process, including but not limited to: mass
17 grading, rough grading, construction of street and landscaping improvements, and construction
18 of dwelling units. The applicant shall design the Project's storm drains and other drainage
19 facilities to include Best Management Practices to minimize non-point source pollution,
20 satisfactory to the Public Works Director.

21 45. Upon acceptance of any fee waiver or reduction by the Subdivider, the entire
22 project will be subject to prevailing wage requirements as specified by Labor Code section
23 1720(b) (4). The Subdivider shall agree to execute a form acknowledging the prevailing wage
24 requirements prior to the granting of any fee reductions or waivers.

25 46. The Subdivider shall prepare and submit an Operations & Maintenance (O&M)
26 Plan to the Community Development Department with the first submittal of engineering plans.
27 The O&M Plan shall be prepared by the applicant's Civil Engineer. It shall be directly based on
28 the project's Storm Water Mitigation Plan (SWMP) previously approved by the project's
approving authority Community Development Commission. The O&M Plan shall be approved
by the Public Works Director prior to approval of any plans. At a minimum the O&M Plan

1 shall include the designated responsible parties to manage the storm water Best Management
2 Practices (BMPs), employee's training program and duties, operating schedule, maintenance
3 frequency, routine service schedule, specific maintenance activities, copies of resource agency
4 permits, cost estimate for implementation of the O&M Plan and any other necessary elements.

5 47. The Subdivider shall enter into City-Standard Storm water Facilities
6 Maintenance Agreement (SWFMA) obliging the project proponent to maintain, repair and
7 replace the storm water BMPs identified in the project's approved SWMP, as detailed in the
8 O&M Plan into perpetuity. The Agreement shall be approved by the City Attorney prior to
9 issuance of any precise grading permit and shall be recorded at the County Recorder's Office
10 prior to issuance of any building permit. Security in the form of cash (or certificate of deposit
11 payable to the City) or an irrevocable, City-Standard Letter of Credit shall be required prior to
12 issuance of a precise grading permit. The amount of the security shall be equal to 10 years of
13 maintenance costs, as identified by the O&M Plan. The applicant's Civil Engineer shall prepare
14 the O&M cost estimate. The O&M cost estimate shall be approved by the Public Works
15 Director prior to approval of any engineering plans for the project.

16 48. At a minimum, maintenance agreements shall require the staff training,
17 inspection and maintenance of all BMPs on an annual basis. The project proponent shall
18 complete and maintain O&M forms to document all maintenance activities. Parties responsible
19 for the O&M plan shall retain records at the subject property for at least 5 years. These
20 documents shall be made available to the City for inspection upon request at any time.

21 49. The SWFMA shall include a copy of executed onsite and offsite access
22 easements necessary for the operation and maintenance of BMPs that shall be binding on the
23 land throughout the life of the project to the benefit of the party responsible for the O&M of
24 BMPs, until such time that the storm water BMP requiring access is replaced, satisfactory to the
25 Public Works Director. The agreement shall also include a copy of the O&M Plan approved by
26 the Public Works Director.

27 50. The BMPs described in the project's approved Storm Water Mitigation Plan
28 (SWMP) shall not be altered in any way; shape or form without formal approval by the project's

////////////////////////////////////

1 final approving authority Community Development Commission at a public hearing, if such
2 hearing was required for the approval of the project.

3 51. On May 17, 2006, the Community Development Commission approved an 8-unit
4 residential condominium (T-200-06, D-200-06, C-200-06 & RC-200-06) located immediately
5 south of the subject site. As a condition of approval of the project, the applicant is required to
6 construct a public access stairway linking Pacific Street with The Strand prior to certificate of
7 occupancy. This project is also contingent (per the Local Coastal Program) upon completing
8 the public stairway located immediately south of the subject site prior to certificate of
9 occupancy. Should the public stairway as proposed by the property owner located immediately
10 south of the subject site not be completed, it is the responsibility of the applicant to complete the
11 construction of the public stairway prior to certificate of occupancy.

12 **Fire:**

13 52. Fire Department Requirements shall be placed on plans in the notes section.

14 53. Smoke detectors are required, and detector locations must be indicated on the
15 plans.

16 54. A minimum fire flow of 2,000 gallons per minute shall be provided.

17 55. The size of fire hydrant outlets shall be 2 ½" X 4".

18 56. All proposed and existing fire hydrants within 400 feet of the project shall be
19 shown on the site plan. A fire hydrant will be required on The Strand within 150 feet of the
20 proposed project.

21 57. The fire hydrants shall be installed and tested prior to placing any combustible
22 materials on the job site.

23 58. Detailed plans of underground fire service mains shall be submitted to the
24 Oceanside Fire Department for approval prior to installation.

25 59. Blue hydrant identification markers shall be placed as per Oceanside's Engineers
26 Design and Processing Manual Standard Drawing No. M-13.

27 60. A "Knox" key storage box shall be provided for all new construction. For
28 buildings, other than high-rise, a minimum of 3 complete sets of keys shall be provided. Keys
shall be provided for all exterior entry doors, fire protection equipment control rooms,

1 mechanical and electrical rooms, elevator controls and equipment spaces, etc. For high-rise
2 buildings, 6 complete sets are required.

3 61. Fire extinguishers are required and shall be included on the plans submitted for
4 plan check.

5 62. An automatic fire sprinkler system shall be installed throughout every apartment
6 house three or more stories in height or containing 5 or more dwelling units.

7 63. In accordance with the California Fire Code Sec. 901.4.4, City approved
8 addresses for residential occupancies shall be placed on the structure in such a position as to be
9 plainly visible and legible from the street or roadway fronting the property. Numbers shall be
10 contrasting with their background.

11 64. Multifamily dwellings require 6 inch address numbers.

12 65. Plans shall be submitted to the Fire Prevention Bureau for plan check review and
13 approval prior to the issuance of building permits.

14 66. Buildings shall meet Oceanside Fire Departments current codes at the time of
15 building permit application.

16 67. Provide on-site fire hydrants and mains capable of supplying the required fire
17 flow.

18 68. Detailed plans of underground fire service mains shall be submitted to the
19 Oceanside Fire Department for approval prior to installation.

20 69. Provide a 13R fire sprinkler system. The system shall be designed per N.F.P.A.
21 13R and U.B.C. Standard 9-3, Installation of Sprinkler System in Residential Occupancies up to
22 an including four stories in height.

23 70. The Fire Department connection shall not be affixed to the building. The Fire
24 Department connection shall be located at least 40 feet away from the building within 40 feet of
25 a fire hydrant and on the address side of the building, unless otherwise determined by the Fire
26 Department. The hydrant shall be located on the same side of the street as the Fire Department
27 connection.

28 **Planning:**

71. This Tentative Map (T-203-05), Development Plan (D-213-05) and Regular
Coastal Permit (RC-210-05) shall expire on November 15, 2008, unless implemented as

1 required by the Zoning Ordinance.

2 72. This Tentative Map, Development Plan and Regular Coastal Permit approves
3 only for the construction of a 8-unit residential condominium project as shown on the plans and
4 exhibits presented to the Community Development Commission for review and approval. No
5 deviation from these approved plans and exhibits shall occur without Planning Department
6 approval. Substantial deviations shall require a revision to the Tentative Map, Development
7 Plan and Regular Coastal Permit or a new Tentative Map, Development Plan and Regular
8 Coastal Permit.

9 73. The applicant, permittee or any successor-in-interest shall defend, indemnify and
10 hold harmless the City of Oceanside, its agents, officers or employees from any claim, action or
11 proceeding against the City, its agents, officers, or employees to attack, set aside, void or annul
12 an approval of the City, concerning Tentative Map (T-203-05), Development Plan (D-213-05)
13 and Regular Coastal Permit (RC-210-05). The City will promptly notify the applicant of any
14 such claim, action or proceeding against the City and will cooperate fully in the defense. If the
15 City fails to promptly notify the applicant of any such claim action or proceeding or fails to
16 cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend,
17 indemnify or hold harmless the City.

18 74. All mechanical rooftop and ground equipment shall be screened from public
19 view as required by the Zoning Ordinance. That is, on all four sides and top. The roof jacks,
20 mechanical equipment, screen and vents shall be painted with non-reflective paint to match the
21 roof. This information shall be shown on the building plans.

22 75. Landscape plans, meeting the criteria of the City's Landscape Guidelines and
23 Water Conservation Ordinance No. 91-15, including the maintenance of such landscaping, shall
24 be reviewed and approved by the City Engineer and City Planner prior to the issuance of
25 building permits. Landscaping shall not be installed until bonds have been posted, fees paid,
26 and plans signed for final approval.

27 76. All landscaping, fences, walls, etc. on the site, in medians in the public right-of-
28 way and in any adjoining public parkways shall be permanently maintained by the owner, his
assigns or any successors in interest in the property. The maintenance program shall include
normal care and irrigation of the landscaping; repair and replacement of plant materials;

1 irrigation systems as necessary; and general cleanup of the landscaped and open areas, parking
2 lots and walkways, walls, fences, etc. Failure to maintain landscaping shall result in the City
3 taking all appropriate enforcement actions by all acceptable means including but not limited to
4 citations and/or actual work with costs charged to or recorded against the owner. This condition
5 shall be recorded with the covenant required by this resolution.

6 77. Front yard landscaping with a complete irrigation system, in compliance with
7 Water Conservation Ordinance No. 91-15, shall be required.

8 78. All multi-family unit dwelling projects shall dispose of or recycle solid waste in
9 a manner provided in City Ordinance 13.3.

10 79. A letter of clearance from the affected school district in which the property is
11 located shall be provided as required by City policy at the time building permits are issued.

12 80. A covenant or other recordable document approved by the City Attorney shall be
13 prepared by the applicant developer and recorded prior to the issuance of building permits. The
14 covenant shall provide that the property is subject to this resolution, and shall generally list the
15 conditions of approval.

16 81. Prior to the issuance of building permits, compliance with the applicable
17 provisions of the City's anti-graffiti (Ordinance No. 93-19/Section 20.25 of the City Code) shall
18 be reviewed and approved by the Planning Division. These requirements, including the
19 obligation to remove or cover with matching paint all graffiti within 24 hours, shall be noted on
20 the Landscape Plan and shall be recorded in the form of a covenant affecting the subject
21 property.

22 82. Prior to the transfer of ownership and/or operation of the site the owner shall
23 provide a written copy of the applications, staff report and resolutions for the project to the new
24 owner and or operator. This notification's provision shall run with the life of the project and
25 shall be recorded as a covenant on the property.

26 83. Failure to meet any conditions of approval for this development shall constitute a
27 violation of the Tentative Map (T-203-05), Development Plan (D-213-05) and Regular Coastal
28 Permit (RC-210-05).

84. Unless expressly waived, all current zoning standards and City ordinances and
policies in effect at the time building permits are issued are required to be met by this project.

1 The approval of this project constitutes the applicant's agreement with all statements in the
2 Description and Justification, and other materials and information submitted with this
3 application, unless specifically waived by an adopted condition of approval.

4 85. The developer's construction of all fencing and walls associated with the project
5 shall be in conformance with the approved Development Plan. Any substantial change in any
6 aspect of fencing or wall design from the approved Development Plan shall require a revision to
7 the Development Plan or a new Development Plan.

8 86. If any aspect of the project fencing and walls is not covered by an approved
9 Development Plan, the construction of fencing and walls shall conform to the development
10 standards of the City Zoning Ordinance. In no case, shall the construction of fences and walls
11 (including combinations thereof) exceed the limitations of the zoning code, unless expressly
12 granted by a Variation or other development approval.

13 87. The following unit type and floor plan mix, as approved by the Community
14 Development Commission, shall be indicated on plans submitted to the Building Division and
15 Planning Division for building permit:

	Sq.Ft.	# Bedrms	# Baths	# Stories	# Units	%
16 Plan 1	1,652	2	2	1	1	12.5
17 Plan 2	1,752	2	2	1	1	12.5
18 Plan 3	1,995	3	3	1	1	12.5
19 Plan 4	2,180	3	3	1	1	12.5
20 Plan 5	2,187	3	3	1	1	12.5
21 Plan 6	2,189	3	3	1	1	12.5
22 Plan 7	2,328	3	3	1	1	12.5
23 Plan 8	2,378	3	3	1	1	12.5

24 88. Side and rear elevations and window treatments shall be trimmed to substantially
25 match the front elevations. A set of building plans shall be reviewed and approved by the
26 Planning Division prior to the issuance of building permits.

27 89. Elevations, siding materials, colors, roofing materials and floor plans shall be
28 substantially the same as those approved by the Community Development Commission. These
shall be shown on plans submitted to the Building Division and Planning Division.

90. This project is subject to the provisions of the Local Coastal Plan for Coastal
Housing. The developer shall obtain a Coastal Affordable Housing Permit from the Director of

1 Housing and Neighborhood Services prior to issuance of building permits or recordation of a
2 final map, whichever occurs first.

3 91. An association of homeowners (HOA) shall be formed and Covenants,
4 Conditions and Restrictions (CC&R's) shall provide for the maintenance of all common open
5 space, and commonly owned fences and walls and adjacent parkways. The maintenance shall
6 include normal care and irrigation of landscaping, repair and replacement of plant material and
7 irrigation systems as necessary; and general cleanup of the landscaped and open area, parking
8 lots and walkways. The CC&R's shall be subject to the review and approval of the City
9 Attorney prior to the approval of the final map. The CC&R's are required to be recorded prior
10 to or concurrently with the final map. Any amendments to the CC&R's in which the association
11 relinquishes responsibility for the maintenance of any common open space shall not be
12 permitted without the specific approval of the City of Oceanside. Such a clause shall be a part
13 of the CC&R's. The CC&R's shall also contain provisions for the following:

- 14 a) The subterranean garage parking shall be exclusive to the residential
15 occupancy of the site and shall not be shared or used by any other occupancy.
- 16 b) Prohibition of parking or storage of recreational vehicles, trailers, or boats.
- 17 c) Maintenance of all common areas, and on-site and frontage landscaping.
- 18 d) Trash collection either at street level or within a subterranean garage and the
19 funding mechanism.

20 92. Prior to the issuance of a building permit, the applicant and landowner,
21 shall execute and record a covenant, in a form and content acceptable to the City Attorney,
22 Which shall provide:

- 23 a) That the applicant understands that the site may be subject to extraordinary
24 hazard from waves during storms and from erosion and the applicant assumes the liability from
25 those hazards.
- 26 b) That the applicant unconditionally waives any claim of liability on the part of the
27 City and agrees to defend and indemnify and hold harmless the City and its advisors relative to
28 the City's approval of the project for any damage due to natural hazards.

93. A trash enclosure must be provided as required by Chapter 13 of the City Code
and shall also include additional space for storage and collection of recyclable materials per

1 City standards. Recycling is required by City Ordinance and State Law. The enclosure must be
2 built in a flat, accessible location as determined by the City Engineer. The enclosure shall meet
3 City standards including being constructed of concrete block, reinforced with Rebar and filled
4 with cement. A concrete slab must be poured with a berm on the inside of the enclosure to
5 prevent the bin(s) from striking the block walls. The slab must extend out of the enclosure for
6 the bin(s) to roll out onto. Steel posts must be set in front of the enclosure with solid metal
7 gates. All driveways and service access areas must be designed to sustain the weight of a
8 50,000-pound service vehicle. Trash enclosures and driveways and service access areas shall be
9 shown on both the improvement and landscape plans submitted to the City Engineer. The
10 specifications shall be reviewed and approved by the City Engineer. The City's waste disposal
11 contractor is required to access private property to service the trash enclosure. A service
12 agreement must be signed by the property owner with the City's waste disposal contractor and
13 shall remain in effect for the life of the project. All trash enclosures shall be designed to
14 provide user access without the use and opening of the service doors for the bins. Trash
15 enclosures shall have design features such as materials and trim similar to that of the rest of the
16 project. If the developer chooses to incorporate the trash enclosures below the street level,
17 within an underground or podium parking structure, it will be the developer's responsibility and
18 cost to get the trash and recycling bins to the street level on the trash collection days. It will
19 also be the developer's responsibility to have the trash and recycling bins removed from the
20 street within three hours of the pick up of the trash. The handling of all of the trash and
21 recycled materials within a project will be clearly identified within the Management Plan is
22 subject to the review and approval of the Planning Department and Waste Management prior to
23 the issuance of a building permit, and shall be recorded as CC&R's against the property. This
24 design shall be shown on the landscape plans or the architecture plans and shall be approved by
25 the Planning Department. The proposed location of the trash enclosure (below grade) may also
26 require additional services from Waste Management which may result in higher fees.

