

STAFF REPORT



ITEM NO. 14
CITY OF OCEANSIDE

DATE: May 21, 2008

TO: Chairman and Members of the Community Development Commission

FROM: Economic and Community Development Department

SUBJECT: **CONSIDERATION OF A RESOLUTION APPROVING TENTATIVE MAP (T-201-07), DEVELOPMENT PLAN (D-207-07), CONDITIONAL USE PERMITS (C-202-07 & C-204-07) AND REGULAR COASTAL PERMIT (RC-210-07) FOR A MIXED-USE DEVELOPMENT CONSISTING OF 10 CONDOMINIUM UNITS AND APPROXIMATELY 2,000 SQUARE FEET OF GROUND FLOOR OFFICE-RETAIL USES LOCATED AT 314 NORTH CLEVELAND STREET (FORMERLY YELLOW CAB) – TRADEWINDS – APPLICANT: MICHAEL CHEGINI**

SYNOPSIS

The item under consideration is a Tentative Map, Development Plan, Regular Coastal Permit and Conditional Use Permits for a mixed-use development consisting of 10 condominium units and approximately 2,000 square feet of ground floor office/retail uses on a 10,049-square-foot site located at 314 North Cleveland Street. Staff is recommending that the Commission adopt the attached resolution approving the project.

BACKGROUND

The subject site consists of two vacant, existing legal parcels totaling 10,049 square feet in size which are part of Map No. 344 recorded in 1885. The subject site slopes down from east to west with a 2.5-foot grade differential between the highest and lowest points. The project proposes to import 175 cubic yards of soil.

The subject site is situated within the Historic District block, which is characterized by historic buildings located on the corners of the block and a mix of commercial uses.

Land Use and Zoning: The subject site is located within Subdistrict 1A of the "D" Downtown District. Subdistrict 1A is primarily intended to provide a commercial/retail and office complex promoting the conservation, preservation, protection, and enhancement of the historic district and to stimulate the economic health and visual quality of the community to tourists and visitors. Residential uses are encouraged when and where appropriate.

“Mixed-use” projects are permitted within this Subdistrict with a Mixed-Use Development Plan (MUDP) and a Conditional Use Permit (CUP). The purpose of the MUDP is to provide flexibility in the application of development standards “where flexibility will enhance the potential for superior urban design.” Accordingly, an approved MUDP will establish the development criteria for the approved mixed-use project. The maximum density within a MUDP project is 43 dwelling units per acre. The project proposes a density of 43 dwelling units per acre.

Conditional Use Permits: A Conditional Use Permit is required for the mixed-use development and for the reduction of parking spaces.

Regular Coastal Permit: This project is situated within the Coastal Zone and requires a Regular Coastal Permit. Under the provisions of the Local Coastal Plan the project site is designated as General Commercial. The General Commercial category allows for a variety of retail, service and office uses.

Project Description: The project application consists of several components, which include a Tentative Map, Development Plan, Regular Coastal Permit and Conditional Use Permits. Each discretionary request is described as follows:

MUDP, Tentative Map, Conditional Use Permit, Regular Coastal Permit and Development Plan: The “mixed use” project proposes a 4-story, 10-unit residential condominium complex with units ranging in size from 1,439 to 3,080 square feet situated on a 10,049-square-foot lot. The project also proposes approximately 2,000 square feet of ground floor office/retail uses. In addition, the project proposes a street-level garage with 23 parking spaces including 6 “car lift” parking spaces meaning a hydraulic lift is employed to provide one parking space above the “normal” grade level parking space (see attachment). It should be noted that the car lift parking spaces are available only to the residents.

The proposed design is a Contemporary Urban style which complements the historic nature of the block in material selection, detailing and scale. Decorative metal rails, two-toned brick, ample pedestrian-level awnings and an enhanced entrance lend visual interest to the façade and create a pedestrian-friendly quality complementary to the historic block. The front yard setback was reduced to be consistent with the existing historic buildings which provide little or no front yard setback in addition to providing an enhanced pedestrian experience and an overall better building design. The proposed exterior materials are stucco and brick. The proposed colors are sand and Sunset Red brick.

The project proposes accent landscaping consistent with the historic buildings located on this block. The project proposes Fan Palms, shrubs include Kangaroo Paws and Birds of Paradise, and groundcover consists of Star Jasmine and turf.

The project is required to provide 2,000 square feet of common and private useable open space. The project provides over 5,000 square feet of common and private useable open

space.

Vehicular access to the units will be from the alley located along the eastern portion of the subject site. Pedestrian access will be provided from North Cleveland Street.

