

STAFF REPORT



ITEM NO. 25
CITY OF OCEANSIDE

DATE: April 2, 2008

TO: Chairman and Members of the Community Development Commission

FROM: Economic and Community Development Department

SUBJECT: **CONSIDERATION OF A RESOLUTION APPROVING TENTATIVE PARCEL MAP (P-200-08), DEVELOPMENT PLAN (D-200-08), CONDITIONAL USE PERMIT (C-200-08), VARIATION (V-200-08) AND REGULAR COASTAL PERMIT (RC-201-08) FOR THE CONSTRUCTION OF FOUR SINGLE-FAMILY ROW HOUSES LOCATED AT 519-523 NORTH TREMONT STREET – APPLICANT: FRASER AND COVELL**

SYNOPSIS

The item under consideration is a Tentative Parcel Map, Development Plan, Variation, Regular Coastal Permit and Conditional Use Permit for the construction of four single-family row houses located at 519-523 North Tremont Street. Staff is recommending that the Commission approve the project and adopt the resolution as attached.

BACKGROUND

The subject site consists of two legal parcels totaling 10,000 square feet in size that was part of the original C.J. Coats subdivision of 1885. The subject site currently maintains two single family residences which will be demolished as part of this development.

The subject site topography is flat with an approximately 3-foot grade differential between the highest and lowest points of the site.

The subject site is situated within the North Tremont/Cleveland Street neighborhood, which consists of a mixture of condominiums and single-family row houses.

There are a total of two units (two buildings) on the subject site that are over 45 years old; therefore, a Historic Assessment was prepared to determine its historical significance. The Historic Assessment is attached to the staff report.

Land Use and Zoning: The subject site is located within Subdistrict 5 of the "D" Downtown District. Subdistrict 5 is primarily intended to provide a high-density residential neighborhood in an urban setting in close proximity to shopping, employment, transportation and recreational facilities. Multifamily and single-family residences are permitted. The density within this zone ranges from 29-43 dwelling units

per acre. The project proposes a density of 17.4 dwelling units per acre.

Regular Coastal Permit: This project is situated within the Coastal Zone and requires a Regular Coastal Permit. Under the provisions of the Local Coastal Plan the project site is designated as Mixed High-Density and Transient Residential. Multifamily and single-family are primarily the uses allowed within this land use designation. The proposed project is subject to the low/moderate replacement housing requirement because the project proposes more than three residential units.

Conditional Use Permit: This project is situated east of the railroad tracks which allows a maximum height of 45 feet upon approval of a Conditional Use Permit. The project proposes a height of 43 feet.

Variation: The project proposes to encroach seven (7) feet into the required ten (10) foot corner side yard setback.

Project Description: The project application consists of several components, which include a Tentative Parcel Map, Development Plan, Variation, Regular Coastal Permit and Conditional Use Permit. Each discretionary request is described as follows:

Tentative Map and Development Plan: The project proposes four single-family row houses on four 2,500-square-foot lots. The units range in size from 3,678 to 3,709 square feet and consist of three bedrooms and three baths. The project’s height is 43 feet (3 stories and mezzanine) over street-level two-car garages. The design is typical California row house.

Subdistrict 5 requires that a minimum of 25 percent of the site be landscaped. The project proposes that approximately 31 percent of the subject site is landscaped. The project proposes Palm, Sumac and Magnolia trees, shrubs include New Zealand Flax and Lilies and groundcover consists of turf.

Vehicular access to the units will be provided from the alley behind (west of) Tremont Street and pedestrian access will be provided from Tremont Street.

The overall project density is 17.4 dwelling units per acre. Outlined below is the residential unit breakdown:

Plan Type	Sq.Ft.	Bedrms.	Baths	Units
Plan 1	3,678	3	3	2
Plan 2	3,709	3	3	2
			Total	4

Outlined below is a comparison chart summarizing the required development criteria with the proposed project:

	MINIMUM REQUIRED	PROPOSED
LOT SIZE	2,500 square feet	2,500 square feet
SETBACKS		
Front	10 feet	10 feet
Side	3 feet	3 feet
Corner Side	10 feet	3 feet
Rear	5 feet	5 feet
LANDSCAPING	25%	31%
PARKING	8 spaces	8 spaces
BUILDING HEIGHT	45 feet	43 feet
DENSITY	43 du. Ac.(Maximum)	17.4 du. Ac.

Environmental Determination: A Certificate of Exemption has been prepared for the project. Under the provisions of the California Environmental Quality Act, the Community Development Commission will consider the exemption during its hearing on the project.

The Historic Assessment has been prepared to determine the cultural significance of the subject site. The Historic Assessment chronicles the creation, ownership, and development of the subject site and concludes that the site does have an interesting ownership history; however, no significant cultural resources exist on the site today.

ANALYSIS

Staff's analysis focused on the compatibility of the project with existing development patterns of the area and the project's consistency with the underlying Redevelopment Plan, Zoning Ordinance, and the General Plan.

Since the proposed project is an infill project, staff's review centered on the project's compatibility with the existing residential patterns. The surrounding area over the past 10years has been transformed from nonconforming industrial and commercial uses into a "new" neighborhood consisting of multifamily condominiums and single-family row

houses. A large part of transformation of this neighborhood is the success of the many row house developments in this neighborhood. Staff believes that the proposed four single family row houses is consistent with the surrounding neighborhood and will add to transformation of the neighborhood.

Staff also reviewed the project's architectural compatibility, product type and scale with the surrounding neighborhood. As noted, the proposed product type is the same as the surrounding row house developments and the design is a typical California row house that is well represented within the surrounding neighborhood.

Staff's review of the project examined the consistency of the development with the underlying zoning regulations and policies of the Local Coastal Program. The project is located outside the "appealable area" which is defined as the first 300 feet east of The Strand. The project provides a 10-foot front yard setback which is consistent with the setbacks for existing development located within the surrounding neighborhood. The project's overall impact on public coastal views will be minimal.

The applicant is seeking relief from a development standard (encroachment into the corner side yard setback area) that requires a Variation. The applicant is proposing a 7-foot encroachment into the required 10-foot corner side yard setback (Surfrider Way); however, the project has been conditioned to not allow landscaping to exceed a height limitation of 30 inches along the corner side yard setback area (Surfrider Way). The requested Variation is a typical request for this product type and all of the surrounding row houses have the same three-foot corner side yard setback for the corner lots. In addition, the project maintains a 13-foot-wide parkway which is an adequate site distance for vehicles.

The applicant is also requesting additional height (above 35 feet) which is allowed, however, it requires approval of a Conditional Use Permit. Staff believes the additional height is appropriate based on the proposed design and is not out of character for the surrounding neighborhood.

In conclusion, staff believes that the project meets the intent of the Redevelopment Plan and goals, which encourage the development of new residential uses. The design of the project is consistent in both the height and scale of the surrounding neighborhood. The proposed project is consistent with the quality of design of the row houses located throughout the Tremont/Cleveland Street neighborhood.

COMMISSION OR COMMITTEE REPORTS

The Redevelopment Design Review Committee (RDRC) reviewed the project at its February 15, 2008, meeting and approved the project on a 3-0 vote.

The Redevelopment Advisory Committee (RAC) reviewed the project at its February 27, 2008, meeting and approved the project on a 6-0 vote with a condition that no stairway is allowed in the upper mezzanine as well as no living area.

FISCAL IMPACT

The proposed project will add approximately \$47,000 of tax increment yearly to the project area.

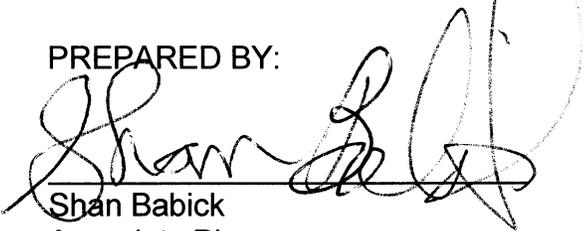
CITY ATTORNEY'S ANALYSIS

Pursuant to Oceanside Zoning Ordinance Article 4102, the Commission is authorized to hold a public hearing on this project's applications. Consideration of the project should be based on the evidence presented at the public hearing. After conducting the public hearing, the Commission shall approve, conditionally approve, or disapprove the project. The resolution has been reviewed and approved as to form by the City Attorney.

RECOMMENDATION

Staff recommends that the Commission adopt the resolution approving Tentative Parcel Map, Development Plan, Variation, Regular Coastal Permit and Conditional Use Permit for the construction of four single-family row houses located at 519-523 North Tremont Street.

PREPARED BY:



Shan Babick
Associate Planner

SUBMITTED BY:



Peter A. Weiss
Executive Director

REVIEWED BY:

Michelle Skaggs Lawrence, Deputy City Manager
Jane McVey, Economic and Community Development Director
Kathy Baker, Redevelopment Manager



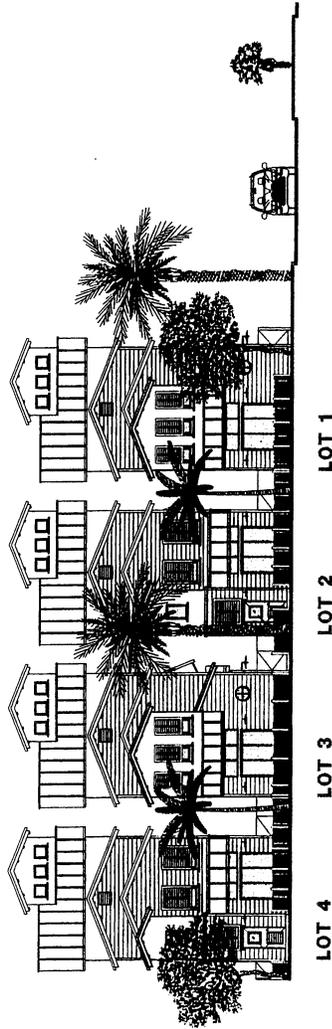
EXHIBITS/ATTACHMENTS

1. Resolution
2. Site Plan / Floor Plans / Elevations
3. Notice of Exemption
4. Historical Analysis

RECEIVED

MAR 03 2008

OCEANSIDE REDEVELOPMENT



LOT 4 LOT 3 LOT 2 LOT 1

FRASER - COVELL ROW HOMES

HISTORICAL:
 DAVID L. COVILL, P.L.A. RFA
 11729 GOLDEN BIRCH WAY
 SAN DIEGO, CA 92121
 PHONE: (619) 543-2181
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GEOTECHNICAL ENGINEER:
 TAYLOR GROUP, INC.
 175 PIER VIEW WAY
 OCEANSIDE, CA 92054
 PHONE: (760) 731-3939
 FAX: (760) 731-3939

CIVIL ENGINEER:
 TAYLOR GROUP, INC.
 175 PIER VIEW WAY
 OCEANSIDE, CA 92054
 PHONE: (760) 731-3939
 FAX: (760) 731-3939

PROJECT DATA:
 SITE INFORMATION:
 19,200 SQ. FT.
 232 ACRES
 ZONING INFORMATION:
 REDEVELOPMENT PLAN
 DISTRICT, SUBDISTRICT 5
 BUILDING INFORMATION:
 LOT AREA
 BUILDING AREA (TYPE A)
 BUILDING COVERAGE
 LOT 2 AREA
 BUILDING AREA (TYPE B)
 BUILDING COVERAGE
 LOT 3 AREA
 BUILDING AREA (TYPE A)
 BUILDING COVERAGE
 LOT 4 AREA
 BUILDING AREA (TYPE B)
 BUILDING COVERAGE

SHEET SCHEDULE:
 A-1 COVER SHEET
 A-2 SITE PLAN
 C-1 TENTATIVE PARCEL MAP
 C-2 CIVIL - DEVELOPMENT PLAN
 L-1 LANDSCAPE - EXISTING TREE SURVEY
 L-2 LANDSCAPE - LANDSCAPE CONCEPT PLAN
 L-3 LANDSCAPE - LANDSCAPE DETAILS
 A-3 PLAN A - UNIT FLOOR PLANS
 A-4 PLAN A - EXTERIOR ELEVATIONS
 A-5 PLAN A - BUILDING SECTIONS
 A-6 PLAN B - UNIT FLOOR PLANS
 A-7 PLAN B - EXTERIOR ELEVATIONS
 A-8 PLAN B - BUILDING SECTIONS

PROJECT ADDRESS:
 918 N. TREMONT
 OCEANSIDE, CA 92054

A.P.N.:
 141-094-01-02

LEGAL DESCRIPTION:
 THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 344, MADE BY CHIEF OF TITLE AND FILED FOR RECORD IN THE COUNTY OF SAN DIEGO COUNTY, JULY 1, 1989, LOT 2 IN BLOCK B LYING PARTLY IN THE TOWN OF OCEANSIDE, CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 344, MADE BY CHIEF OF TITLE AND FILED FOR RECORD IN THE COUNTY OF SAN DIEGO COUNTY, JULY 1, 1989, AND PARTLY IN LOTS 3, 4 AND 5 OF MAP NO. 344, MADE BY CHIEF OF TITLE AND FILED FOR RECORD IN THE COUNTY OF SAN DIEGO COUNTY, JULY 1, 1989, AND ALSO MAP NO. 344, MADE BY CHIEF OF TITLE AND FILED FOR RECORD IN THE COUNTY OF SAN DIEGO COUNTY, JULY 1, 1989, IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY.

DESCRIPTION OF WORK:
 REDESIGN AND REDEVELOPMENT OF THE LOT 2, 3, 4 AND 5 OF MAP NO. 344, MADE BY CHIEF OF TITLE AND FILED FOR RECORD IN THE COUNTY OF SAN DIEGO COUNTY, JULY 1, 1989, AND ALSO MAP NO. 344, MADE BY CHIEF OF TITLE AND FILED FOR RECORD IN THE COUNTY OF SAN DIEGO COUNTY, JULY 1, 1989, IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY.