25 94. The proposed building cannot exceed the height of the centerline of Pacific
26 Street located immediately east of the subject site. To ensure compliance, the applicant is
27 required, at their expense, to hire a registered surveyor or civil engineer to measure the building
28 at various stages of construction.

1 **Water Utilities:**

2 95. All public water and/or sewer facilities not located within the public right-of-way
3 shall be provided with easements sized according to the City's Engineers Manual. Easements
4 shall be constructed for all weather access.

5 96. No trees, structures or building overhang shall be located within any water or
6 wastewater utility easement.

7 97. The property owner will maintain private water and wastewater utilities located
8 on private property.

9 98. Water services and sewer laterals constructed in existing right-of-way locations
10 are to be constructed by approved and licensed contractors at developer's expense.

11 99. The developer will be responsible for developing all water and sewer utilities
12 necessary to develop the property. Any relocation of water and/or sewer utilities is the
13 responsibility of the developer and shall be done by an approved licensed contractor at the
14 developer's expense.

15 100. All lots with a finish pad elevation located below the elevation of the next
16 upstream manhole cover of the public sewer shall be protected from backflow of sewage by
17 installing and maintaining an approved type backwater valve, per the Uniform Plumbing Code
(U.P.C.).

18 101. Water and Wastewater Buy-in fees and the San Diego County Water Authority
19 Fees are to be paid to the City and collected by the Water Utilities Department at the time of
20 Building Permit issuance.

21 102. All Water and Wastewater construction shall conform to the most recent edition of
22 the City's Engineers Manual, or as approved by the Water Utilities Director.

23 103. All new development of multi-family residential units shall include hot water pipe
24 insulation and installation of a hot water re-circulation device or design to provide hot water to
the tap within 15 seconds in accordance with City of Oceanside Ordinance No. 02-0R126-1.

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104. Subterranean parking spaces shall be drained to the City's Storm Drain System and shall comply with the California Regional Water Quality Control Board Order No. 2001-01.

PASSED AND ADOPTED by the Oceanside Community Development Commission of the City of Oceanside this ___ day of _____ 2006 by the following vote:

AYES:

NAYS:

ABSENT:

ABSTAIN:

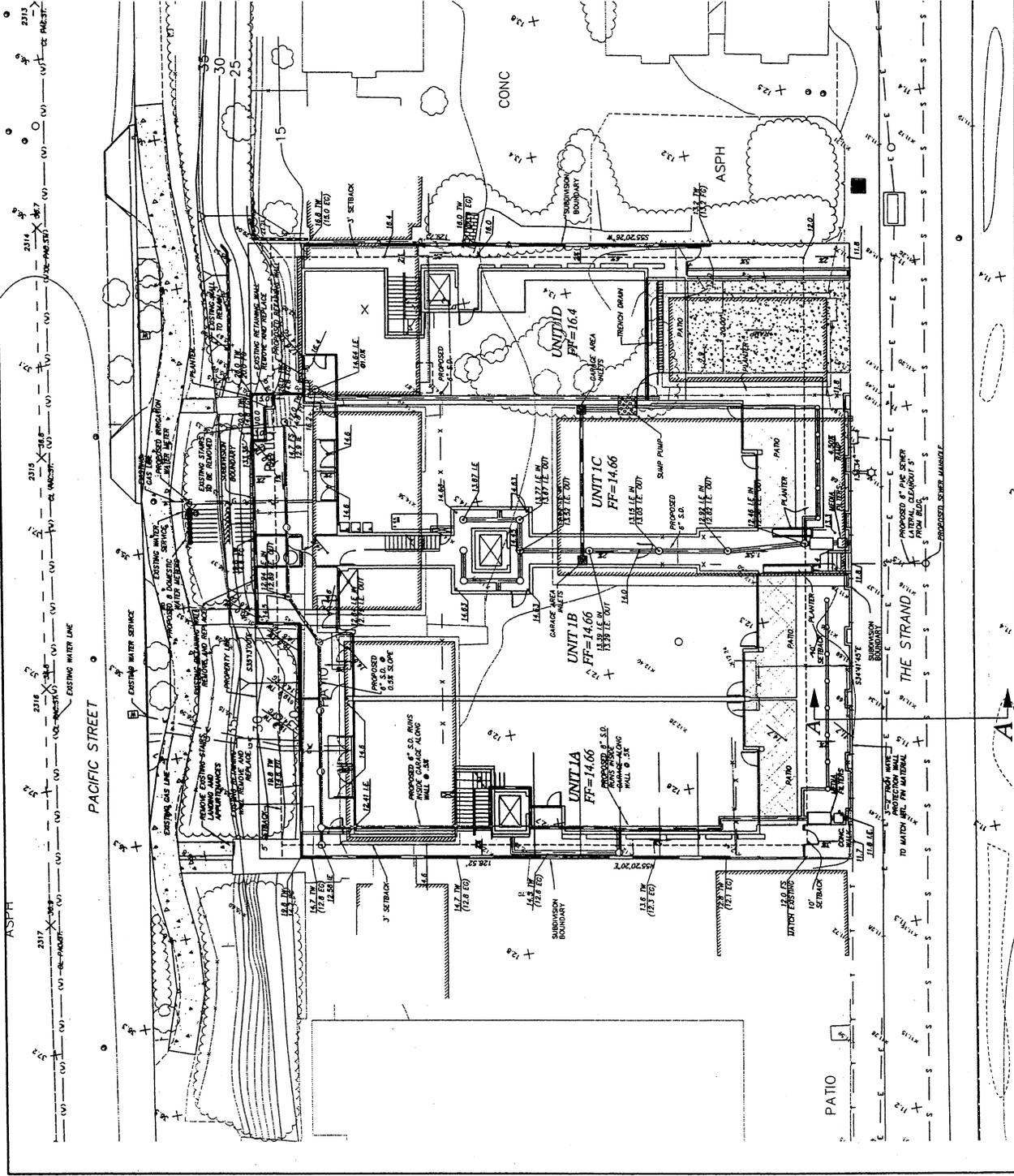
Chairman

ATTEST:

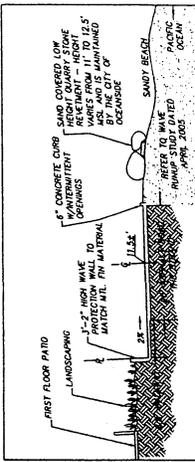
Secretary

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY

by  ,
General Counsel



SCALE: 1" = 10'

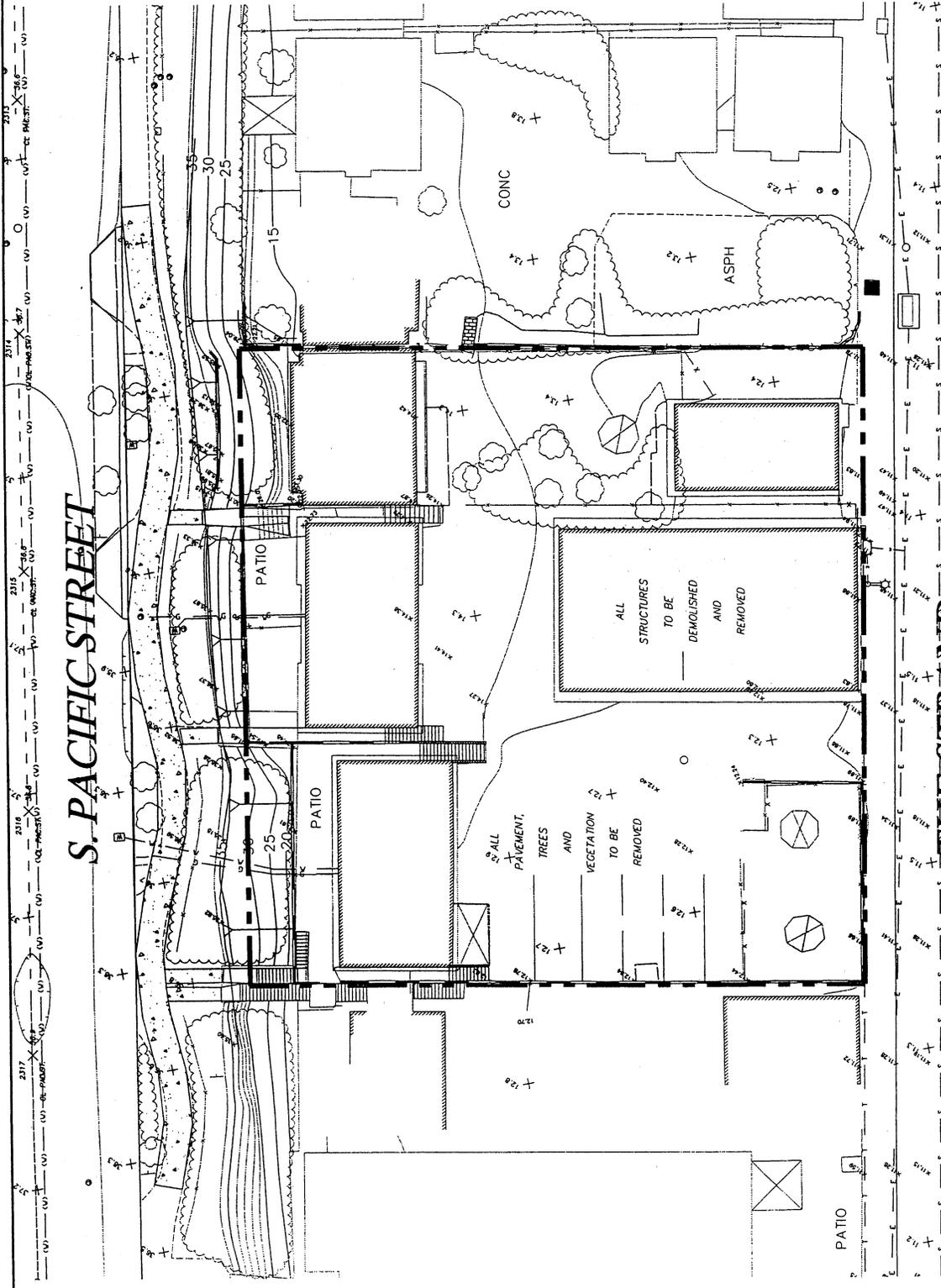


EXISTING REVISION IMPROVEMENTS
SECTION A - A
SCALE 1" = 10'

THE STRAND CONDOMINIUMS
314 S. THE STRAND
OCEANSIDE, CA
FIRST FLOOR
SHEET 2 of 4

S. PACIFIC STREET

THE STRAND



**NO EASEMENTS
ON THIS
PROPERTY**

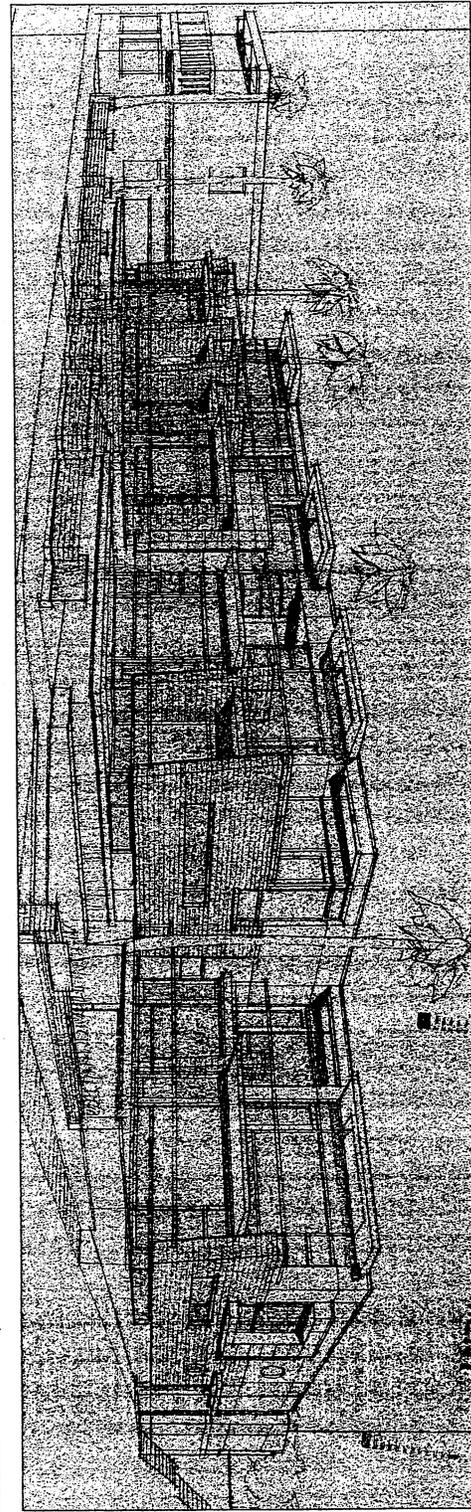
THE STRAND CONDOMINIUMS
314 S. THE STRAND
OCEANSIDE, CA
FIRST FLOOR
SHEET 4 of 4

EXHIBIT PROJECT: 3173-0992-0004(10/17)-0992-1000-00 0/26/00 10532 00 1/1

RECEIVED

SEP 11 2006

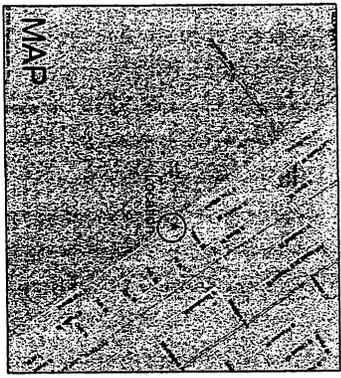
OCEANSIDE REDEVELOPMENT



THE STRAND CONDOMINIUMS

Design Submittal

November 12th, 2005
 April 7th, 2006 (Revised)
 June 23rd, 2006 (Revised)



STATISTICS		REQUIREMENTS		PROVIDED		ASBESTOS (REQ)	
SUBMITTER:	44 (THE STRAND)	44		44		15,000 SQ FT	15,000 SQ FT
SITE AREA:	17,218 SF (393 ACRES)	17,218 SF		17,218 SF		15,000 SQ FT	15,000 SQ FT
UNITS:	2-STORE OVER UNDERGROUND PARKING GARAGE	20 UNITS/ACRE		20 UNITS/ACRE		15,000 SQ FT	15,000 SQ FT
OCCUPANCY GROUP:	M-1					15,000 SQ FT	15,000 SQ FT
MAX. DENSITY ALLOWED:	33 UNITS/ACRE					15,000 SQ FT	15,000 SQ FT
SITE AREA/UNIT:	1,600 SF/UNIT MIN.					15,000 SQ FT	15,000 SQ FT
OPEN SPACE:	100% X 6' = 1,600 SF					15,000 SQ FT	15,000 SQ FT
PARKING SPACES:	16 STALLS	16 STALLS		16 STALLS		15,000 SQ FT	15,000 SQ FT
	24MIN/2 X 8=18 STALLS	18 STALLS		18 STALLS		15,000 SQ FT	15,000 SQ FT
		18 STALLS		18 STALLS		15,000 SQ FT	15,000 SQ FT
		18 STALLS		18 STALLS		15,000 SQ FT	15,000 SQ FT
		18 STALLS		18 STALLS		15,000 SQ FT	15,000 SQ FT
SPACE PARKING:	1 SPACE					15,000 SQ FT	15,000 SQ FT
LANDSCAPING REQ'D:	20%					15,000 SQ FT	15,000 SQ FT