The overall project density is 43 dwelling units per acre for the condominium component and the commercial space is approximately 10% of the overall building size. Outlined below is the residential unit breakdown:

Plan Type	Sq.Ft.	Bedrms.	Baths	Units
Plan 1	1,422	1	2	2
Plan 2	1,525	1	2	2
Plan 3	1,758	2	2.5	1
Plan 4	1,771	2	2.5	1
Plan 5	1,983	2	2.5	2
Plan 6	2,127	3	3.5	1
Plan 7	2,351	3	3.5	1
Total				10

Outlined below is a comparison chart summarizing the required development criteria with the proposed project:

	MINIMUM REQUIRED	PROPOSED
LOT SIZE	5,000 s.f.	10,049 s.f.
*SETBACKS Front Side Rear	10 feet 0 feet 5 feet	2.5 feet 0 feet 5 feet
*LANDSCAPING	To be determined by MUDP	11%
PARKING	26 spaces	23 spaces Res. 18 spaces Com. 5 spaces
BUILDING HEIGHT	45 feet	45 feet
DENSITY	43 du. Ac.	43 du. Ac.

*To be determined by Mixed-Use Development Plan.

Environmental Determination: A Certificate of Exemption has been prepared for the project. Under the provisions of the California Environmental Quality Act, the Community Development Commission will consider the exemption during its hearing on the project.

ANALYSIS

Staff's analysis focused on the compatibility of the project with existing development patterns of the area and the project's consistency with the underlying Redevelopment Plan, Coastal Plan and Zoning Ordinance.

Since the proposed project is located within the Historic District, staff's concerns centered on the bulk and scale of the project and the architectural compatibility of the proposed design with the existing historic buildings located within this district. The proposed mixed use is compatible to the types of uses within this district because there are several buildings that have residential uses located on the second floor. The height and scale of the proposed building is also compatible with the existing buildings located within this district in that the second through the fourth floor are stepped back at the corners with the use of balconies which reduces the bulk and scale of the building while still providing for a very pedestrian feel. The use of brick on the first floor and the tower element ties together this building with the adjacent Travelers Hotel, as well as the other historic buildings situated on this block. Staff believes that the proposed mixed-use project is consistent with the Historic District as well as the surrounding neighborhood with such projects as Oceanside Terraces and the proposed CityMark project.

Section 3105 of the Oceanside Zoning Ordinance allows for the reduction of parking spaces by a maximum of 20 percent upon approval of a Conditional Use Permit and that two findings are met which are as follows:

1. The proposed parking spaces are less than the parking space ratio as established in Section 3103 of the Oceanside Zoning Ordinance.
2. The long-term occupancy of the building will not generate additional parking demand.

The Downtown "D" District further restricts parking to a maximum of 10 per cent reduction in the total amount of parking spaces if the mixed-use project contains residential uses (such as this project). Therefore, the maximum number of parking spaces that can be reduced for this project is three (3) parking spaces. A parking analysis was submitted that indicated that this project, due to shared parking, requires 23 parking spaces and the project provides 23 parking spaces (see attachment). The long-term occupancy of the building will not generate additional parking demand in that any proposed commercial uses allowed by the Zoning Ordinance within Subdistrict 1A will be required to provide parking spaces at the parking space ratio established by Section 3103 of the Oceanside Zoning Ordinance.

Staff's review of the project also examined the consistency of the development with the

underlying zoning regulations and policies of the Local Coastal Program. The project is located outside the “appealable area” which is defined as the first 300 feet east of The Strand. The project is situated in the middle of the block and provides a front yard setback which is consistent with the setbacks for existing buildings located within this Historic Block. The project’s effect on public coastal views will be minimal.

In conclusion, staff believes that the project meets the intent of the Redevelopment Plan and the underlying subdistrict goals, which encourage the development of mixed-use projects and brings much-needed new office-retail space as well as new residents to the downtown area. The design of the project is consistent in both the height and scale of development within the Historic District. The proposed project is consistent with the quality of design of the newer developments located within the surrounding area such as Oceanside Terraces and the proposed CityMark project.

COMMISSION OR COMMITTEE REPORTS

The Redevelopment Design Review Committee (RDRC) reviewed the project at its February 15, 2008, meeting and approved the project on a 3-0 vote.

The Redevelopment Advisory Committee (RAC) approved the project at its March 26, 2008, meeting by a 5-1-1 vote.

FISCAL IMPACT

The proposed project will add approximately \$70,000 of tax increment yearly to the project area.

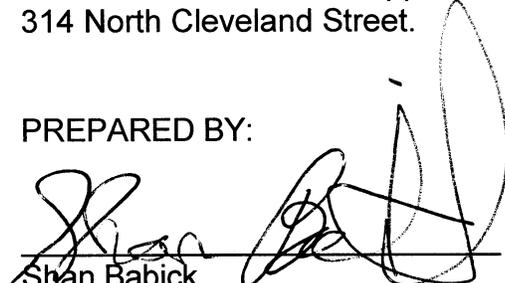
CITY ATTORNEY’S ANALYSIS

Pursuant to Oceanside Zoning Ordinance Article 12, Section (KK), the Community Development Commission is authorized to hold a public hearing on the application for a Mixed Use Development Plan in accord with the provisions of Article 43. Additionally, pursuant to Article 41, Section 4102, and Article 43, Section 4305, the Commission is authorized to hold a public hearing on this project’s applications. Consideration of the project should be based on the evidence presented at the public hearing. After conducting the public hearing, the Commission shall approve, conditionally approve, or disapprove the project. The resolution has been reviewed and approved as to form by the City Attorney.