LOCATION MAP:
 OCEANSIDE, CALIFORNIA



PLANNING APPLICATIONS:
 TENTATIVE PARCEL MAP P-200-09
 DEVELOPMENT PLAN V-200-09
 CONDITIONAL USE PERMIT C-200-09
 VARIATION V-200-09
 REGULAR COASTAL PERMIT RC-200-09

OWNERS/APPLICANTS:

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 GRAHAM FRASER
 11729 GOLDEN BIRCH WAY
 OCEANSIDE, CA 92054
 PHONE: (760) 586-6869

923 N. TREMONT (LOT 3 & 4)
 MARY V. COVELL
 11729 GOLDEN BIRCH WAY
 OCEANSIDE, CA 92054
 PHONE: (760) 433-4612
 FAX: (760) 41-2981

ARCHITECT:

4 DESIGN ARCHITECTURE & PLANNING
 11729 GOLDEN BIRCH WAY
 TROY, OH 45375
 P.O. BOX 849
 TROY, OH 45375
 PHONE: (513) 433-4612
 FAX: (513) 433-2810

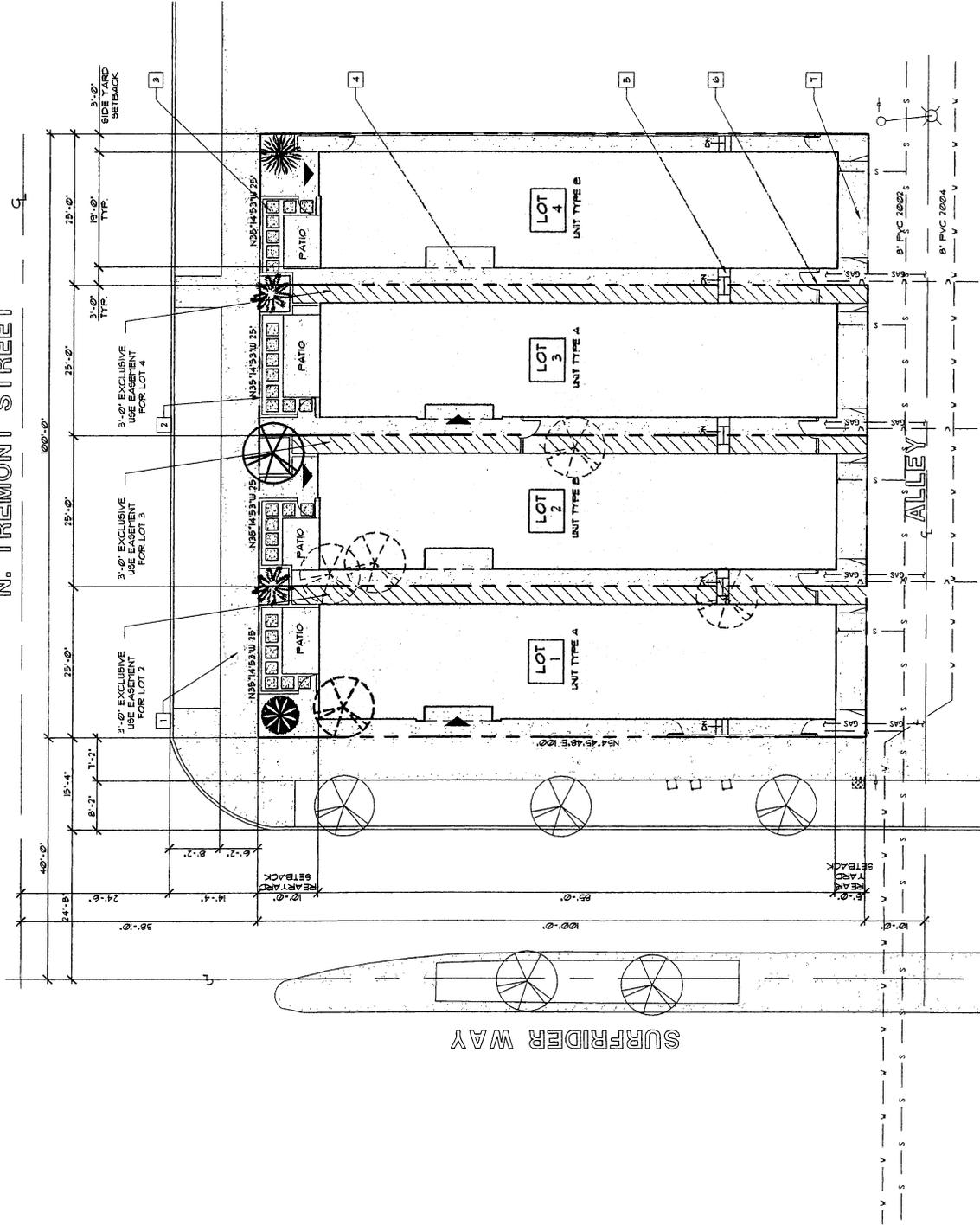
COVER SHEET

FINAL PLANNING SUBMITTAL

A-1
 071-69A

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N. TREMONT STREET



SITE PLAN NOTES

- 1. EXISTING SIDEWALK
- 2. 36" VINYL PICKET FENCE
- 3. 24"x24" PAVERS, SEE LANDSCAPE DRAWINGS
- 4. ROOF ABOVE
- 5. PLANTER ON EACH SIDE OF STEPS
- 6. 5'-0" VINYL GATE TYPICAL
- 7. 16'-0" CONCRETE APPROACH TO GARAGE TYPICAL

LEGEND:

- EXISTING UTILITY POLE
- EXISTING STREET LIGHT
- EXISTING UTILITY BOX
- ⊗ EXISTING TREE TO BE REMOVED
- ⊗ EXISTING TREE TO REMAIN
- ⊗ EXISTING TREE TO BE RELOCATED
- ⊗ EXISTING RELOCATED TREE
- ⊗ EXISTING SHRUB TO REMAIN
- ⊗ NEW PALM TREE, SEE LANDSCAPE DRAWINGS
- ⊗ NEW TREE, SEE LANDSCAPE PLAN
- ⊗ EXISTING ELECTRICAL TRANSFORMER
- ▲ MAIN ENTRY
- PROPERTY LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE

SITE PLAN

SCALE 1/8" = 1'-0"



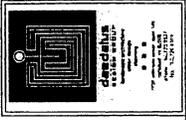
FINAL PLANNING SUBMITTAL

A-2

07-619A

FRASER - COVELL ROW HOMES - OCEANSIDE

12.19.07
3.3.08



FRASER- COVELL ROW HOMES
 519 R & 523 N TREMONT
 OLYMPIA, WASHINGTON

DATE: 10/15/24
 SCALE: 1" = 10'-0"
 DRAWN BY: JSP
 CHECKED BY: JS

ISSUE NO. DATE
 1 10/15/24
 2 11/15/24
 3 12/15/24

REVISIONS DATE
 1
 2
 3

EXISTING TREE SURVEY
 SHEET TITLE

PROJECT NO.: 2424

SHEET: **L1**
 OF 3 SHEETS

PRELIMINARY NOT FOR CONSTRUCTION

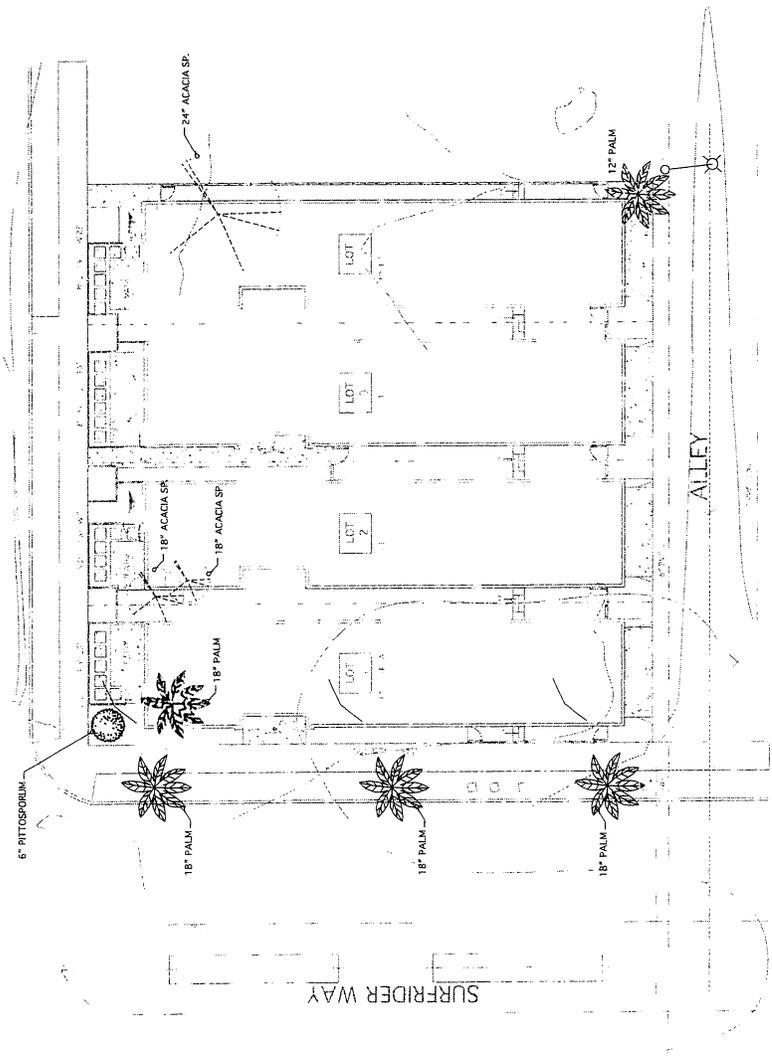
PLOT DATE: 2/26/27



EXISTING TREE SURVEY

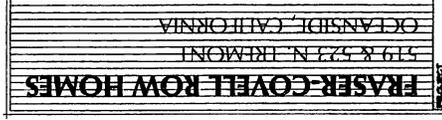
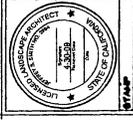
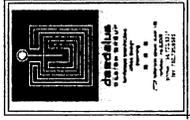
SYMBOL	DESCRIPTION
	EXISTING WASHINGTONIA ROBURATA PALM TREES TO REMAIN. REFER TO THE PLAN FOR TRUNK CALIPER SIZE
	EXISTING WASHINGTONIA ROBURATA PALM TREES TO BE REMOVED. REFER TO THE PLAN FOR TRUNK CALIPER SIZE
	EXISTING ACACIAS TO BE REMOVED. REFER TO THE PLAN FOR TRUNK CALIPER SIZE
	EXISTING PITTOSPORUM TOBIRA TO REMAIN. REFER TO THE PLAN FOR TRUNK CALIPER SIZE

N. TREMONT STREET



SURFRIDER WAY

ALLEY



DATE	10/01/07
SCALE	1" = 10'-0"
DRAWN BY	MP
CHECKED BY	J

ISSUE NO.	DATE
SUBMITTAL	
SUBMITTAL	07/1/08

NO.	DATE
1	
2	
3	

DETAILS

PROJECT NO. 0202

SHEET: **L3**

OF 3 SHEETS

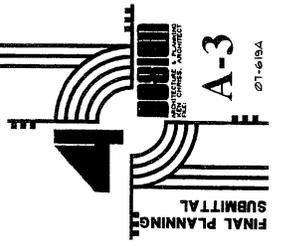
PRELIMINARY NOT FOR CONSTRUCTION

PLOT DATE: 2/26/07

<p>VERTICAL VINYL FENCING WITH 3" SPACING</p>	<p>VINYL PICKET FENCE - LOT 1</p>	<p>VINYL PICKET FENCE - LOT 2</p>	<p>VINYL PICKET FENCE - LOT 3</p>	<p>VINYL PICKET FENCE - LOT 4</p>
<p>HORIZONTAL VINYL FENCING WITH 4" SPACING</p>	<p>SIDE YARD VINYL GATE (LOT 1 & 4)</p>			
<p>1 VINYL PICKET FENCE - LOT 1 N.T.S.</p>	<p>2 VINYL PICKET FENCE - LOT 2 N.T.S.</p>	<p>3 VINYL PICKET FENCE - LOT 3 N.T.S.</p>	<p>4 VINYL PICKET FENCE - LOT 4 N.T.S.</p>	

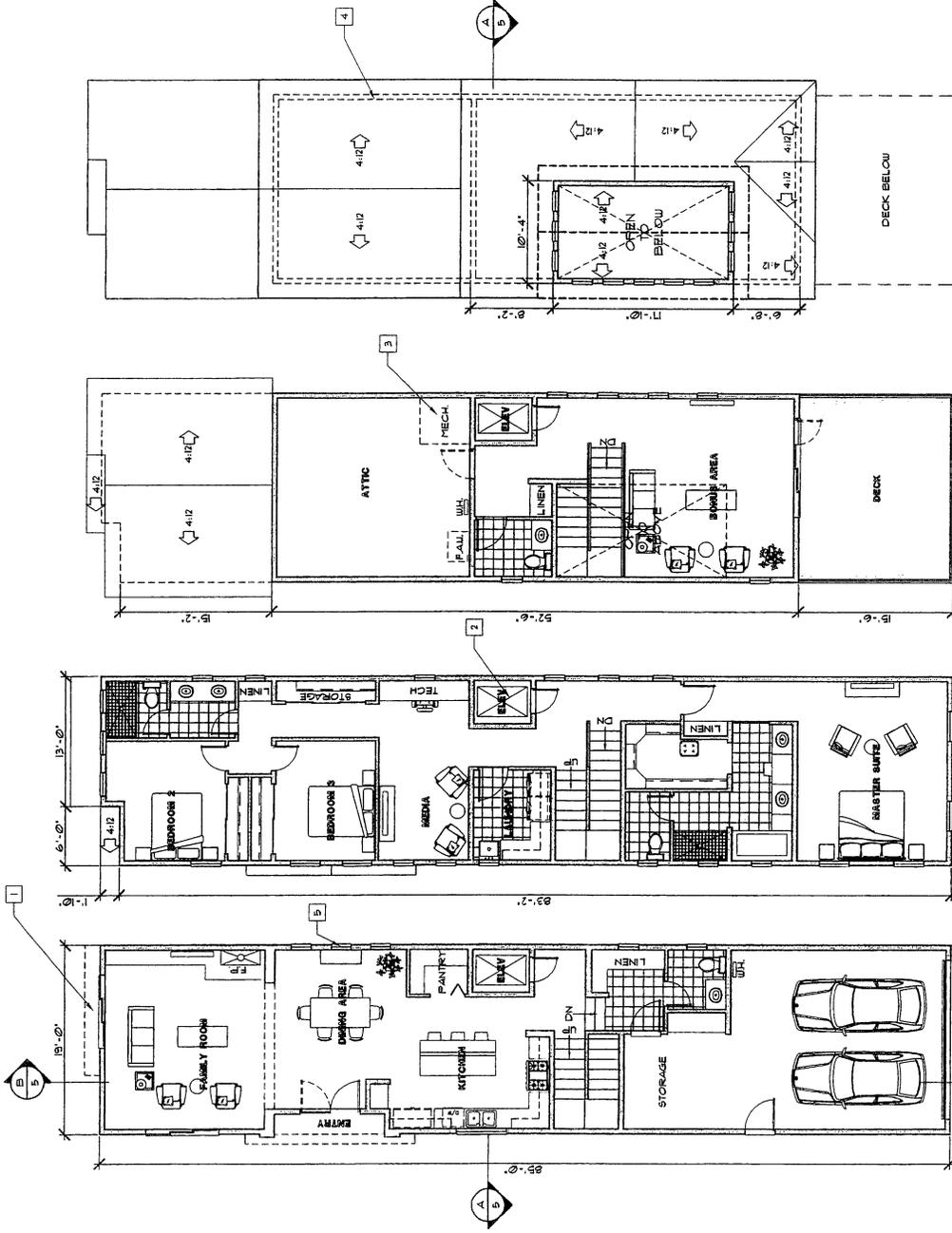
12/19/07
3.3.02B

FRASER - COVELL ROW HOMES - OCEANSIDE



FLOOR PLAN NOTES

1. ROOF ABOVE
2. ELEVATOR OPENING 4'-4" X 5'-8" COUNTER TO SPECIFY TYPE AND FINISH
3. ELEVATOR MECHANICAL AREA, IF REQUIRED
4. WALL BELOW
5. (3) 2020 WINDOWS 6'-6" AFF.