INDEX	DESCRIPTION
C	COVER
ARCHITECTURAL	
A1	SITE + ROOF PLAN
A2	1ST FLOOR PLAN
A3	2ND FLOOR PLAN
A3.1	LANDSCAPE AREA D.I.C.
A4	GRABAGE PLAN
A5	ELEVATIONS
A7	ELEVATIONS
LANDSCAPE	
L1.0	LANDSCAPE CONCEPT PLAN
CIVIL	
C1	TERMINAL MAP
C2	FIRST FLOOR DRAINAGE AND GRABAGE PLAN
C3	SECOND FLOOR DRAINAGE AND GRABAGE PLAN
C4	EXISTING COMMONS

NOTES

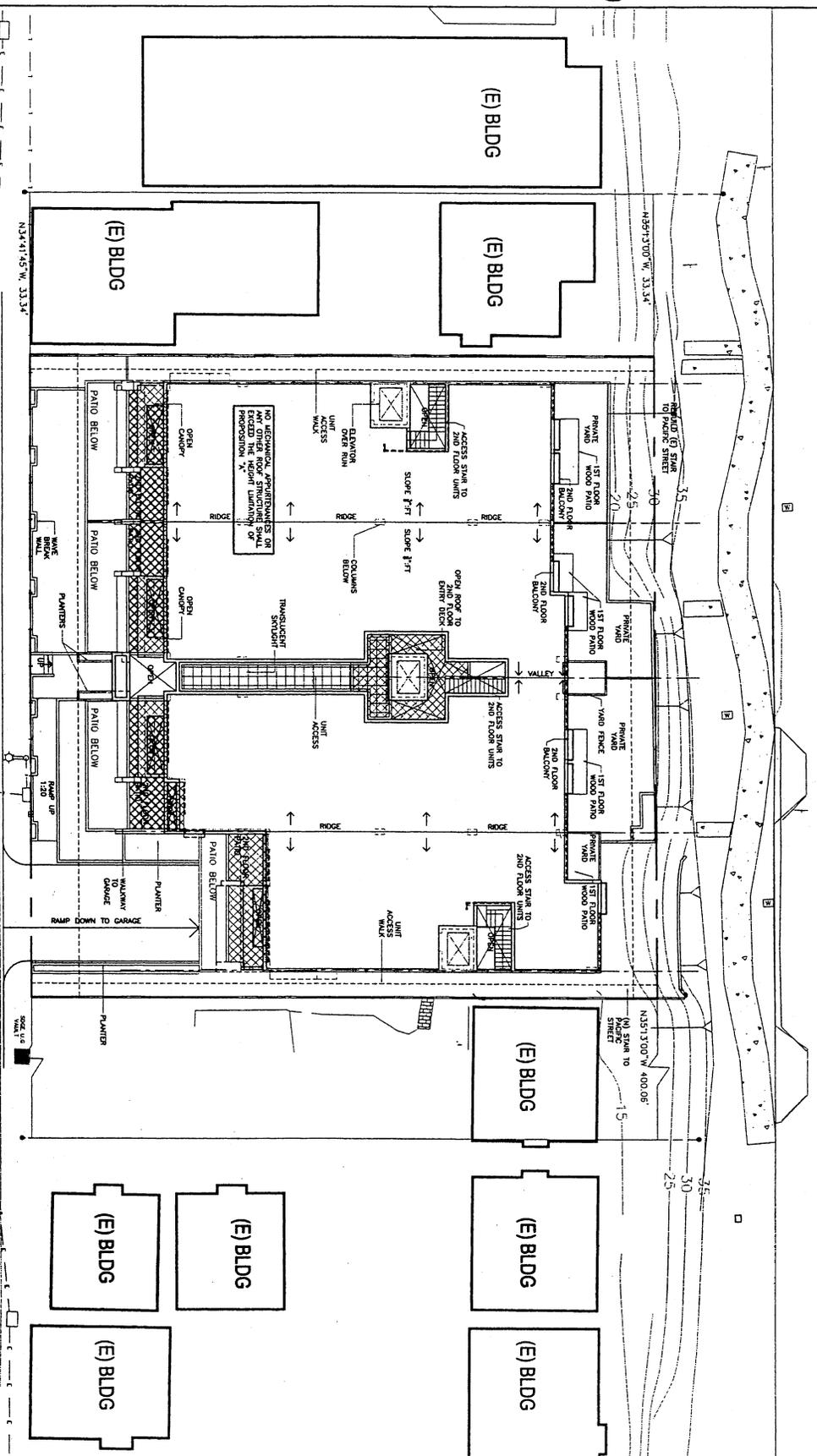
- NO MECHANICAL APPEARANCES OR ANY OTHER ROOF STRUCTURE SHALL EXCEED THE HEIGHT LIMITATION OF PROPOSITION "X"
- IT SHALL BE THE RESPONSIBILITY OF THE HOA TO PLACE TRASH BINS ON THE STRAND FOR WASTE MANAGEMENT

Prospect Point Development, LLC
 1020 Prospect Street, Suite 314
 La Jolla, CA 92037
 (619) 455-0811

DHA Inc.
 civil engineering, surveying and planning
 5015 Avenida Encinas
 Suite 110, CA 92008-1497
 (760) 531-8700

THE LIGHTFOOT PLANNING GROUP
 APPLICANT'S REPRESENTATIVE
 LANDSCAPE ARCHITECTURE
 3328 GLENN AVE., SUITE 100
 CARLSBAD, CA 92008
 (760) 439-1233

SOUTH PACIFIC STREET



THE STRAND

T SITE + ROOF PLAN

SCALE: 1"=10'

A1



Prospect Point
Development, LLC

1007 Prospect Street, Suite #114
La Brea, CA 90017
(323) 455-0014
(323) 455-0061

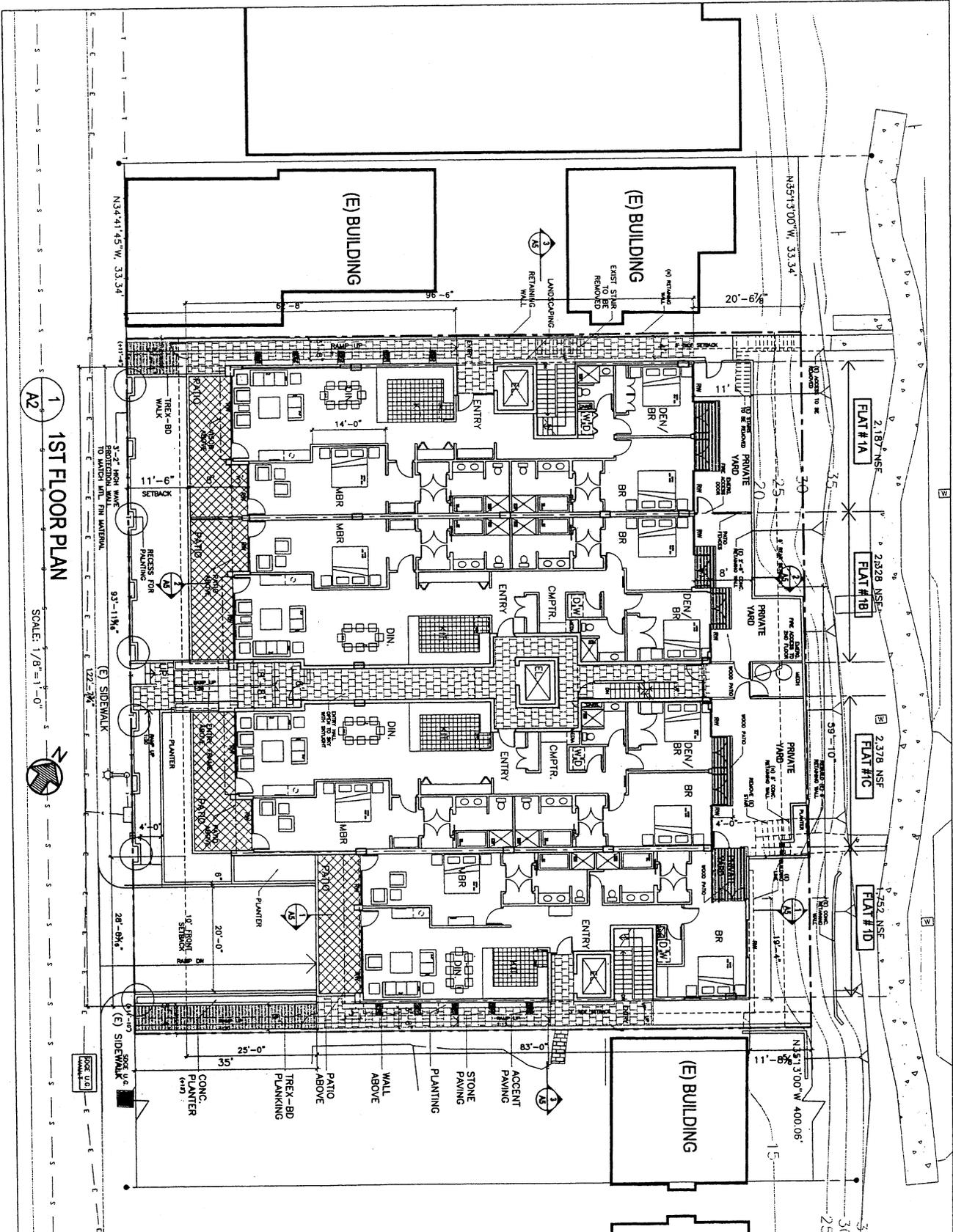
Planning Division

Rev. Description Date By
1/17/05
1/17/05
1/17/05
1/17/05

Strand
Condominiums
Oceanside, CA

DATE: 1/17/05
SCALE: AS NOTED
DRAWN BY: AS NOTED
SHEET: A1

A1



1
A2

1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"



Job #	1717/05
Date	11/17/05
Scale	AS NOTED
Drawn By	Shawel
Sheet	A2

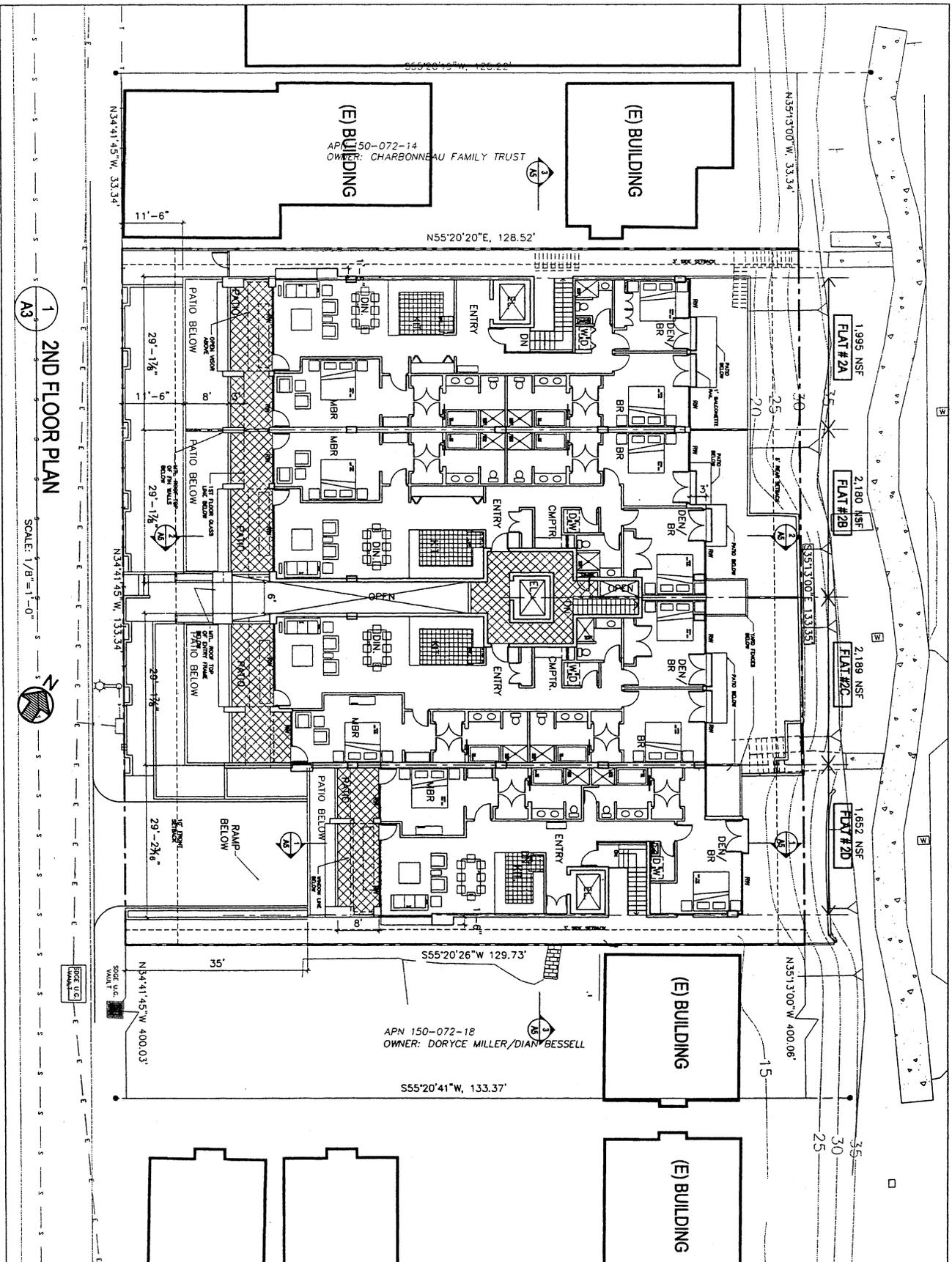
1ST FLOOR PLAN

Strand
Condominiums
Oceanside CA

Rev.	Description	Date	By
1	ISSUE FOR PERMITS	11/17/05	SHAWEL
2	ISSUE FOR PERMITS	11/17/05	SHAWEL
3	ISSUE FOR PERMITS	11/17/05	SHAWEL
4	ISSUE FOR PERMITS	11/17/05	SHAWEL
5	ISSUE FOR PERMITS	11/17/05	SHAWEL
6	ISSUE FOR PERMITS	11/17/05	SHAWEL
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36	ISSUE FOR PERMITS	11/17/05	SHAWEL
37	ISSUE FOR PERMITS	11/17/05	SHAWEL
38	ISSUE FOR PERMITS	11/17/05	SHAWEL
39	ISSUE FOR PERMITS	11/17/05	SHAWEL
40	ISSUE FOR PERMITS	11/17/05	SHAWEL
41	ISSUE FOR PERMITS	11/17/05	SHAWEL
42	ISSUE FOR PERMITS	11/17/05	SHAWEL
43	ISSUE FOR PERMITS	11/17/05	SHAWEL
44	ISSUE FOR PERMITS	11/17/05	SHAWEL
45	ISSUE FOR PERMITS	11/17/05	SHAWEL
46	ISSUE FOR PERMITS	11/17/05	SHAWEL
47	ISSUE FOR PERMITS	11/17/05	SHAWEL
48	ISSUE FOR PERMITS	11/17/05	SHAWEL
49	ISSUE FOR PERMITS	11/17/05	SHAWEL
50	ISSUE FOR PERMITS	11/17/05	SHAWEL

Prospect Point
Development, LLC
1020 Prospect Street, Suite 814
La Jolla, CA 92037
(619) 454-0014
(619) 454-0061

Planning Division



1
A3
2ND FLOOR PLAN

SCALE: 1/8" = 1'-0"