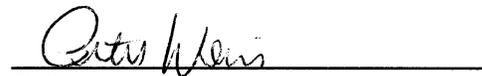
RECOMMENDATION

Staff recommends that the Commission adopt the resolution approving Tentative Map (T-201-07), Development Plan (D-207-07), Conditional Use Permits (C-202-07 & C-204-07) and Regular Coastal Permit (RC-210-07) for the construction of 10 residential condominium units and approximately 2,000 square feet of office/retail uses located at 314 North Cleveland Street.

PREPARED BY:

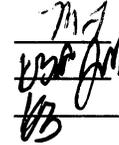

Shan Babick
Associate Planner

SUBMITTED BY:


Peter A. Weiss
Executive Director

REVIEWED BY:

Michelle Skaggs Lawrence, Deputy City Manager
Jane McVey, Economic and Community Development Director
Kathy Baker, Redevelopment Manager



EXHIBITS/ATTACHMENTS

1. Resolution
2. Notice of Exemption
3. Site Plan / Floor Plans / Elevations
4. Car Lift Specifications
5. Parking Analysis

1 RESOLUTION NO. 08-

2 A RESOLUTION OF THE COMMUNITY DEVELOPMENT
3 COMMISSION OF THE CITY OF OCEANSIDE APPROVING
4 A TENTATIVE MAP, DEVELOPMENT PLAN, REGULAR
5 COASTAL PERMIT AND CONDITIONAL USE PERMITS FOR
6 THE CONSTRUCTION OF A MIXED USE PROJECT
7 CONSISTING OF 10 MULTIFAMILY UNITS AND 2,000
8 SQUARE FEET OF GROUND-FLOOR OFFICE-RETAIL USES
9 LOCATED AT 314 NORTH CLEVELAND STREET -
10 APPLICANT: MICHAEL CHEGINI

11 WHEREAS, on May 21, 2008, the Community Development Commission held its duly
12 noticed public hearing, considered an application for a Tentative Map (T-201-07), Development
13 Plan (D-207-07), Regular Coastal Permit (RC-210-07) and Conditional Use Permits (C-202-07
14 & C-204-07)) for the construction of a mixed-use project consisting of 10 multifamily units and
15 2,000 square feet of ground-floor office/retail uses located 314 North Cleveland Street;

16 WHEREAS, the Redevelopment Design Review Committee (RDRC) of the City of
17 Oceanside did, on February 15, 2008, review and recommend approval of Tentative Map (T-
18 201-07), Development Plan (D-207-07), Regular Coastal Permit (RC-210-07) and Conditional
19 Use Permits (C-202-07 & C-204-07);

20 WHEREAS, the Redevelopment Advisory Committee (RAC) of the City of Oceanside
21 did, on March 26, 2008 review and recommend approval of Tentative Map (T-201-07),
22 Development Plan (D-207-07), Regular Coastal Permit (RC-210-07) and Conditional Use
23 Permits (C-202-07 & C-204-07);

24 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,
25 dedication, reservation or other exaction to the extent permitted and as authorized by law;

26 WHEREAS, a Categorical Exemption was prepared by the Resource Officer of the City
27 of Oceanside for this application pursuant to the California Environmental Quality Act of 1970
28 and the State Guidelines implementing the Act. The project is considered an infill development
and will not have a detrimental effect on the environment;

WHEREAS, there is hereby imposed on the subject development project certain fees,
dedications, reservations and other exactions pursuant to state law and city ordinance;

WHEREAS, pursuant to Government Code §66020(d)(1), NOTICE IS HEREBY
GIVEN that the Project is subject to certain fees, dedications, reservations and other exactions
as provided below:

1	<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
4	Parkland Dedication/Fee	Ordinance No. 91-10 Resolution No. 06-R0334-1	\$3,503 per unit
7	Drainage Fee	Ordinance No. 85-23 Resolution No. 06-R0334-1	\$2,843 per acre
9	Public Facility Fee	Ordinance No. 91-09 Resolution No. 05-R0334-1	\$2,072 per unit
11	School Facilities Mitigation Fee	Ordinance No. 91-34	\$2.63 per square foot
13	Traffic Signal Fee	Ordinance No. 87-19 Resolution No. 06-R0334-1	\$15.71 per vehicle trip
15	Thoroughfare Fee	Ordinance No. 83-01 Resolution No. 06-R0334-1	\$255 per vehicle trip (based on SANDAG trip generation table)
19	Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 05-OR 0611-1	Fee based on water meter size. Residential is typically \$3,746 per unit;
23	Wastewater System Buy-in fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 05-OR 0610-1	Based on meter size. Residential is typically \$4,587 per unit;
28	San Diego County Water	SDCWA Ordinance No.	Based on meter size.

