

STAFF REPORT



ITEM NO. 18

CITY OF OCEANSIDE

DATE: December 6, 2006

TO: Chairman and Members of the Community Development Commission

FROM: Economic Development and Redevelopment Department

SUBJECT: **CONSIDERATION OF A RESOLUTION APPROVING TENTATIVE PARCEL MAP (P-201-06), DEVELOPMENT PLAN (D-202-06) AND REGULAR COASTAL PERMIT (RC-202-06) FOR THE CONSTRUCTION OF A TWO UNIT RESIDENTIAL CONDOMINIUM PROJECT LOCATED AT 416 SOUTH MYERS STREET – CHAPMAN CONDOMINIUMS – APPLICANT: DWAYNE CHAPMAN**

SYNOPSIS

The item under consideration is a Tentative Parcel Map, Development Plan and Regular Coastal Permit for the construction of a two-unit residential condominium project located at 416 South Myers Street. Staff is recommending that the Commission approve the project and adopt the resolution as attached.

BACKGROUND

The subject site consists of one pre-existing legal parcel totaling 3,920 square feet in size that was part of the original Tyson's Addition Subdivision of 1885. The site currently maintains four units which will be demolished as part of the development of this project. The subject site is relatively flat with less than 1-foot grade differential between the highest and lowest points. The project calls for exporting of 850 cubic yards of soil which is required for construction of the basement garage.

The subject site is situated within the South Myers neighborhood, which is characterized by old apartment buildings and single-family homes interspersed with some newer condominium developments. The subject site is also located approximately 90 feet west of the railroad tracks.

There are four units on the subject site that are over 45 years old; therefore, a Historic Assessment was prepared to determine its historical significance. The Historic Assessment is attached to the staff report.

Land Use and Zoning: The subject site is located within Subdistrict 5 of the "D" Downtown District. Subdistrict 5 is primarily intended for a high-density residential

neighborhood in an urban setting in close proximity to shopping, employment, transportation and recreational facilities. Multifamily residences are permitted with a maximum density of 43 dwelling units per acre. The project proposes a density of 22.2 dwelling units per acre.

Regular Coastal Permit: This project is situated within the Coastal Zone and requires a Regular Coastal Permit. Under the provisions of the Local Coastal Plan the project site is designated as High-Density Residential. Multifamily and single-family are primarily the uses allowed within this land use designation.

Project Description: The project application consists of several components, which include a Tentative Map, Development Plan and Regular Coastal Permit. Each discretionary request is described as follows:

Tentative Map and Development Plan: The project proposes a 3-story, 2-unit residential condominium with units 2,964 and 4,162 square feet in size to be situated on a 3,920-square-foot lot. In addition, the project proposes an underground garage with 4 parking spaces, elevator and storage areas.

The proposed design is a modern style as evident by the use of geometric form shapes, stucco exterior and expansive use of glass. The proposed exterior materials are off-white stucco trimmed in gray and maroon.

Subdistrict 5 requires that a minimum of 25 percent of the site be landscaped. The project proposes that approximately thirty percent (30%) of the subject site is landscaped. The project proposes Queen Palm, shrubs include Lily of the Nile and New Zealand Flax and groundcover consists of turf.

Vehicular and pedestrian access to the units will be provided from South Myers Street. It should be noted that South Myers at the subject site is one-way.

Outlined below is a comparison chart summarizing the required development criteria with the proposed project:

	MINIMUM REQUIRED	PROPOSED
LOT SIZE	N/A (pre-existing lot)	N/A (pre-existing lot)
SETBACKS Front Side Rear	10 feet 3 feet 5 feet	10 feet 3.5 feet 5 feet
LANDSCAPING	25%	30%

Parking	4 spaces	4 spaces
BUILDING HEIGHT	35 feet	35 feet
DENSITY	43 du. per acre (Max).	22.2 du. per acre

Regular Coastal Permit: A Regular Coastal Permit is required because the project is situated within the Coastal Zone and proposes new construction that requires discretionary action.

Environmental Determination: A Certificate of Exemption has been prepared for the project. Under the provisions of the California Environmental Quality Act, the Community Development Commission will consider the exemption during its hearing on the project.

As mentioned, a Historic Assessment has been prepared to determine the cultural significance of the subject site. The Historic Assessment chronicles the creation, ownership, and development of the subject site and concludes that the site does have a long and interesting ownership history; however, no significant cultural resources exist on the site today.

ANALYSIS

Staff's analysis focused on the compatibility of the project with existing development patterns of the area and the project's consistency with the underlying Redevelopment Plan, Zoning Ordinance, and the Local Coastal Program.

Since the proposed project is an infill project, staff's initial concerns centered on the project's compatibility with the existing residential patterns. The surrounding area consists of mainly older apartments and single-family residences interspersed with some newer condominium development. Staff believes that the proposed 2-unit condominium is consistent with the surrounding neighborhood, especially with the newer condominium units.

Staff is also concerned with the project's architectural compatibility and scale with the surrounding neighborhood. Staff has inventoried the surrounding neighborhood and has found a varied housing stock with a variety of unit types and unit sizes. In comparing the project's product type and corresponding square footages to the unit types and square footages that exist in the area, it can be found that the proposed unit sizes are comparable in size and would have a positive effect to the area.

Staff's review of the project examined the consistency of the development with the underlying zoning regulations and policies of the Local Coastal Program. The project is located outside of the "appealable area" which is defined as the first 300 feet east of The Strand (west side of Myers Street). Staff also evaluated the proposed residence and its effect on public coastal views. The proposed residence is set back 10 feet from

the front property line and as such will not block public views from South Myers Street.

In conclusion, staff believes that the project meets the intent of the Redevelopment Plan and the underlying subdistrict goals, which encourage the development of new residential uses. The design of the project is consistent in both the height and scale of the surrounding neighborhood. The proposed project meets the development standards and is consistent with the quality of design of the newer residences located within the South Myers Street area. The project is also consistent with the land use policies and development criteria of the Local Coastal Plan.

COMMISSION OR COMMITTEE REPORTS

The Redevelopment Design Review Committee (RDRC) reviewed and approved the project at its March 31, 2006 meeting.

The Redevelopment Advisory Committee (RAC) will review the project at its November 13, 2006 meeting. Any recommendations or comments on the project will be presented to the Commission during the hearing for the project.

FISCAL IMPACT

The proposed project will add approximately \$10,200 of tax increment yearly to the project area.

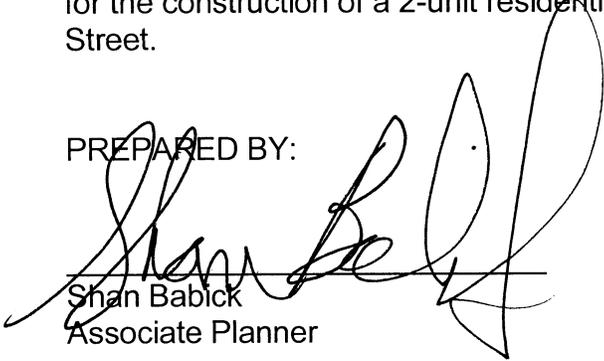
CITY ATTORNEY'S ANALYSIS

Pursuant to Oceanside Zoning Ordinance Article 4102, the Commission is authorized to hold a public hearing on this project's applications. Consideration of the project should be based on the evidence presented at the public hearing. After conducting the public hearing, the Commission shall approve, conditionally approve, or disapprove the project. The resolution has been reviewed and approved as to form by the City Attorney.

RECOMMENDATION

Staff recommends that the Commission adopt the resolution approving Tentative Parcel Map (P-201-06), Development Plan (D-202-06) and Regular Coastal Permit (RC-202-06) for the construction of a 2-unit residential condominium project located at 416 South Myers Street.

PREPARED BY:



Shan Babick
Associate Planner

SUBMITTED BY:



Barry E. Martin
Interim Executive Director

REVIEWED BY:

Kathy Baker, Redevelopment Manager
Michelle Skaggs Lawrence, Assistant to the City Manager



EXHIBITS/ATTACHMENTS

- 1. Resolution
- 2. Notice of Exemption
- 3. Site Plan / Floor Plans / Elevations
- 4. Historic Assessment

RESOLUTION NO. 06-

A RESOLUTION OF THE COMMUNITY DEVELOPMENT COMMISSION OF THE CITY OF OCEANSIDE APPROVING A TENTATIVE PARCEL MAP, DEVELOPMENT PLAN AND REGULAR COASTAL PERMIT FOR THE CONSTRUCTION OF A 2-UNIT RESIDENTIAL CONDOMINIUM PROJECT LOCATED AT 416 SOUTH MYERS STREET – APPLICANT: DWAYNE CHAPMAN

WHEREAS, on December 6, 2006, the Community Development Commission held its duly noticed public hearing, considered an application by Dwayne Chapman for a Tentative Parcel Map (P-201-06), Development Plan (D-202-06) and Regular Coastal Permit (RC-202-06) for the construction of a 2-unit residential condominium project located at 416 South Myers Street;

WHEREAS, the Redevelopment Design Review Committee (RDRC) of the City of Oceanside did, on March 31, 2006, review and recommend approval of Tentative Parcel Map (P-201-06), Development Plan (D-202-06) and Regular Coastal Permit (RC-202-06);

WHEREAS, the Redevelopment Advisory Committee (RAC) of the City of Oceanside did, on November 13, 2006, review and recommend approval of Tentative Parcel Map (P-201-06), Development Plan (D-202-06) and Regular Coastal Permit (RC-202-06);

WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee, dedication, reservation or other exaction to the extent permitted and as authorized by law;

WHEREAS, a Categorical Exemption was prepared by the Resource Officer of the City of Oceanside for this application pursuant to the California Environmental Quality Act (CEQA) of 1970 and the State Guidelines implementing the Act. Pursuant to Section 15332 of the CEQA guidelines the project is considered an infill development and will not have a detrimental effect on the environment.

<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
Parkland Dedication/Fee	Ordinance No. 91-10 Resolution No. 05-R0628-1	\$3,503 per unit
Drainage Fee	Ordinance No. 85-23 Resolution No. 05-R0628-1	\$2,843 per acre
Public Facility Fee	Ordinance No. 91-09 Resolution No. 05-R0628-1	\$2,072 per unit

1	<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or</u>	
2			<u>Calculation Formula</u>	
3				
4				
5	School Facilities Mitigation Fee	Ordinance No. 91-34	\$2.63 per square foot	
6	Traffic Signal Fee	Ordinance No. 87-19	\$15.71 per vehicle trip	
7				
8	Thoroughfare Fee	Ordinance No. 83-01	\$255 per vehicle trip (based on SANDAG trip generation table available from staff and from SANDAG)	
9				
10				
11				
12				
13	Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 05-OR 0611-1	Fee based on water meter size. Residential is typically \$3,746 per unit;	
14				
15				
16				
17				
18	Wastewater System Buy-in fees	Oceanside City Code § 29.11.1 Resolution No. 87-97	Based on meter size.	
19			Ordinance No. 05-OR 0610-1	Residential is typically
20				\$4,587 per unit;
21				
22	San Diego County Water	SDCWA Ordinance No.	Based on meter size.	
23	Authority Capacity Fees	2005-03	Residential is typically	
24			\$4,154 per unit	
25				
26				
27	WHEREAS, there is hereby imposed on the subject development project certain fees, dedications, reservations and other exactions pursuant to state law and city ordinance;			
28				

1 WHEREAS, pursuant to Government Code §66020(d)(1), NOTICE IS HEREBY GIVEN that
2 the Project is subject to certain fees, dedications, reservations and other exactions as provided below:

3 WHEREAS, the current fees referenced above are merely fee amount estimates of the impact
4 fees that would be required if due and payable under currently applicable ordinances and resolutions,
5 presume the accuracy of relevant project information provided by the applicant, and are not necessarily
6 the fee amounts that will be owing when such fees become due and payable;

7 WHEREAS, unless otherwise provided by this resolution, all impact fees shall be calculated and
8 collected at the time and in the manner provided in Chapter 32B of the Oceanside City Code and the
9 City expressly reserves the right to amend the fees and fee calculations consistent with applicable law;

10 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,
11 dedication, reservation or other exaction to the extent permitted and as authorized by law;

12 WHEREAS, pursuant to Government Code §66020(d)(1), NOTICE IS FURTHER GIVEN that
13 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction
14 described in this resolution begins on the effective date of this resolution and any such protest must be
15 in a manner that complies with Section 66020; and

16 WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes effective
17 upon its adoption.

18 NOW, THEREFORE, the Community Development Commission of the City of Oceanside does
19 resolve as follows:

20 FINDINGS:

21 **For the Tentative Parcel Map:**

22 1. The proposed subdivision creates parcels that are consistent with and exceed the
23 requirements of the Subdistrict 5 zoning designation. The subdivision map is consistent with the General
24 Plan of the City.