DATE U.S. 11/17/05

SCALE: AS NOTED

DRAWN BY: AS NOTED

SHEET: A3

A3

Job #	11/17/05
Date	AS NOTED
Drawn By	AS NOTED
Sheet	A3

2ND FLOOR PLAN

Strand
Condominiums
Oceanside, CA

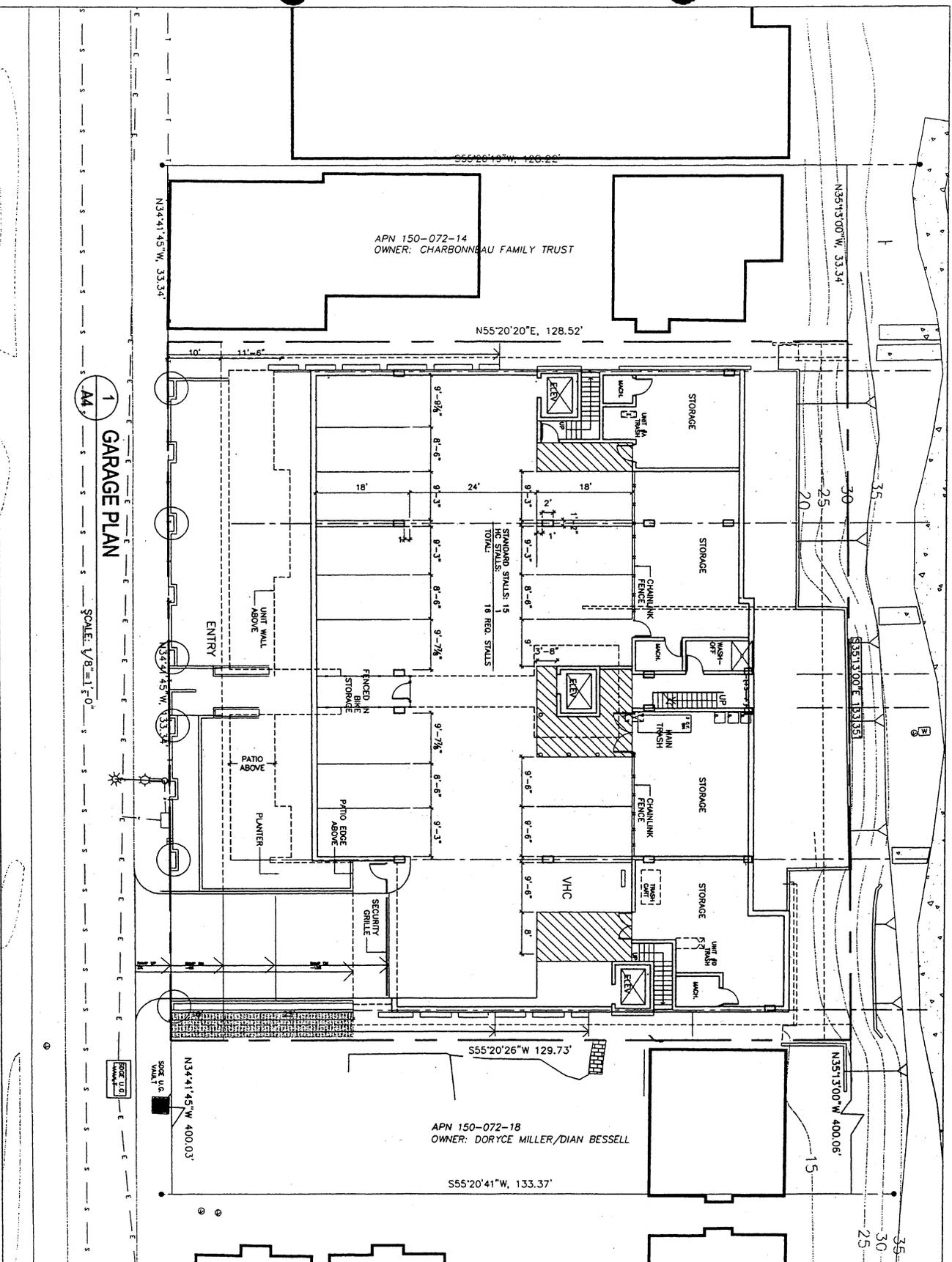
Rev.	Descr.	Date	By
1	ISSUED FOR PERMITS	11/17/05	AS NOTED
2	ISSUED FOR PERMITS	11/17/05	AS NOTED

APN 150-072-14
OWNER: CHARBONNEAU FAMILY TRUST

APN 150-072-18
OWNER: DORYCE MILLER/DIAN BESSELL

Prospect Point
Development, LLC
1020 Prospect Street, Suite 3014
Oceanside, CA 92054
1 (619) 454-0011
(619) 454-0061

Planning Division



1 GARAGE PLAN

SCALE: 1/8"=1'-0"

AA

Prospect Point Development, LLC
 1020 Prospect Street, Suite #314
 La Jolla, CA 92037
 (619) 454-0014
 (619) 454-0061

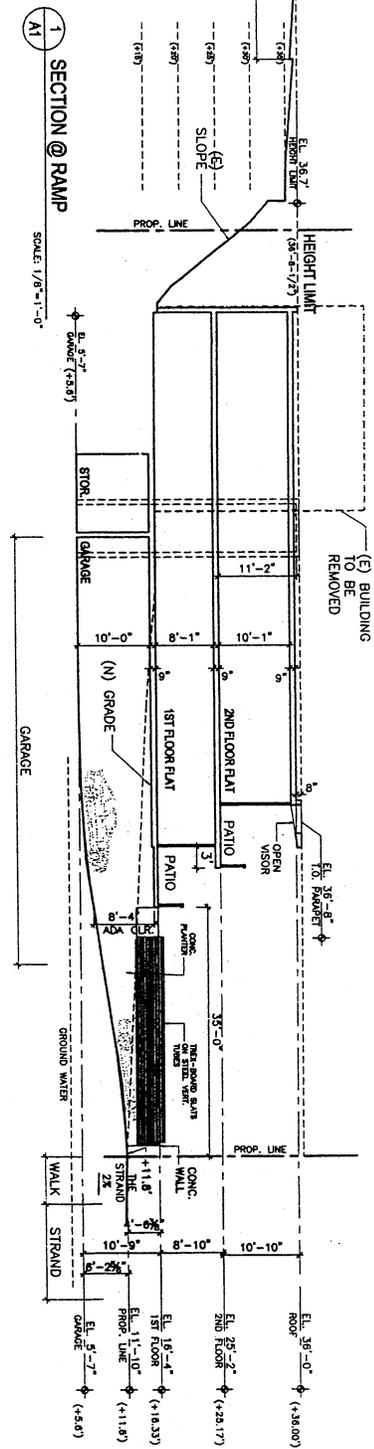
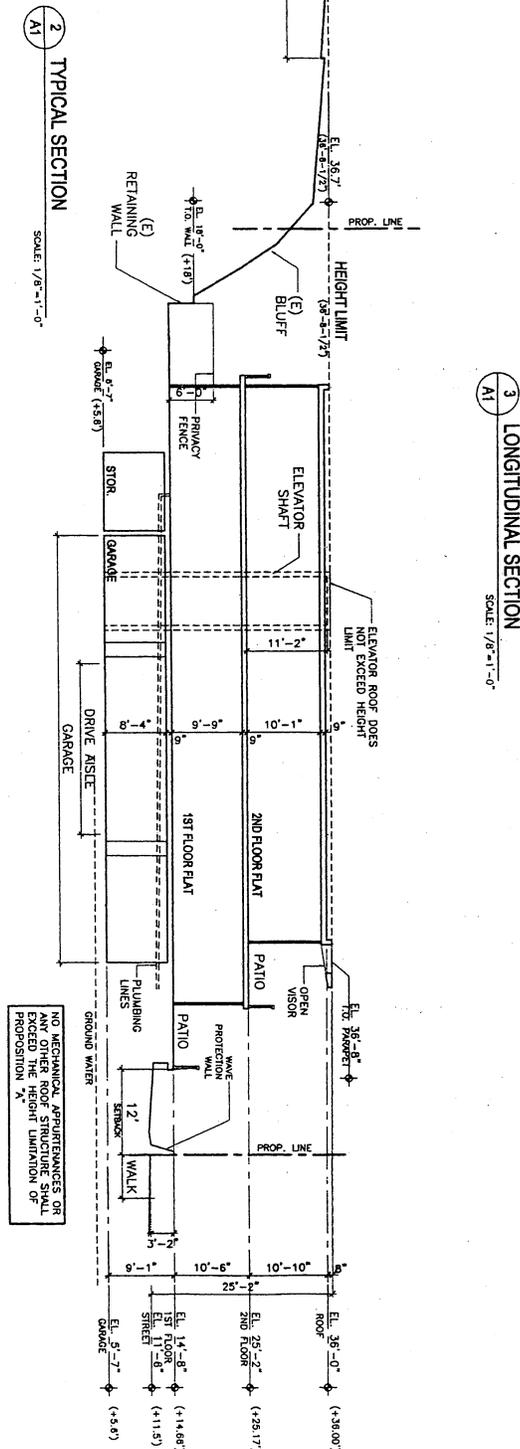
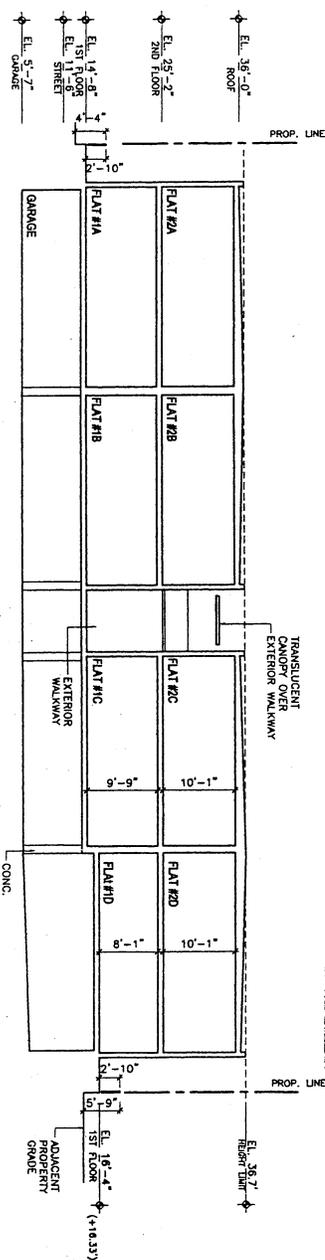
Planning Division

Strand Condominiums
 Oceanside, CA

Drawing Title: **GARAGE PLAN**

Rev. Descr.	Date	By
1	11/27/05	AS NOTED
2	11/27/05	AS NOTED
3	11/27/05	AS NOTED

Job #: 11/27/05
 Date: 11/27/05
 Scale: AS NOTED
 Drawn By: [Signature]
 Sheet: A4



Prospect Point
Development, LLC
1000 Prospect Street, Suite #314
La Jolla, CA 92037
(619) 455-0014
(619) 455-0061
Planning Division

Rev. Description Date By

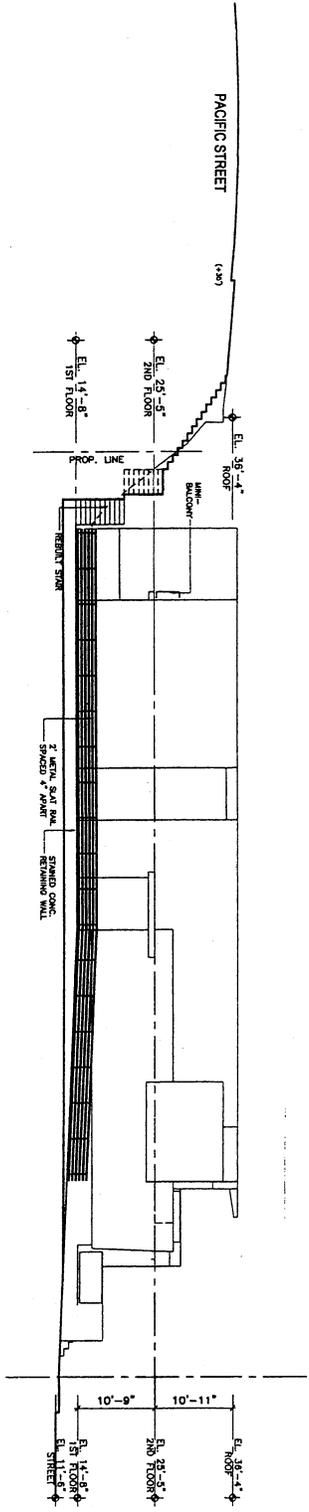
1.00 PERMIT 11/17/05
2.00 REVISIONS 11/17/05
3.00 REVISIONS 02/23/06

Strand
Condominiums
Oceanside, CA

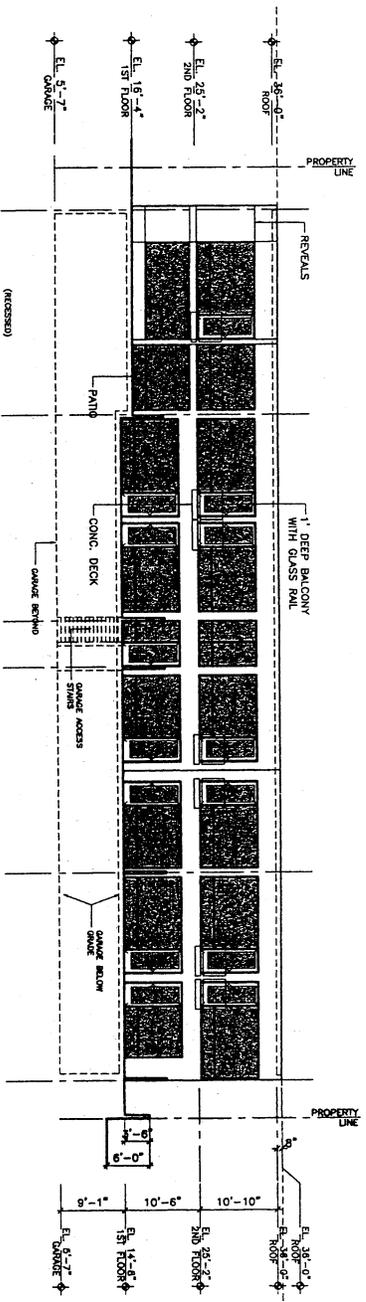
SECTIONS

Job #	11/17/05
Date	AS NOTED
Drawn By:	
Sheet:	

A5



2 NORTH ELEVATION
SCALE: 1/8"=1'-0"



2 EAST ELEVATION
SCALE: 1/8"=1'-0"

Prospect Point Development, LLC
 1020 Prospect Street, Suite #114
 La Jolla, CA 92037
 (619) 456-0014
 (619) 456-0061
Planning Division

Rev. Description	Date	By
1. PROSPECT POINT DEVELOPMENT, LLC	1/17/20	AS
2. REVISIONS	5/17/20	AS
Drawing Title: ELEVATIONS		
Project Name: Strand Condominiums		
Location: Oceanside, CA		
Job #	1/17/20	
Date	AS NOTED	
Scale		
Drawn By		
Sheet		