1	<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or</u>
2			<u>Calculation Formula</u>
3			
4	Authority Capacity Fees	2005-03	Residential is typically
5			\$4,154 per unit

7 WHEREAS, the current fees referenced above are merely fee amount estimates of the
8 impact fees that would be required if due and payable under currently applicable ordinances and
9 resolutions, presume the accuracy of relevant project information provided by the applicant, and
10 are not necessarily the fee amounts that will be owing when such fees become due and payable;

11 WHEREAS, unless otherwise provided by this resolution, all impact fees shall be
12 calculated and collected at the time and in the manner provided in Chapter 32B of the
13 Oceanside City Code and the City expressly reserves the right to amend the fees and fee
14 calculations consistent with applicable law;

15 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,
16 dedication, reservation or other exaction to the extent permitted and as authorized by law;

17 WHEREAS, pursuant to Government Code §66020(d)(1), NOTICE IS FURTHER
18 GIVEN that the 90-day period to protest the imposition of any fee, dedication, reservation, or
19 other exaction described in this resolution begins on the effective date of this resolution and any
20 such protest must be in a manner that complies with Section 66020; and

21 WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes
22 effective upon its adoption.

23 NOW, THEREFORE, the Community Development Commission of the City of
24 Oceanside does resolve as follows:

25 FINDINGS:

26 **For the Tentative Map:**

- 27 1. The proposed condominium meets the requirement of the Subdistrict 1A zoning
28 designation in that the project creates a 10-unit condominium map on an existing legal lot as
stipulated within Article 12 of the Downtown District development standards. The subdivision

1 map is consistent with the General Plan, Redevelopment Plan, Article 12 of the Downtown District
2 and the Subdivision Ordinance of the City of Oceanside by merging two existing legal lots and
3 creating one 10,049 lot where the minimum lot size is 5,000 square feet.

4 2. The proposed building on the site will conform to the topography of the site,
5 therefore, making it suitable for residential development. The subject site is physically suitable to
6 allow for the development of a mixed use project consisting of 10-unit multifamily and 2,000
7 square feet of ground floor office-retail uses.

8 3. The subdivision complies with all other applicable ordinances, regulations and
9 guidelines of the City.

10 4. The design of the subdivision or proposed improvements will not conflict with
11 easements, acquired by the public at large, for access through or use of property within the
12 subdivision.

13 5. The design of the subdivision or the proposed improvements will not cause
14 substantial environment damage or substantially and avoidably injure fish or wildlife or their
15 habitat because the proposed project is an infill site that does not contain any sensitive habitat, river
16 or blue stream, wildlife, cultural resources, riparian habitat, sensitive landforms and/or geologic
17 formations or minerals, sensitive fauna and marine life.

For the Development Plan:

18 1. The site plan and physical design of the project as proposed is consistent with the
19 purposes of the City's Zoning Ordinance and the "D" Downtown District in that the
20 architectural design of the proposed structure and the landscaping of the open space meets or
21 exceeds the minimum development standards of the "D" Downtown District. The proposed
22 project meets the minimum setbacks, landscape, open space, height and parking spaces as
23 stipulated within the "D" Downtown District development standards. In addition, the project is
24 consistent with the new mixed-use development such as Oceanside Terraces located within the
25 surrounding neighborhood.

26 2. The Development Plan as proposed conforms to the Redevelopment Plan, and
27 General Plan of the City in that the mixed use development is consistent with the land uses of
28 the Redevelopment Plan and the project meets the minimum setbacks, landscape, open space,
height and parking spaces as stipulated within the "D" Downtown District development

1 standards. In addition, the project is consistent with the newer development located within the
2 surrounding neighborhood.

3 3. The area covered by the Development Plan can be adequately, reasonably and
4 conveniently served by existing and planned public services, utilities and public facilities. The
5 proposed mixed use development project will not create public service and facility demands
6 exceeding the capacity of existing and planned infrastructure.

7 4. The proposed project, a mixed use development, is compatible with the newer
8 development within the surrounding neighborhood in that in comparing the project's product type
9 and corresponding square footages to the unit types and square footages that exist in the area, it can
10 be found that the proposed unit sizes are comparable in size and would have a positive effect on the
11 area.

12 5. The site plan and physical design of the project is consistent with Section 1.24 and
13 1.25 of the Land Use Element of the General Plan, and Section 3039 of the Oceanside Zoning
14 Ordinance (Hillside Development Provisions), in that there is only 2.5 foot grade differentials from
15 the highest and lowest points of the subject site and therefore the project would not be subject to
16 the guidelines of the Land Use Element of the General Plan.