FIRST FLOOR
AREA: 933 SQ. FT.
GARAGE AREA: 500 SQ. FT.

SECOND FLOOR
AREA: 1260 SQ. FT.

THIRD FLOOR
AREA: 486 SQ. FT.
DECK AREA: 719 SQ. FT.

ROOF PLAN / CLEAR STORY

FLOOR PLANS - TYPE A
SCALE: 3/16" = 1'-0"



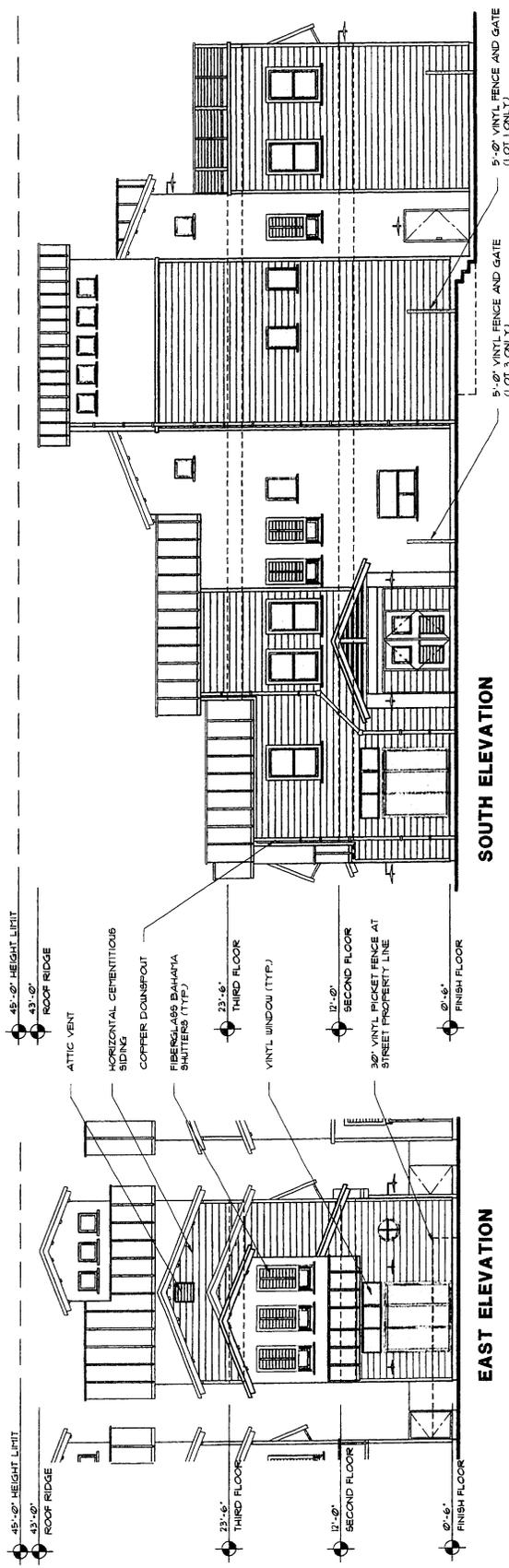
FLOOR PLANS - TYPE A

A-3

07-6/9A

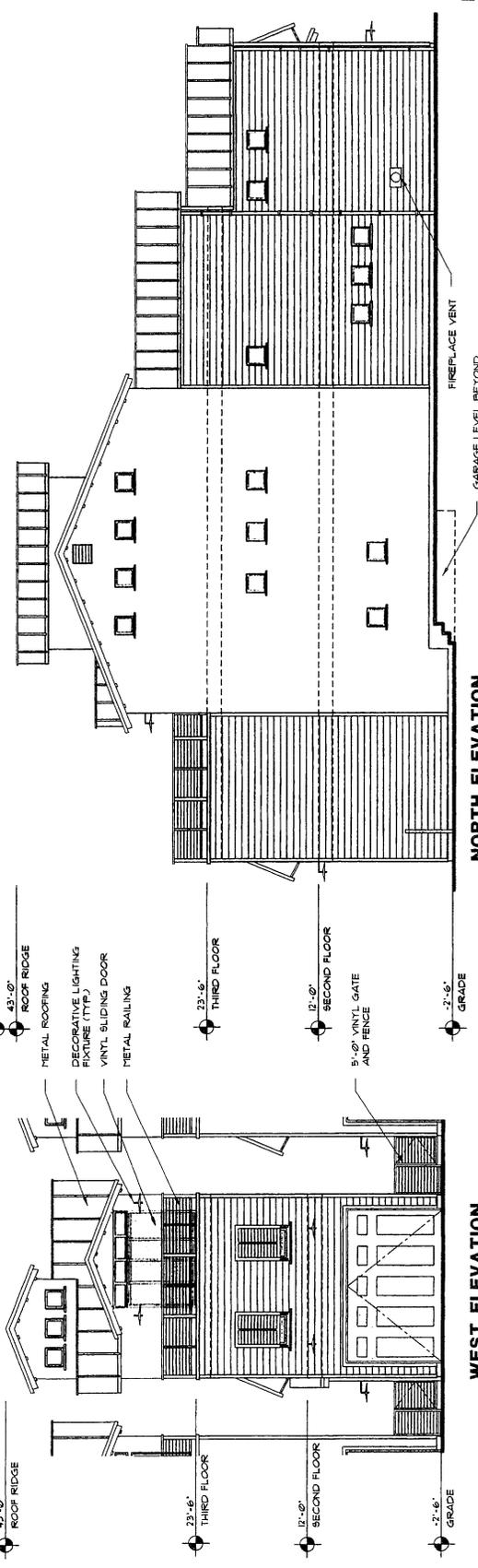
FINAL PLANNING
SUBMITTAL

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EAST ELEVATION

SOUTH ELEVATION



WEST ELEVATION

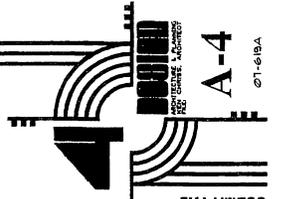
NORTH ELEVATION

EXTERIOR ELEVATIONS - TYPE A

SCALE: 3/16" = 1'-0"

ELEVATIONS - TYPE A

FINAL PLANNING
SUBMITTAL



FRASER - COVELL ROW HOMES - OCEANSIDE

12/10/20
13/3/20

A-4
071-619A

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CONSTRUCTION OUTLINE
 CONSTRUCTION TO BE TYPE V
 CONSTRUCTION. NON-RATED FIRE SPRINKLED
 CONSTRUCTION.

FLOORS: GARAGE FLOOR TO BE POURED IN
 PLACE CONCRETE ON GRADE. ALL OTHER
 FLOORING TO BE OVER FLOOR FRAMING. EXTERIOR
 DECKS TO HAVE A WATERPROOF MEMBRANE OVER
 FL-WOOD AND WOOD FRAMING.

EXTERIOR WALLS: EXTERIOR WALLS ARE TO BE
 WOOD FRAME WALLS WITH CEMENTITIOUS
 HORIZONTAL SIDING OR BUCCO SIDING AT THE
 EXTERIOR AND STYPH BOARD AT THE INTERIOR.

INTERIOR WALLS: NONBEARING WOOD FRAMING
 WITH STYPH BOARD COVERED WITH BRPAT ON
 SANGED FINISH.

ROOFING: ALL ROOFS SHALL BE METAL ROOFING
 EXCEPT DECKS. ALL EXTERIOR DECKS TO
 HAVE POSITIVE DRAINAGE AND HAVE A
 WEATHERPROOF MEMBRANE.

INSULATION: ALL EXTERIOR WALLS TO RECEIVE
 FIBERGLASS BATT INSULATION. ALL ATTIC SPACES
 TO RECEIVE FIBERGLASS BATT INSULATION TO
 MEET TITLE 24 REGULATIONS.

DOORS: EXTERIOR ENTRANCE DOORS TO BE
 SOLID CORE WOOD. INTERIOR DOORS TO BE 1-3/8"
 RAISED PANEL FIBERGLASS DOORS.

METAL: ALL NON-FINISHED EXPOSED METAL
 SHALL BE GALVANIZED.

GLASS AND GLAZING: ALL WINDOWS TO BE VINYL
 FRAMED DUAL GLAZED, DELIVERED PRE-GLAZED
 AND WITH SCREENS.

CABINETS: ALL CABINETS TO BE HARDWOOD
 CUSTOM GRADE.

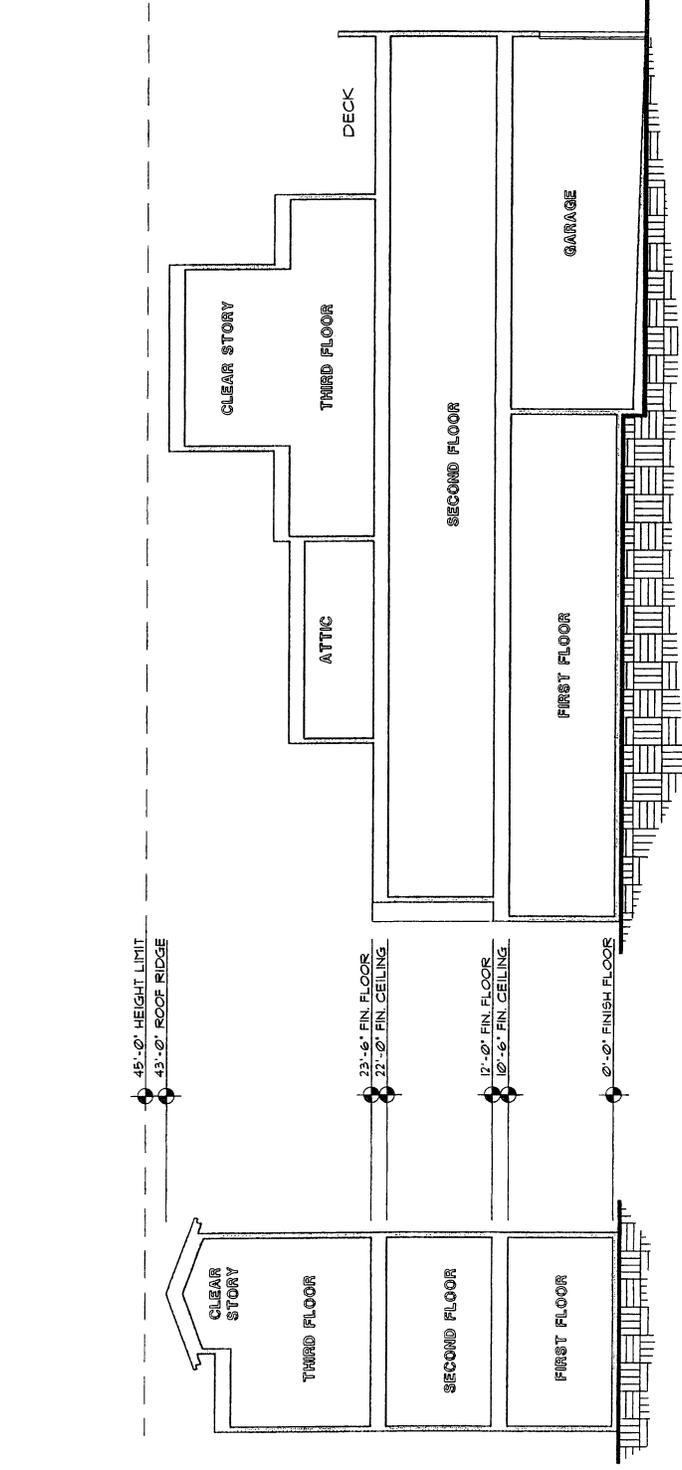
PAINTING: EXTERIOR EXPOSED CEMENTITIOUS
 SIDING TO RECEIVE TWO COATS OF HEAVY BODIED
 STAIN. INTERIORS EMPLOYED TO BE PAINTED ONE
 WORKMANSHIP TO BE IN THE BEST PRACTICE AND
 WITH QUALITY MATERIALS.

PLUMBING: ALL FIXTURES TO BE 'AMERICAN
 STANDARD' OR AN APPROVED EQUAL. ALL
 PLUMBING TO BE INSTALLED AS PER THE U.P.C.
 WATER SUPPLY AND GAS TO BE WATER SAVING TYPE.
 WATER HEATERS TO BE GAS-FIRED.

MECHANICAL: CENTRAL FORCED AIR
 SYSTEMS TO BE INSTALLED (AS APPLICABLE)
 AND A WHOLE-HOUSE FAN SHALL BE INSTALLED.
 GAS SUPPLY SHALL BE INSTALLED ON DECK AND
 ROOF DECK.

ELECTRICAL: ALL ELECTRICAL WORK TO BE PER
 THE NATIONAL ELECTRIC CODE. ALL ELECTRICAL
 SERVICE TO BE UNDERGROUND.

OTHER: INSTALL CENTRAL VACUUM SYSTEM AND
 BUILT-IN SOUND SYSTEM.