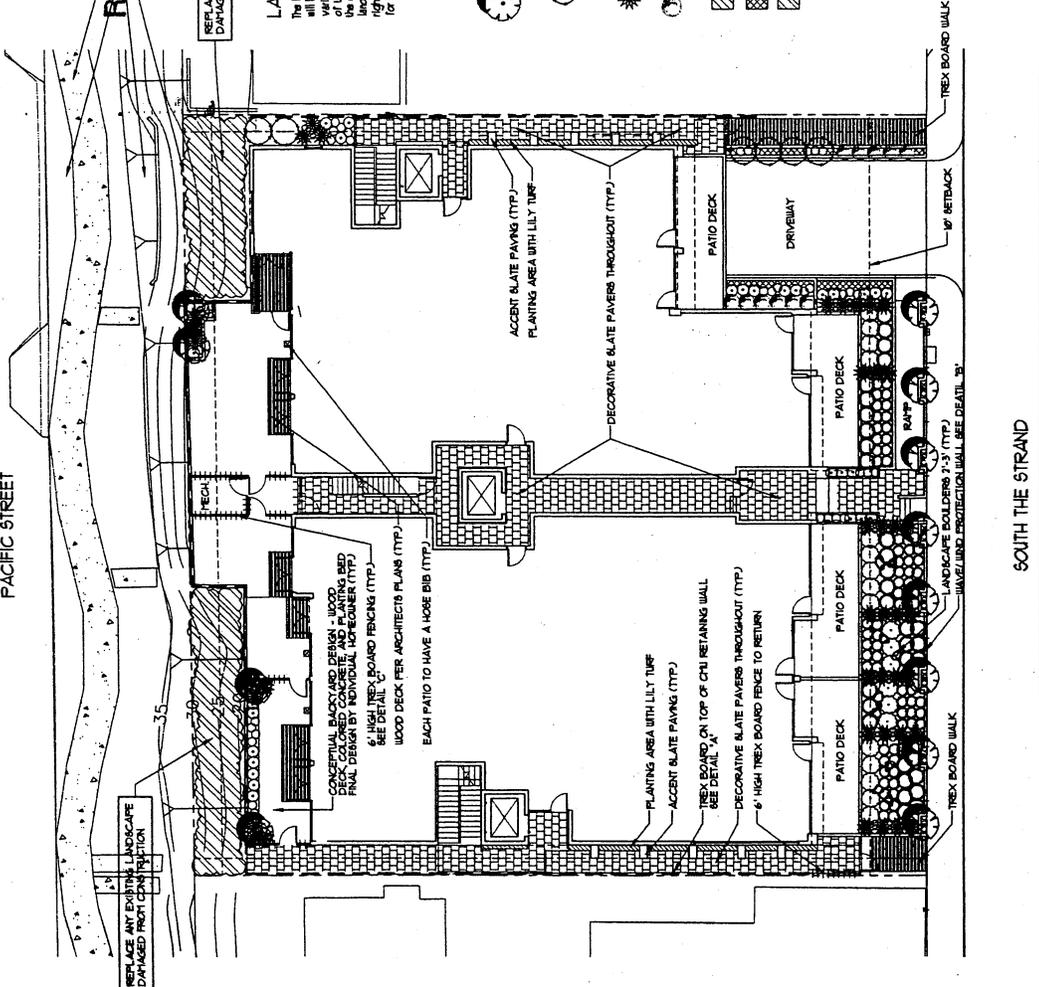
A7

LANDSCAPE CONCEPT PLAN

314 SOUTH THE STRAND

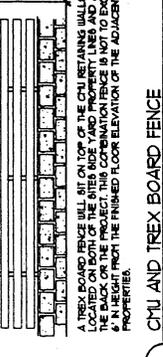
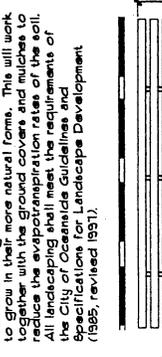
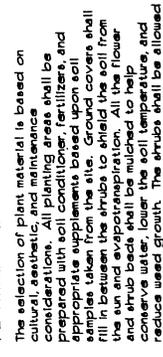
RECEIVED
SEP 11 2006

OCEANSIDE
REPAIR & IMPROVEMENT
PROPERTY LINE



IRRIGATION NOTES
An automatic irrigation system shall be installed or redesigned to provide coverage for all planting areas shown on the plan. Low precipitation equipment shall provide sufficient water for plant growth with a minimum of water loss due to run-off. The irrigation system shall be designed in accordance with the City of Oceanside Zoning Ordinance section 9019, City of Oceanside Guidelines and Specifications for Landscape Development (1995, revised 1997) and Water Conservation Ordinance 291-15.

PLANTING NOTES
The selection of plant material is based on cultural, aesthetic, and maintenance considerations. All planting areas shall be prepared with soil conditioner, fertilizers, and appropriate supplements based upon soil samples taken from the site. Ground covers shall be in between the shrubs and perennials and shrub beds shall be mulched to help conserve water, lower the soil temperature, and reduce weed growth. The shrubs shall be allowed to grow in their more natural forms. This will work together with the ground covers and mulches to reduce the evapotranspiration rates of the soil. All planting shall conform to the elements of the City of Oceanside Guidelines and Specifications for Landscape Development (1995, revised 1997).



A TREX BOARD FENCE WILL BE INSTALLED ON TOP OF THE CMU RETAINING WALL AND LOCATED ON BOTH SIDES OF THE YARD PROPERTY LINE AND AT THE BACK OF THE PROJECT. THIS RETAINING WALL IS NOT TO EXCEED 6' IN HEIGHT FROM THE FINISHED FLOOR ELEVATION OF THE ADJACENT PROPERTY.

A CONCRETE WALL WILL BE INSTALLED ON TOP OF 4\"/>

A 6\"/>

IRRIGATION NOTES

PLANTING NOTES

REPLACE ANY EXISTING LANDSCAPE DAMAGED FROM CONSTRUCTION

THE LIGHTFOOT PLANNING GROUP

PLANNING
SITE DESIGN
LANDSCAPE ARCHITECTURE

314 SOUTH THE STRAND
OCEANSIDE, CALIFORNIA

THE STRAND CONDOMINIUMS

CONCEPT PLAN

SCALE: 1" = 10'

CONCEPT LANDSCAPE PLAN

LANDSCAPE CONCEPT PLAN

REPLACE ANY EXISTING LANDSCAPE DAMAGED FROM CONSTRUCTION

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 6Z

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 2 of 11 *Resource Name or #: (Assigned by recorder) 316 S. The Strand (Building 4)

P1. Other Identifier: The Tradewinds Apartments

*P2. Location: Not for Publication Unrestricted * a. County: San Diego

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad San Luis Rey *Date: 1975 T11S R 5W; ¼ of ¼ of Sec; B.M.: SB

c. Address: 316 S. The Strand City: Oceanside Zip: 92054

d. UTM: (Give more than one for large or linear resources) Zone ; Me/ mN

e. Other Locational Data (e.g., parcel #, directions to resource, elevation, etc., as appropriate): The legal description of this property is Lot 18 and the southeast half of Lot 17, Block B, of the Terrace Annex Subdivision; the Assessor's Parcel Number for the property is 150-072-16.

*P3a. Description(Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries):

The resource is part of a five building apartment complex. It consists of a three story, 1,978 sq ft, four-unit apartment building with four single garages and a laundry room occupying the ground level. The frame building, constructed in a Ranchesque style, has a concrete foundation and is stucco-clad. The roof is low pitched and hipped; the eaves are narrow, open raked, and have exposed rafters. A central end gable provides visual relief on the west-facing facade. Two units are located on the second floor, with two more units located above them. All four units appear to share a common stucco chimney. Wood and concrete stairways located on the north and south ends of the rectangular shaped building provide access to the units. Fenestration consist of wood framed 1-over-1 double hungs of varying shapes and sizes, with single fixed panes and single double hungs located on the north and south ends of the building. The upper units have wood railed balconies which overhang the lower apartments. Staircases lead from the back of the upper floor to Pacific Street at the top of the slope behind the building. The building appears to be in good condition.



*P3b. Resource Attributes: (List attributes and codes) HP3 - Multiple-family residence

P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.) P5b. Description of Photo: (View, date, accession #) East facade, Building 4, 3/29/05, 947:2

*P6. Date Constructed/Age and Source Historic Prehistoric Both Constructed 1948 per Notice of Completion

*P7. Owner and Address: The Strand Condominiums
1020 Prospect Street #314
La Jolla, CA 92037

*P8. Recorded by (Name, affiliation, and address): Ruth Alter,
Archaeos, 11209 Golden
Birch Way, San Diego, CA

92131 *P9. Date Recorded: 3/29/05 *P10. Type of Survey: (Describe) Field Check *P11. Report Citation (Cite survey report and other sources, or enter "none".) None *Attachments: NONE Location Map Sketch Map Continuation

Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Resource Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

PRIMARY RECORD

RECEIVED
NOV 23 2005
Planning Department
Other Listings

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 6Z

Review Code _____ Reviewer _____ Date _____

Page 1 of 11 *Resource Name or # (Assigned by recorder) 314 S. The Strand (Building 3)

P1. Other Identifier: The Tradewinds Apartments

*P2. Location: Not for Publication Unrestricted *

a. County: San Diego

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad San Luis Rey *Date: 1975 T11S R 5W; $\frac{1}{4}$ of $\frac{1}{4}$ of Sec; B.M.: SB

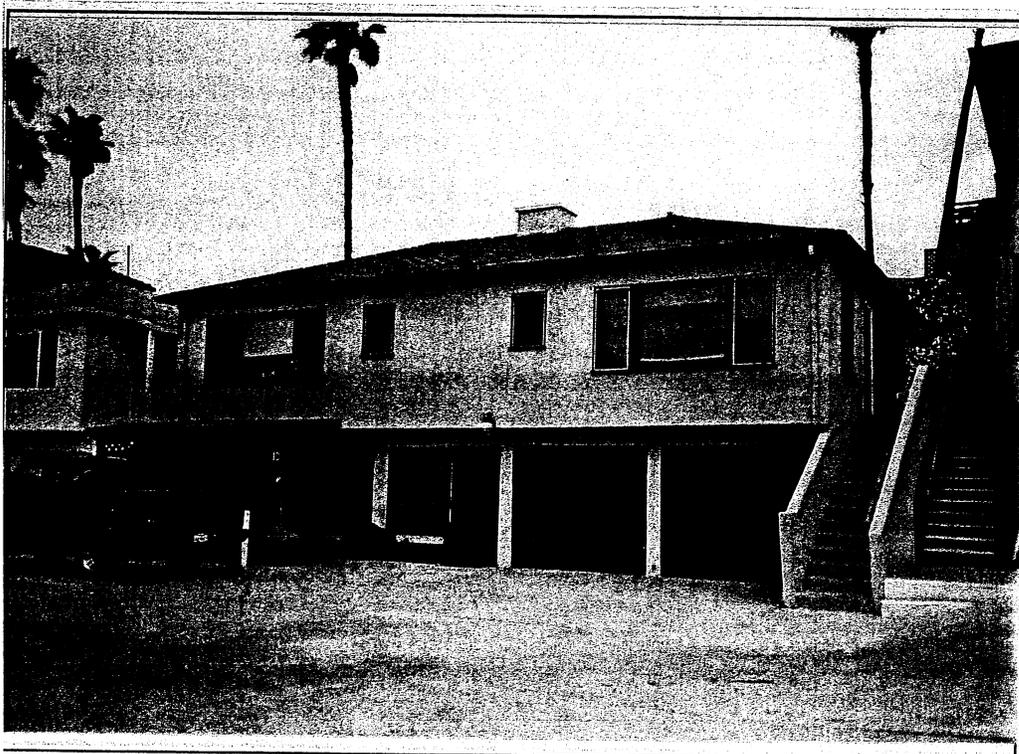
c. Address: 314 S. The Strand City: Oceanside Zip: 92054

d. UTM: (Give more than one for large or linear resources) Zone ; Me/ mN

e. Other Locational Data (e.g., parcel #, directions to resource, elevation, etc., as appropriate): The legal description of this property is Lots 16 and 17, Block B, of the Terrace Annex Subdivision; the Assessor's Parcel Number for the property is 150-072-15.

*P3a. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries):

The resource is part of a five building apartment complex. It consists of a two story, 1032 sq ft, three-unit apartment building with a concrete foundation, constructed in a stucco-clad Ranchesque style. The roof is low pitched and hipped. One unit occupies the lower floor and two units are located above it; two single garages are next to the lower unit. The second story overhangs the first and the units appear to share an interior stucco chimney. The lower unit has 16-lite wood framed focal windows; wood planter boxes and a lattice screen provide privacy from the adjacent parking area. Access to the lower unit is from the parking area to a pair of single 16-lite screened wood doors. Access to the upper units is via two sets of stucco-walled concrete stepped staircases. The upper unit windows are wood framed 1-over-one double hungs of varying shapes and sizes. The focal windows consist of central fixed panes flanked by double hungs. The single wood front doors are screened. The building appears to be in good condition.



*P3b. Resource Attributes: (List attributes and codes) HP3 - Multiple-family residence

P4. Resources Present: Building Structure Object Site District Element of District Other

(Isolates, etc.) P5b. Description of Photo: (View, date, accession #) East facade, Building 3, 3/29/05, 947:1

*P6. Date Constructed/Age and Source Historic Prehistoric Both Constructed 1947/48 per Residential Building Record

*P7. Owner and Address: The Strand Condominiums
1020 Prospect Street #314
La Jolla, CA 92037

*P8. Recorded by (Name, affiliation, and address): Ruth Alter,
Archaeos, 11209 Golden
Birch Way, San Diego, CA
92131 *P9. Date Recorded:

3/29/05 *P10. Type of Survey: (Describe) Field Check *P11. Report Citation (Cite survey report and other sources, enter "none".) None *Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Resource Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

Trinomial _____
NRHP Status Code 6Z

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Page 3 of 11 *Resource Name or #: (Assigned by recorder) 318 S. The Strand (Building 1)

P1. Other Identifier: The Tradewinds Apartments

*P2. Location: Not for Publication Unrestricted *

a. County: San Diego

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad San Luis Rey *Date: 1975 T11S R 5W; ¼ of ¼ of Sec; B.M.: SB

c. Address: 318 S. The Strand City: Oceanside Zip: 92054

d. UTM: (Give more than one for large or linear resources) Zone ; Me/ mN

e. Other Locational Data (e.g., parcel #, directions to resource, elevation, etc., as appropriate): The legal description of this property is Lot 18 and the southeast half of Lot 17, Block B, of the Terrace Annex Subdivision; the Assessor's Parcel Number for the property is 150-072-16.

*P3a. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries):

The resource is part of a five building apartment complex. It consists of a one story, 2,108 sq ft, Ranchesque style building constructed 10 years later than Buildings 3 and 4. The Residential Building Record identifies the structure as a triplex. The rectangular shaped frame building has a concrete foundation and is stucco-clad. The roof is medium pitched and end gabled, with asphalt shingles. The boxed eaves extend moderately over the walls and a skylight has been added to the roof. The focal windows consist of wood framed central fixed panes flanked by 1-over-one double hungs; additional fenestration consists of wood framed double hungs and casements. The windows on the west-facing facade have wood shutters. A wide, shouldered, brick chimney with brick planters is located on the north-facing facade at the west end of the building. Access to the building is off a concrete drive. The primary entries are single wood doors. The building appears to be in good condition.