17 **For the Conditional Use Permit for a Mixed-Use Development:**

18 1. The total number of dwelling units in the Mixed-Use Development Plan (MUDP)
19 does not exceed the maximum density (43 du. ac.) permitted under the General Plan land use
20 regulations.

21 2. The proposed development achieved under the MUDP will contribute to an
22 enhanced and superior urban environment in comparison to a development that might otherwise
23 be realized apart from the proposed MUDP. The proposed ground floor commercial which
24 provides a pedestrian feel combined with the openness of the proposed balconies and common
25 use area for the residential component, is a quality that cannot be found for either a single use
26 commercial and/or residential building.

27 3. The MUDP is consistent with the adopted land use policies and regulations for
28 the Redevelopment land use area. The project proposes residential and office/retail uses which
are consistent with the General Plan, Redevelopment Plan and the Downtown "D" District
Zoning Ordinance.

1 4. The MUDP will be adequately served by the necessary utilities and facilities.
2 The project connection to the existing utilities and facilities will not exceed the capacity of the
3 existing systems.

4 5. The traffic expected to be generated by the MUDP alone which will increase the
5 average daily trips (ADT) by 100, will not exceed the 7,000 ADT maximum capacity of North
6 Cleveland Street.

7 6. The MUDP will not significantly effect “shadowing” upon the adjacent
8 properties in comparison of the development shading that would otherwise be realized from a
9 development not containing a mixed-use component. The maximum height for commercial
10 development for this zone is 45 feet and the project proposes a maximum height of 45 feet.
11 Due to this fact, the shadowing effect to adjacent properties will not be increased by the
12 proposed mixed-use development as opposed to a single use commercial development.

Conditional Use Permit for the 10% Reduction of Parking Spaces:

13 1. That the proposed location of the use is in accord with the objectives of this
14 ordinance and the purposes of the district in which the site is located. The location of the mixed
15 use development for the reduction in parking is consistent with the allowable uses within this
16 land use district (Subdistrict 1A) of the Redevelopment Plan.

17 2. That the proposed location of the conditional use and the proposed conditions
18 under which it would be operated or maintained will be consistent with the General Plan; will
19 not be detrimental to the public health, safety or welfare of persons residing or working in or
20 adjacent to the neighborhood of such use; and will not be detrimental to properties or
21 improvements in the vicinity or to the general welfare of the city. The proposed restrictions for
22 the conditional use permit are consistent with the Zoning Ordinance, General Plan, Local
23 Coastal Plan and Redevelopment Plan, will not affect neighborhood compatibility. The
24 proposed mixed use development and the conditions under which it will be allowed to operate
25 will not be detrimental to the public health, safety or welfare of persons residing or working in
26 or adjacent to the subject site.

27 3. That the proposed conditional use will comply with the provisions of this
28 Ordinance, including any specific condition required for the proposed conditional use in the district
in which it would be located. The proposed project will comply with all conditions of this

1 resolution and any specific conditions established the Downtown “D” District Zoning
2 Ordinance.

3 4. The project proposes a deficit of three (3) parking spaces than the required
4 parking space ratio as established in Section 3103 of the Oceanside Zoning Ordinance. In
5 accordance with the Parking Demand Analysis prepared by Owen Design (March 5, 2008),
6 stated that the project’s land use combination provides an opportunity for users to share
7 available parking spaces. The retail and office uses have a peak parking demand during the day
8 time when residential parking demand is minimal. Likewise, parking space demand for office
9 uses would be non-existent during the nights, and retail user’s parking demand would start to
10 diminish during the evenings. Additionally, the subject site is within walking distance of the
11 Oceanside Transit Center which encourages office and retail users to ride trains or buses instead
12 of driving and parking on-site. These factors would contribute to a significant reduction in the
13 project’s parking demands and requirements. The proposed project would require a total of 26
14 parking spaces per Section 3103 of the Oceanside Zoning Ordinance, without shared parking.
15 With shared parking, a total of 23 parking spaces are required. The parking demand could be
16 further reduced due to location of the subject site to the transit center in addition, to the public
17 parking lot located west of the subject site.

18 5. The long term occupancy of the building will not generate additional parking demand in
19 that any proposed commercial or residential uses allowed by the Downtown “D” District located
20 within Subdistrict 1A. Future tenants will be restricted to the land uses that ensure there are an
21 adequate amount of parking spaces at the parking space ratio established by Section 3103 of the
22 Downtown “D” District Zoning Ordinance.

23 SECTION 1. That Tentative Map (T-201-07), Development Plan (D-207-07), Regular
24 Coastal Permit (RC-210-07) and Conditional Use Permits (C-202-07 & C-204-07)) are hereby
25 approved subject to the following conditions:

26 **Building:**

27 1. Applicable Building Codes and Ordinances shall be based on the date of
28 submittal for Building Department plan check (Currently the 2007 California Building Code
and 2007 California Electrical Code).