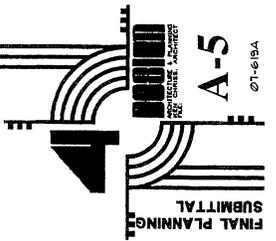


SECTION B

SECTION A

SECTIONS - TYPE A

SCALE: 3/16" = 1'-0"



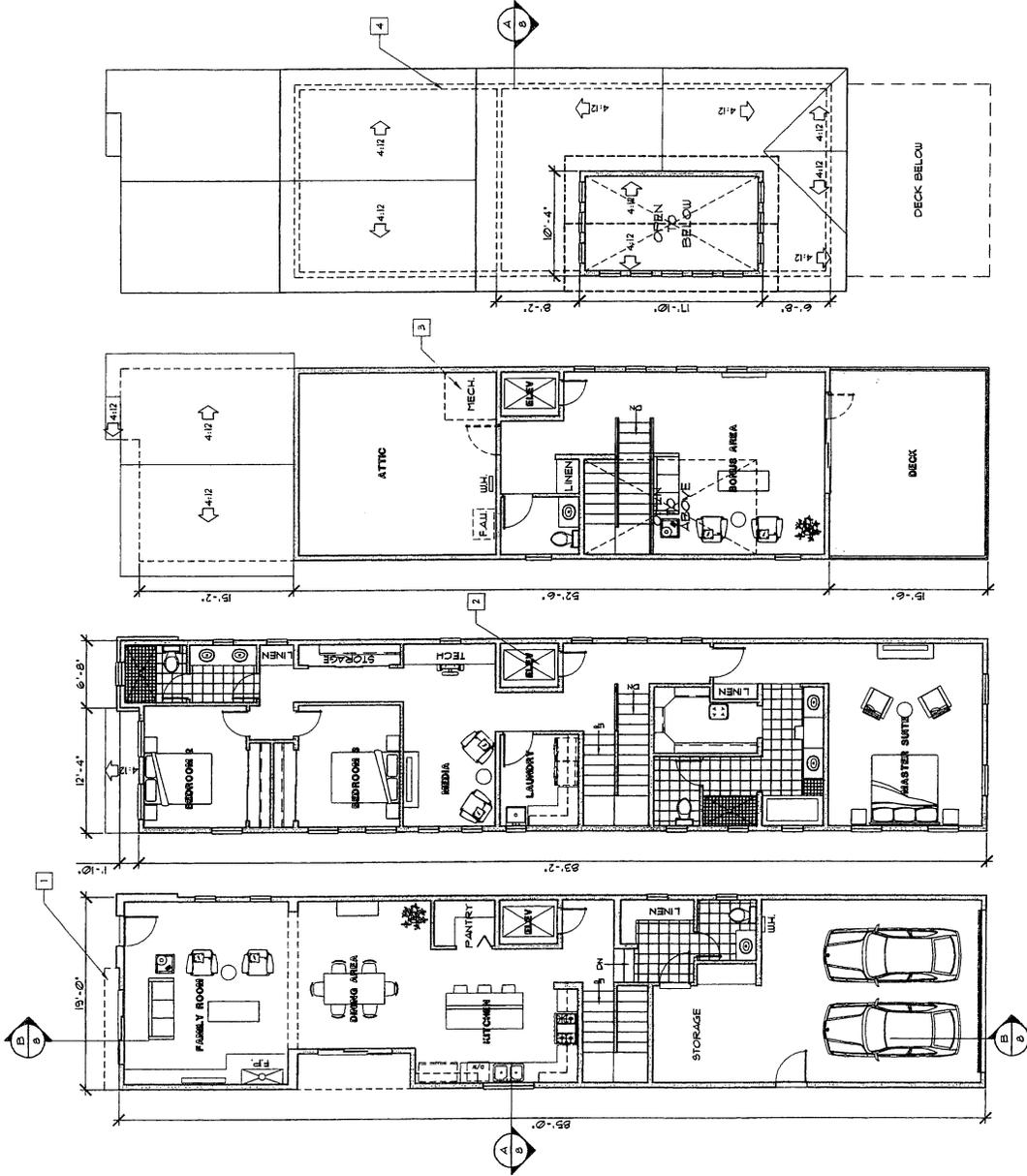
12/18/07
3.3.08

FRASER - COVELL ROW HOMES - OCEANSIDE

FINAL PLANNING
SUBMITTAL
A-6
071-619A

FLOOR PLAN NOTES

1. ROOF ABOVE
2. ELEVATOR OPENINGS 4'-4" X 5'-9" EVERY 3'-0" ON CENTER TO SPECIFY TYPE AND FINISH
3. ELEVATOR MECHANICAL AREA, IF REQUIRED
4. WALL BELOW

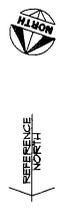


FIRST FLOOR
AREA: 984 SQ. FT.
GARAGE AREA: 560 SQ. FT.

SECOND FLOOR
AREA: 1493 SQ. FT.

THIRD FLOOR
AREA: 486 SQ. FT.
DECK AREA: 218 SQ. FT.

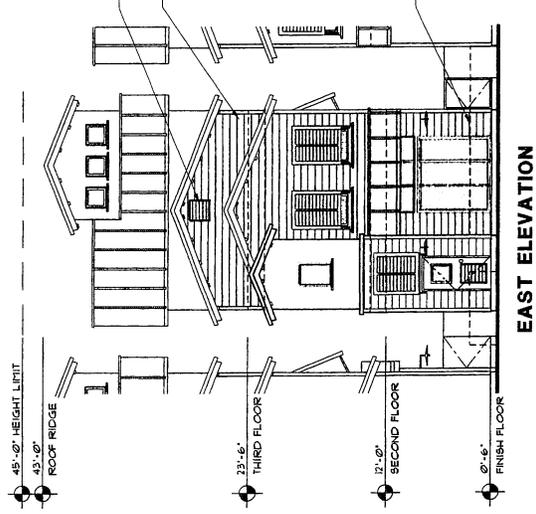
FLOOR PLANS - TYPE B
SCALE: 3/16" = 1'-0"



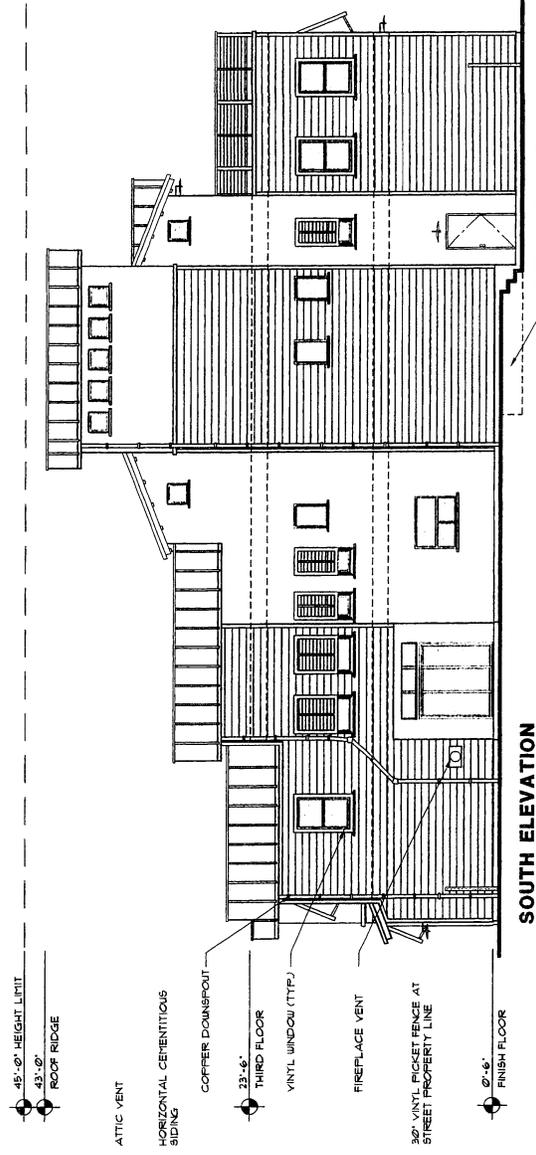
ROOF PLAN / CLEAR STORY

FLOOR PLANS - TYPE B

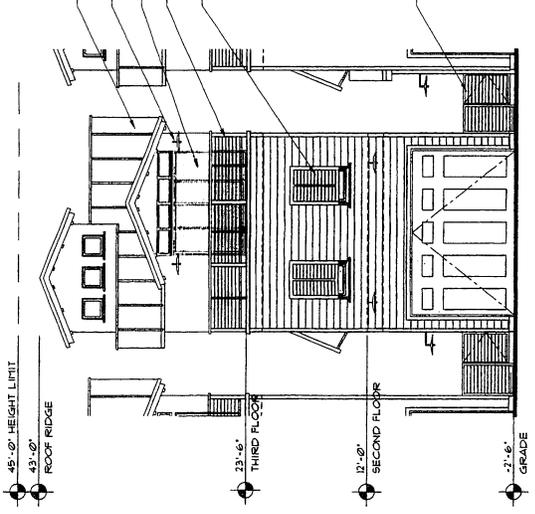
THIS DRAWING AND THE INFORMATION PROVIDED ARCHITECTURAL DESIGN CONCEPTS AND ITS ILLUSTRATIONS ARE THE PROPERTY OF DESIGN ARCHITECTURE AND PLANNING. THIS DRAWING AND INFORMATION IS A INSTRUMENT OF SERVICE PROVIDED FOR USE ON THE SPECIFIED PROJECT IDENTIFIED USE OF THE INFORMATION AND THIS DRAWING WITHOUT WRITTEN CONSENT AND PARTICIPATION OF DESIGN ARCHITECTURE AND PLANNING IS PROHIBITED.



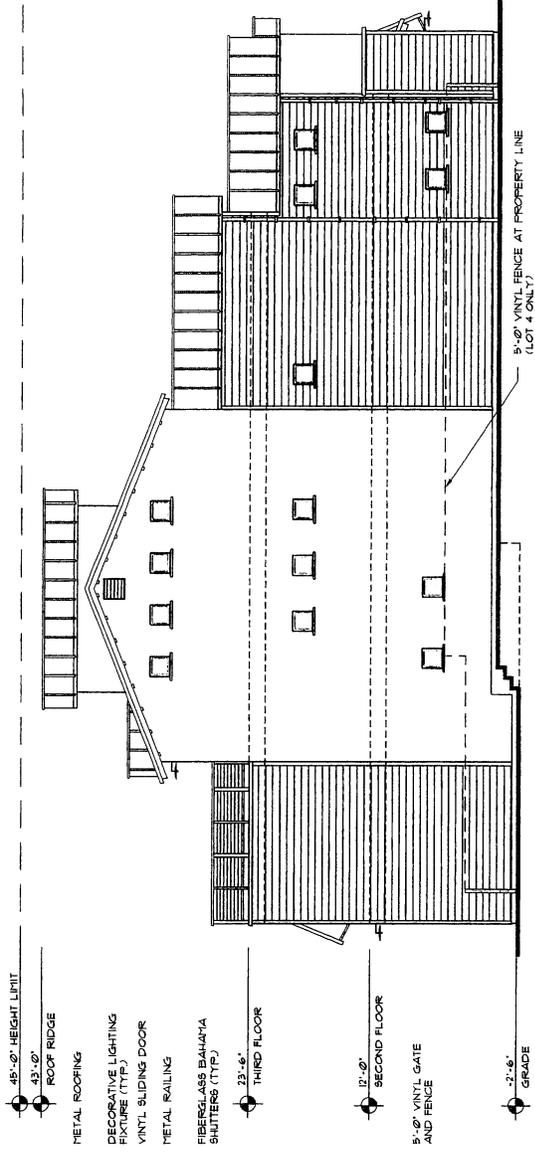
EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION

EXTERIOR ELEVATIONS - TYPE B

SCALE: 3/16" = 1'-0"

45'-0" HEIGHT LIMIT
43'-0" ROOF RIDGE
ATTIC VENT
HORIZONTAL CEMENTITIOUS SIDING
COPPER DOWNSPOUT
23'-6" THIRD FLOOR
VINYL WINDOW (TYP)
FIREPLACE VENT
30" VINYL PICKET FENCE AT STREET PROPERTY LINE
0'-6" FINISH FLOOR
GARAGE LEVEL BEYOND

45'-0" HEIGHT LIMIT
43'-0" ROOF RIDGE
METAL ROOFING
DECORATIVE LIGHTING FIXTURE (TYP)
VINYL SLIDING DOOR
METAL RAILING
FIBERGLASS BAHAMA SHUTTERS (TYP)
23'-6" THIRD FLOOR
12'-0" SECOND FLOOR
5'-0" VINYL GATE AND FENCE
0'-6" GRADE
5'-0" VINYL FENCE AT PROPERTY LINE (LOT 4 ONLY)

12.18.07
3.3.09

DESIGN ARCHITECTURE AND PLANNING
ARCHITECTS

A-7

FINAL PLANNING SUBMITTAL

Ø1-619A

ELEVATIONS - TYPE B

CONSTRUCTION OUTLINE
 CONSTRUCTION TO BE TYPE Y
 WOOD FRAMING, NON-RATED FIRE SPRINKLED
 CONSTRUCTION

FLOORS: GARAGE FLOOR TO BE POURED IN PLACE CONCRETE. OTHER FLOORS TO BE PLTWOOD OVER WOOD FLOOR FRAMING. EXTERIOR DECKS TO HAVE A WATERPROOF MEMBRANE OVER PLTWOOD AND WOOD FRAMING.

EXTERIOR WALLS: EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2" MINIMUM THICKNESS HORIZONTAL SIDING OR STUCCO SIDING AT THE EXTERIOR AND GYPFRAM BOARD AT THE INTERIOR.

INTERIOR WALLS: NON-BEARING WOOD FRAMING WITH GYPFRAM BOARD COVERED WITH SPRAY ON SANDED FINISH.

ROOFING: ALL ROOFS SHALL BE METAL ROOFING. EXTERIOR DECKS: ALL EXTERIOR DECKS TO HAVE POSITIVE DRAINAGE AND HAVE A WEATHERPROOF MEMBRANE.

INSULATION: ALL EXTERIOR WALLS TO RECEIVE INSULATION. INSULATION ON ALL ATTIC SPACES TO BE R-19. INSULATION ON ALL ROOFS TO MEET TITLE 24 REGULATIONS.

DOORS: EXTERIOR ENTRANCE DOORS TO BE SOLID CORE WOOD INTERIOR DOORS TO BE 1-3/8" RAISED PANEL FIBERGLASS DOORS.

METAL: ALL NON-FINISHED EXPOSED METAL SHALL BE GALVANIZED.

GLASS AND GLAZING: ALL WINDOWS TO BE VINYL OR ALUMINUM CLAD, DELIVERED PRE-GLAZED AND WITH SCREENS.

CABINETS: ALL CABINETS TO BE HARDWOOD CUSTOM GRADE.

PAINTING: EXTERIOR EXPOSED CERAMIC TILE, STAIN, INTERIOR SURFACES TO BE PAINTED ONE COAT PRIMER AND ONE COAT PAINT. WORKMANSHIP TO BE IN THE BEST PRACTICE AND WITH QUALITY MATERIALS.