*P3b. Resource Attributes: (List attributes and codes) HP3 -
Multiple-family residence

P4. Resources Present: Building
 Structure Object Site District
 Element of District Other
(Isolates, etc.) P5b. Description of
Photo: (View, date, accession #)
East facade, Building 1,
3/29/05, 947:3

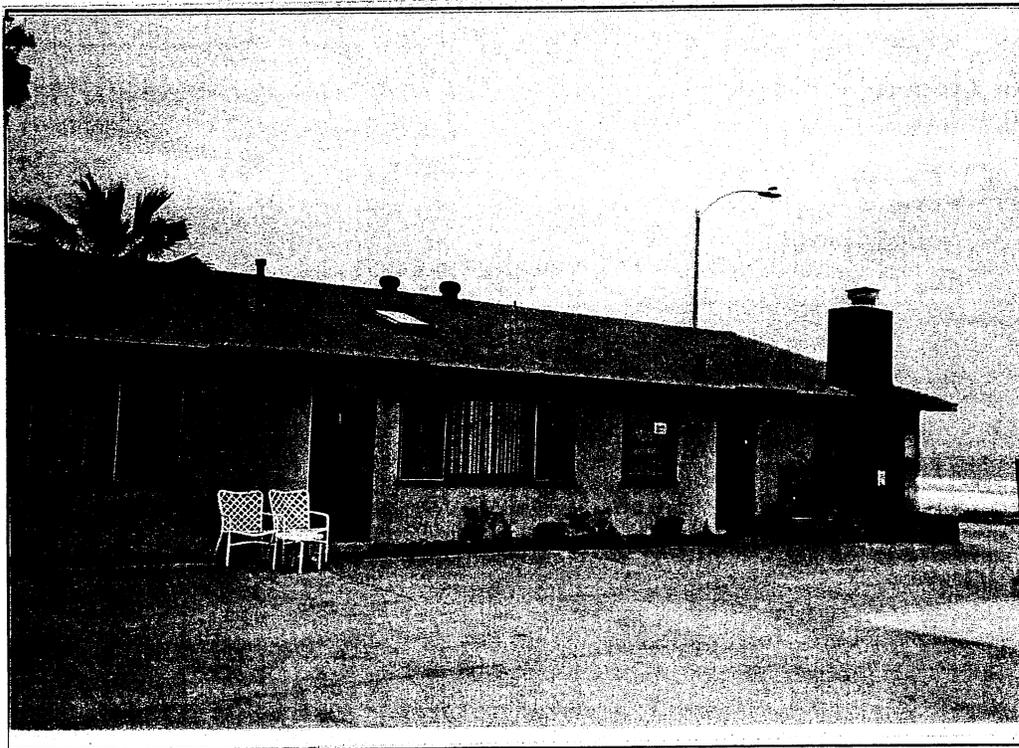
*P6. Date Constructed/Age and
Source Historic Prehistoric Both
Constructed 1958 per
Residential Building Record

*P7. Owner and Address:
The Strand Condominiums
1020 Prospect Street #314
La Jolla, CA 92037

*P8. Recorded by (Name, affiliation,
and address): Ruth Alter,
Archaeos, 11209 Golden
Birch Way, San Diego, CA
92131 *P9. Date Recorded:

3/29/05 *P10. Type of Survey: (Describe) Field Check *P11. Report Citation (Cite survey report and other sources,

or enter "none".) None *Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and
Object Record Archaeological Record District Record Linear Resource Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 6Z

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Page 4 of 11 *Resource Name or #: (Assigned by recorder) 320 S. The Strand (Building 2)

P1. Other Identifier: The Tradewinds Apartments

*P2. Location: Not for Publication Unrestricted *

a. County: San Diego

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad San Luis Rey *Date: 1975 T11S R 5W; ¼ of ¼ of Sec; B.M.: SB

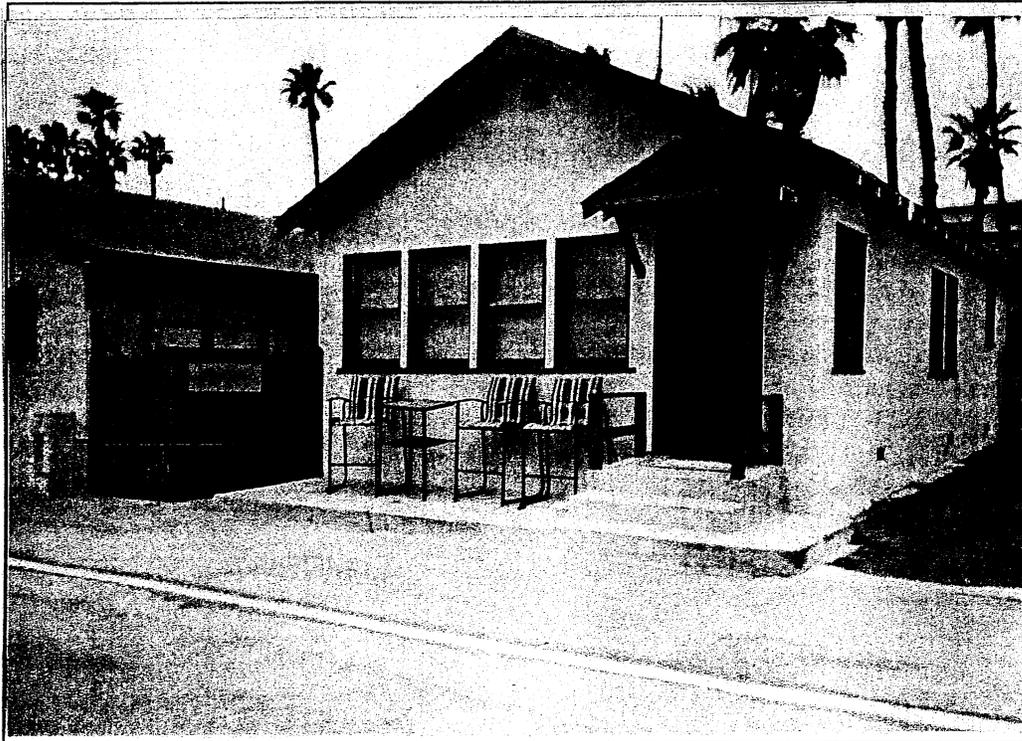
c. Address: 320 S. The Strand City: Oceanside Zip: 92054

d. UTM: (Give more than one for large or linear resources) Zone ; Me/ mN

e. Other Locational Data (e.g., parcel #, directions to resource, elevation, etc., as appropriate): The legal description of this property is Lot 19, Block B, of the Terrace Annex Subdivision; the Assessor's Parcel Number for the property is 150-072-17.

*P3a. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries):

The resource is part of a five building apartment complex. It consists of a small (612 sq ft), one story, Craftsman style beach cottage constructed in 1938. The rectangular shaped, frame and stucco building has a concrete foundation and has an asymmetrical front facade. The roof is medium pitched and front gabled, with an open rake and exposed rafters. The roof is covered with asphalt shingles. The fenestration consists of wood framed single, paired, and quadruple 1-over-1 double hungs. Foundation vents are located at the base of the building. Access to the cottage from the sidewalk, up to a raised concrete slab, then up one step to a concrete landing with wood post handrails. The entry area is covered by a front gabled two post and beam roof. The single wood front door has a paned upper and is covered by a screen door. The building appears to be in good condition.



*P3b. Resource Attributes: (List attributes and codes) HP2 -Single-family residence

P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5b. Description of Photo: (View, date, accession #) East facade, Building 2, 3/29/05, 947:4

*P6. Date Constructed/Age and Source Historic Prehistoric Both Constructed 1938 per Residential Building Record

*P7. Owner and Address: The Strand Condominiums 1020 Prospect Street #314 La Jolla, CA 92037

*P8. Recorded by (Name, affiliation, and address): Ruth Alter, Archaeos, 11209 Golden Birch Way, San Diego, CA

92131 *P9. Date Recorded: 3/29/05 *P10. Type of Survey: (Describe) Field Check *P11. Report Citation (Cite survey report and other sources, or enter "none".) None *Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Resource Record Milling

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
 PRIMARY RECORD

Primary # _____
 HRI # _____
 Trinomial _____
 NRHP Status Code 6Z

Other Listings _____
 Review Code _____ Reviewer _____ Date _____

*Page 5 of 11 *Resource Name or #:(Assigned by recorder) 320 S. The Strand (Building 5)

P1. Other Identifier: The Tradewinds Apartments

*P2. Location: Not for Publication Unrestricted *

a. County: San Diego

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad San Luis Rey *Date: 1975 T11S R 5W; ¼ of ¼ of Sec; B.M.: SB

c. Address: 320 S. The Strand City: Oceanside Zip: 92054

d. UTM: (Give more than one for large or linear resources) Zone ; Me/ mN

e. Other Locational Data (e.g., parcel #, directions to resource, elevation, etc., as appropriate): The legal description of this property is Lot 19, Block B, of the Terrace Annex Subdivision; the Assessor's Parcel Number for the property is 150-072-17.

*P3a. Description(Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries):

The resource is part of a five building apartment complex. It consists of a 792 sq ft, single story garage constructed in 1953 and modified in 1963. The rectangular shaped, concrete block building has a concrete foundation and a symmetrical front facade. The roof is flat with narrow eave projections over the garage doors. Two single car stalls are present, each with a wooden lift up door trimmed with square design elements. The fenestration consists of a central 16-lite double hung wood window set in vertical board siding. According to the Residential Building Record, the front one-third of the garage was converted into living space with a kitchen and bath in 1963. The building is located at the end of an asphalt driveway, behind Building 2. The garage appears to be in good condition.



*P3b. Resource Attributes: (List attributes and codes) HP4 - Ancillary Building/Garage

P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5b. Description of Photo: (View, date, accession #) East facade, Building 5, 3/29/05, 947:5

*P6. Date Constructed/Age and Source Historic Prehistoric Both Constructed 1958 per Residential Building Record

*P7. Owner and Address: The Strand Condominiums
1020 Prospect Street #314
La Jolla, CA 92037

*P8. Recorded by (Name, affiliation, and address): Ruth Alter,
Archaeos, 11209 Golden
Birch Way, San Diego, CA
92131 *P9. Date Recorded:

3/29/05 *P10. Type of Survey: (Describe) Field Check *P11. Report Citation (Cite survey report and other sources, or enter "none".) None

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Resource Record Milling Station Record Rock Art Record

State of California — The Resource Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 6 of 11

*Resource Name or # (Assigned by recorder) 314 S. The Strand

*Recorded by Ruth C. Alter

Date 3/29/05

Continuation Update

This parcel presently consists of four lots - Lots 16, 17, 18, and 19. Lots 16 and 17 were owned jointly from 1913 until 1948, and were rejoined permanently in 1957. Lot 18 became part of the Lot 17 parcel in 1940 and was added to Lot 16 in 1947. Lot 19 was under the same ownership as Lot 17 from 1910 until 1939, and was joined to the other three lots again in 1973.

The complex currently has a number of common-use amenities including a wood and plexiglass enclosed patio with chairs, tables, and barbeques, located at the front of the property. The units have small private patio spaces as well. At one time a swimming pool was also on the property, but this appears to have been filled in at an unknown time.

Lot 16

The chain of title and deed documents indicate that the Bank of Oceanside sold unimproved Lot 16 to William H. Scott in September 1907. Mr. Scott's father, Levi Louis Scott, had operated barber shops in Oceanside prior to his death in 1901. William, who had already started a photographic supplies business in 1900, took over the barber shop business and ran it for his family after his father died, as well. In January, 1907, Mr. Scott married Julia Veal, the daughter of local Pala pioneers. Later that year, Mr. Scott purchased the subject property. During his period of ownership, which lasted until 1913, he constructed a reinforced concrete building on Second Avenue for use as a movie theater. The Optic Theater was beautifully detailed and could seat 400 people.

In June, 1913, Lot 16 was purchased by Frank L. Richardson, a 7th Day Adventist minister, who transferred title to Charley E. Cole two days later.

Lot 17

The Hayes Land Company, owned by Oceanside co-founder J. Chauncey Hayes and his family, deeded Lot 17 to Fred Hayes, son of Mr. Hayes, in December, 1910. Charley E. Cole bought the property from Hayes in July, 1912. Also purchased Lot 16 at the same time

In June, 1913, Mr. Cole purchased Lots 16 and 19 as well, uniting the three lots under common ownership. Mr. Cole worked as a porter and later a clerk at the Hotel El San Luis Rey. He may have been one of the earliest African-Americans to live in Oceanside. He and his wife Gertrude retained title to the property until September, 1938, when it was acquired by Ruby Hughes.

Hughes held the property for about a year, selling it to Pete and Ada Dykzeul, with Mary D. Russell acting as the real estate agent. The Dykzeuls at one time owned the Borden Building at Third and Tremont.

Hayes D. Brower and his wife Helen, bought the subject property (Lots 16 and 17) from the Dykzeuls in July, 1940. John L. West purchased the still unimproved lots in March, 1947. Acting as his own contractor, he constructed the two story building now present on the north end (Lot 16/314 S. The Strand) of the property, as well as the three story building (Lot 17/316 S. The Strand), which was finished in February, 1948. In April, 1947, prior to its completion, the two story building was purchased by Anna M. Luedtke, a native of Germany, and her daughter Louisa M. Luedtke. The three story building on Lot 17 was acquired by Earl J. Lynde and his wife Hazel in June, 1948. The Lyndes are shown living in their building in the 1955-56 City Directory.

Lester and Dora Pollen bought Lots 17 and 18 from the Lynde in December, 1955. Louise Luedtke sold the Pollens Lot 16 in August, 1957. The three lots were purchased by Jerry Victor Maler in February, 1964, and by Roger and Jo Ann Wood in 1973. Sue M. Ten Eyck held title from April, 1983 until the property was sold to the present owners, The Strand Condominiums, in August, 2004.

Page 7 of 11

Lot 18

J. Chauncey Hayes, co-founder of Oceanside, sold this unimproved lot to Clarence K. Valentine in June, 1908. Following his death, in November, 1940, Lot 18 was purchased by Hayes D. and Helen Brower, who four months prior had acquired Lots 16 and 17. The Browsers sold Lots 16, 17, and 18 to John L. West in March, 1947. Earl and Hazel Lynde acquired title from West in June, 1948. The property was then purchased by Lester and Dora Pollen in December, 1955. The Pollens were responsible for the construction of the one story building (318 S. The Strand) and the garage on Lot 19. Lots 16, 17, and 18 were purchased by Jerry Victor Maler in February, 1964, and by Roger and Jo Ann Wood in 1973. Sue M. Ten Eyck held title from April, 1983 until the property was sold to the present owners, The Strand Condominiums, in August, 2004.

Lot 19

The Hayes Land Company, owned by Oceanside co-founder J. Chauncey Hayes and his family, deeded Lot 19 to Fred Hayes, son of Mr. Hayes, in December, 1910. Charley E. Cole bought the property from Hayes in July, 1912, also purchasing Lot 17 at that time. In June, 1913, Mr. Cole purchased Lot 16 as well, uniting all three lots under common ownership.

Mr. Cole worked as a porter and later a clerk at the Hotel El San Luis Rey. He may have been one of the earliest African-Americans to live in Oceanside. He and his wife Gertrude retained title to the property until September, 1938, when it was acquired by Ruby Hughes. According to the Residential Building Record, the subject house on Lot 19 was constructed in 1938, so it is probable that Hughes built the beach cottage for speculation.

Hughes held the property for about a year, selling it to Frederick and Carrie Lambert in late August, 1930 with Jemmie Hayes, wife of Fred Hayes, acting as real estate agent. The Lamberts sold the property to Elmer Griffith Schaffnit and his wife Beatrice in August, 1947. In June, 1953, Louise Wetzel purchased the house and is shown in the 1955-56 City Directory as residing there. Wetzel deeded the property to Burt Wetzel, probably her son, in April, 1963. Mr. Wetzel, a Fallbrook poultry, rabbit, citrus, and avocado rancher, and his wife Marjorie sold the property to David Ten Eyck in July, 1965. Title was acquired by Sue Ten Eyck, owner of Lots 16, 17, and 18, in 1983, finally uniting all four of the subject properties under common ownership. The current owners, The Strand Condominiums took ownership in August, 2004,

B1. Historic Name: The Tradewinds Apartments
 B2. Common Name: None
 B3. Original Use: Multiple-family residence B4. Present Use Multiple-family residence
 *B5. Architectural Style: Ranchesque
 *B6. Construction History: (Construction date, alternations, and date of alterations) This building was constructed in 1948. No major exterior modifications were noted.
 *B7. Moved? No Yes Unknown Date: _____ Original Location: _____
 *B8. Related Features: Four other related buildings
 B9a. Architect: Unknown b. Builder: John L. West

*B10. Significance: Theme: residential development Area Oceanside, California
 Period of Significance 1890 to present Property Type Residential Applicable Criteria N/A
 (Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.) The subject resource is located in the Terrace Annex Subdivision, one of Oceanside's early subdivisions, created in 1907. Because of its desirable coastal locale, land speculators often purchased multiple lots, hoping to capitalize on visitors appreciation of the climate, the proximity of the railroad station, and the Pacific Ocean and its beaches. The neighborhood built up slowly, initially consisting of small vacation cottages and residences. The dominant architectural styles of the area until the 1920s were Victorian and Craftsman. Many of the properties were used as beach rentals. Following World War II, many of these buildings were torn down and replaced with multi-family units. The immediate neighborhood currently consists of post-war apartments, a few Craftsman and Spanish Eclectic houses, several nondescript multi-family units, and Neo-Mediterranean and Contemporary residences.