2. The granting of approval under this action shall in no way relieve the
applicant/project from compliance with all State and local building codes.

1 3. The building plans for this project are required by State law to be prepared by a
2 licensed architect or engineer and must be in compliance with this requirement prior to
3 submittal for building plan review.

4 4. Site development, common use areas, access and adaptability of condominiums
5 shall comply with the State's Disabled Accessibility Regulations (2007 California Building
6 Code (CBC) Chapter 11A).

7 5. Site development, parking, access into buildings, and building interiors shall
8 comply with the State's Disabled Accessibility Regulations (2007 California Building Code
9 (CBC) Chapter 11B).

10 6. All electrical, communication, CATV, etc. service lines, within the exterior lines
11 of the property shall be underground. (City Code Sec. 6.30)

12 7. All outdoor lighting must comply with Chapter 39 of the City Code. (Light
13 Pollution Ordinance) Where color rendition is important, high-pressure sodium, metal halide or
14 other such lights may be utilized and shall be shown on building and electrical plans.

15 8. Compliance with the Federal Clean Water Act (BMP's) shall be demonstrated on
16 the plans.

17 9. The developer shall monitor, supervise and control all building construction and
18 supportive activities so as to prevent these activities from causing a public nuisance, including, but
19 not limited to, strict adherence to the following:

20 a) Building construction work hours shall be limited to between 7 a.m. and
21 6 p.m. Monday through Friday, and on Saturday from 7 a.m. to 6 p.m. for work that is not
22 inherently noise-producing. Examples of work not permitted on Saturday are concrete and
23 grout pours, roof nailing and activities of similar noise-producing nature. No work shall be
24 permitted on Sundays and Federal Holidays (New Year's Day, Memorial Day, July 4th, Labor
25 Day, Thanksgiving Day, Christmas Day) except as allowed for emergency work under the
26 provisions of the Oceanside City Code Chapter 38. (Noise Ordinance)

27 b) The construction site shall be kept reasonably free of construction debris
28 as specified in Section 13.17 of the Oceanside City Code. Storage of debris in approved solid
waste containers shall be considered compliance with this requirement. Small amounts of
construction debris may be stored on-site in a neat, safe manner for short periods of time

1 pending disposal.

2 10. A complete soils report, structural and energy calculations will be required at
3 time of plans submittal to the Building Division for plan check.

4 11. A private sewer system design must be submitted to the Building Department
5 and approved prior to the construction of the sewer system. If a gravity flow system is not used,
6 an engineered mechanical system must be submitted and approved by the Redevelopment,
7 Engineering, Water and Building Department.

8 12. Separate/unique addresses will/may be required to facilitate utility releases.
9 Verification that the addresses have been properly assigned by the City's Planning Department
10 shall accompany the Building Permit application.

11 13. Fire sprinklers are required for apartment, condominium and hotel buildings [CBC
12 904.2.7].

13 14. Wood stud walls and bearing partitions shall not support more than two (2) floors
14 and a roof unless an analysis satisfactory to the building official shows that shrinkage of the wood
15 framing will not have adverse affects on the structure or any plumbing, electrical or mechanical
16 systems, or other equipment installed therein due to excessive shrinkage or differential movements
17 caused by shrinkage. [CBC 2308]

18 15. A "plat" drawing shall be submitted depicting the first floor elevations for each
19 segment, the locations of the points where the floor level is 6 feet above grade, and the lowest
20 elevation within 5 feet from the building for each segment.

21 16. Plan submittal to the Building Division must include a Pedestrian Protection Plan
22 complying with the requirements of CBC 3306 and Table 3306.1

23 17. Tenant Improvements or other construction to the existing building requires permits
24 (including all required Inspections and approvals, and Issuance of Certificate of Occupancy) from
25 the Building Division.

26 **Engineering:**

27 18. For the demolition of any existing structures or surface improvements, grading
28 plans shall be submitted and erosion control plans be approved by the City Engineer prior to the
issuance of a demolition permit. No demolition shall be permitted without an approved erosion
control plan.

1 19. Vehicular access rights to Cleveland Street and, with the exception of the access
2 points approved by the City Engineer, to the Alley shall be relinquished by the property owner.

3 20. All right-of-way alignments, street dedications, exact geometrics and widths shall
4 be dedicated and improved as required by the City Engineer.

5 21. Design and construction of all improvements shall be in accordance with
6 standard plans, specifications of the City of Oceanside and subject to approval by the City
7 Engineer.

8 22. Prior to issuance of a building permit, unless already fully covered by an
9 appropriately binding subdivision agreement, all improvement requirements shall be covered by
10 a development agreement and secured with sufficient improvement securities or bonds
11 guaranteeing performance and payment for labor and materials, setting of monuments, and
12 warranty against defective materials and workmanship.