25 2. The proposed building on the site will conform to the topography of the site, therefore,
26 making it suitable for residential development. The 3,920-square foot site is physically suitable to allow
27 for the development of two residential condominium units.

28 3. The subdivision complies with all other applicable ordinances, regulations and guidelines
of the City.

4. The design of the subdivision or proposed improvements will not conflict with easements,

1 acquired by the public at large, for access through or use of property within the subdivision.

2 5. The design of the subdivision or the proposed improvements will not cause substantial
3 environment damage or substantially and avoidably injure fish or wildlife or their habitat.

4 **For the Development Plan:**

5 1. The site plan and physical design of the project as proposed is consistent with the
6 purposes of the City's Zoning Ordinance and the "D" Downtown District.

7 2. The Development Plan as proposed conforms to the Redevelopment Plan and General
8 Plan of the City.

9 3. The area covered by the Development Plan can be adequately, reasonably and
10 conveniently served by existing and planned public services, utilities and public facilities.

11 4. The project as proposed is compatible with the existing and potential development on
12 adjoining properties or in the surrounding neighborhood.

13 5. The location of the two residential condominium units and proposed conditions under
14 which this use will be operated or maintained will be consistent with the General Plan and will not be
15 detrimental to the public health, safety or welfare of persons residing or working in or adjacent to the
16 neighborhood of such use and will not be detrimental to properties or improvements in the vicinity or
17 the general welfare of the City.

18 6. The project and uses will comply with the provisions of the Zoning Ordinance, including
19 any specific condition required for such use in Subdistrict 5.

20 **For the Regular Coastal Permit:**

21 1. The granting of the Regular Coastal Permit is consistent with the purposes of the
22 California Coastal Act of 1976.

23 2. The proposed project is consistent with the policies of the Local Coastal Program as
24 implemented through the City Zoning Ordinance. In addition, the project will not substantially alter or
25 impact the existing coastal views through the public rights-of-way view corridors.

26 3. The proposed project will not obstruct any existing or planned public beach access;
27 therefore, the project is in conformance with the policies of Chapter 3 of the Coastal Act.

28 SECTION 1. That Tentative Parcel Map (P-201-06), Development Plan (D-202-06) and
Regular Coastal Permit (RC-202-06) are hereby approved subject to the following conditions:

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1 **Building:**

2 1. Applicable Building Codes and Ordinances shall be based on the date of submittal for
3 Building Department plan check.

4 2. The granting of approval under this action shall in no way relieve the applicant/project
5 from compliance with all State and local building codes.

6 3. The building plans for this project are required by State law to be prepared by a licensed
7 architect or engineer and must be in compliance with this requirement prior to submittal for building
8 plan review.

9 4. All electrical, communication, CATV, etc. service lines, within the exterior lines of the
10 property shall be underground. (City Code Sec. 6.30)

11 5. All outdoor lighting must comply with Chapter 39 of the City Code. (Light Pollution
12 Ordinance) Where color rendition is important, high-pressure sodium, metal halide or other such lights
13 may be utilized and shall be shown on building and electrical plans.

14 6. The developer shall monitor, supervise and control all building construction and supportive
15 activities so as to prevent these activities from causing a public nuisance, including, but not limited to,
16 strict adherence to the following:

17 a) Building construction work hours shall be limited to between 7 a.m. and 6 p.m.
18 Monday through Friday, and on Saturday from 7 a.m. to 6 p.m. for work that is not inherently noise-
19 producing. Examples of work not permitted on Saturday are concrete and grout pours, roof nailing and
20 activities of similar noise-producing nature. No work shall be permitted on Sundays and Federal
21 Holidays (New Year's Day, Memorial Day, July 4th, Labor Day, Thanksgiving Day, Christmas Day)
22 except as allowed for emergency work under the provisions of the Oceanside City Code Chapter 38.
23 (Noise Ordinance)

24 b) The construction site shall be kept reasonably free of construction debris as
25 specified in Section 13.17 of the Oceanside City Code. Storage of debris in approved solid waste
26 containers shall be considered compliance with this requirement. Small amounts of construction debris
27 may be stored on-site in a neat, safe manner for short periods of time pending disposal.

28 7. A complete soils report, structural and energy calculations will be required at time of
plans submittal to the Building Division for plan check.

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1 8. A demolition permit shall be required for the demolition of the existing structures. Plans
2 for the demolition shall depict clearly all utilities are properly terminated/capped in accordance with the
3 requirements of the utility service provider.

4 9. Wood and stud walls bearing partitions shall not support more than two (20 floors and a
5 roof unless an analysis satisfactory to the building official shows that shrinkage to the wood framing
6 will not have an adverse affects on the structure or any plumbing, electrical or mechanical systems, or
7 other equipment installed therein due to excessive shrinkage or differential movements caused by
8 shrinkage (UBC 2308).

9 10. Building levels below grade (on all sides) shall be provided with a mechanical drainage
10 system that provides drainage to an approval location/receptor

11 11. Compliance with the Federal Clean Water Act (BMP's) must be demonstrated on the
12 plans.

13 **Engineering:**

14 12. The project involves demolition of an existing structure or surface improvements,
15 the grading plans shall be submitted and erosion control plans be approved by the City
16 Engineer and/or Public Works Director prior to the issuance of a demolition permit. No
17 demolition shall be permitted without an approved erosion control plan.

18 13. Design and construction of all improvements shall be in accordance with standard plans,
19 specifications of the City of Oceanside and subject to approval by the City Engineer and/or Public
20 Works Director.

21 14. Prior to issuance of a building permit all improvement requirements shall be covered by
22 a development agreement and secured with sufficient improvement securities or bonds guaranteeing
23 performance and payment for labor and materials, setting of monuments, and warranty against
24 defective materials and workmanship.

25 15. The approval of the tentative parcel map shall not mean that closure, vacation, or
26 abandonment of any public street, right of way, easement, or facility is granted or guaranteed to the
27 developer. The developer is responsible for applying for all closures, vacations and abandonment as
28 necessary. The application shall be reviewed and approved or rejected by the City of Oceanside under
separate process per codes, ordinances, and policies in effect at the time of the application.

1 16. Prior to approval of the parcel map all improvement requirements shall be covered by a
2 subdivision agreement and secured with sufficient improvement securities or bonds guaranteeing
3 performance and payment for labor and materials, setting of monuments, and warranty against defective
4 materials and workmanship.

5 17. Where proposed off-site improvements, including but not limited to slopes, public utility
6 facilities, and drainage facilities, are to be constructed, the applicant shall, at his own expense, obtain all
7 necessary easements or other interests in real property and shall dedicate the same to the City of Oceanside
8 as required. The applicant shall provide documentary proof satisfactory to the City of Oceanside that such
9 easements or other interest in real property have been obtained prior to issuance of any grading, building or
10 improvement permit for the development/project). Additionally, the City of Oceanside, may at its sole
11 discretion, require that the applicant obtain at his sole expense a title policy insuring the necessary title for
12 the easement or other interest in real property to have vested with the City of Oceanside or the applicant, as
13 applicable.

14 18. Pursuant to the State Map Act, improvements shall be required at the time of development.
15 A covenant, reviewed and approved by the City Attorney, shall be recorded attesting to these improvement
16 conditions and a certificate setting forth the recordation shall be placed on the map.

17 19. Prior to the issuance of a grading permit, the Developer shall notify and host a
18 neighborhood meeting with all of the area residents located within 300 feet of the project site, and
19 residents of property along any residential streets to be used as a "haul route", to inform them of the
20 grading and construction schedule, haul routes, and to answer questions.

21 20. The developer shall monitor, supervise and control all construction and construction-
22 supportive activities, so as to prevent these activities from causing a public nuisance, including but not
23 limited to, insuring strict adherence to the following:

- 24 a) Dirt, debris and other construction material shall not be deposited on any public street or
25 within the City's storm water conveyance system.
- 26 b) All grading and related site preparation and construction activities shall be limited to the
27 hours of 7 AM to 6 PM, Monday through Friday. No engineering related construction
28 activities shall be conducted on Saturdays, Sundays or legal holidays unless written
 permission is granted by the City Engineer and/or Public Works Director with specific

1 limitations to the working hours and types of permitted operations. All on-site construction
2 staging areas shall be as far as possible (minimum 100 feet) from any existing residential
3 development. Because construction noise may still be intrusive in the evening or on holidays,
4 the City of Oceanside Noise Ordinance also prohibits “any disturbing excessive or offensive
5 noise which causes discomfort or annoyance to reasonable persons of normal sensitivity.”

6 c) The construction site shall accommodate the parking of all motor vehicles used by persons
7 working at or providing deliveries to the site.

8 d) A haul route shall be obtained at least 7 days prior the start of hauling operations and must
9 be approved by the City Engineer and/or Public Works Director. Hauling operations shall
10 be 8:00 A.M. to 3:30 P.M. unless approved otherwise.

11 21. A traffic control plan shall be prepared according to the City traffic control guidelines
12 and be submitted to and approved by the City Engineer and/or Public Works Director prior to the start
13 of work within open City rights-of-way. Traffic control during construction of streets that have been
14 opened to public traffic shall be in accordance with construction signing, marking and other protection
15 as required by the Caltrans Traffic Manual and City Traffic Control Guidelines. Traffic control plans
16 shall be in effect from 8:00 a.m. to 3:30 p.m. unless approved otherwise.

17 22. Approval of this development project is conditioned upon payment of all applicable impact
18 fees and connection fees in the manner provided in chapter 32B of the Oceanside City Code. All drainage
19 fees, traffic signal fees and contributions, highway thoroughfare fees, park fees, reimbursements, and other
20 applicable charges, fees and deposits shall be paid prior to recordation of the map or the issuance of any
21 building permits, in accordance with City Ordinances and policies. The developer shall also be required to
22 join into, contribute, or participate in any improvement, lighting, or other special district affecting or
23 affected by this project. Approval of the tentative map (project) shall constitute the developer's approval of
24 such payments, and his agreement to pay for any other similar assessments or charges in effect when any
25 increment is submitted for final map or building permit approval, and to join, contribute, and/or participate
26 in such districts.

27 23. Meyers Street along the project frontage shall be improved with curbs, gutters and sidewalk
28 to match the existing street.

1 24. Meyers Street along the project frontage shall provide a minimum of 10 feet parkway
2 between the face of curb and the right of way line. Sidewalk improvements shall comply with ADA
3 requirements.

4 25. Sight distance requirements at the project driveway or street shall conform to the corner
5 sight distance criteria as provided by the California Department of Transportation Highway Design
6 Manual.

7 26. Streetlights shall be maintained and installed on all public streets per City Standards. The
8 system shall provide uniform lighting, and be secured prior to occupancy. The developer shall pay all
9 applicable fees, energy charges, and/or assessments associated with City-owned (LS-2 rate schedule)
10 streetlights and shall also agree to the formulation of, or the annexation to, any appropriate street lighting
11 district.

12 27. Prior to approval of the grading plans, the developer shall contract with a geotechnical
13 engineering firm to perform a field investigation of the existing pavement on Meyers Street adjacent to
14 the project boundary. The limits of the study shall be half-street plus twelve (12) feet along the
15 project's frontage. The field investigation shall include a minimum of one pavement boring per every
16 fifty (50) linear feet of street frontage. Should the existing AC thickness be determined to be less than
17 three (3) inches or without underlying Class II base material, the Developer shall remove and
18 reconstruct the pavement section as determined by the pavement analysis.