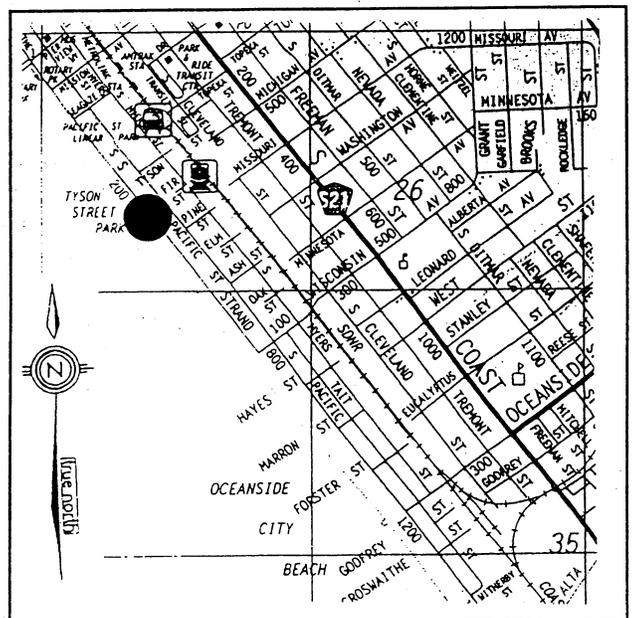
The subject building appears to be very typical of its setting. It was constructed as part of a beach rental complex and has retained this use until the present time. No individuals of national, state or local historic standing are directly associated with the building. It is not the work of a master architect or craftsman, it is not constructed of rare or unique materials, and no known historic events are associated with it. The building is an example of Ranchesque style architecture; Ranch was the most common architectural style of the 1940s through 1960. The building is unlikely to yield important information relevant to local, state or national history. Its locational and associational integrity are intact, and its design and feeling are intact as well. The setting has been somewhat altered by post-war multi-family residential units and recently constructed Contemporary and Neo-Mediterranean style residences, but the neighborhood remains single- and multiple family residential. The subject resource does not qualify under any criteria for nomination for listing in the National Register of Historical Places, California Register of Historical Resources, or the Oceanside historical resources register.

B11. Additional Resource Attributes: (List attributes and codes)
None

*B12. References: Hawthorne, K., Oceanside, Where Life is Worth Living, Donning Company Publishers, Virginia Beach, Virginia, 2002; McAlester, V. and L., A Field Guide to American Houses, 2000. Alfred A. Knopf, New York, Oceanside Historic Resources Inventory, 1992.

B13. Remarks:
 *B14. Evaluator: Ruth Alter, Archaeos, 11209 Golden Birch Way, San Diego, CA 92131
 *Date of Evaluation March 29, 2005

(This space reserved for official comments.)



B1. Historic Name: The Tradewinds Apartments
 B2. Common Name: None
 B3. Original Use: Multiple-family residence B4. Present Use Multiple-family residence
 *B5. Architectural Style: Ranchesque
 *B6. Construction History: (Construction date, alternations, and date of alterations) This building was constructed in 1948. No major exterior modifications were noted.
 *B7. Moved? No Yes Unknown Date: _____ Original Location: _____
 *B8. Related Features: Four other related buildings
 B9a. Architect: Unknown b. Builder: John L. West

*B10. Significance: Theme: residential development Area Oceanside, California
 Period of Significance 1890 to present Property Type Residential Applicable Criteria N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.) The subject resource is located in the Terrace Annex Subdivision, one of Oceanside's early subdivisions, created in 1907. Because of its desirable coastal locale, land speculators often purchased multiple lots, hoping to capitalize on visitors appreciation of the climate, the proximity of the railroad station, and the Pacific Ocean and its beaches. The neighborhood built up slowly, initially consisting of small vacation cottages and residences. The dominant architectural styles of the area until the 1920s were Victorian and Craftsman. Many of the properties were used as beach rentals. Following World War II, many of these buildings were torn down and replaced with multi-family units. The immediate neighborhood currently consists of post-war apartments, a few Craftsman and Spanish Eclectic houses, several nondescript multi-family units, and Neo-Mediterranean and Contemporary residences.

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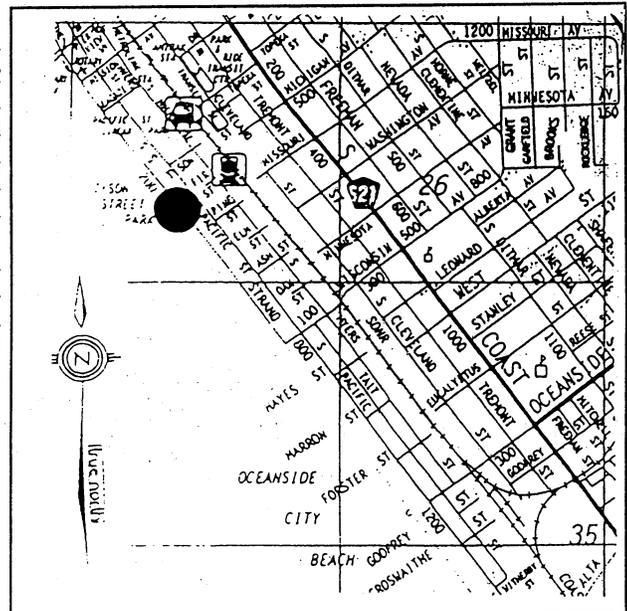
B11. Additional Resource Attributes: (List attributes and codes)
None

*B12. References: Hawthorne, K., Oceanside, Where Life is Worth Living, Donning Company Publishers, Virginia Beach, Virginia, 2002; McAlester, V. and L., A Field Guide to American Houses, 2000. Alfred A. Knopf, New York, Oceanside Historic Resources Inventory, 1992.

B13. Remarks:
 *B14. Evaluator: Ruth Alter, Archaeos, 11209 Golden Birch Way, San Diego, CA 92131

*Date of Evaluation March 29, 2005

(This space reserved for official comments.)



B1. Historic Name: The Tradewinds Apartments
 B2. Common Name: None
 B3. Original Use: Single-family residence B4. Present Use Single-family residence
 *B5. Architectural Style: Craftsman
 *B6. Construction History: (Construction date, alternations, and date of alterations) This building was constructed in 1938. No major exterior modifications were noted.
 *B7. Moved? No Yes Unknown Date: _____ Original Location: _____
 *B8. Related Features: Four other related buildings
 B9a. Architect: Unknown b. Builder: Ruby Hughes

*B10. Significance: Theme: residential development Area Oceanside, California
 Period of Significance 1890 to present Property Type Residential Applicable Criteria N/A
 (Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.) The subject resource is located in the Terrace Annex Subdivision, one of Oceanside's early subdivisions, created in 1907. Because of its desirable coastal locale, land speculators often purchased multiple lots, hoping to capitalize on visitors appreciation of the climate, the proximity of the railroad station, and the Pacific Ocean and its beaches. The neighborhood built up slowly, initially consisting of small vacation cottages and residences. The dominant architectural styles of the area until the 1920s were Victorian and Craftsman. Many of the properties were used as beach rentals. Following World War II, many of these buildings were torn down and replaced with multi-family units. The immediate neighborhood currently consists of post-war apartments, a few Craftsman and Spanish Eclectic houses, several nondescript multi-family units, and Neo-Mediterranean and Contemporary residences.

The subject building appears to be very typical of its setting. It was constructed as part of a beach rental cottage. No individuals of national, state or local historic standing are directly associated with the building. It is not the work of a master architect or craftsman, it is not constructed of rare or unique materials, and no known historic events are associated with it. The building is an example of Craftsman style architecture; Craftsman style was common for beach cottages during this period. The building is unlikely to yield important information relevant to local, state or national history. Its locational and associational integrity are intact, and its design and feeling are intact as well. The setting has been somewhat altered by post-war multi-family residential units and recently constructed Contemporary and Neo-Mediterranean style residences, but the neighborhood remains single- and multiple family residential. The subject resource does not qualify under any criteria for nomination for listing in the National Register of Historical Places, California Register of Historical Resources, or the Oceanside historical resources register.

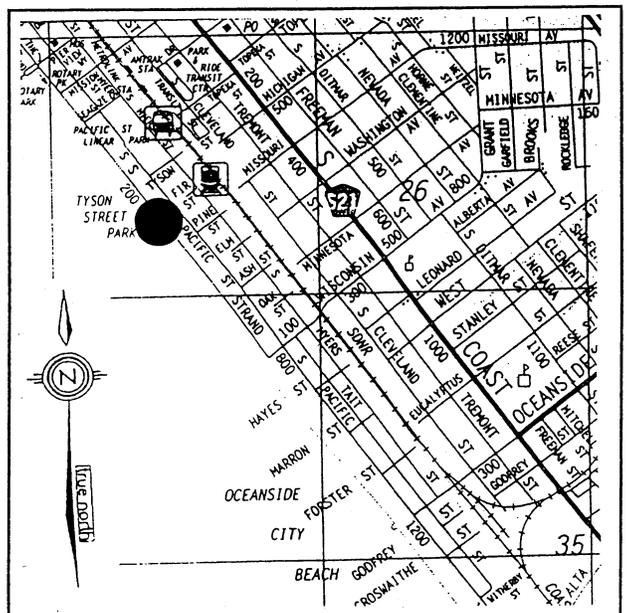
B11. Additional Resource Attributes: (List attributes and codes)
None

*B12. References: Hawthorne, K., Oceanside, Where Life is Worth Living, Donning Company Publishers, Virginia Beach, Virginia, 2002; McAlester, V. and L., A Field Guide to American Houses, 2000. Alfred A. Knopf, New York, Oceanside Historic Resources Inventory, 1992.

B13. Remarks:
 *B14. Evaluator: Ruth Alter, Archaeos, 11209 Golden Birch Way, San Diego, CA 92131

*Date of Evaluation March 29, 2005

(This space reserved for official comments.)



B1. Historic Name: The Tradewinds Apartments
 B2. Common Name: None
 B3. Original Use: Garage B4. Present Use Garage and living unit
 *B5. Architectural Style: Ranchesque
 *B6. Construction History: (Construction date, alternations, and date of alterations) This building was originally constructed in 1953. A portion of the building was converted to living space in 1963.
 *B7. Moved? No Yes Unknown Date: _____ Original Location: _____
 *B8. Related Features: Four other related buildings
 B9a. Architect: Unknown b. Builder: Louise Wetzel/Burt Wetzel
 *B10. Significance: Theme: residential development Area Oceanside, California
 Period of Significance 1890 to present Property Type Residential Applicable Criteria N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.) The subject resource is located in the Terrace Annex Subdivision, one of Oceanside's early subdivisions, created in 1907. Because of its desirable coastal locale, land speculators often purchased multiple lots, hoping to capitalize on visitors appreciation of the climate, the proximity of the railroad station, and the Pacific Ocean and its beaches. The neighborhood built up slowly, initially consisting of small vacation cottages and residences. The dominant architectural styles of the area until the 1920s were Victorian and Craftsman. Many of the properties were used as beach rentals. Following World War II, many of these buildings were torn down and replaced with multi-family units. The immediate neighborhood currently consists of post-war apartments, a few Craftsman and Spanish Eclectic houses, several nondescript multi-family units, and Neo-Mediterranean and Contemporary residences.

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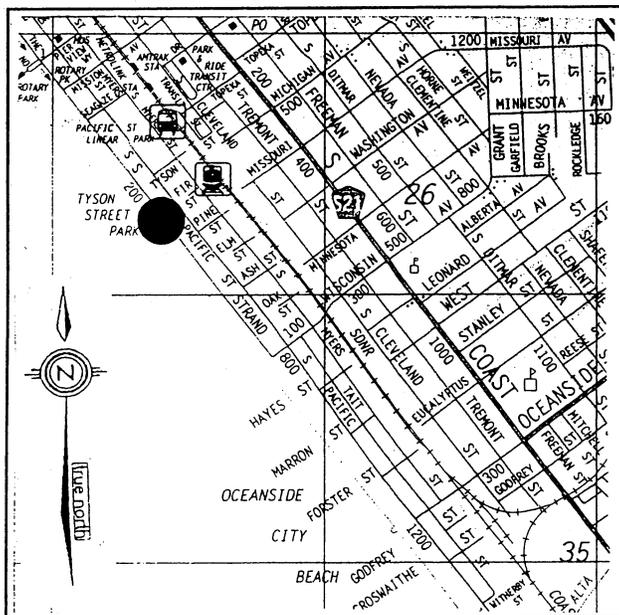
*B12. References: Hawthorne, K., Oceanside, Where Life is Worth Living, Donning Company Publishers, Virginia Beach, Virginia, 2002; McAlester, V. and L., A Field Guide to American Houses, 2000. Alfred A. Knopf, New York, Oceanside Historic Resources Inventory, 1992.

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*B14. Evaluator: Ruth Alter, Archaeos, 11209 Golden Birch Way, San Diego, CA 92131

*Date of Evaluation March 29, 2005

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RECEIVED
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Planning Department



COASTAL HAZARD & WAVE RUNUP STUDY

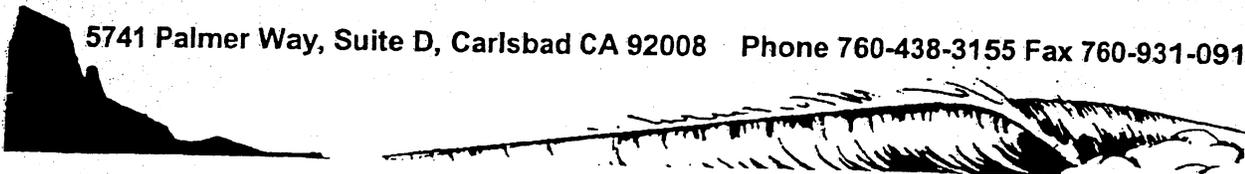
314 SOUTH THE STRAND
OCEANSIDE, CA

April 2005

Prepared For

The Strand Condominiums, L.P.

5741 Palmer Way, Suite D, Carlsbad CA 92008 Phone 760-438-3155 Fax 760-931-0915



GeoSoils Inc.

April 12, 2005

Mr. Timothy Clark
The Strand Condominiums, L.P.
1020 Prospect St. Suite 314
La Jolla, CA 92037

SUBJECT: Wave Runup, Coastal Hazard, and Shore Protection Study
(APN 150-072-15,16,17), 314 South The Strand, Oceanside, CA.

Dear Sir:

The following letter report is in response to your request for a wave runup, coastal hazard, and shore protection study for the property located at 314 South The Strand, Oceanside, CA. The analysis is based upon our site inspection, existing published reports concerning the local coastal processes, site elevations, and knowledge of local coastal conditions. This report constitutes an investigation of the wave and water level conditions expected at the site in consequence of extreme storm and wave action. The purpose of this report is to provide the necessary coastal engineering permit information to support the construction of a condominium building. It also provides conclusions and recommendations regarding the stability of the existing shoreline, the susceptibility of the property to wave attack, and methods for controlling wave overtopping and flooding on the property.

INTRODUCTION

The subject site, located at 314 South The Strand, consists of three legal lots which lie seaward of the face of a wave cut sea cliff. Figure 1 is an aerial photograph of the site, taken in fall 2004, downloaded from the California Coastal Records Project web site (<http://www.californiacoastline.org/>). The property is fronted by The Strand, a 2-foot wide street, which in turn is fronted by a sand covered low height rubble mound revetment. Figure 2, downloaded from the same web site, shows the site in 1989, when the beach was narrower and the stones in front of The Strand exposed. The beach in front of the revetment currently consists of sand and overlying cobbles and sandstone. The elevations on the property vary from +11.5 feet Mean Sea Level (MSL) at The Strand to about +36 feet MSL on the property line bordering Pacific Street. The property and neighboring Oceanside beaches are situated along a moderately high wave energy portion of the Southern California coast.