13 23. The developer shall provide public street dedication along the property's frontage
14 on Cleveland Street as required to serve the property. The dedication shall bring the half right of
15 way width (measured from the right of way centerline of the road) to thirty (30) feet on the
16 developer's side of the road.

17 24. Prior to approval of the final map or any increment, all improvement requirements,
18 within such increment or outside of it if required by the City Engineer, shall be covered by a
19 subdivision agreement and secured with sufficient improvement securities or bonds guaranteeing
20 performance and payment for labor and materials, setting of monuments, and warranty against
21 defective materials and workmanship.

22 25. The subdivision shall be recorded and developed as one. A construction-phasing
23 plan for the construction of public and private improvements shall be reviewed and approved by
24 the City Engineer prior to the approval of the final map or issuance of a building permit
25 (whichever occurs first). Prior to the issuance of any building permits all improvements including
26 landscaping, frontage improvements shall be under construction to the satisfaction of the City
27 Engineer. Prior to issuance of any certificates of occupancy the City Engineer shall require the
28 dedication and construction of necessary utilities, streets and other improvements outside the area
of any particular final map, if such is needed for circulation, parking, access or for the welfare or
safety of future occupants of the development.

1 26. The subdivider shall provide the City of Oceanside with a certification from each
2 public utility and each public entity owning easements within the proposed project stating that:
3 (a) they have received from the developer a copy of the proposed map; (b) they object or do not
4 object to the filing of the map without their signature; (c) in case of a street dedication affected
5 by their existing easement, they will sign a "subordination certificate" or "joint-use certificate"
6 on the map when required by the governing body. In addition, the subdivider shall furnish
7 proof to the satisfaction of the City Engineer that no new encumbrances have been created that
8 would subordinate the City's interest over areas to be dedicated for public road purposes since
9 submittal of the project.

10 27. Prior to the issuance of any permits for models, a construction-phasing plan for
11 the entire project shall be reviewed and approved by the City Planner, City Engineer, and
12 Building Official. All improvements shall be under construction to the satisfaction of the City
13 Engineer prior to the issuance of any building permits. All public and private improvements
14 including landscaping and offsite streets or arterials that are found to be required to serve the
15 model complex shall be completed prior to the issuance of any certificates of occupancy.

16 28. Where off-site public or private improvements, including but not limited to slopes,
17 utility facilities, and drainage facilities, or on-site public facilities are to be constructed and/or
18 maintained, the developer shall, at his own expense, obtain all necessary easements or other
19 interests in real property and, in case of public facilities, shall dedicate the same to the City of
20 Oceanside or to the appropriate utility company as required. The developer shall provide
21 documentary proof satisfactory to the City of Oceanside that such easements or other interest in
22 real property have been obtained prior to the approval of the final map or issuance of appropriate
23 grading, building or improvement permit for the development. Additionally, the City of
24 Oceanside, may at its sole discretion, require that the developer obtain at his sole expense a title
25 policy insuring the necessary title for the easement or other interest in real property to have vested
26 with the City of Oceanside or the developer, as applicable.

27 29. Pursuant to the State Map Act, improvements shall be required at the time of
28 development. A covenant, reviewed and approved by the City Attorney, shall be recorded
attesting to these improvement conditions and a certificate setting forth the recordation shall be
placed on the map.

1 30. Prior to the issuance of a grading permit, the Developer shall notify and host a
2 neighborhood meeting with all of the area residents located within 300 feet of the project site,
3 and residents of property along any residential streets to be used as a "haul route", to inform
4 them of the grading and construction schedule, haul routes, and to answer questions.

5 31. The developer shall monitor, supervise and control all construction and
6 construction-supportive activities, so as to prevent these activities from causing a public nuisance,
7 including but not limited to, insuring strict adherence to the following:

8 a) Dirt, debris and other construction material shall not be deposited on any public
9 street or within the City's storm water conveyance system.

10 b) All grading and related site preparation and construction activities shall be
11 limited to the hours of 7 AM to 6 PM, Monday through Friday. No engineering
12 related construction activities shall be conducted on Saturdays, Sundays or legal
13 holidays unless written permission is granted by the City Engineer with specific
14 limitations to the working hours and types of permitted operations. All on-site
15 construction staging areas shall be as far as possible (minimum 100 feet) from
16 any existing residential development. Because construction noise may still be
17 intrusive in the evening or on holidays, the City of Oceanside Noise Ordinance
18 also prohibits "any disturbing excessive or offensive noise which causes
19 discomfort or annoyance to reasonable persons of normal sensitivity."

20 c) The construction site shall accommodate the parking of all motor vehicles used by
21 persons working at or providing deliveries to the site.