19 28. Upon review of the pavement investigation, the City Engineer and/or Public Works
20 Director shall determine whether the Developer shall: 1) Repair all failed pavement sections, header cut
21 and grind per the direction of the City Engineer and/or Public Works Director, and construct a two (2) inch
22 thick rubberized AC overlay; or 2) Perform R-value testing and submit a study that determines if the
23 existing pavement meets current City standards/traffic indices. Should the study conclude that the
24 pavement does not meet current requirements, rehabilitation/mitigation recommendations shall be
25 provided in a pavement analysis report, and the Developer shall reconstruct the pavement per these
26 recommendations, subject to approval by the City Engineer and/or Public Works Director.

27 29. Pavement sections for all streets, driveways and parking areas shall be based upon
28 approved soil tests and traffic indices. The pavement design is to be prepared by the developer's soil
engineer and must be approved by the City Engineer and/or Public Works Director, prior to paving.

1 30. Any existing broken pavement, concrete curb, gutter or sidewalk or any damaged during
2 construction of the project, shall be repaired or replaced as directed by the City Engineer and/or Public
3 Works Director.

4 31. All existing overhead utility lines within the frontage subdivision or within any full
5 width street or right-of-way abutting a new subdivision and all new extension services for the
6 development of the project, including but not limited to, electrical, cable and telephone, shall be placed
7 underground per Section 901.G. of the Subdivision Ordinance (R91-166) and as required by the
8 Community Development Director and current City policy.

9 32. Grading and drainage facilities shall be designed and installed to adequately accommodate
10 the local storm water runoff and shall be in accordance with the City's Engineers Manual and as directed
11 by the City Engineer and/or Public Works Director.

12 33. The applicant shall obtain any necessary permits and clearances from all public agencies
13 having jurisdiction over the project due to its type, size, or location, including but not limited to the U. S.
14 Army Corps of Engineers, California Department of Fish & Game, U. S. Fish and Wildlife Service and/or
15 San Diego Regional Water Quality Control Board (including NPDES), San Diego County Health
16 Department, prior to the issuance of grading permits.

17 34. Prior to any grading of any part of the tract or project, a comprehensive soils and geologic
18 investigation shall be conducted of the soils, slopes, and formations in the project. All necessary measures
19 shall be taken and implemented to assure slope stability, erosion control, and soil integrity. No grading
20 shall occur until a detailed grading plan, to be prepared in accordance with the Grading Ordinance and
21 Zoning Ordinance, is approved by the City Engineer and/or Public Works Director.

22 35. This project shall provide year-round erosion control including measures for the site
23 required for the phasing of grading. Prior to the issuance of grading permit, an erosion control plan,
24 designed for all proposed stages of construction, shall be reviewed, secured by the applicant with cash
25 securities and approved by the City Engineer and/or Public Works Director.

26 36. A precise grading and private improvement plan shall be prepared, reviewed, secured and
27 approved prior to the issuance of any building permits. The plan shall reflect all pavement, flatwork,
28 landscaped areas, special surfaces, curbs, gutters, medians, striping, signage, footprints of all structures,
walls, drainage devices and utility services. Parking lot striping and any on site traffic calming devices

1 shall be shown on all Precise Grading and Private Improvement Plans.

2 37. Landscaping plans, including plans for the construction of walls, fences or other structures
3 at or near intersections, must conform to intersection sight distance requirements. Landscape and
4 irrigation plans shall be approved by the City Engineer and/or Public Works Director prior to the issuance
5 of occupancy permits, and a pre-construction meeting held, prior to the start of any improvements.

6 38. Open space areas and down-sloped areas visible from a collector-level or above roadway
7 and not readily maintained by the property owner, shall be maintained by a homeowners' association that
8 will insure installation and maintenance of landscaping in perpetuity. These areas shall be indicated on the
9 final map and reserved for an association.
10 Future buyers shall be made aware of any estimated monthly costs. The disclosure, together with the
11 CC&R's, shall be submitted to the City Engineer and/or Public Works Director for review prior to the
12 recordation of final map.

13 39. The drainage design on the project is conceptual only. The final design shall be based upon
14 a hydrologic/hydraulic study to be approved by the City Engineer and/or Public Works Director during
15 final engineering. All drainage picked up in an underground system shall remain underground until it is
16 discharged into an approved channel, or as otherwise approved by the City Engineer and/or Public Works
17 Director. All public storm drains shall be shown on City standard plan and profile sheets. All storm drain
18 easements shall be dedicated where required. The applicant shall be responsible for obtaining any off-site
19 easements for storm drainage facilities.

20 40. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and disposed
21 of in accordance with all state and federal requirements, prior to storm water discharge either off-site or
22 into the City drainage system.

23 41. Upon acceptance of any fee waiver or reduction by the Developer, the entire project
24 will be subject to prevailing wage requirements as specified by Labor Code section 1720(b)(4). The
25 Developer shall agree to execute a form acknowledging the prevailing wage requirements prior to the
26 granting of any fee reductions or waivers.

27 **Fire:**

28 42. All proposed and existing fire hydrants located within 400 feet of the subject site shall
be depicted on the site plan.

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1 43. Plans shall be submitted to the Fire Department for plan check review and approval prior
2 to the issuance of building permits.

3 44. Fire extinguishers are required and shall be included on the plans submitted for plan
4 check.

5 45. Multi-family residential dwellings shall have 6-inch address numbers.

6 46. Buildings shall meet Oceanside Fire Department's current adopted codes at the time of
7 building permit application.

8 47. In accordance with the California Fire Code Sec. 901.4.4, approved address for
9 commercial, industrial, and residential occupancies shall be placed on the structure in such a position as
10 to be plainly visible and legible from the street or roadway fronting the property. Numbers shall be
11 contrasting with their background.

Planning:

12 48. This Tentative Parcel Map (P-201-06), Development Plan (D-202-06) and Regular
13 Coastal Permit (RC-202-06) shall expire on December 6, 2008, unless implemented as required by the
14 Zoning Ordinance.

15 49. This Tentative Parcel Map, Development Plan and Regular Coastal Permit approves
16 only for the construction of a 2-unit residential condominium project as shown on the plans and
17 exhibits presented to the Community Development Commission for review and approval. No deviation
18 from these approved plans and exhibits shall occur without Planning Department approval. Substantial
19 deviations shall require a revision to the Tentative Map, Development Plan and Regular Coastal Permit
20 or a new Tentative Map, Development Plan and Regular Coastal Permit.

21 50. The applicant, permittee or any successor-in-interest shall defend, indemnify and hold
22 harmless the City of Oceanside, its agents, officers or employees from any claim, action or proceeding
23 against the City, its agents, officers, or employees to attack, set aside, void or annul an approval of the
24 City, concerning Tentative Parcel Map (P-201-06), Development Plan (D-202-06) and Regular Coastal
25 Permit (RC-202-06). The City will promptly notify the applicant of any such claim, action or
26 proceeding against the City and will cooperate fully in the defense. If the City fails to promptly notify
27 the applicant of any such claim action or proceeding or fails to cooperate fully in the defense, the
28 applicant shall not, thereafter, be responsible to defend, indemnify or hold harmless the City.

1 51. All mechanical rooftop and ground equipment shall be screened from public view as
2 required by the Zoning Ordinance. That is, on all four sides and top. The roof jacks, mechanical
3 equipment, screen and vents shall be painted with non-reflective paint to match the roof. This
4 information shall be shown on the building plans.

5 52. Landscape plans, meeting the criteria of the City's Landscape Guidelines and Water
6 Conservation Ordinance No. 91-15, including the maintenance of such landscaping, shall be reviewed
7 and approved by the City Engineer and City Planner prior to the issuance of building permits.
8 Landscaping shall not be installed until bonds have been posted, fees paid, and plans signed for final
9 approval.

10 53. All landscaping, fences, walls, etc. on the site, in medians in the public right-of-way and
11 in any adjoining public parkways shall be permanently maintained by the owner, his assigns or any
12 successors in interest in the property. The maintenance program shall include normal care and
13 irrigation of the landscaping; repair and replacement of plant materials; irrigation systems as necessary;
14 and general cleanup of the landscaped and open areas, parking lots and walkways, walls, fences, etc.
15 Failure to maintain landscaping shall result in the City taking all appropriate enforcement actions by all
16 acceptable means including but not limited to citations and/or actual work with costs charged to or
17 recorded against the owner. This condition shall be recorded with the covenant required by this
18 resolution.

19 54. Front yard landscaping with a complete irrigation system, in compliance with Water
20 Conservation Ordinance No. 91-15, shall be required.

21 55. All multi-family unit dwelling projects shall dispose of or recycle solid waste in a
22 manner provided in City Code 13.3.

23 56. A letter of clearance from the affected school district in which the property is located
24 shall be provided as required by City policy at the time building permits are issued.

25 57. A covenant or other recordable document approved by the City Attorney shall be
26 prepared by the applicant developer and recorded prior to the issuance of building permits. The
27 covenant shall provide that the property is subject to this resolution, and shall generally list the
28 conditions of approval.

//////////

//////////

1 58. Prior to the issuance of building permits, compliance with the applicable provisions of
2 the City's anti-graffiti (Ordinance No. 93-19/Section 20.25 of the City Code) shall be reviewed and
3 approved by the Planning Division. These requirements, including the obligation to remove or cover
4 with matching paint all graffiti within 24 hours, shall be noted on the Landscape Plan and shall be
5 recorded in the form of a covenant affecting the subject property.

6 59. Prior to the transfer of ownership and/or operation of the site the owner shall provide a
7 written copy of the applications, staff report and resolutions for the project to the new owner and or
8 operator. This notification's provision shall run with the life of the project and shall be recorded as a
9 covenant on the property.

10 60. Failure to meet any conditions of approval for this development shall constitute a
11 violation of the Tentative Parcel Map (P-202-06), Development Plan (D-202-06) and Regular Coastal
12 Permit (RC-202-06).

13 61. Unless expressly waived, all current zoning standards and City ordinances and policies
14 in effect at the time building permits are issued are required to be met by this project. The approval of
15 this project constitutes the applicant's agreement with all statements in the Description and Justification,
16 and other materials and information submitted with this application, unless specifically waived by an
17 adopted condition of approval.

18 62. The developer's construction of all fencing and walls associated with the project shall be
19 in conformance with the approved Development Plan. Any substantial change in any aspect of fencing
20 or wall design from the approved Development Plan shall require a revision to the Development Plan or
21 a new Development Plan.

22 63. If any aspect of the project fencing and walls is not covered by an approved
23 Development Plan, the construction of fencing and walls shall conform to the development standards of
24 the City Zoning Ordinance. In no case, shall the construction of fences and walls (including
25 combinations thereof) exceed the limitations of the zoning code, unless expressly granted by a
26 Variation or other development approval.

27 64. The following unit type and floor plan mix, as approved by the Community
28 Development Commission, shall be indicated on plans submitted to the Building Division and Planning
Division for building permit:

	Sq.Ft.	# Bedrms	# Baths	# Stories	# Units	%
Plan 1	2,964	3	4	3	1	50
Plan 2	3,920	4	4	3	1	50

65. Side and rear elevations and window treatments shall be trimmed to substantially match the front elevations. A set of building plans shall be reviewed and approved by the Planning Division prior to the issuance of building permits.

66. Elevations, siding materials, colors, roofing materials and floor plans shall be substantially the same as those approved by the Community Development Commission. These shall be shown on plans submitted to the Building Division and Planning Division.

67. This project is subject to the provisions of the Local Coastal Plan for Coastal Housing. The developer shall obtain a Coastal Affordable Housing Permit from the Director of Housing and Neighborhood Services prior to issuance of building permits or recordation of a final map, whichever occurs first.

68. An association of homeowners (HOA) shall be formed and Covenants, Conditions and Restrictions (CC&R's) shall provide for the maintenance of all common open space, and commonly owned fences and walls and adjacent parkways. The maintenance shall include normal care and irrigation of landscaping, repair and replacement of plant material and irrigation systems as necessary; and general cleanup of the landscaped and open area, parking lots and walkways. The CC&R's shall be subject to the review and approval of the City Attorney prior to the approval of the final map. The CC&R's are required to be recorded prior to or concurrently with the final map. Any amendments to the CC&R's in which the association relinquishes responsibility for the maintenance of any common open space shall not be permitted without the specific approval of the City of Oceanside. Such a clause shall be a part of the CC&R's. The CC&R's shall also contain provisions for the following:

- a) The subterranean garage parking shall be exclusive to the residential occupancy of the site and shall not be shared or used by any other occupancy.
- b) Prohibition of parking or storage of recreational vehicles, trailers, or boats.
- c) Maintenance of all common areas, and on-site and frontage landscaping.