5741 Palmer Way, Suite D, Carlsbad CA 92008 W.O. S4729 Phone 760-438-3155

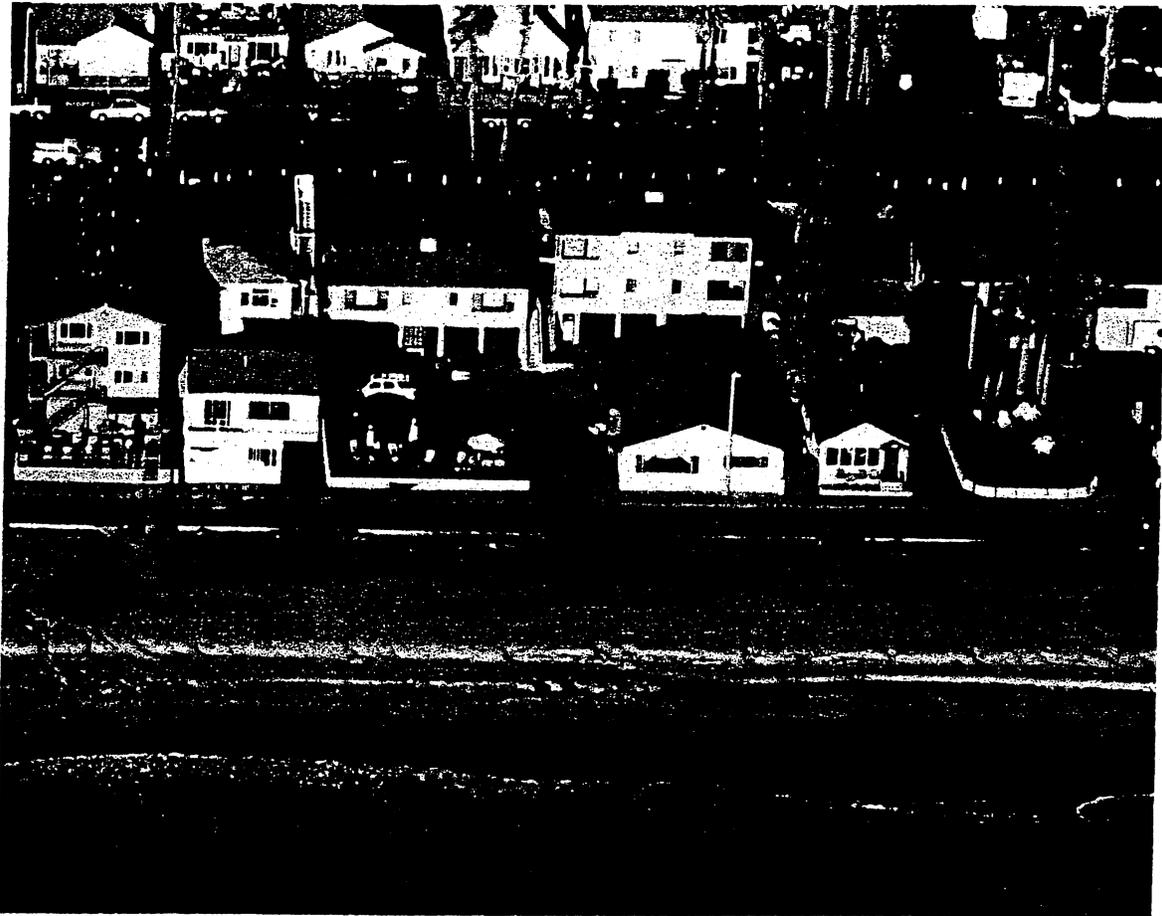


Figure 1. Subject site in fall 2004 showing the existing development and site conditions. Note the tips of the quarry stones fronting the road and the masonry block wall in front of the site. This ~32-inch high wall act as flood shield when The Strand is overtopped by waves.



Figure 2. Subject site in 1989 showing the partially exposed revetment. Note that the beach width is narrower than the current beach width shown in Figure 1.

SITE INSPECTION

A visual inspection of the property, the quarry stone revetment in front of The Strand, and the beach was performed on March 24, 2003. The site is occupied by five buildings and it is our understanding that the proposed development includes demolition of these structures and replacement with a condominium building with below grade parking. The revetment, which fronts The Strand, was almost entirely covered with sand. Based upon observations of the site in the past and historical photographs (Figure 2), the primary shore protection at this location is a low height structure quarry stone revetment. The stones are rounded in shape and range in size from 100 lbs to about ± 5 tons. The

quarry stone revetment varies in height from about +11.0 feet MSL to +12.5 feet MSL and is maintained by the City of Oceanside. The Strand is also a form of shore protection in that it provides for a 20-foot buffer from the top of the revetment to the actual site. This 20-foot buffer also provides a path for the wave runoff waters to flow off the property and back towards the ocean. The final forms of protection at the site from waves and flooding are the block wall fronting the site and the elevation of the first floors above the adjacent grade. The site has been subject to wave runoff flooding in the past. However, to our knowledge there has not been significant structural damage.

DATUM & DATA

The datum used in this report is MSL, which is +0.19 feet National Geodetic Vertical Datum (NGVD). In the open ocean of the San Diego County coast, Mean High Water (MHW) is 1.87 feet above MSL. The units of measurement in this report are feet (ft), pounds force (lbs), and second (sec). Site elevation were provide by bha, Inc., the project planner, and preliminary development plans were discussed with the developer, The Strand Condominiums, L.P.

WAVE RUNUP AND OVERTOPPING ANALYSIS

As waves encounter the beach in front of this section of shoreline, the water rushes up the beach and the revetment, and sometimes over the revetment. Often, wave runoff strongly influences the design and the cost of coastal projects. Wave runoff is defined as the vertical height above the still water level to which a wave will rise on a structure of infinite height. Overtopping is the flow rate of water over the top of a finite height structure as a result of wave runoff.

Wave runoff and overtopping is calculated using the US Army Corps of Engineers Automated Coastal Engineering System, ACES. ACES is an interactive computer based design and analysis system in the field of coastal engineering. The methods to calculate runoff and overtopping implemented within this ACES application are discussed in greater detail in Chapter 7 of the Shore Protection Manual (1984). The overtopping estimates calculated herein are corrected for the effect of onshore winds. Figure 3 is a diagram showing the analysis terms.

The empirical expression for the monochromatic-wave overtopping rate is:

$$Q = C_w \sqrt{g Q_0^* H_0^3} \left(\frac{R+F}{R-F} \right)^{\frac{-0.1085}{a}}$$

where

- Q = overtopping rate/unit length of structure
- C_w = wind correction factor
- g = gravitational acceleration
- Q_0^*, α = empirical coefficients (see SPM Figure* = 7-27)
- H_0 = unrefracted deepwater wave height
- R = runup
- F = $h_s - d_s$ = freeboard
- h_s = height of structure
- d_s = water depth at structure

The correction for offshore winds is:

$$C_w = 1 + W_f \left(\frac{F}{R} + 0.1 \right) \sin \theta$$

where $W_f = \frac{U^2}{1800}$

U = onshore wind speed (mph)

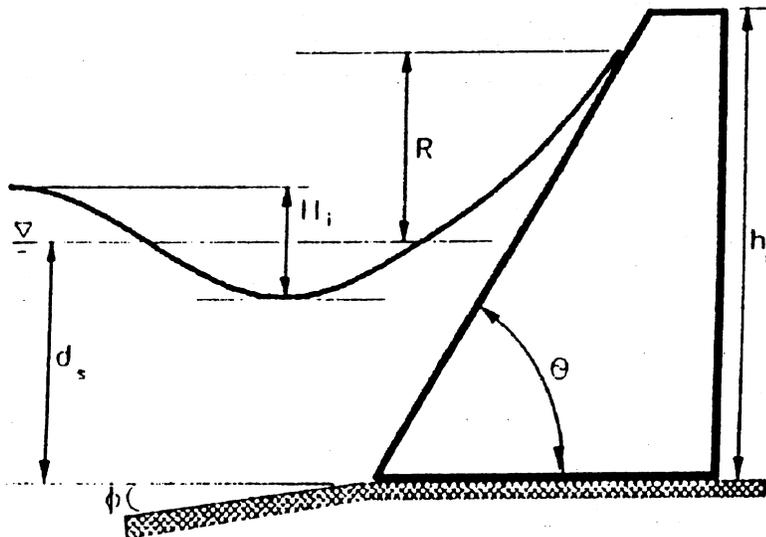


Figure 3. Wave runup terms from ACES analysis.

The wave, wind, and water level data used as input to the ACES runup and overtopping application was taken from the historical data reported in USACOE CCSTWS Report #88-6. The North County shoreline has experienced a series of storms over the years. These events have impacted coastal property and beaches depending upon the severity of the storm, the direction of wave approach, and the local shoreline orientation. The ACES analysis was performed on oceanographic conditions that represent a typical 50-75 year recurrence storm. The onshore wind speed was chosen to be 40 knots. During storm conditions, the sea surface rises along the shoreline (super-elevation) and allows waves to break closer to the shoreline and runup on the revetment. Superelevation of the sea surface can be accounted for by: wave set-up (1 to 2.5 feet); wind set-up and inverse barometer (0.5 to 1.5 feet); wave group effects (1 to 2.5 feet); and El Niño effects (0.5 to 1.0 feet). These conditions rarely occur simultaneously. The extreme water elevation used in this analysis is +6.5 feet MSL (100 year recurrence water level). This still water elevation uses EPA (Titus & Narayanan, 1995) estimates of 8 inches of sea level rise in the next 75 years.

The wave that has the greatest runup is the wave that has not yet broken when it reaches the toe of the structure. It is not the largest wave to come into the area. The larger waves break offshore of the revetment and lose most of their energy before reaching the shoreline. If the total water depth is 7.5 feet, based upon a maximum scour depth of -1.0 feet MSL at the toe of the revetment and a water elevation of +6.5 feet MSL, then the design wave height would be about 6 feet. These conditions may never occur at the site over the life time of the structure, but are considered herein to insure a conservative analysis. The height of the revetment is about +11.5 feet MSL. The slope of the revetment varies from 2/1 to 1.5/1 and the nearshore slope was chosen to be 1/60. Table I is the ACES output for these design conditions.

Table I

Wave Runup and Overtopping on Impermeable Structures				
Item		Unit	Value	
Wave Height at Toe	Hi:	ft	6.500	Monochromatic Wave
Wave Period	T:	sec	18.000	
COTAN of Nearshore Slope			60.000	Rough Slope Runup and Overtopping
Water Depth at Toe	ds:	ft	7.500	
COTAN of Structure Slope			1.500	
Structure Height Above Toe	hs:	ft	12.500	
Rough Slope Coefficient	a:		0.956	
Rough Slope Coefficient	b:		0.398	
Deepwater Wave Height	H0:	ft	3.747	
Relative Height	(ds/H0):		2.002	
Wave Steepness	(H0/gT ²):		0.360E-03	
Wave Runup	R:	ft	12.633	
Onshore Wind Velocity	U:	ft/sec	67.512	
Overtopping Coefficient	Alpha:		0.500E-01	
Overtopping Coefficient	Qstar0:		0.140	
Overtopping Rate	Q:	ft ³ /s-ft	3.312	

Under the extreme, worst case (100 year recurrence interval), oceanographic conditions, the analysis shows the revetment can be overtopped at a rate of about 3.3 ft³/s-ft. This is about 1 to 2 feet of water coming over the top of the revetment for each wave (18 second period).

CONCLUSIONS

- A. The existing revetment fronting the site will be subject to wave overtopping during storms similar to the 1982-83 winter.
- B. A worst case wave event, similar to the January of 1988 or the winter of 1982-83, will produce wave overtopping of the revetment at elevation ~+11.5 feet MSL. This overtopping will amount to about 3.3 ft³/s-ft. This amount of overtopping will occur on each wave cycle but only during about a 45 minute window when sea level is the highest during spring tides.
- C. During extreme wave events coinciding with an extreme high tide, wave runup will flow onto The Strand and ultimately onto the site. The water depth will be on the order of one foot, with possible instantaneous water elevations greater than 1 foot. Minor site washout may occur from this overtopping but such temporary flooding is acceptable as per code standards.
- D. The presence of the quarry stone revetment and the asphaltic paved street, The Strand, will protect the property from direct wave attack. However, cobbles may be propelled by wave action over The Strand and onto the property causing minor damage.
- E. The existing revetment is at about elevation +11.5' MSL and is above the FEMA 100-year still water elevation of +11.0' MSL.

RECOMMENDATIONS

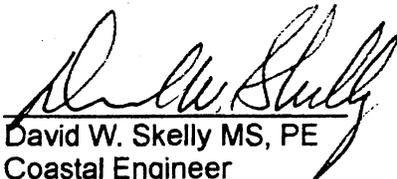
- A. Long term stability of the site will depend on the proper maintenance of the revetment. This is the responsibility of the City of Oceanside. Maintenance includes replacement of the stones lost due to the combined effects of settlement, scour, and wave action dislodging the stones.
- B. Flooding damage can be reduced by controlling the way water flows onto the property and by designing the proposed new structure and landscape improvements with this type of minor flooding in mind. This type of design consideration is classified as a good practice, although not currently a mandatory condition of local or FEMA approval.

- C. The use of flood shields across the garage entrance, such as a solid gate or even temporary flood shields such as sand bags, will significantly reduce nuisance flooding of the garage. Finished first floor elevations should be at least 1 foot above adjacent site grade to minimize nuisance flooding.
- D. Final plans for the development should be reviewed for additional comments and approved for conformance with this wave runup and coastal hazard study.

LIMITATIONS

Coastal engineering is characterized by uncertainty. Professional judgements presented herein are based partly on our evaluation of the technical information gathered, partly on our understanding of the proposed construction, and partly on our general experience. Our engineering work and judgements have been prepared in accordance with current accepted standards of engineering practice; we do not guarantee the performance of the project in any respect. This warranty is in lieu of all other warranties expressed or implied.

Sincerely,


David W. Skelly MS, PE
Coastal Engineer
RCE# 47857



REFERENCES

Inman, D.L. and S.A. Jenkins, 1983, "Oceanographic Report for Oceanside Beach Facilities", prepared for the City of Oceanside, California, 206 pp.

Titus and Narayanan, 1995, "The Probability of Sea Level Rise" (EPA 230-R-95-008).

USACOE 1984 Shore Protection Manual.

USACOE 1988 CCSTWS report #88-6 "Historic Wave and Water Level Data Report San Diego Region."

USACOE 1991, CCSTWS "State of the Coast Report San Diego Region."

USACOE 2004 Coastal Engineering Manual.

CITY OF OCEANSIDE
PLANNING DEPARTMENT

NOTICE OF EXEMPTION

TO: X RECORDER/COUNTY CLERK
COUNTY OF SAN DIEGO
P.O. BOX 1750
SAN DIEGO, CA 92112-4147

PROJECT TITLE AND FILE NUMBER:
314 South The Strand

PROJECT LOCATION - SPECIFIC:
314 South The Strand

PROJECT LOCATION - GENERAL:
Intersection of Pacific Str. And Pine
Street
City of Oceanside

REGULAR COASTAL PERMIT (RC-210-05)
DEVELOPMENT PLAN (D-213-05)
TENTATIVE MAP (T-203-05)

DESCRIPTION OF NATURE, PURPOSE AND BENEFICIARIES OF PROJECT:
TENTATIVE MAP (T-203-05), DEVELOPMENT PLAN (D-213-05) & REGULAR COASTAL PERMIT
(RC-210-05) for the construction of 8-unit residential condominium located at 314 South The Strand.

NAME OF PUBLIC AGENCY APPROVING PROJECT:

City of Oceanside

NAME OF PERSON(S) OR AGENCY CARRYING OUT PROJECT:

Lightfoot Planning
5750 Fleet Street Suite 250
Carlsbad, CA 92008
(760) 692-1924

Exempt Status per the Guidelines to Implement the California Environmental Quality Act (CEQA)
(Public Resources Code Section 21000 et. al.):

 NOT SUBJECT TO CEQA PER THE GENERAL RULE, SECTION 15061(B)(3)

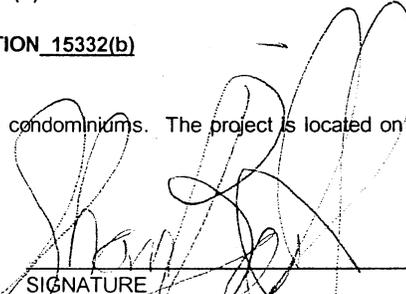
 STATUTORY EXEMPTION PER ARTICLE 18, SECTION(S)

X CATEGORICAL EXEMPTION PER ARTICLE 19, SECTION 15332(b)

REASONS WHY PROJECT IS EXEMPT:

The project proposes construction of an 8-unit residential condominiums. The project is located on a less than 5-acres site within an urbanized area.

Contact Person: Shan Babick, Associate Planner


SIGNATURE

October 9, 2006

DATE

For: Jerry Hittleman, Interim City Planner

CITY HALL, 300 NORTH COAST HIGHWAY, OCEANSIDE CA 92054, TELEPHONE (760) 435-3520, FAX (760) 435-3538