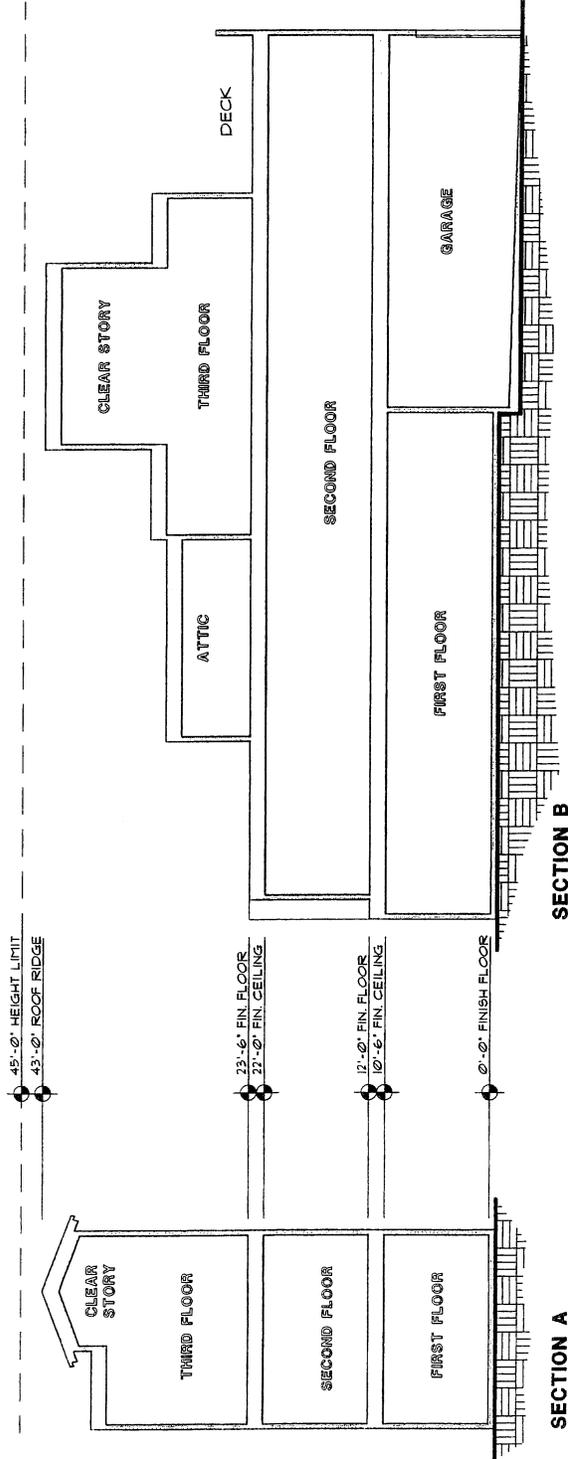
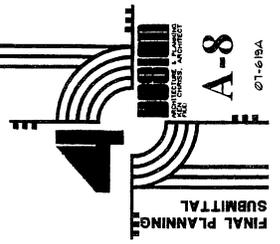
PLUMBING: ALL FIXTURES TO BE "AMERICAN STANDARD" OR AN APPROVED EQUAL. ALL WATER CLOSURES TO BE WATER SAVING TYPE. WATER HEATERS TO BE GAS-FIRED.

MECHANICAL: CENTRAL FORCED AIR HEATING/COOLING UNIT (HEAT TO BE GAS-FIRED) AND A WHOLE-HOUSE FAN SHALL BE INSTALLED. GAS SPLIT SHALL BE INSTALLED ON DECK AND ROOF DECK.

ELECTRICAL: ALL ELECTRICAL WORK TO BE PER THE NATIONAL ELECTRIC CODE. ALL ELECTRICAL SERVICE TO BE UNDERGROUND.
 OTHERS: INSTALL CENTRAL VACUUM SYSTEM AND BUILT-IN SOUND SYSTEM.

FRASER - COVELL ROW HOMES - OCEANSIDE

17.19.07
 3.2.08



SECTIONS - TYPE B

SCALE: 3/16" = 1'-0"

SECTIONS - TYPE B

RESOLUTION NO. 08-

1
2 A RESOLUTION OF THE COMMUNITY DEVELOPMENT
3 COMMISSION OF THE CITY OF OCEANSIDE APPROVING
4 A TENTATIVE PARCEL MAP, DEVELOPMENT PLAN,
5 CONDITIONAL USE PERMIT, VARIATION AND REGULAR
6 COASTAL PERMIT FOR THE CONSTRUCTION OF FOUR
7 SINGLE FAMILY ROW HOUSES LOCATED AT 519-523
8 NORTH TREMONT STREET - APPLICANT: FRASER
9 COVELL

10 WHEREAS, on April 2, 2008, the Community Development Commission held its duly
11 noticed public hearing, considered an application for a Tentative Parcel Map (P-200-08),
12 Development Plan (D-200-08), Conditional Use Permit (C-200-08), Variation (V-200-08) and
13 Regular Coastal Permit (RC-201-08) for the construction of four single family row houses
14 located at 519-523 North Tremont Street;

15 WHEREAS, the Redevelopment Design Review Committee (RDRC) of the City of
16 Oceanside did, on February 15, 2008 review and recommend approval of Tentative Parcel Map
17 (P-200-08), Development Plan (D-200-08), Conditional Use Permit (C-200-08), Variation (V-
18 200-08) and Regular Coastal Permit (RC-201-08);

19 WHEREAS, the Redevelopment Advisory Committee (RAC) of the City of Oceanside
20 did, on February 27, 2008 review and recommend approval of Tentative Parcel Map (P-200-08),
21 Development Plan (D-200-08), Conditional Use Permit (C-200-08), Variation (V-200-08) and
22 Regular Coastal Permit (RC-201-08);

23 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,
24 dedication, reservation or other exaction to the extent permitted and as authorized by law;

25 WHEREAS, a Categorical Exemption was prepared by the Resource Officer of the City
26 of Oceanside for this application pursuant to the California Environmental Quality Act of 1970
27 and the State Guidelines implementing the Act. The project is considered an infill development
28 and will not have a detrimental effect on the environment;

WHEREAS, there is hereby imposed on the subject development project certain fees,
dedications, reservations and other exactions pursuant to state law and city ordinance;

WHEREAS, pursuant to Government Code §66020(d)(1), NOTICE IS HEREBY
GIVEN that the Project is subject to certain fees, dedications, reservations and other exactions
as provided below:

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<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
Parkland Dedication/Fee	Ordinance No. 91-10 Resolution No. 05-R0628-1	\$3,503 per unit
Drainage Fee	Ordinance No. 85-23 Resolution No. 05-R0628-1	\$2,843 per acre
Public Facility Fee	Ordinance No. 91-09 Resolution No. 05-R0628-1	\$2,072 per unit
School Facilities Mitigation Fee	Ordinance No. 91-34	\$2.63 per square foot
Traffic Signal Fee	Ordinance No. 87-19	\$15.71 per vehicle trip
Thoroughfare Fee	Ordinance No. 83-01	\$255 per vehicle trip (based on SANDAG trip generation table)
Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 05-OR 0611-1	Fee based on water meter size. Residential is typically \$3,746 per unit;
Wastewater System Buy-in fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 05-OR 0610-1	Based on meter size. Residential is typically \$4,587 per unit;
San Diego County Water	SDCWA Ordinance No.	Based on meter size.

1	<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
2			
3			
4	Authority Capacity Fees	2005-03	Residential is typically \$4,154 per unit
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6			

7 WHEREAS, the current fees referenced above are merely fee amount estimates of the
8 impact fees that would be required if due and payable under currently applicable ordinances and
9 resolutions, presume the accuracy of relevant project information provided by the applicant, and
10 are not necessarily the fee amounts that will be owing when such fees become due and payable;

11 WHEREAS, unless otherwise provided by this resolution, all impact fees shall be
12 calculated and collected at the time and in the manner provided in Chapter 32B of the
13 Oceanside City Code and the City expressly reserves the right to amend the fees and fee
14 calculations consistent with applicable law;

15 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,
16 dedication, reservation or other exaction to the extent permitted and as authorized by law;

17 WHEREAS, pursuant to Government Code §66020(d)(1), NOTICE IS FURTHER
18 GIVEN that the 90-day period to protest the imposition of any fee, dedication, reservation, or
19 other exaction described in this resolution begins on the effective date of this resolution and any
20 such protest must be in a manner that complies with Section 66020; and

21 WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes
22 effective upon its adoption.

23 NOW, THEREFORE, the Community Development Commission of the City of
24 Oceanside does resolve as follows:

25 FINDINGS:

26 **For the Tentative Parcel Map:**

1. The proposed condominium meets the requirement of the Subdistrict 5 zoning designation in that the project creates four 2,500 square foot lots on two existing legal lots as stipulated within Article 12 of the Downtown District development standards. The subdivision

1 map is consistent with the General Plan, Redevelopment Plan, Local Coastal Program, Article 12
2 of the Downtown District and the Subdivision Ordinance of the City of Oceanside by creating four
3 2,500 square foot lots from two existing legal lots.

4 2. The proposed building on the site will conform to the topography of the site,
5 therefore, making it suitable for residential development. The subject site is physically suitable to
6 allow for the development of four 2,500 square foot lots.

7 3. The subdivision complies with all other applicable ordinances, regulations and
8 guidelines of the City.

9 4. The design of the subdivision or proposed improvements will not conflict with
10 easements, acquired by the public at large, for access through or use of property within the
11 subdivision.

12 5. The design of the subdivision or the proposed improvements will not cause
13 substantial environment damage or substantially and avoidably injure fish or wildlife or their
14 habitat because the proposed project is an infill site that does not contain any sensitive habitat, river
15 or blue stream, wildlife, cultural resources, riparian habitat, sensitive landforms and/or geologic
16 formations or minerals, sensitive fauna and marine life.

17 **For the Development Plan:**

18 1. The site plan and physical design of the project as proposed is consistent with the
19 purposes of the City's Zoning Ordinance and the "D" Downtown District in that the
20 architectural design of the proposed structures and the landscaping of the open space meets or
21 exceeds the minimum development standards of the "D" Downtown District. The proposed
22 project meets the minimum setbacks with the Variation, landscape, open space, height and
23 parking spaces as stipulated within the "D" Downtown District development standards. In
24 addition, the project is consistent with the similar row house developments located within the
25 surrounding neighborhood.

26 2. The Development Plan as proposed conforms to the Redevelopment Plan, Local
27 Coastal Program and General Plan of the City in that the proposed four single family row
28 houses development is consistent with the land uses of the Redevelopment Plan and the project
meets the minimum setbacks with the Variation, landscape, open space, height and parking
spaces as stipulated within the "D" Downtown District development standards. In addition, the

1 project is consistent with similar row house developments located within the surrounding
2 neighborhood.

3 3. The area covered by the Development Plan can be adequately, reasonably and
4 conveniently served by existing and planned public services, utilities and public facilities. The
5 proposed four single family row houses will not create public service and facility demands
6 exceeding the capacity of existing and planned infrastructure. The project proposes to “tie
7 into” both the existing sewer and water lines.

8 4. The proposed project, four single family row houses, is compatible with similar
9 row house developments within the surrounding neighborhood in that in comparing the project's
10 product type and corresponding square footages to the unit types and square footages that exist in
11 the area, it can be found that the proposed unit sizes are comparable in size and would have a
12 positive effect on the area.

13 5. The site plan and physical design of the project is consistent with Section 1.24 and
14 1.25 of the Land Use Element of the General Plan, and Section 3039 of the Oceanside Zoning
15 Ordinance in that there is only 3 foot grade differentials from the highest and lowest points of the
16 subject site and therefore the project does not qualify for Section 3039 C. (Hillside Regulations) of
17 the Oceanside Zoning Ordinance nor Section 1.24 and 1.25 of the Land Use Element of the
18 General Plan.

19 **For the Regular Coastal Permit:**

20 1. The granting of the Regular Coastal Permit is consistent with the purposes of the
21 California Coastal Act of 1976. The proposed four single family row houses are consistent with
22 the High Density Land Use as depicted in the Local Coastal Program Land Use Map. In
23 addition, the project does not impede public access to the beach because the subject site is
24 located over 800-feet east of the beach. In addition, the project provides a 10 foot front yard
25 setback which is consistent with typical front yard setbacks located on North Tremont Street,
26 therefore, impacts on public coastal views is minimal.

27 2. The proposed project is consistent with the policies of the Local Coastal Program
28 as implemented through the City Zoning Ordinance. The proposed four unit single family row
houses are consistent with the High Density Land Use as depicted in the Local Coastal Program
Land Use Map. In addition, the project will not substantially alter or impact the existing public

1 coastal views through the public rights-of-way view corridors by providing a 10 foot front yard
2 setback.

3 3. The proposed project will not obstruct any existing or planned public beach
4 access; therefore, the project is in conformance with the policies of Chapter 3 of the Coastal
5 Act. The proposed project provides a 10 foot front yard setback and the subject site is located
6 over 800 feet east of the beach.

7 **Variation for the Reduction of the Corner Side yard Setback:**

8 1. The application of certain regulations and development standards would result in
9 practical difficulties inconsistent with the intent of the Redevelopment Plan. The encroachment
10 of seven-feet into the corner side yard setback is consistent with similar row house development
11 in the Redevelopment Project Area. In addition, the parkway on Surfrider Way is 13-feet in
12 width which is an adequate sight distance for vehicles.

13 2. The exceptional circumstance is the increased parkway width (13-feet) which is
14 an adequate sight distance for vehicles and does not compromise public health or welfare. In
15 addition, there are several similar row house developments located in the vicinity which has the
16 same seven foot encroachment into the corner side yard setback area.

17 3. Permitting the Variation will not be materially detrimental to the public welfare
18 or injurious to other properties or improvements within Subdistrict 5 zone because there is
19 adequate sight distance and are consistent with similar row house development located within
20 the Redevelopment Project Area.

21 4. Permitting the Variation will not be contrary to the objectives and goals of the
22 Redevelopment Plan.

23 **Conditional Use Permit to Allow for a Maximum Height of 45 Feet:**

24 1. That the proposed location of the additional building height is in accord with the
25 objectives of this ordinance and the purposes of the district in which the site is located. The subject
26 site is located east of the railroad tracks and the Downtown "D" District allows a building to
27 increase the maximum height from 35 to 45 feet for structures located east of the railroad tracks.

28 2. That the proposed location of the conditional use and the proposed conditions
under which it would be operated or maintained will be consistent with the General Plan; will
not be detrimental to the public health, safety or welfare of persons residing or working in or

1 adjacent to the neighborhood of such use; and will not be detrimental to properties or
2 improvements in the vicinity or to the general welfare of the city. The proposed restrictions for
3 the conditional use permit is consistent with the Zoning Ordinance, General Plan and
4 Redevelopment Plan and will not affect neighborhood compatibility. The proposed additional
5 building height and the conditions under which it will be allowed to operate will not be
6 detrimental to the public health, safety or welfare of persons residing or working in or adjacent
7 to the subject site.

8 3. That the proposed conditional use will comply with the provisions of this
9 ordinance, including any specific condition required for the proposed conditional use to allow for
10 the additional building height.

11 SECTION 1. That Tentative Parcel Map (P-200-08), Development Plan (D-200-08),
12 Conditional Use Permit (C-200-08), Variation (V-200-08) and Regular Coastal Permit (RC-201-
13 08) are hereby approved subject to the following conditions:

14 **Building:**

15 1. Applicable Building Codes and Ordinances shall be based on the date of
16 submittal for Building Department plan check (Currently the 2007 California
17 Building Code, 2007 California Plumbing Code and 2007 California Electrical Code).

18 2. The granting of approval under this action shall in no way relieve the
19 applicant/project from compliance with all State and local building codes.

20 3. The building plans for this project are required by State law to be prepared by a
21 licensed architect or engineer and must be in compliance with this requirement prior to
22 submittal for building plan review.