69. A Forced Air Unit or its equivalent meeting the criteria as established by the Acoustical Analysis Report (Eilar Associates dated June 7, 2006) shall be installed to satisfy building code noise requirements.

1 **Water Utilities:**

2 70. All public water and/or sewer facilities not located within the public right-of-way shall
3 be provided with easements sized according to the City's Engineers Manual. Easements shall be
4 constructed for all weather access.

5 71. No trees, structures or building overhang shall be located within any water or
6 wastewater utility easement.

7 72. The property owner will maintain private water and wastewater utilities located on
8 private property.

9 73. Water services and sewer laterals constructed in existing right-of-way locations are to be
10 constructed by approved and licensed contractors at developer's expense.

11 74. The developer will be responsible for developing all water and sewer utilities necessary
12 to develop the property. Any relocation of water and/or sewer utilities is the responsibility of the
13 developer and shall be done by an approved licensed contractor at the developer's expense.

14 75. All lots with a finish pad elevation located below the elevation of the next upstream
15 manhole cover of the public sewer shall be protected from backflow of sewage by installing and
16 maintaining an approved type backwater valve, per the Uniform Plumbing Code (U.P.C.).

17 76. Water and Wastewater Buy-in fees and the San Diego County Water Authority Fees are
18 to be paid to the City and collected by the Water Utilities Department at the time of Building Permit
19 issuance.

20 77. All Water and Wastewater construction shall conform to the most recent edition of the
21 City's Engineers Manual, or as approved by the Water Utilities Director.

22 ///
23 ///
24 ///
25 ///
26 ///
27 ///
28 ///

1 78. All new development of single-family residential units shall include hot water pipe
2 insulation and installation of a hot water re-circulation device or design to provide hot water to the tap
3 within 15 seconds in accordance with City of Oceanside Ordinance No. 02-0R126-1.

4 PASSED AND ADOPTED by the Oceanside Community Development Commission of the
5 City of Oceanside this _____ day of _____ 2006 by the following vote:

6 AYES:

7 NAYS:

8 ABSENT:

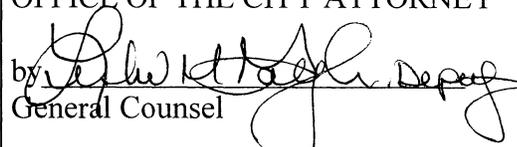
9 ABSTAIN:

10 _____
Chairman

11 ATTEST:

12 _____
13 Secretary

14 APPROVED AS TO FORM:
15 OFFICE OF THE CITY ATTORNEY

16 by 
17 General Counsel

416 S. MYERS STREET DEVELOPMENT PLAN

LEGEND:

- SURVEY BOUNDARY
- PARCEL LINE
- ① LOT NUMBER & SURFACE
- EXISTING CURBLINE
- EXISTING INTERSECT
- EXISTING FIRE HYDRANT
- EXISTING POWER POLE
- EXISTING DRAIN
- EXISTING SEWER LINE
- EXISTING SEWER LATERAL
- EXISTING STREET LIGHT
- PROPOSED CURBLINE
- PROPOSED INTERSECT
- PROPOSED SEWER LATERAL
- PROPOSED INTERSECT
- PROPOSED FIRE HYDRANT
- PROPOSED FIRE ALARM
- PROPOSED LANDSCAPING

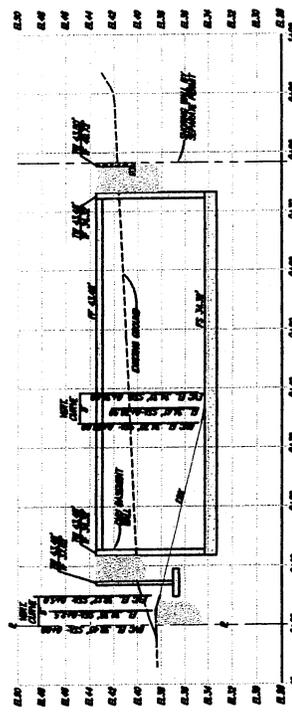
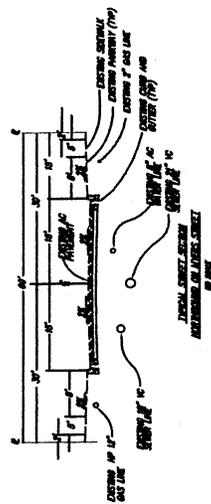
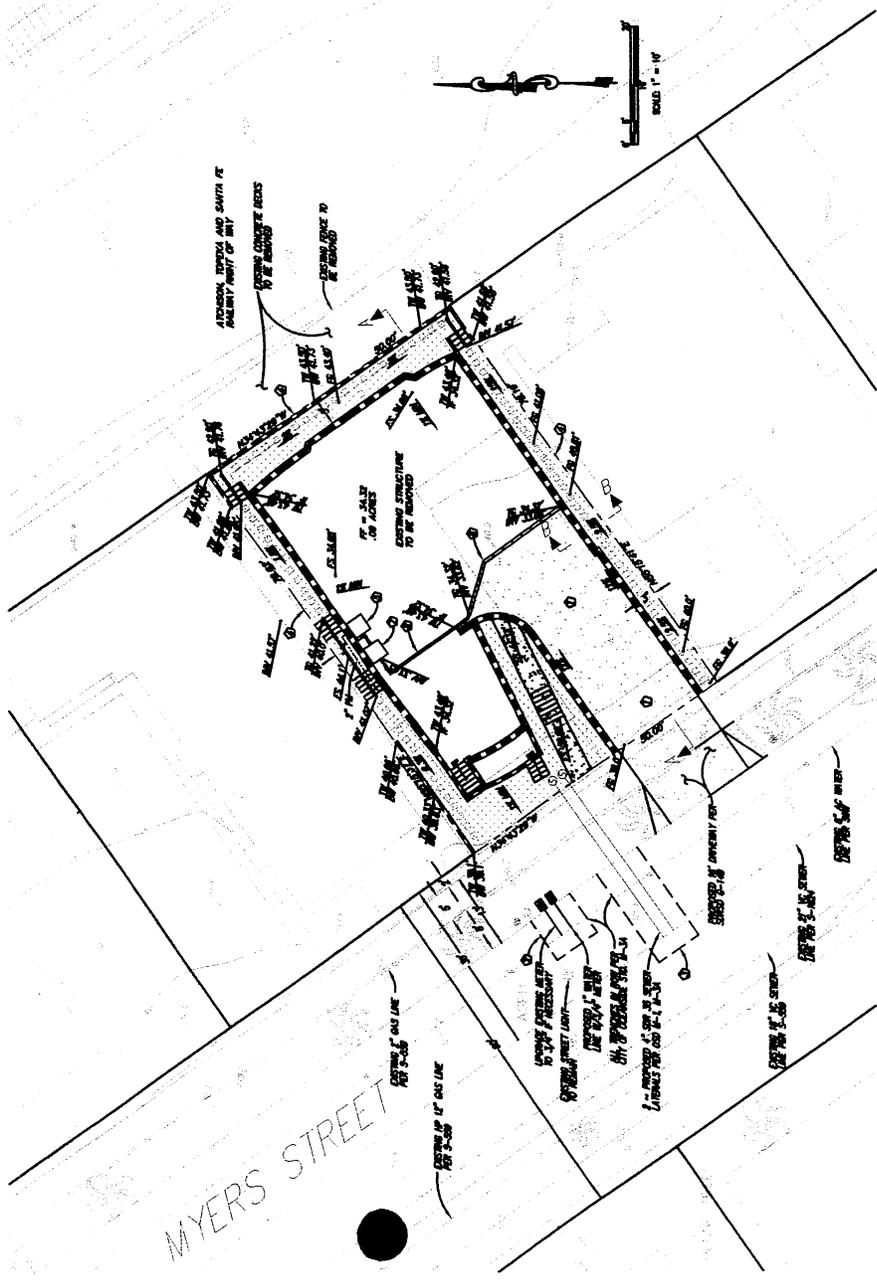
CONSTRUCTION NOTES:

1. ALL TO BE CONSTRUCTED BY THE CITY OF OCEANSIDE.
2. INSTALL 12" DIAMETER STEEL PIPE WITH 18" SPACING PER CITY OF OCEANSIDE STANDARD PLAN 10-1.5. INSTALL WITH HOLEY PER CITY OF OCEANSIDE STANDARD PLAN 10-1.5.
3. INSTALL 4" DIA. 30' PVC SEWER LATERAL AND MANHOLE PER CITY OF OCEANSIDE STANDARD DRAWING 5-17 AND 5-18.
4. CONSTRUCT TEMPORARY SHORING PER SEPARATE PLAN.
5. INSTALL SHORING WITH 18" DIA. STEEL PIPE AND 4" DIA. BRACE PER CITY OF OCEANSIDE STANDARD DRAWING 5-17 AND 5-18.
6. INSTALL 4" DIA. 30' PVC SEWER PER CITY OF OCEANSIDE STANDARD DRAWING 5-17 AND 5-18.
7. INSTALL 4" DIA. 30' PVC SEWER PER CITY OF OCEANSIDE STANDARD DRAWING 5-17 AND 5-18.

ALL PROPOSED UTILITIES TO BE UNDERGROUND
 CUT 2" 0' 0" 0' 0" 0' 0"
 2" 0' 0" 0' 0" 0' 0"
 2" 0' 0" 0' 0" 0' 0"
 2" 0' 0" 0' 0" 0' 0"

NOTES:

1. THE ABOVE UTILITY SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF OCEANSIDE STANDARD DRAWING 5-17 AND 5-18.



PROJECT NO. 000000
 SHEET 2 OF 2
 TENTATIVE PARCEL MAP
 416 S. MYERS STREET
 OCEANSIDE, CALIFORNIA
 LARRY E. MILLER
 ENGINEER

DATE: _____
 SCALE: _____



EOS
ARCHITECTURE, INC.
1111 WILSON
DUBLIN, CA 94568
TEL: 925-835-1111
WWW.EOSARCHITECT.COM



DAVID L. SMITH
REGISTERED PROFESSIONAL ENGINEER
C-37974
EXPIRES 12/31/2018

CHAPMAN CONDOMINIUM UNITS
416 S. WEAVER STREET
OCEANSIDE, CA 92054

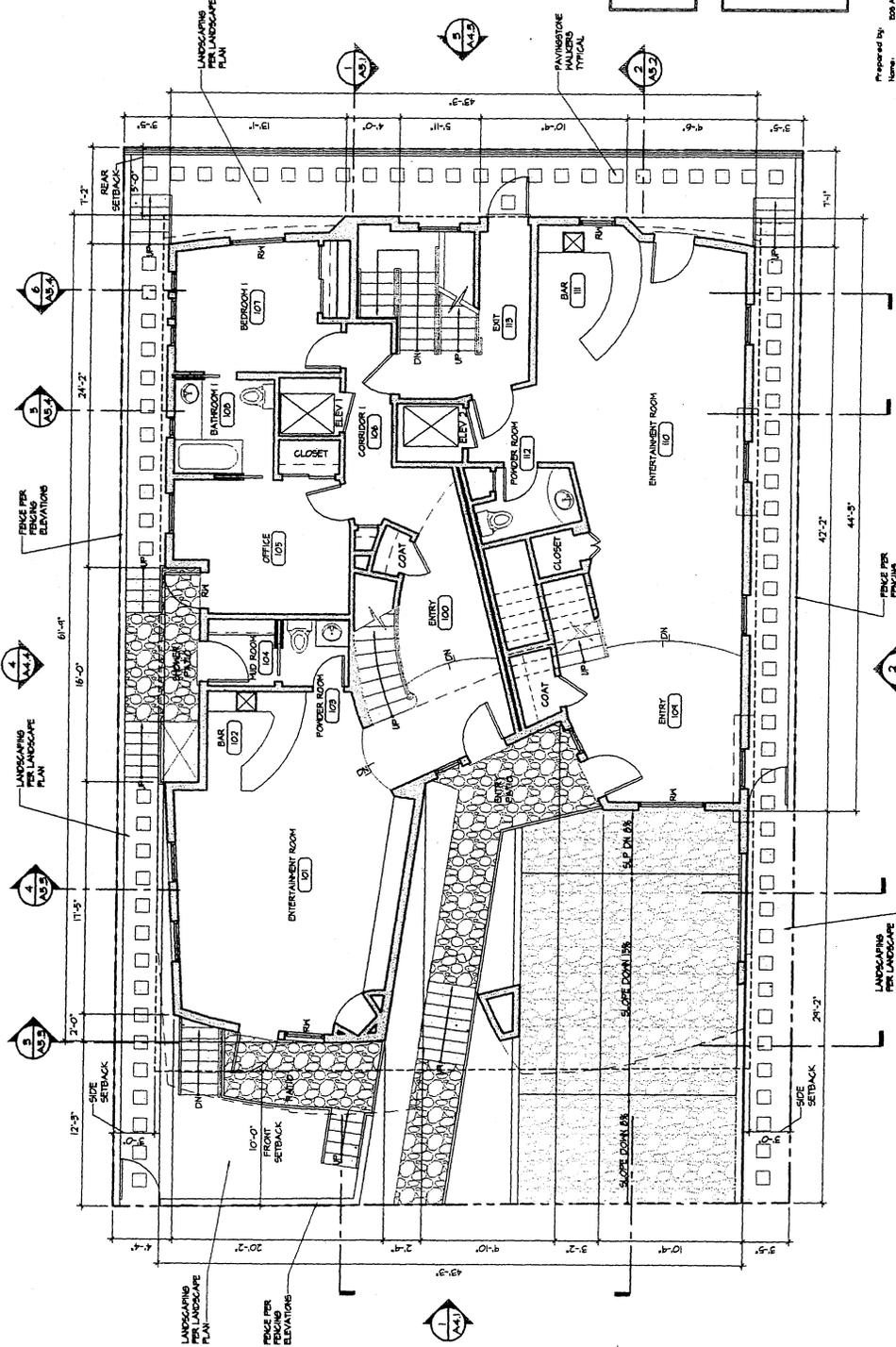
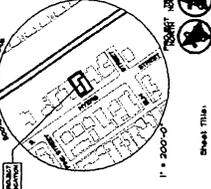
REVISIONS
DATE
BY
DESCRIPTION

NO.	DATE	BY	DESCRIPTION

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Date: 12/10/09
Drawn by: JLD
Checked by: JLD

Sheet: A1.1
Of: 17
Scale: 1/8" = 1'-0"

Prepared by:
Name: ESO ARCHITECTURE, INC.
Address: 2401 DUBOIS AVE.
Phone: 949 234-4000
Fax: 949 234-4101
Project Address: 416 S. WEAVER ST., OCEANSIDE, CA 92054
Project Name: CHAPMAN CONDOMINIUM UNITS



NOTE
SEE SHEET 2.1 FOR
AREA CALCULATIONS

NOTE
BA - INDICATES
REQUIRED HATCH OR
FINISH FOR FLOOR WITH
SCHEDULED FINISH TO
SATISFY COUNT
REQUIREMENTS



PROJ. BCT
NORTH
SCALE: 1/8" = 1'-0"

FIRST FLOOR PLAN



CHAPMAN CONDOMINIUM UNITS
416 S. MYERS STREET
OCEANSIDE, CA 92054

Prepared by: [Redacted]
Address: [Redacted]
Phone: [Redacted]
Date: 12/11/09
Revised by: [Redacted]
Drawn: [Redacted]

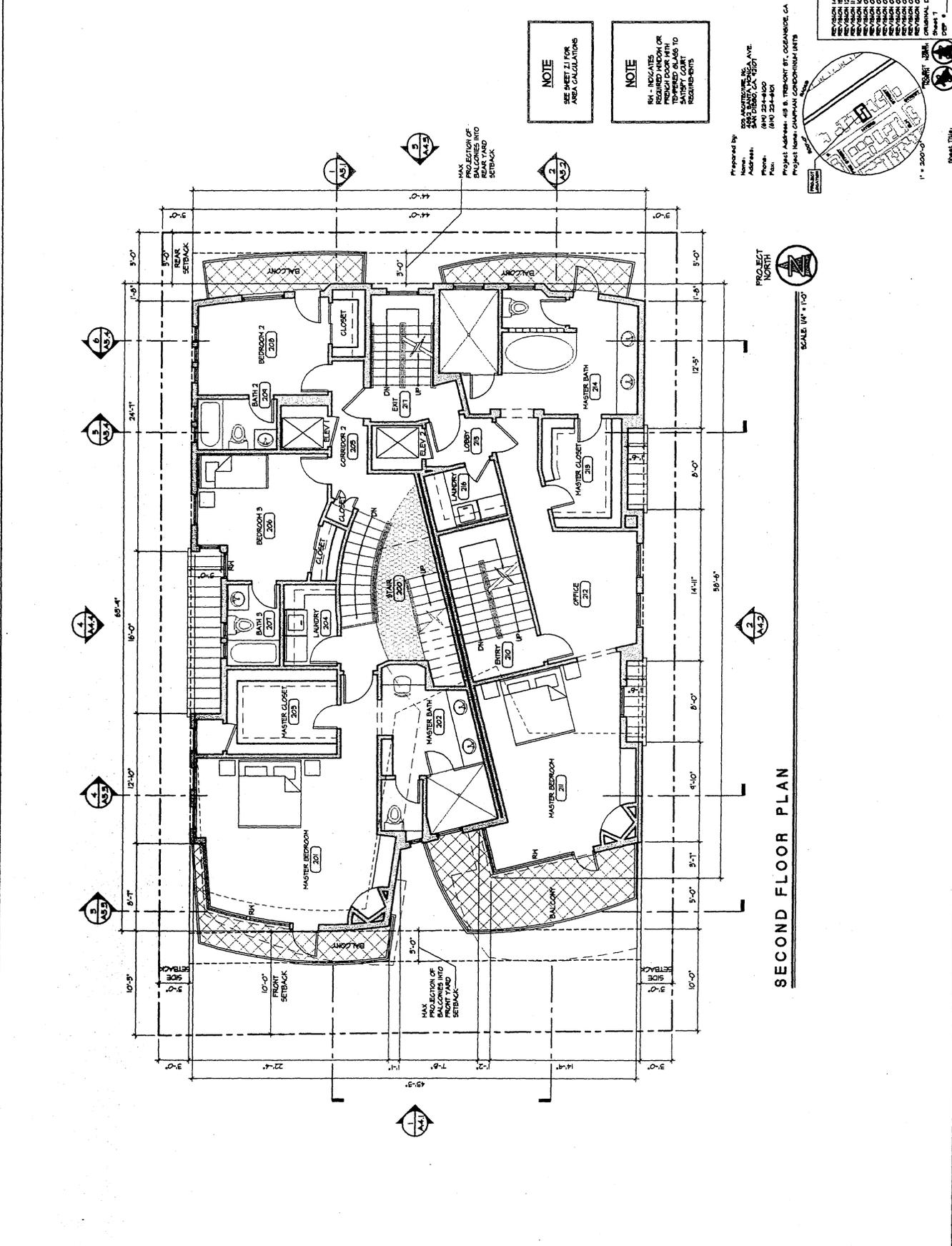
REVISIONS
DATE
BY

NOTE
SEE MEET #1 FOR AREA CALCULATIONS

NOTE
RH - INDICATES ROOMS WITH OR WITHOUT REAR YARD SETBACKS TO BE REPEATED ALONG TO SATISFY COURT REQUIREMENTS

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Project Address: 416 S. MYERS ST., OCEANSIDE, CA 92054
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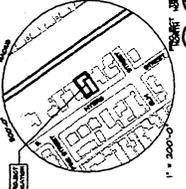
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2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		



SECOND FLOOR PLAN



SCALE: 1/8" = 1'-0"



1" = 200'-0"
Sheet 1 of 11
Date: 12/11/09



CHAPMAN CONDOMINIUM UNITS
416 S. MYERS STREET
OCEANSIDE, CA 92054

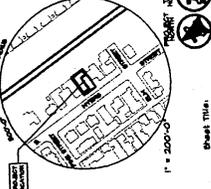
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Of:	11

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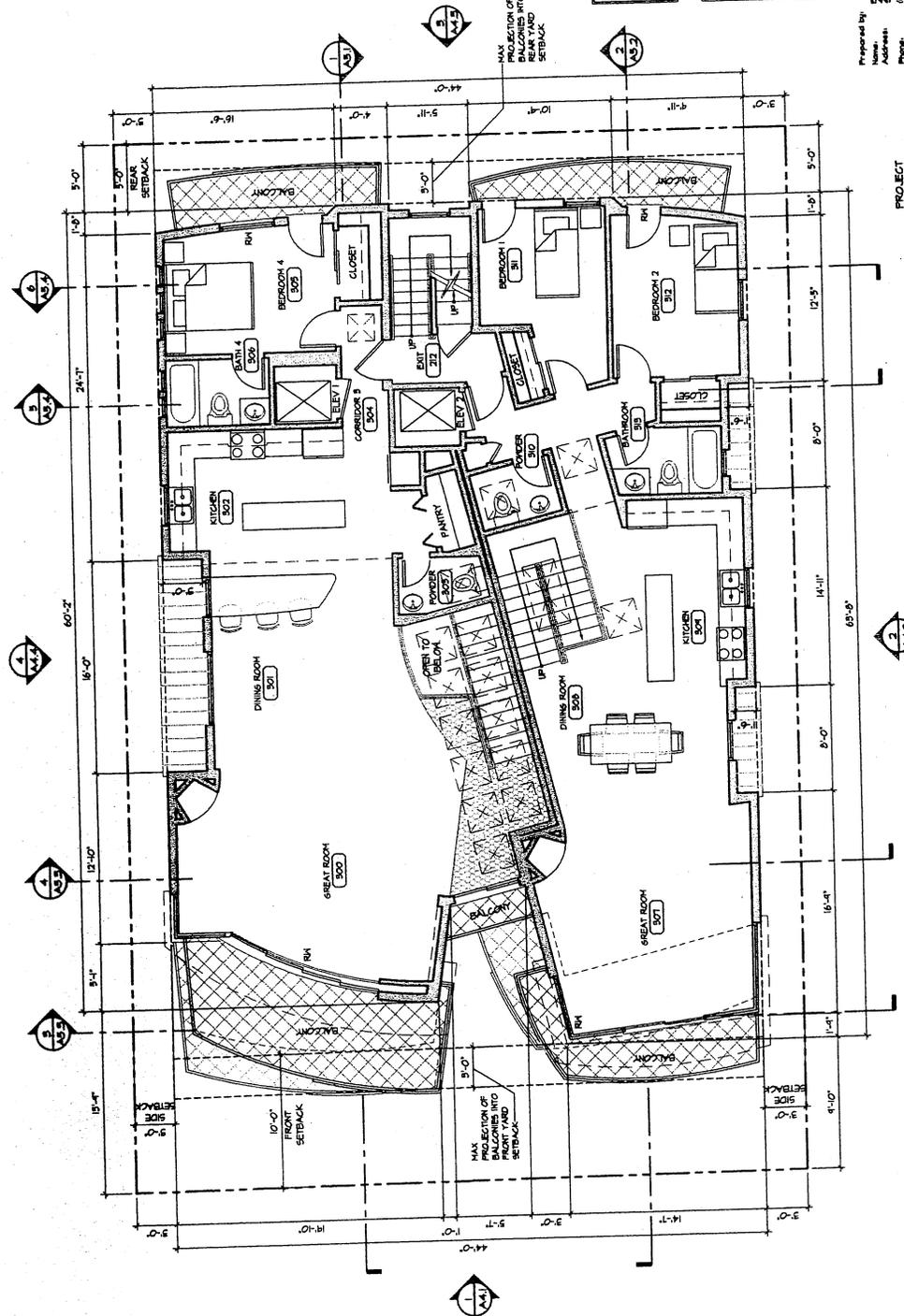
REVISIONS