23 4. All electrical, communication, CATV, etc. service lines, within the exterior lines
24 of the property shall be underground. (City Code Sec. 6.30)

25 5. The developer shall monitor, supervise and control all building construction and
26 supportive activities so as to prevent these activities from causing a public nuisance, including, but
27 not limited to, strict adherence to the following:

- 28 a) Building construction work hours shall be limited to between 7 a.m. and
- b) 6 p.m. Monday through Friday, and on Saturday from 7 a.m. to 6 p.m. for
work that is not inherently noise-producing. Examples of work not permitted on Saturday are

1 concrete and grout pours, roof nailing and activities of similar noise-producing nature. No work
2 shall be permitted on Sundays and Federal Holidays (New Year's Day, Memorial Day, July 4th,
3 Labor Day, Thanksgiving Day, Christmas Day) except as allowed for emergency work under
4 the provisions of the Oceanside City Code Chapter 38. (Noise Ordinance)

5 c) The construction site shall be kept reasonably free of construction debris
6 as specified in Section 13.17 of the Oceanside City Code. Storage of debris in approved solid
7 waste containers shall be considered compliance with this requirement. Small amounts of
8 construction debris may be stored on-site in a neat, safe manner for short periods of time
9 pending disposal.

10 6. A complete soils report, structural and energy calculations will be required at
11 time of plans submittal to the Building Division for plan check.

12 7. Separate/unique addresses will/may be required to facilitate utility releases.
13 Verification that the addresses have been properly assigned by the City's Planning Department
14 shall accompany the Building Permit application.

15 8. Compliance with the Federal Clean Water Act (BMP's) must be demonstrated on
16 the plans.

17 9. Setbacks and Type of Construction must comply with CBC 2007. Exterior walls
18 less than 5-feet to the property line shall have one-hour rated per the California Building Code
19 (CBC Table 602).

20 10. All wired glass windows or doors between three and five feet from the property
21 line shall meet the 2007 CBC table 715.5 and 715.5.3.

22 11. Plan submittal to the Building Division shall include a Pedestrian Protection Plan
23 complying with the requirements of UBC 3303 and Table 33-A.

24 12. A demolition permit shall be required for the demolition of the existing
25 structures. Plans for the demolition shall depict clearly all utilities are properly
26 terminated/capped in accordance with the requirements of the utility service provider.

27 13. All outdoor lighting must comply with Chapter 39 of the City Code. (Light
28 Pollution Ordinance) Where color rendition is important, high-pressure sodium, metal halide or
other such lights may be utilized and shall be shown on building and electrical plans.

1 **Engineering:**

2 14. The project involves demolition of an existing structure or surface improvements,
3 the grading plans shall be submitted and erosion control plans be approved by the City Engineer
4 prior to the issuance of a demolition permit. No demolition shall be permitted without an approved
5 erosion control plan.

6 15. Vehicular access rights to Tremont Street and Surf Rider Way shall be relinquished
7 to the City from all abutting lots

8 16. All right-of-way alignments, street dedications, exact geometrics and widths shall
9 be dedicated and improved as required by the City Engineer.

10 17. Design and construction of all improvements shall be in accordance with
11 standard plans, specifications of the City of Oceanside and subject to approval by the City
12 Engineer.

13 18. Prior to issuance of a building permit all improvement requirements shall be
14 covered by a development agreement and secured with sufficient improvement securities or
15 bonds guaranteeing performance and payment for labor and materials, setting of monuments,
16 and warranty against defective materials and workmanship.

17 19. The developer shall provide public street dedication as required to serve the
18 property.

19 20. The approval of the project shall not mean that closure, vacation, or
20 abandonment of any public street, right of way, easement, or facility is granted or guaranteed to
21 the developer. The developer is responsible for applying for all closures, vacations, and
22 abandonments as necessary. The application(s) shall be reviewed and approved or rejected by
23 the City of Oceanside under separate process (es) per codes, ordinances, and policies in effect at
24 the time of the application.

25 21. Prior to approval of the parcel map or any increment, all improvement
26 requirements, within such increment or outside of it if required by the City Engineer, shall be
27 covered by a subdivision agreement and secured with sufficient improvement securities or bonds
28 guaranteeing performance and payment for labor and materials, setting of monuments, and
warranty against defective materials and workmanship.

1 22. Where proposed off-site improvements, including but not limited to slopes, public
2 utility facilities, and drainage facilities, are to be constructed, the applicant shall, at his own
3 expense, obtain all necessary easements or other interests in real property, and shall dedicate the
4 same to the City of Oceanside as required. The applicant shall provide documentary proof
5 satisfactory to the City of Oceanside that such easements or other interest in real property have
6 been obtained prior to issuance of any grading, building or improvement permit for the subdivision
7 project. Additionally, the City of Oceanside, may at its sole discretion, require that the applicant
8 obtain at his sole expense a title policy insuring the necessary title for the easement or other interest
9 in real property to have vested with the City of Oceanside or the applicant, as applicable.

10 23. Pursuant to the State Map Act, improvements shall be required at the time of
11 development. A covenant, reviewed and approved by the City Attorney, shall be recorded
12 attesting to these improvement conditions and a certificate setting forth the recordation shall be
13 placed on the parcel map.

14 24. Prior to the issuance of a grading permit, the Developer shall notify and host a
15 neighborhood meeting with all of the area residents located within 300 feet of the project site,
16 and residents of property along any residential streets to be used as a "haul route", to inform
17 them of the grading and construction schedule, haul routes, and to answer questions.

18 25. The developer shall monitor, supervise and control all construction and
19 construction-supportive activities, so as to prevent these activities from causing a public nuisance,
20 including but not limited to, insuring strict adherence to the following:

- 21 a) Dirt, debris and other construction material shall not be deposited on any public
22 street or within the City's storm water conveyance system.
- 23 b) All grading and related site preparation and construction activities shall be
24 limited to the hours of 7 AM to 6 PM, Monday through Friday. No engineering
25 related construction activities shall be conducted on Saturdays, Sundays or legal
26 holidays unless written permission is granted by the City Engineer with specific
27 limitations to the working hours and types of permitted operations. All on-site
28 construction staging areas shall be as far as possible (minimum 100 feet) from
any existing residential development. Because construction noise may still be
intrusive in the evening or on holidays, the City of Oceanside Noise Ordinance
also prohibits "any disturbing excessive or offensive noise which causes
discomfort or annoyance to reasonable persons of normal sensitivity."

1 c) The construction site shall accommodate the parking of all motor vehicles used by
2 persons working at or providing deliveries to the site.

3 d) A haul route shall be obtained at least 7 days prior the start of hauling operations
4 and must be approved by the City Engineer. Hauling operations shall be 8:00 A.M.
5 to 3:30 P.M. unless approved otherwise.

6 26. A traffic control plan shall be prepared according to the City traffic control
7 guidelines and be submitted to and approved by the City Engineer prior to the start of work
8 within open City rights-of-way. Traffic control during construction of streets that have been
9 opened to public traffic shall be in accordance with construction signing, marking and other
10 protection as required by the Caltrans Traffic Manual and City Traffic Control Guidelines.
11 Traffic control plans shall be in effect from 8:00 a.m. to 3:30 p.m. unless approved otherwise.

12 27. Approval of this development project is conditioned upon payment of all applicable
13 impact fees and connection fees in the manner provided in chapter 32B of the Oceanside City
14 Code. All drainage fees, traffic signal fees and contributions, highway thoroughfare fees, park
15 fees, reimbursements, and other applicable charges, fees and deposits shall be paid prior to
16 recordation of the map or the issuance of any building permits, in accordance with City Ordinances
17 and policies. The developer shall also be required to join into, contribute, or participate in any
18 improvement, lighting, or other special district affecting or affected by this project. Approval of
19 the tentative map shall constitute the developer's approval of such payments, and his agreement to
20 pay for any other similar assessments or charges in effect when any increment is submitted for final
21 map or building permit approval, and to join, contribute, and/or participate in such districts.

22 28. Tremont Street and Surfrider Way shall be improved along the property frontage
23 with curbs, gutters and sidewalk.

24 29. Tremont Street and Surfrider Way along the property frontages shall provide a
25 minimum of 10 feet parkway between the face of curb and the right of way line. Sidewalk
26 improvements shall comply with ADA requirements and all pedestrian ramps for public access
27 must be fully located within public right-of-way.

28 30. Sight distance requirements at the project driveway or street shall conform to the
corner sight distance criteria as provided by SDRSD DS-20A and or DS-20B.

1 Streetlights shall be maintained and installed on all public streets per City Standards. The system
2 shall provide uniform lighting, and be secured prior to occupancy. The developer shall pay all
3 applicable fees, energy charges, and/or assessments associated with City-owned (LS-2 rate
4 schedule) streetlights and shall also agree to the formulation of, or the annexation to, any
5 appropriate street lighting district.

6 31. Prior to approval of the grading plans, the developer shall contract with a
7 geotechnical engineering firm to perform a field investigation of the existing pavement on all
8 streets adjacent to the project boundary. The limits of the study shall be half-street plus twelve (12)
9 feet along the project's frontage. The field investigation shall include a minimum of one pavement
10 boring per every one hundred (100) linear feet of street frontage. Should the existing AC thickness
11 be determined to be less than the current minimum standard for AC and Class II Base as set forth
12 in the table for City of Oceanside Pavement Design Guidelines in the City of Oceanside Engineers
13 Manual, *the* Developer shall remove and reconstruct the pavement section as determined by the
pavement analysis.

14 32. Upon review of the pavement investigation, the City Engineer shall determine
15 whether the Developer shall: 1) Repair all failed pavement sections, header cut and grind per the
16 direction of the City Engineer, and construct a two (2) inch thick rubberized AC overlay; or 2)
17 Perform R-value testing and submit a study that determines if the existing pavement meets current
18 City standards/traffic indices. Should the study conclude that the pavement does not meet current
19 requirements, rehabilitation/mitigation recommendations shall be provided in a pavement analysis
20 report, and the Developer shall reconstruct the pavement per these recommendations, subject to
21 approval by the City Engineer.

22 33. Tremont Street, Surfrider Way and the alley along the property frontages shall be
improved as required the City Engineer.

23 34. Pavement sections along the property frontages for Tremont Street, Surfrider Way,
24 the alley, driveways and parking areas shall be based upon approved soil tests and traffic indices.
25 The pavement design is to be prepared by the developer's soil engineer and must be approved by
26 the City Engineer, prior to paving.

27 35. Any existing broken pavement, concrete curb, gutter or sidewalk or any damaged
28 during construction of the project, shall be repaired or replaced as directed by the City Engineer.

1 36. Full width alley improvements along property frontages including the installation of
2 a longitudinal concrete alley gutter shall be constructed in accordance with the standard plans and
3 specifications of the City of Oceanside and as approved by the City Engineer.

4 37. All existing overhead utility lines within the development and/or within any full
5 width street or right-of-way abutting this new development, and all new extension services for the
6 development of the project, including but not limited to, electrical, cable and telephone, shall be
7 placed underground per Section 901.G. of the Subdivision Ordinance (R91-166) and as required by
8 the City Engineer and current City policy.

9 38. The developer shall comply with all the provisions of the City's cable television
10 ordinances including those relating to notification as required by the City Engineer.

11 39. Grading and drainage facilities shall be designed and installed to adequately
12 accommodate the local storm water runoff and shall be in accordance with the City's Engineers
13 Manual and as directed by the City Engineer.

14 40. The applicant shall obtain any necessary permits and clearances from all public
15 agencies having jurisdiction over the project due to its type, size, or location, including but not
16 limited to the U. S. Army Corps of Engineers, California Department of Fish & Game, U. S. Fish
17 and Wildlife Service and/or San Diego Regional Water Quality Control Board (including NPDES),
18 San Diego County Health Department, prior to the issuance of grading permits.

19 41. The approval of the project shall not mean that proposed grading or
20 improvements on adjacent properties (including any City properties/right-of-way or easements)
21 is granted or guaranteed to the developer. The developer is responsible for obtaining permission
22 to grade to construct on adjacent properties. Should such permission be denied, the project shall
23 be subject to going back to the public hearing or subject to a substantial conformity review.

24 42. Prior to any grading of any part of the project, a comprehensive soils and geologic
25 investigation shall be conducted of the soils, slopes, and formations in the project. All necessary
26 measures shall be taken and implemented to assure slope stability, erosion control, and soil
27 integrity. No grading shall occur until a detailed grading plan, to be prepared in accordance with
28 the Grading Ordinance and Zoning Ordinance, is approved by the City Engineer.

 43. This project shall provide year-round erosion control including measures for the site
required for the phasing of grading. Prior to the issuance of grading permit, an erosion control

1 plan, designed for all proposed stages of construction, shall be reviewed, secured by the applicant
2 with cash securities and approved by the City Engineer.

3 44. A precise grading and private improvement plan shall be prepared, reviewed,
4 secured and approved prior to the issuance of any building permits. The plan shall reflect all
5 pavement, flatwork, landscaped areas, special surfaces, curbs, gutters, medians, striping, and
6 signage, footprints of all structures, walls, drainage devices and utility services. Parking lot
7 striping and any on site traffic calming devices shall be shown on all Precise Grading and Private
8 Improvement Plans.

9 45. Landscaping plans, including plans for the construction of walls, fences or other
10 structures at or near intersections, must conform to intersection sight distance requirements.
11 Landscape and irrigation plans shall be approved by the City Engineer prior to the issuance of
12 occupancy permits, and a pre-construction meeting held, prior to the start of any improvements.

13 46. Landscape and irrigation plans for disturbed areas must be submitted to the City
14 Engineer prior to the issuance of a preliminary grading permit and approved by the City Engineer
15 prior to the issuance of occupancy permits. Frontage and median landscaping shall be installed
16 prior to the issuance of any certificates of occupancy. Any project fences, sound or privacy walls
17 and monument entry walls/signs shall be shown on, bonded for and built from the landscape plans.
18 These features shall also be shown on the precise grading plans for purposes of location only.
19 Plantable, segmental walls shall be designed, reviewed and constructed by the grading plans and
20 landscaped/irrigated through project landscape plans. All plans must be approved by the City
21 Engineer and a pre-construction meeting held, prior to the start of any improvements.

22 47. The drainage design on the development plan is conceptual only. The final design
23 shall be based upon a hydrologic/hydraulic study to be approved by the City Engineer during final
24 engineering. All drainage picked up in an underground system shall remain underground until it is
25 discharged into an approved channel, or as otherwise approved by the City Engineer. All public
26 storm drains shall be shown on City standard plan and profile sheets. All storm drain easements
27 shall be dedicated where required. The applicant shall be responsible for obtaining any off-site
28 easements for storm drainage facilities.

48. Storm drain facilities shall be designed and located such that the inside travel lanes
on streets with Collector or above design criteria shall be passable during conditions of a 100-year
frequency storm.

1 49. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and
2 disposed of in accordance with all state and federal requirements, prior to stormwater discharge
3 either off-site or into the City drainage system.