Prepared by: 505 ARCHITECTURE, INC.
Address: 2415 S. MYERS ST., OCEANSIDE, CA 92054
Phone: (619) 234-8000
Fax: (619) 234-8001
Project Address: 416 S. MYERS ST., OCEANSIDE, CA 92054
Project Name: CHAPMAN CONDOMINIUM UNITS



NOTE
SEE SHEET J1 FOR AREA CALCULATIONS

NOTE
RH - INDICATES REQUIRED HEIGHT OR REQUIRED AREA TO BE MAINTAINED TO SATISFY CODE REQUIREMENTS



THIRD FLOOR PLAN



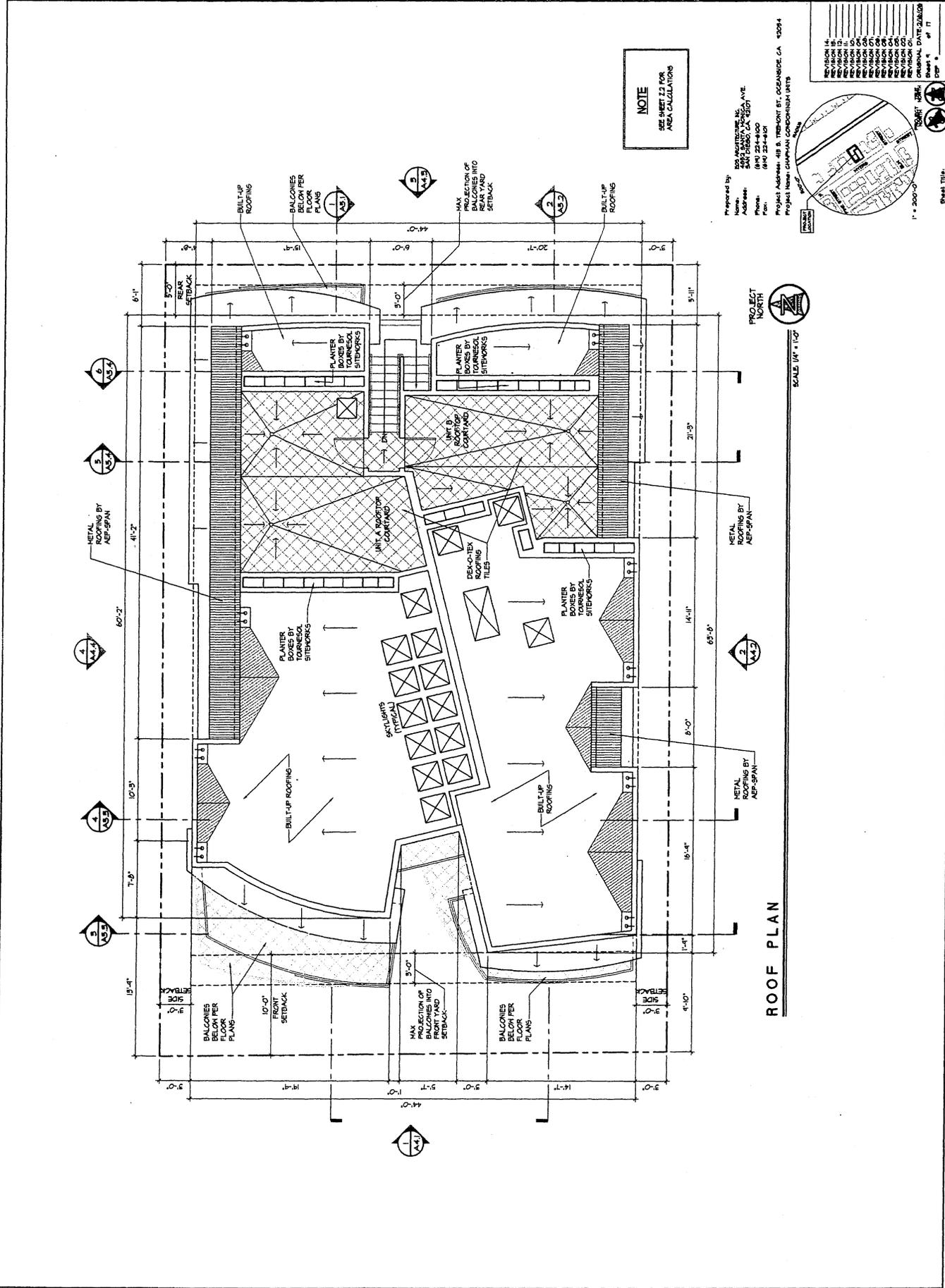
CHAPMAN CONDOMINIUM UNITS
416 S. MYERS STREET
OCEANSIDE, CA 92054

CHAPMAN CONDOMINIUM UNITS
416 S. MYERS STREET
OCEANSIDE, CA 92054

REVISION	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			

Project: 12/19/09
Date: 12/19/09
Drawn by: JLD
Checked by: JLD

Sheet Name: ROOF PLAN
Sheet: A3.0
Of: 7



NOTE
SEE SHEET A3.0 FOR AREA CALCULATIONS



ROOF PLAN

SCALE: 1/4" = 1'-0"

Sheet Title



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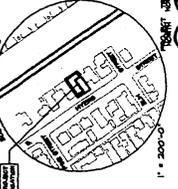
CHAPMAN CONDOMINIUM UNITS
416 S. MYERS STREET
OCEANSIDE, CA 92054

REVISIONS	DATE	BY	DESCRIPTION

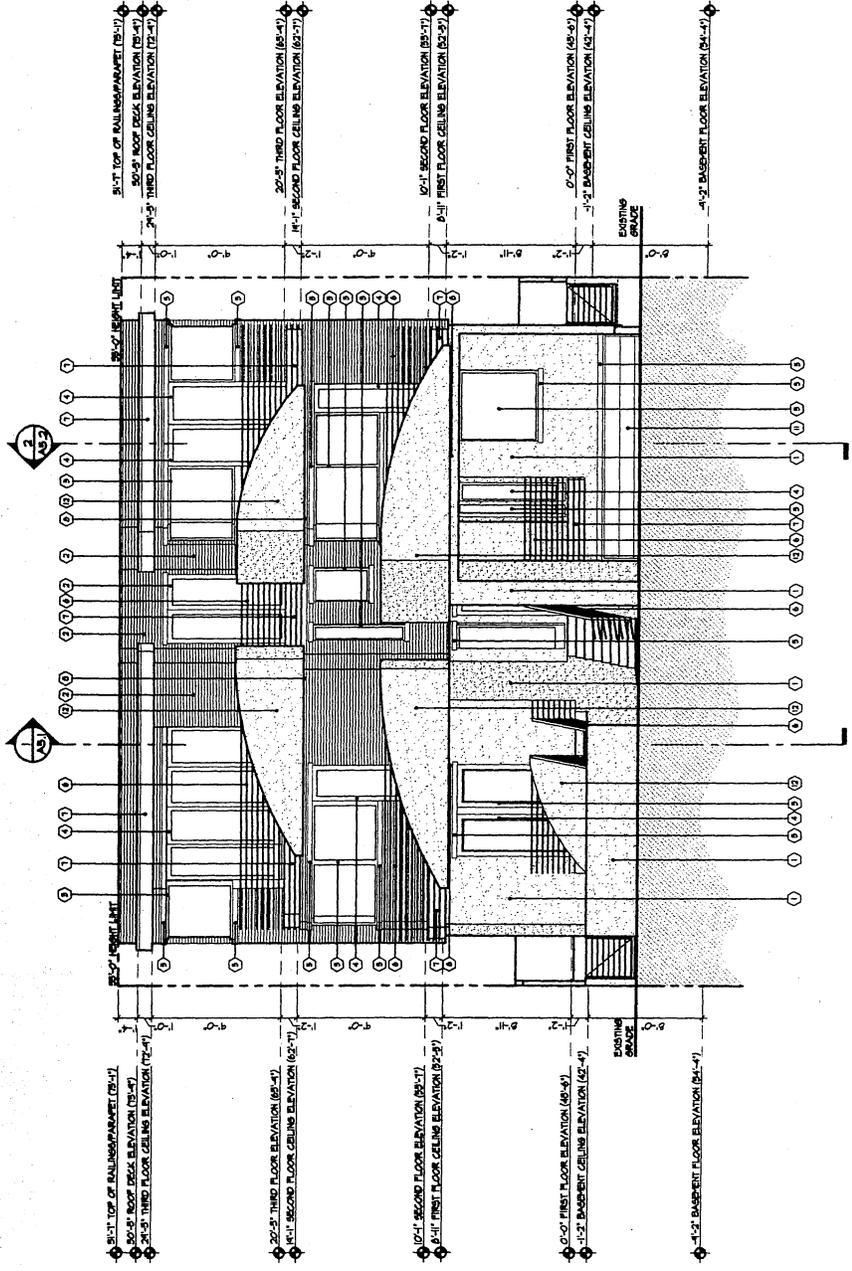
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Date	12/29/09
Drawn by	JB
Sheet No.	1-24
Sheet Name	WEST ELEVATION
Scale	AS SHOWN
Original Date/Quantity	
Sheet 10 of 11	

- ### ELEVATION NOTES
- EXTERIOR CONCRETE FINISH BY EXPO STUCCO - HAND TROWELED SMOOTH FINISH - COLOR 204
 - CORRUGATED METAL SIDING BY ASP-SPAN - COOL METALLIC SILVER
 - ALUMINUM FINISHES BY FLETHOOD - COLOR TO MATCH ASP-SPAN COOL CORONAL RED
 - ALUMINUM DOOR BY FLETHOOD - COLOR TO MATCH ASP-SPAN COOL CORONAL RED
 - ANALYZED METAL BEAMS AND SILLS - POWDER COAT METALLIC FINISH - COLOR TO MATCH (1)
 - CUSTOM STAINLESS STEEL RAILING - BRUSHED FINISH
 - ANALYZED METAL B. BEAMS - POWDER COAT METALLIC FINISH - COLOR TO MATCH (1)
 - 204 STAIN COLOR PER ARCHITECT TOWER 1 ABOVE HOOD SIDING TO MATCH HOODS - STAIN BRUSH SELECT
 - ARCHITECTURAL GRADE CONCRETE SLAB - PER ARCHITECT
 - METAL ROOF BY ASP-SPAN - COOL DARK BRONZE
 - WARRIORS ALUMINUM GARAGE DOOR - NATURAL FINISH
 - RAILING SECOND EXTERIOR CORNER TROWELED SMOOTH FINISH - CUSTOM COLOR TO MATCH VISTA PAINT 0285

Prepared by
Name: BOB ANDREWS, INC.
Address: 2000 CALIFORNIA AVE. SAN DIEGO, CA 92101
Phone: (619) 224-4100
Fax: (619) 224-4100
Project: 416 S. MYERS ST. OCEANSIDE, CA 92054
Project Name: CHAPMAN UNITS



1" = 200'-0"
DATE: 12/29/09
DRAWN BY: JB
CHECKED BY: [Signature]
SCALE: AS SHOWN



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



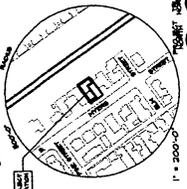
CHAPMAN CONDOMINIUM UNITS
 416 S. MYERS STREET
 OCEANSIDE, CA 92054

REVISIONS

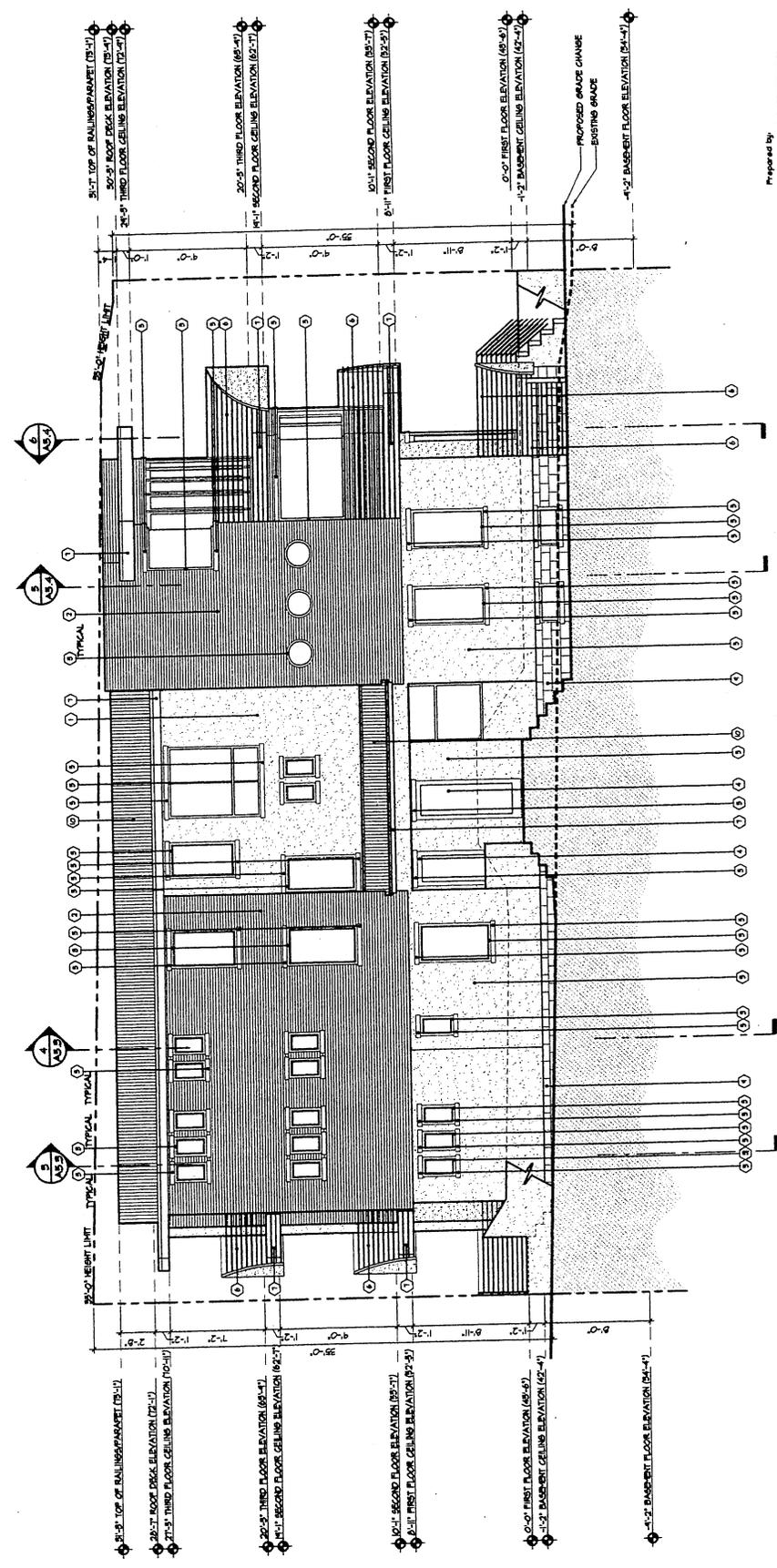
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 Date: 02/19/08
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 Drawn by: [Blank]
 Job No.: 08-20
 Sheet Name: SOUTH ELEVATION
 Sheet: A4.2
 Scale: 1/4" = 1'-0"

Prepared by:
 Name: [Blank]
 Address: 2923 BERRY AVE.
 City: OCEANSIDE, CA 92054
 Phone: (619) 231-4300
 Project Address: 416 S. MYERS ST., OCEANSIDE, CA 92054
 Project Name: CHAPMAN CONDOMINIUM UNITS



Scale: 1/4" = 1'-0"
 Date: 02/19/08
 Sheet Title: SOUTH ELEVATION



4 NORTH ELEVATION

- SCALE: 1/4" = 1'-0"
- ELEVATION NOTES**
- 1 EXTERIOR GROUT PLASTER BY EXPO STUCCO - HAND TROWEL SMOOTH FINISH - COLOR 2M PORTUGO
 - 2 CORRUGATED METAL SIDING BY METALLO SILVER
 - 3 ALUMINUM HINGERS BY FLETHOOD - ASP-SPAN - COOL, METALLO SILVER - COLOR TO MATCH ASP-SPAN COOL COLOR
 - 4 ALUMINUM DOOR BY FLETHOOD - COLOR TO MATCH ASP-SPAN COOL COLOR
 - 5 GALVANIZED METAL HANGERS AND PAILS - COLOR TO MATCH 1
 - 6 GUNTON STAINLESS STEEL RAILING - BRUSHED FINISH
 - 7 GALVANIZED METAL PLANKS - COLOR TO MATCH 1
 - 8 2x4 FISH SCALE PER ARCHITECT TONGUE & GROOVE HOOD SIDING UNDER ALL BALCONIES - STAIN GRADE SELECT
 - 9 ARCHITECTURAL GRADE CONCRETE BLOCK - PER ARCHITECT
 - 10 METAL ROOF BY ASP-SPAN - DIVERTER ROOF 1 ZINCALUME - COOL DARK BRONZE
 - 11 ANODIZED ALUMINUM GARAGE DOOR - NATURAL FINISH
 - 12 RAILING GRADE EXTERNAL GROUT PLASTER BY EXPO STUCCO - HAND TROWEL SMOOTH FINISH - PORTUGO COLOR TO MATCH FISH SCALE SIDING

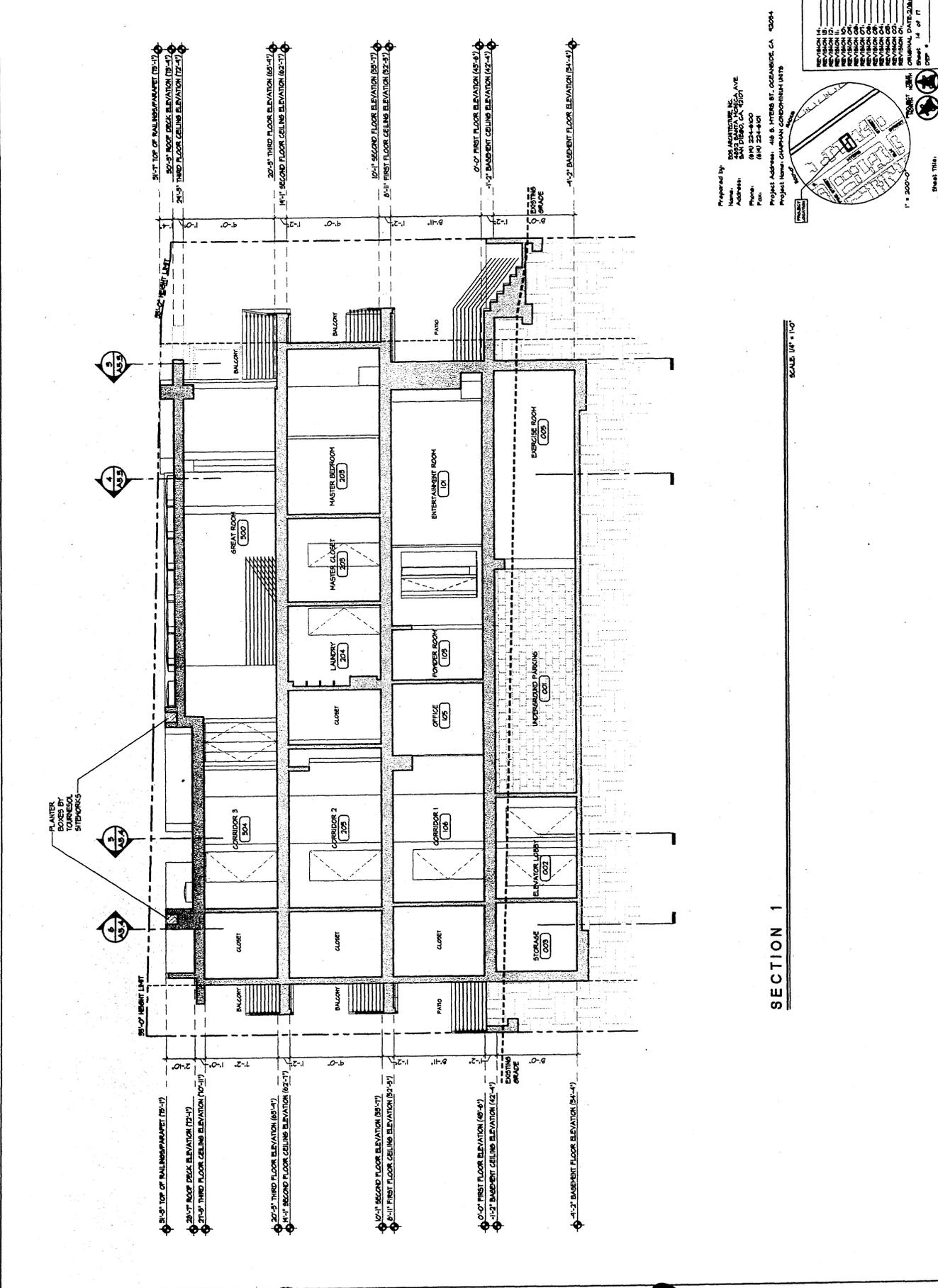
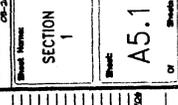


CHAPMAN CONDOMINIUM UNITS
416 S. MYERS STREET
OCEANSIDE, CA 92054

NO.	DATE	DESCRIPTION
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Prepared by: 100 ARCHITECTURE, INC.
Address: 200 S. MYERS STREET, OCEANSIDE, CA 92054
Phone: (619) 234-8100
Fax: (619) 234-8101
Project Address: 416 S. MYERS ST., OCEANSIDE, CA 92054
Project Name: CHAPMAN CONDOMINIUM UNITS

SECTION 1
Sheet Name
A5.1
Sheet 14 of 17



PRIMARY RECORD

RECEIVED

FEB 23 2006

Planning Department

Other Listings _____

Review Code _____

Primary # _____

HRI # _____

Trinomial _____

NRHP Status Code 6Z

Reviewer _____ Date _____

Page 1 of 3 *Resource Name or #: (Assigned by recorder) 416 S. Myers Street

*P1. Other Identifier: J.D. and Lillian A. Gulihur Rental Property

*P2. Location: Not for Publication Unrestricted * a. County San Diego

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad San Luis Rey *Date 1975 T 11S; R 5W; 1/4 of 1/4 of Sec 3; SB B.M.

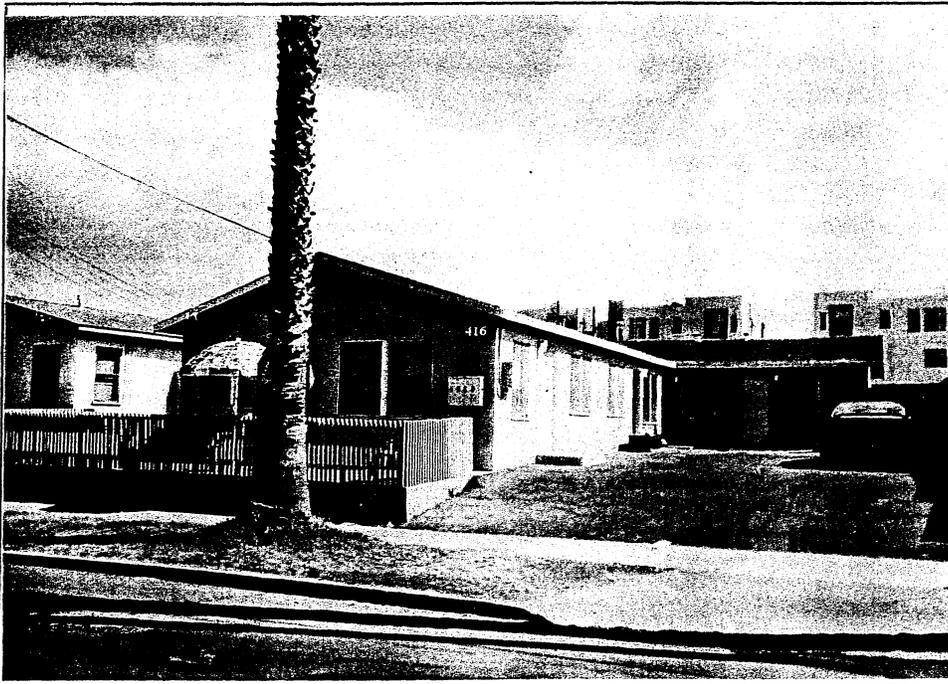
c. Address 416 S. Myers Street City Oceanside Zip 92054

d. UTM: (Give more than one for large or linear resources) Zone _____; _____ Me/ _____ Mn

e. Other Locational Data (e.g., parcel #, directions to resource, elevation, etc., as appropriate): The property is located in Tyson's Addition, Lot 4, Block 4; the APN is 150-077-15.