4 50. The development shall comply with all applicable regulations established by the
5 United States Environmental Protection Agency (USEPA) as set forth in the National Pollutant
6 Discharge Elimination System (NPDES) permit requirements for urban runoff and storm water
7 discharge and any regulations adopted by the City pursuant to the NPDES regulations or
8 requirements. Further, the applicant may be required to file a Notice of Intent with the State
9 Water Resources Control Board to obtain coverage under the NPDES. General permit for storm
10 water discharges associated with construction activity and may be required to implement a
11 Storm Water Pollution Prevention Plan (SWPPP) concurrent with the commencement of
12 grading activities. SWPPPs include both construction and post construction pollution
13 prevention and pollution control measures and identify funding mechanisms for post
14 construction control measures. The developer shall comply with all the provisions of the Clean
15 Water Program during and after all phases of the development process, including but not limited
16 to: mass grading, rough grading, construction of street and landscaping improvements, and
17 construction of dwelling units. The applicant shall design the project's storm drains and other
18 drainage facilities to include Best Management Practices to minimize non-point source
19 pollution, satisfactory to the City Engineer.

20 51. Upon acceptance of any fee waiver or reduction by the Developer, the entire
21 project will be subject to prevailing wage requirements as specified by Labor Code section
22 1720(b) (4). The Developer shall agree to execute a form acknowledging the prevailing wage
23 requirements prior to the granting of any fee reductions or waivers.

24 52. The Developer shall provide a copy of the title/cover page of either an approved
25 Runoff Assessment Report (RAR) with the first engineering submittal package. If the project
26 triggers the City's Stormwater requirements but no approved Stormwater document (RAR)
27 exists, the appropriate document shall be submitted for review and approval by the Engineering
28 Department. The RAR shall be prepared by the applicant's Civil Engineer. All Stormwater
documents shall be in compliance with the latest edition of submission requirements.

1 **Fire:**

2 53. Fire Department Requirements shall be placed on plans in the notes section.

3 54. Fire flow shall be determined at the time of building permit application.

4 55. A minimum fire flow of 1,500 gallons per minute shall be required.

5 56. All proposed and existing fire hydrants within 400 feet of the project shall be
6 shown on the site plan.

7 57. The size of the fire hydrants shall be 2 ½ "X 4".

8 58. In accordance with the California Fire Code Sec. 901.4.4, City approved
9 addresses for residential occupancies shall be placed on the structure in such a position as to be
10 plainly visible and legible from the street or roadway fronting the property. Numbers shall be
11 contrasting with their background.

12 59. Single family dwellings require 4 inch address numbers.

13 60. Plans shall be submitted to the Fire Prevention Bureau for plan check review and
14 approval prior to the issuance of building permits.

15 61. Buildings shall meet Oceanside Fire Departments current codes at the time of
16 building permit application.

17 62. Blue hydrant identification markers shall be placed as per Oceanside's
18 Engineers Design and Processing Manual Standard Drawing No. M-13.

19 **Planning:**

20 64. This Tentative Parcel Map (P-200-08), Development Plan (D-200-08),
21 Conditional Use Permit (C-200-080, Variation (V-200-08) and Regular Coastal Permit (RC-
22 201-08) shall expire on April 2, 2010, unless implemented as required by the Zoning Ordinance.

23 65. This Tentative Parcel Map, Development Plan, Variation, Conditional Use
24 permit and Regular Coastal Permit approves only the construction of four single family row
25 houses project as shown on the plans and exhibits presented to the Community Development
26 Commission for review and approval. No deviation from these approved plans and exhibits
27 shall occur without Economic and Community Development Department approval. Substantial
28 deviations shall require a revision to the Tentative Parcel Map, Development Plan, Variation,
Conditional Use Permit and Regular Coastal Permit or a new Tentative Parcel Map,
Development Plan, Variation, Conditional Use Permit and Regular Coastal Permit.

1 66. The applicant, permittee or any successor-in-interest shall defend, indemnify and
2 hold harmless the City of Oceanside, its agents, officers or employees from any claim, action or
3 proceeding against the City, its agents, officers, or employees to attack, set aside, void or annul
4 an approval of the City, concerning Tentative Parcel Map (P-200-08), Development Plan (D-
5 200-08), Variation (V-200-08), Conditional Use Permit (C-200-08) and Regular Coastal Permit
6 (RC-201-08). The City will promptly notify the applicant of any such claim, action or
7 proceeding against the City and will cooperate fully in the defense. If the City fails to promptly
8 notify the applicant of any such claim action or proceeding or fails to cooperate fully in the
9 defense, the applicant shall not, thereafter, be responsible to defend, indemnify or hold harmless
10 the City.

11 67. All mechanical rooftop and ground equipment shall be screened from public
12 view as required by the Zoning Ordinance. That is, on all four sides and top. The roof jacks,
13 mechanical equipment, screen and vents shall be painted with non-reflective paint to match the
14 roof. This information shall be shown on the building plans.

15 68. Landscape plans, meeting the criteria of the City's Landscape Guidelines and
16 Water Conservation Ordinance No. 91-15, including the maintenance of such landscaping, shall
17 be reviewed and approved by the City Engineer and City Planner prior to the issuance of
18 building permits. Landscaping shall not be installed until bonds have been posted, fees paid,
19 and plans signed for final approval.

20 69. All landscaping, fences, walls, etc. on the site, in medians in the public right-of-
21 way and in any adjoining public parkways shall be permanently maintained by the owner, his
22 assigns or any successors in interest in the property. The maintenance program shall include
23 normal care and irrigation of the landscaping; repair and replacement of plant materials;
24 irrigation systems as necessary; and general cleanup of the landscaped and open areas, parking
25 lots and walkways, walls, fences, etc. Failure to maintain landscaping shall result in the City
26 taking all appropriate enforcement actions by all acceptable means including but not limited to
27 citations and/or actual work with costs charged to or recorded against the owner. This condition
28 shall be recorded with the covenant required by this resolution.

 a. All landscaping located on the northern portion of the subject site (Surfrider
Way) shall be limited to 30” in height.

1 70. Front yard landscaping with a complete irrigation system, in compliance with
2 Water Conservation Ordinance No. 91-15, shall be required.

3 71. All single family dwelling projects shall dispose of or recycle solid waste in a
4 manner provided in City Ordinance 13.3.

5 72. A letter of clearance from the affected school district in which the property is
6 located shall be provided as required by City policy at the time building permits are issued.

7 73. A covenant or other recordable document approved by the City Attorney shall be
8 prepared by the applicant developer and recorded prior to the issuance of building permits. The
9 covenant shall provide that the property is subject to this resolution, and shall generally list the
10 conditions of approval.

11 74. Prior to the issuance of building permits, compliance with the applicable
12 provisions of the City's anti-graffiti (Ordinance No. 93-19/Section 20.25 of the City Code) shall
13 be reviewed and approved by the Economic and Community Development Department. These
14 requirements, including the obligation to remove or cover with matching paint all graffiti within
15 24 hours, shall be noted on the Landscape Plan and shall be recorded in the form of a covenant
16 affecting the subject property.

17 75. Prior to the transfer of ownership and/or operation of the site the owner shall
18 provide a written copy of the applications, staff report and resolutions for the project to the new
19 owner and or operator. This notification's provision shall run with the life of the project and
20 shall be recorded as a covenant on the property.

21 76. Failure to meet any conditions of approval for this development shall constitute a
22 violation of the Tentative Parcel Map (P-200-08), Development Plan (D-200-08), Variation (V-
23 200-08), Conditional Use Permit (C-200-08) and Regular Coastal Permit (RC-201-08).

24 77. Unless expressly waived, all current zoning standards and City ordinances and
25 policies in effect at the time building permits are issued are required to be met by this project.
26 The approval of this project constitutes the applicant's agreement with all statements in the
27 Description and Justification, and other materials and information submitted with this
28 application, unless specifically waived by an adopted condition of approval.

 78. The developer's construction of all fencing and walls associated with the project
shall be in conformance with the approved Development Plan. Any substantial change in any

1 aspect of fencing or wall design from the approved Development Plan shall require a revision to
2 the Development Plan or a new Development Plan.

3 79. If any aspect of the project fencing and walls is not covered by an approved
4 Development Plan, the construction of fencing and walls shall conform to the development
5 standards of the City Zoning Ordinance. In no case, shall the construction of fences and walls
6 (including combinations thereof) exceed the limitations of the zoning code, unless expressly
7 granted by a Variation or other development approval.

8 80. The following unit type and floor plan mix, as approved by the Community
9 Development Commission, shall be indicated on plans submitted to the Building Division and
10 Economic and Community Development Department for building permit:

	Sq.Ft.	# Bedrms	# Baths	# Stories	# Units	%
11 Plan 1	3,678	3	3	3	2	50
12 Plan 2	3,709	3	3	3	2	50

13 81. Side and rear elevations and window treatments shall be trimmed to substantially
14 match the front elevations. A set of building plans shall be reviewed and approved by the
15 Economic and Community Development Department prior to the issuance of building permits.

16 82. Elevations, siding materials, colors, roofing materials and floor plans shall be
17 substantially the same as those approved by the Community Development Commission. These
18 shall be shown on plans submitted to the Building Division and Economic and Community
19 Development Department.

20 83. This project is subject to the provisions of the Local Coastal Plan for Coastal
21 Housing. The developer shall obtain a Coastal Affordable Housing Permit from the Director of
22 Housing and Neighborhood Services prior to issuance of building permits or recordation of a
23 final map, whichever occurs first.

24 84. The proposed mezzanine shall not be converted into a loft and a stairway cannot
25 be constructed to provide access to the mezzanine.

Water Utilities:

26 85. All public water and/or sewer facilities not located within the public right-of-way
27 shall be provided with easements sized according to the City's Engineers Manual. Easements
28 shall be constructed for all weather access.

1 86. No trees, structures or building overhang shall be located within any water or
2 wastewater utility easement.

3 87. The property owner will maintain private water and wastewater utilities located
4 on private property.

5 88. Water services and sewer laterals constructed in existing right-of-way locations
6 are to be constructed by approved and licensed contractors at developer's expense.

7 89. The developer will be responsible for developing all water and sewer utilities
8 necessary to develop the property. Any relocation of water and/or sewer utilities is the
9 responsibility of the developer and shall be done by an approved licensed contractor at the
10 developer's expense.

11 90. All lots with a finish pad elevation located below the elevation of the next upstream
12 manhole cover of the public sewer shall be protected from backflow of sewage by installing and
13 maintaining an approved type backwater valve, per the Uniform Plumbing Code (U.P.C.).

14 91. Water and Wastewater Buy-in fees and the San Diego County Water Authority Fees
15 are to be paid to the City and collected by the Water Utilities Department at the time of Building
16 Permit issuance.

17 92. All Water and Wastewater construction shall conform to the most recent edition of
18 the City's Engineers Manual, or as approved by the Water Utilities Director.

19 93. All new development of multi-family residential units shall include hot water pipe
20 insulation and installation of a hot water re-circulation device or design to provide hot water to
21 the tap within 15 seconds in accordance with City of Oceanside Ordinance No. 02-0R126-1.

22 94. The proposed water services shall maintain a minimum of 3-feet between connections
23 at the main.

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1 95. The existing water service cannot be removed. This service shall be abandoned in
2 place according to the Water, Sewer and Reclaimed Water Design and Construction Manual
3 detail W-6.

4
5 PASSED AND ADOPTED by the Oceanside Community Development Commission of
6 the City of Oceanside this ___ day of _____ 2008 by the following vote:

7 AYES:

8 NAYS:

9 ABSENT:

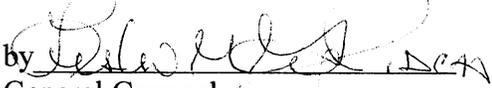
10 ABSTAIN:

11 _____
Chairman

12 ATTEST:

13 _____
14 Secretary

15 APPROVED AS TO FORM:
16 OFFICE OF THE CITY ATTORNEY

17 by 
18 General Counsel

19
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State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 6Z

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 3

*Resource Name or #: (Assigned by recorder) 519 N. Tremont Street

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted * a. County: San Diego

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Oceanside Date: 1975 T11S R 5W; ¼ of ¼ of Sec; B.M.: SB

c. Address: 519 N. Tremont Street City: Oceanside Zip: 92054

d. UTM: (Give more than one for large or linear resources) Zone ; Me/ mN

e. Other Locational Data (e.g., parcel #, directions to resource, elevation, etc., as appropriate): APN: 147-084-02; located in the Myers and McCombers Addition, Lot 2, Block 12.

*P3a. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries): The resource consists of a very small (480 sq ft), rectangular, Craftsman style, one story, symmetrical fronted, wood frame bungalow. The building rests on a concrete foundation. The medium pitched front gabled roof is covered with composition shingles and has open eaves and exposed rafters and rafter tails on the north and south sides. The eaves project moderately over the walls. The Residential Building Record (RBR) notes the presence of an interior chimney. The house is clad with 1" x 6" wood siding. The 1/1 double hung sash wood frame windows on the front of the house are original; some of the other windows are replaced metal sliders, with an awning window also present on the west wall. The rectangular, wood trimmed windows are of varying sizes. An awning shades one of the west-facing windows at the rear of the house. The house is accessed from the sidewalk via a concrete walkway to the concrete floored porch. The porch is located beneath an off-center front gabled roof, supported by two simple truncated wood posts. The entry is a single wood door with a paned upper and a recessed paneled lower. A replaced single wood door with a metal sash upper at the rear of the house provides secondary access. The well-maintained landscaping consists of grass, bushes and flower beds.

The house is in good condition. The RBR notes that the architectural attributes of the house are fair and its workmanship is average.

*P3b. Resource Attributes: (List attributes and codes) HP2 -single-family residence

P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5b. Description of Photo: (View, date, accession #) Facade looking west, 1/11/08, 1083:1

*P6. Date Constructed/Age and Source Historic Prehistoric Both Constructed circa 1923 per Residential Building Record

*P7. Owner and Address: Covell Family Trust
1105 Pine Street



Coronado, CA 92118-2721 *P8. Recorded by (Name, affiliation, and address): Ruth Alter, Archaeos, 11209 Golden Birch Way, San Diego, CA 92131 *P9. Date Recorded: 1/15/08 *P10. Type of Survey: (Describe) Field Check

*P11. Report Citation (Cite survey report and other sources, or enter "none".) None Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Resource Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 2 of 3 *Resource Name or # (Assigned by recorder) 519 N. Tremont Street
*Recorded by Ruth C. Alter *Date 1/15/08 Continuation Update

According to the chain of title prepared by California Lot Book, Inc., the United States of America granted a deed of patent for this lot, along with much of the surrounding area, to Oceanside pioneer Herbert Crouch in December, 1880. A native of England, Mr. Crouch came to the San Luis Rey Valley in 1869 and became a partner with Major Utt in the latter's sheep ranching venture. He married Martha Avenell at the Horton House in San Diego in 1876, and the couple was widely respected throughout their lifetimes.

Mr. Crouch and his wife sold his large holding to Andrew Jackson Myers, the co-founder of Oceanside, and capitalist Freeman McComber, for four thousand dollars five years later, in December, 1885. In September, 1886, Magnes Tait, Sr., a resident of Los Gatos, California, purchased the subject lot, Lot 1, along with Lots 2 and 3, from Mr. Myers and Mr. McComber for three hundred dollars, or a hundred dollars per lot. Mr. Tait invested heavily in Oceanside. His son, Magnes Tait, Jr., the engineer and manager of the local water works started by A.J. Myers, built a residence three lots away from the subject property, at 511 N. Tremont Street, in 1887.