*P3a. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries):

The resource consists of a modest sized (approximately 1,750 sq ft), "L" shaped, one story, frame and stucco, Ranchesque four-plex, which rests on a concrete foundation. The front facade is asymmetrical. The crested medium pitched cross gabled roof is covered with composition shingles and has open, narrow eaves, with exposed rafters on the north and south sides of the house. A horizontal louvered vent is present beneath the dominant gable end. The fenestration consists of original single and paired wood framed 1 x 1 double hungs and replaced aluminum sliders. Primary access to the building is off the asphalt driveway to individual concrete stoops. All four entries are covered by single wood doors. No garage is present and the lot is not landscaped. A small raised concrete patio enclosed by a picket fence is located at the front of the lot. The building is in fair condition.



*P3b. Resource Attributes: (List) HP3
Multiple family residence

*P4. Resources Present: Building
 Structure Object Site
District Element of District Other
(Isolates, etc.)

P5b. Description of Photo: (View, date, accession #)West, north and east facades, 9/15/05, 978:1

*P6. Date Constructed/ Age and Sources: Resource is 54 years old per Residential Building Record

*P7. Owner and Address: Dwayne Chapman & Kathryn May
33289 Eastridge Place
Temecula, CA 92592

*P8. Recorded by (Name, affiliation, and address): Ruth Alter, Archaeos, 11209 Golden Birch Way, San Diego, CA 92131
*P9. Date Recorded:

9/22/05 *P10. Type of Survey: (Describe) Field check *P11. Report Citation (Cite survey report and other sources, or enter "none".) None Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Resource Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 2 of 3 *Resource Name or # (Assigned by recorder) 416 S. Myers Street

*Recorded by Ruth C. Alter Date 9/22/05 Continuation Update

According to the chain of title, the subject property passed through many hands prior to its improvement. In September, 1889, S.A. McDowell, San Diego County Sheriff, deeded the property to Samantha Montgomery as part of a much larger transaction. Montgomery's heirs, Wallace S. and Edith Mary Montgomery sold the holdings to Emily Hayes, daughter of Oceanside co-founder J. Chauncey Hayes, in August, 1902. Miss Hayes, later Mrs. William Arguello, was an active participant in the family real estate business. Albert C. Wentworth bought the property from Hayes in October, 1903. Captain Wentworth was a pioneering local rancher with sizeable land holdings in the San Luis Rey Valley. Wentworth was also heavily involved with the sale of property. Likely the subject property was purchased for speculation, because Wentworth sold it only three months later to Edgar S. Payne.

Mr. Payne, a native of New York, was the cashier for the Oceanside Bank. A member of the Methodist Church, he also served as Deputy City Clerk and was the City Treasurer of Oceanside. A banker by training, Payne was one of Oceanside's early land investors, buying and selling property on a regular basis. He sold the subject property back to Albert Wentworth in November, 1905. The same day, Wentworth deeded the property to J.F. Anderson. About a month after, in December, 1905, title to the lot was acquired by the Southwestern Realty Company.

In February, 1917, the deed to the property was conveyed to the Title Insurance and Trust Company. Harry and Ida Blake purchased the parcel in July, 1928; they sold it to George Kuhnley, an Oceanside rancher residing on 4th Street, in September of that year. Robert Van Vleet bought the property from Kuhnley in February, 1932. In November, he sold it to John and Lillian Triani.

The Trianis retained ownership until August, 1944, when Berry Hayes, a member of the Hayes family and participant in the family business, purchased the property. Three months later, in November, 1944, Luther P. and Belle Guest took title. In April, 1945, H.L. and Selma Wilmoth bought the property. The as yet unimproved lot was acquired by J.D. and Lillian Gulihur in August, 1951. The couple built the subject building shortly thereafter. Tenants in 1955-56 included James Clark, D.F. Morgan, and Keith Wright.

Edward A. and Ruth E. Dawson bought the building from Mr. Gulihur in July, 1958. Ten years later, in April, 1968, title was conveyed to Clarence and Yvonne Christ. Wallace and Ruth Federman and John and Mary Gilbertson purchased the property from the Christs in January, 1977. In April, 1978, a consortium consisting of four investors, Richard and Myra Abrams, Ronald Lachner, and Toni Sherrard, acquired the building. By March, 1991, each had divested their interests until Ronald Lachner remained the sole owner.

In December, 1995, the California Reconveyance Company deeded the building to Great Western Bank; EMC Mortgage acquired title from the bank in March, 1996. In May of that year, Wallis and Kimberly Hannah bought the property. Mr. Hannah sold the building to William Frank Sieve II in May, 2004. The current owners, Dwayne E. Chapman and Kathryn R. May, took title in June, 2005.

*Resource Name or # (Assigned by recorder) 416 S. Myers Street

B1. Historic Name: J.D. and Lillian A. Gulihur Rental Property

B2. Common Name: Dwayne E. Chapman and Kathryn R. May Rental Property

B3. Original Use: Multiple family property B4. Present Use Multiple family property

*B5. Architectural Style: Ranchesque

*B6. Construction History: (Construction date, alternations, and date of alterations)
 This four-plex was constructed in 1951 per the Residential Building Record. A few of the original wood framed double hungs have been replaced with aluminum sliders.

*B7. Moved? No Yes Unknown Date: _____ Original Location: _____

*B8. Related Features: None

B9a. Architect: None b. Builder: Unknown

*B10. Significance: Theme: Oceanside residential development Area Oceanside, California

Period of Significance 1885 to 1960 Property Type Single family Applicable Criteria N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.) The subject resource is located in the Tyson's Addition, one of the earliest of the subdivisions in Oceanside. It figured prominently in Oceanside's development as part of the initial town site and for its role as an early recreational destination. Because of its desirable coastal locale, land speculators often purchased multiple lots, hoping to capitalize on visitors appreciation of the climate and the proximity of the railroad station and the ocean. The neighborhood built up slowly, initially consisting of small vacation cottages and residences. The dominant architectural styles of the area until the 1920s were Victorian and Craftsman. These properties were frequently used as beach rentals. Following World War II, many of these buildings were torn down and replaced with multi-family units. The immediate neighborhood currently consists of post-war apartments, a few Spanish Eclectic houses, several nondescript multi-family units, Craftsmanesque bungalows, and recently constructed Neo-Craftsman single family residences. The resource is typical of the buildings constructed in the area in the Post-World War II era. The subject four-plex was built as a rental property, although it is unknown whether any of its owners ever resided on the premises. The resource is not associated with any known significant historic event or events. Persons of historic standing are not directly associated with it. Its design is not distinctive; it does not represent the work of a master architect or craftsman, and it is not constructed of rare or unique materials. The building is unlikely to yield important information relevant to local, state or national history, and its research potential has been exhausted with this study. It was constructed on its present site and therefore retains its locational integrity. Its design integrity has been somewhat compromised by the replacement of windows. The setting has been somewhat altered by the addition of larger scale single and multi-family buildings, but the area remains residential. The resource is not eligible for nomination for listing in the National Register of Historic Places or the California Register of Historical Resources. Similarly, it does not qualify for nomination to the local register.

B11. Additional Resource Attributes: (List attributes and codes) None

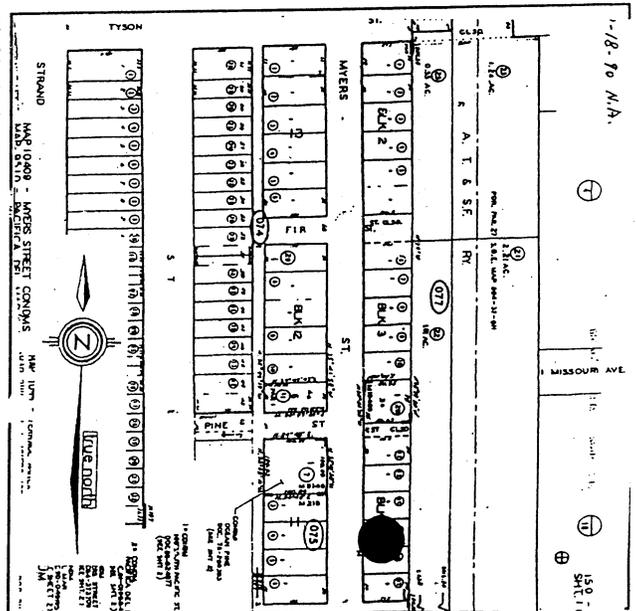
*B12. References: Hawthorne, K., Oceanside, Where Life is Worth Living, Donning Company Publishers, Virginia Beach, Virginia, 2002; McAlester, V. and L., A Field Guide to American Houses, 2000. Alfred A. Knopf, New York, Oceanside Historic Resources Inventory, 1992.

B13. Remarks:

*B14. Evaluator: Ruth Alter, Archaeos, 11209 Golden Birch Way Way, San Diego, CA 92131

*Date of Evaluation: 9/22/05

(This space reserved for official comments.)



CITY OF OCEANSIDE
PLANNING DEPARTMENT

NOTICE OF EXEMPTION

TO: RECORDER/COUNTY CLERK
COUNTY OF SAN DIEGO
P.O. BOX 1750
SAN DIEGO, CA 92112-4147

PROJECT TITLE AND FILE NUMBER:
CHAPMAN CONDOMINIUMS

PROJECT LOCATION - SPECIFIC:
416 South Myers

PROJECT LOCATION - GENERAL:
S. Myers Street
City of Oceanside

REGULAR COASTAL PERMIT (RC-202-06)
DEVELOPMENT PLAN (D-202-06)
PARCEL MAP (P-201-06)

DESCRIPTION OF NATURE, PURPOSE AND BENEFICIARIES OF PROJECT:
TENTATIVE PARCEL MAP (P-201-06), DEVELOPMENT PLAN (D-202-06) & REGULAR COASTAL PERMIT (RC-202-06) for the construction of 2-unit residential condominium located at 416 South Myers Street.

NAME OF PUBLIC AGENCY APPROVING PROJECT:

City of Oceanside

NAME OF PERSON(S) OR AGENCY CARRYING OUT PROJECT:

EOS

4852 Santa Monica Boulevard
San Diego, CA 92107
(619) 224-6100

Exempt Status per the Guidelines to Implement the California Environmental Quality Act (CEQA)
(Public Resources Code Section 21000 et. al.):

NOT SUBJECT TO CEQA PER THE GENERAL RULE, SECTION 15061(B)(3)

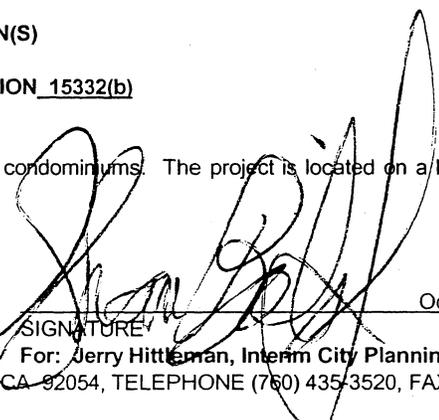
STATUTORY EXEMPTION PER ARTICLE 18, SECTION(S)

CATEGORICAL EXEMPTION PER ARTICLE 19, SECTION 15332(b)

REASONS WHY PROJECT IS EXEMPT:

The project proposes construction of an 2-unit residential condominiums. The project is located on a less than 5-acres site within an urbanized area.

Contact Person: Shan Babick, Associate Planner


SIGNATURE

October 18, 2006

DATE

For: Jerry Hittelman, Interim City Planning

CITY HALL, 300 NORTH COAST HIGHWAY, OCEANSIDE CA 92054, TELEPHONE (760) 435-3520, FAX (760) 435-3538