Mr. Tait, Sr. sold subject Lot 2, as well as Lots 1 and 3, to L.A. Grant in July, 1887. City Engineer Edward Dexter bought the three lots in May, 1888 for fifteen hundred dollars. Shortly after, Dexter moved to San Francisco, and then a few years later, to Rhode Island, disposing of his Oceanside properties. He deeded the three N. Tremont street lots, along with others in the city, to former owner L.A. Grant in August, 1897. Grant's heir, Los Angeles resident Daniel G. Grant, sold all three to Edward Quinlan, the engineer of the Sant Fe Railroad train between Escondido and Oceanside, in March, 1906.

Carpenter William B. McKenzie and his wife Vivian R. McKenzie bought Lot 2 from Quinlan and Quinlan's wife Rosa in October, 1922. The McKenzie's built the subject resource as their residence shortly after buying the property. The couple lived in the house from 1923 until Mrs. McKenzie's death in 1937. Her husband subsequently remarried and added his new wife Molly to the title in September, 1940.

Elizabeth Girdham Stokesberry bought the house from the McKenzies in April, 1971. John William Henman was added to the title in April, 1982. Henman and his wife Joy acquired sole ownership of the property in August, 1989, following Stokesberry's death. Mr. Henman died in 1994; his widow deeded the house to Mark Duranty in March, 1997. Title was conveyed to the present owner, Mary Virginia Covell, in September, 1998.

B1. Historic Name: William B. and Vivian R. McKenzie Residence
 B2. Common Name: Mary Virginia Covell Rental Property
 B3. Original Use: Single-family residence B4. Present Use Single-family residence

*B5. Architectural Style: Craftsman Bungalow

*B6. Construction History: (Construction date, alternations, and date of alterations)

The house was constructed in 1923 per the Residential Building Record. No major exterior modifications other than replaced windows at the rear of the house were evident. The windows likely were replaced in the 1950s or 1960s.

*B7. Moved? No Yes Unknown Date: _____ Original Location: _____

*B8. Related Features: Detached building behind the main residence. This building was constructed for commercial use in 1971, per the Commercial-Industrial Building Record. Betty's Poodle Parlor operated here for a number of years. The commercial building is too recently constructed to be evaluated for historical or architectural significance.

B9a. Architect: None b. Builder: Probably William B. McKenzie

*B10. Significance: Residential development Area Oceanside, California

Period of Significance 1880 to 1945 Property Type Single-family Applicable Criteria N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The resource is located in the Myers and McCombers Addition, one of the oldest in the city. Located north of downtown Oceanside, this is an area that saw early residential development. The original houses here tended to be smaller single-family dwellings or vacation residences constructed in Victorian era style, principally Folk Victorian. The neighborhood was situated in a quiet portion of the developing town. It would have been close enough to walk to the town center to purchase necessary goods or services, but far enough away to avoid town bustle.

The subject resource is typical of some of the smaller, more modest homes found in this neighborhood, constructed after the initial settling of the area. Over time, Victorian styles were joined by Craftsman and Craftsmanesque dwellings, and then by Post-World War II styles, such as Ranch and Modern Contemporary. The neighborhood also became denser, with multiple-family structures added after the war.

The subject resource is of simple Craftsman design, the most common of its era and still prevalent in Oceanside. The house is not associated with any known significant historic event or events. While the property was once owned by historically significant individuals, no one of historical importance is directly associated with the house. Its design is not distinctive, it does not represent the work of a master architect or craftsman, and it is not constructed of rare or unique materials. The building is unlikely to yield important information relevant to local, state or national history. Its locational workmanship, design, feeling, workmanship and lack of associational integrity are intact. The setting, while still residential, has been altered by the introduction of multiple-family, multiple story dwellings to the neighborhood and by nearby commercial venues. Once considered on the edge of town, the City has long since grown up around it.

B11. Additional Resource Attributes: (List attributes and codes) HP2; Single-family residence

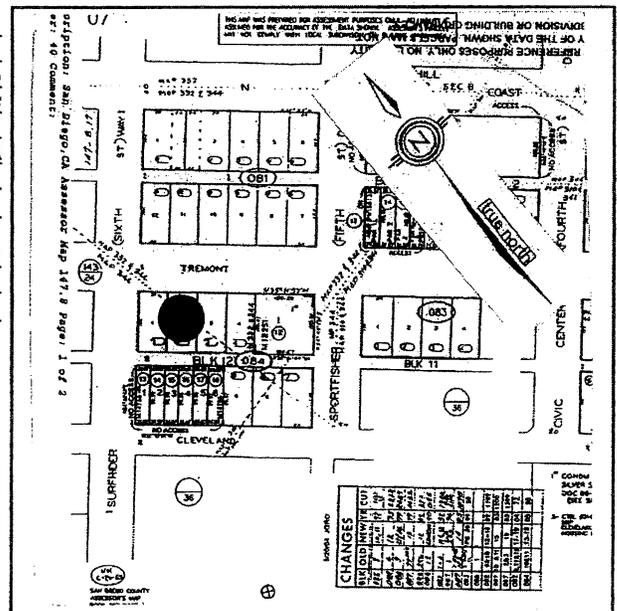
*B12. References: Assessor's records, San Diego County; Hawthorne, K., Oceanside, Where Life is Worth Living, 2001. Donning Company Publishers, Virginia Beach, Virginia; McAlester, V. and L., A Field Guide to American Houses, 2000. Alfred A. Knopf, New York.

B13. Remarks:

*B14. Evaluator: Ruth C. Alter, Archaeos, 11209 Golden Birch Way, San Diego, CA 92131

Date of Evaluation: 1/15/08

(This space reserved for official comments.)



State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
 HRI # _____
 Trinomial _____
 NRHP Status Code 6Z

Other Listings _____
 Review Code _____ Reviewer _____ Date _____

Page 1 of 3 *Resource Name or #: (Assigned by recorder) 523 N. Tremont Street

P1. Other Identifier: Frank E. and Virda D. Loop Speculation House

*P2. Location: Not for Publication Unrestricted * a. County: San Diego

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Oceanside Date: 1975 T11S R 5W; ¼ of ¼ of Sec; B.M.: SB

c. Address: 523 N. Tremont Street City: Oceanside Zip: 92054

d. UTM: (Give more than one for large or linear resources) Zone ; Me/ mN

e. Other Locational Data (e.g., parcel #, directions to resource, elevation, etc., as appropriate): APN: 147-084-01; located in the Myers and McCombers Addition, Lot 2, Block 12.

*P3a. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries): The resource consists of a modest (1,000 sq ft), rectangular, Craftsman style, one story, symmetrical fronted, wood frame bungalow. The building rests on a concrete foundation. The medium pitched side gabled roof is covered with composition shingles and has open eaves and exposed rafters on the north and south sides. Vertical wood slat louvers are located in the gable ends. The eaves project moderately over the walls. The house is clad with 1" x 6" wood siding, with wood edge board trim. A double shouldered brick end chimney is located on the north wall. The house's single, paired, and triple 1/1 double hung sash and casement wood framed windows are original and are of varying sizes. The focal windows are a pair of triple 10-lite casements in single surrounds located on the front facade. The house is accessed from the sidewalk, through a low gated wood fence, along a central stamped concrete walk, up one step, to a concrete floored porch. The porch is located beneath a front gabled roof with a wood slat vertical louver under the gable apex. The porch roof has exposed rafter tails and is supported by two sets of triple corner posts. The entry is a single wood 10-lite French door. A flat roofed, clapboard clad single-car garage with a work space is located off the alley at the rear of the house. The doors are hinged. The well-maintained landscaping consists of grass, bushes and trees. Wood fencing encloses the yard on all sides. The house is in very good condition. The RBR describes the architectural attributes and workmanship of the house as average.



*P3b. Resource Attributes: (List attributes and codes) HP2 -single-family residence

P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5b. Description of Photo: (View, date, accession #) Facade looking west, 1/11/08, 1083:1

*P6. Date Constructed/Age and Source Historic Prehistoric Both Constructed circa 1926 per Residential Building Record

*P7. Owner and Address: Graham & Ann Fraser
2310 Carriage Circle
Oceanside, CA 92056-3604

*P8. Recorded by (Name, affiliation, and address): Ruth Alter,
Archaeos, 11209 Golden
Birch Way, San Diego, CA
92131 *P9. Date Recorded:

1/15/08 *P10. Type of Survey: (Describe) Field Check *P11. Report Citation (Cite survey report and other sources, or enter "none".) None Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Resource Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 2 of 3 *Resource Name or # (Assigned by recorder) 523 N. Tremont Street
*Recorded by Ruth C. Alter *Date 1/15/08 Continuation Update

According to the chain of title prepared by California Lot Book, Inc., the United States of America granted a deed of patent for this lot, along with much of the surrounding area, to Oceanside pioneer Herbert Crouch in December, 1880. A native of England, Mr. Crouch came to the San Luis Rey Valley in 1869 and became a partner with Major Utt in the latter's sheep ranching venture. He married Martha Avenell at the Horton House in San Diego in 1876, and the couple was widely respected throughout their lifetimes.

Mr. Crouch and his wife sold his large holding to Andrew Jackson Myers, the co-founder of Oceanside, and capitalist Freeman McComber, for four thousand dollars five years later, in December, 1885. In September, 1886, Magnes Tait, Sr., a resident of Los Gatos, California, purchased the subject lot, Lot 1, along with Lots 2 and 3, from Mr. Myers and Mr. McComber for three hundred dollars, or a hundred dollars per lot. Mr. Tait invested heavily in Oceanside. His son, Magnes Tait, Jr., the engineer and manager of the local water works started by A.J. Myers, built a residence three lots away from the subject property, at 511 N. Tremont Street, in 1887.

Mr. Tait, Sr. sold subject Lot 1, as well as Lots 2 and 3, to L.A. Grant in July, 1887. City Engineer Edward Dexter bought the three lots in May, 1888 for fifteen hundred dollars. Shortly after, Dexter moved to San Francisco, and then a few years later, to Rhode Island, disposing of his Oceanside properties. He deeded the three N. Tremont street lots, along with others in the city, to former owner L.A. Grant in August, 1897. Grant's heir, Los Angeles resident Daniel G. Grant, sold all three to Edward Quinlan, the engineer of the Santa Fe Railroad train between Escondido and Oceanside, in March, 1906.

Frank Loop and his wife Virda bought Lot 1 from Quinlan and Quinlan's wife Rosa in May, 1924, probably for speculation. Per an article in the *Oceanside Blade*, Mr. Loop built the garage on this property in June, 1924 and had plans to build "a nice house" on the lot at a later date. According to the Residential Building Record, the subject house was constructed in 1926. In July of that year, it was purchased by Ohio natives Alexander and Rachel Jane Wallace as their residence. Following Mr. Wallace's death in 1937, the house was sold to Clarice Anderson in July of that year. Mrs. Anderson was the wife of W.W. Anderson, a coal mine owner. She sold the property to Chilton Mahin, Jr. and his wife Dorothy in three years later, in July, 1940. In August of the next year, Ike and Lena Glasser acquired title.

Mr. Glasser, a native of Austria, came to Oceanside in 1929 from Kentucky. Originally a tailor, he operated merchantile stores in Oceanside. The last store was located at Hill and Second Streets and was sold to Huckabay's. His advertising slogan was "Business goes where it is wanted...and stays where it is appreciated."

Glasser and his wife sold the house to Chris L. Sorenson in April, 1943. Sorenson and his wife Cynthia lived together in the house until Mr. Sorenson's death in 1951. His widow subsequently remarried and ultimately deeded the property to her daughter, Esther Maxine Jakobsen (variously Jacobsen). Jakobsen sold the house to Hong Hai Nguyen in February, 1978. Richard Rogers and Barbara Werle, brother and sister, acquired the property from Ms. Nguyen in October, 1979.

In October, 1986, title was conveyed to Richard and Diane Eisendrath and Charles Tarpley. Tarpley granted sole ownership to the Eisendraths in May, 1987. The current owners, Graham T. Fraser and his wife Ann H. Fraser, took title in January, 1996.

B1. Historic Name: Frank E. and Virda D. Loop Speculation House

B2. Common Name: Graham T. and Ann H. Fraser Rental House

B3. Original Use: Single-family residence

B4. Present Use Single-family residence

*B5. Architectural Style: Craftsman Bungalow

*B6. Construction History: (Construction date, alternations, and date of alterations)
 The house was constructed in 1926 per the Residential Building Record. No major exterior modifications were evident.

*B7. Moved? No Yes Unknown Date: _____ Original Location: _____

*B8. Related Features: Detached garage on alley behind the residence. This building was constructed in 1924, before the house was built.

B9a. Architect: None b. Builder: Frank D. Loop

*B10. Significance: Residential development Area Oceanside, California

Period of Significance 1880 to 1945 Property Type Single-family Applicable Criteria N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The resource is located in the Myers and McCombers Addition, one of the oldest in the city. Located north of downtown Oceanside, this is an area that saw early residential development. The original houses here tended to be smaller single-family dwellings or vacation residences constructed in Victorian era style, principally Folk Victorian. The neighborhood was situated in a quiet portion of the developing town. It would have been close enough to walk to the town center to purchase necessary goods or services, but far enough away to avoid town bustle.

The subject resource is typical of the modest homes found in this neighborhood, developed after the initial settling of the area. Over time, Victorian styles were joined by Craftsman and Craftsmanesque dwellings, and then by Post-World War II styles, such as Ranch and Modern Contemporary. The neighborhood also became denser, with multiple-family structures added after the war.

The subject resource is of a pleasing Craftsman design. Craftsman architecture was the most common style of its era and is still prevalent in Oceanside. The house is not associated with any known significant historic event or events. While the property was once owned by historically significant individuals, no one of historical importance is directly associated with the house. Its design is not distinctive, it does not represent the work of a master architect or craftsman, and it is not constructed of rare or unique materials. The building is unlikely to yield important information relevant to local, state or national history. Its locational workmanship, design, feeling, workmanship and lack of associational integrity are intact. The setting, while still residential, has been altered by the introduction of multiple-family, multiple story dwellings to the neighborhood and by nearby commercial venues. Once considered on the edge of town, the City has long since grown up around it.

B11. Additional Resource Attributes: (List attributes and codes) HP2; Single-family residence

*B12. References: Assessor's records, San Diego County; Hawthorne, K., Oceanside, Where Life is Worth Living, 2001. Donning Company Publishers, Virginia Beach, Virginia; McAlester, V. and L., A Field Guide to American Houses, 2000. Alfred A. Knopf, New York.

B13. Remarks:
 *B14. Evaluator: Ruth C. Alter, Archaeos, 11209 Golden Birch Way, San Diego, CA 92131

Date of Evaluation: 1/15/08

(This space reserved for official comments.)