22 d) A haul route shall be obtained at least 7 days prior the start of hauling operations
23 and must be approved by the City Engineer. Hauling operations shall be 8:00 A.M.
24 to 3:30 P.M. unless approved otherwise.

25 32. A traffic control plan shall be prepared according to the City traffic control
26 guidelines and be submitted to and approved by the City Engineer prior to the start of work
27 within open City rights-of-way. Traffic control during construction of streets that have been
28 opened to public traffic shall be in accordance with construction signing, marking and other
protection as required by the Caltrans Traffic Manual and City Traffic Control Guidelines.
Traffic control plans shall be in effect from 8:00 a.m. to 3:30 p.m. unless approved otherwise.

1 33. Approval of this development project is conditioned upon payment of all applicable
2 impact fees and connection fees in the manner provided in chapter 32B of the Oceanside City
3 Code. All drainage fees, traffic signal fees and contributions, highway thoroughfare fees, park
4 fees, reimbursements, and other applicable charges, fees and deposits shall be paid prior to
5 recordation of the map or the issuance of any building permits, in accordance with City Ordinances
6 and policies. The developer shall also be required to join into, contribute, or participate in any
7 improvement, lighting, or other special district affecting or affected by this project. Approval of
8 the tentative map and development plan shall constitute the developer's approval of such payments,
9 and his agreement to pay for any other similar assessments or charges in effect when any increment
10 is submitted for final map or building permit approval, and to join, contribute, and/or participate in
such districts.

11 34. Cleveland Street shall be improved with port land cement concrete curb, gutter, and
12 sidewalk.

13 35. The developer/subdivider shall provide a minimum of 10 feet parkway between the
14 face of curb and the right of way line along the project's frontage on Cleveland Street. Sidewalk
15 improvements shall comply with ADA requirements. A minimum four (4) feet wide continuous
16 strip of the parkway shall be kept unpaved. All improvements, structures, including retaining
17 wall(s), and the landscaping of the unpaved portion of the parkway shall be maintained by the
18 owner of the subject property or by a Home Owners' Association in perpetuity.

19 36. Sight distance and clear space easement requirements at intersections and vehicular
20 access points shall conform to the corner sight distance criteria as provided by SDRSD DS-20A
21 and or DS-20B for each direction of traffic. The project's civil engineer shall submit an
22 appropriate "Sight Distance Letter" to the City Engineer certifying compliance with this
requirement.

23 37. Streetlights shall be maintained and installed on all public streets within the project
24 and along the project's frontage per City Standards. The system shall provide uniform lighting,
25 and be secured prior to occupancy. The developer shall pay all applicable fees, energy charges,
26 and/or assessments associated with City-owned (LS-2 rate schedule) streetlights and shall also
27 agree to the formulation of, or the annexation to, any appropriate street lighting district.

1 38. The alignments and all geometrics for streets, alleys, and driveways shall meet the
2 City's applicable standards, unless alignment or geometric deviations are otherwise approved by
3 satisfying sight distance and fire truck turning movement requirements approved with the tentative
4 map and development plan.

5 39. Pavement sections for all streets, alleys, driveways and parking areas within the
6 project and along the project's frontage shall be based upon approved soil tests and traffic indices.
7 The pavement design is to be prepared by the developer's soil engineer and must be approved by
8 the City Engineer, prior to paving.

9 40. Prior to approval of the grading plans, the developer shall provide appropriate
10 documentation from a geotechnical engineer on the current state of the street's structural section to
11 the satisfaction of the City Engineer. If such documentation is not available, the developer's
12 geotechnical engineer shall perform a field investigation of the existing pavement on all streets
13 adjacent to the project boundary. The limits of the study shall be half-street (including median, if
14 any) plus twelve (12) feet along the project's frontage. If required, the field investigation shall be
15 performed according to a specific boring plan prepared by a licensed Geotechnical Engineer and
16 approved by the City Engineer. In the absence of such approved boring plan, the field investigation
17 shall include a minimum of one pavement boring per every one hundred (100) linear feet of street
18 frontage. Should the existing structural section be determined to be less than the current minimum
19 standard for AC and Class II Base as set forth in the table for City of Oceanside Pavement Design
20 Guidelines in the City of Oceanside Engineers Manual, the Developer shall remove and reconstruct
21 the pavement section as determined by the pavement analysis submittal process detailed below.

22 41. Upon review of the pavement investigation, the City Engineer shall determine
23 whether the Developer shall: 1) Repair all failed pavement sections, header cut and grind per the
24 direction of the City Engineer, and construct a two (2) inch thick rubberized AC overlay; or 2)
25 Perform R-value testing and submit a study that determines if the existing pavement meets current
26 City standards/traffic indices. Should the study conclude that the pavement does not meet current
27 requirements, rehabilitation/mitigation recommendations shall be provided in a pavement analysis
28 report, and the Developer shall reconstruct the pavement per these recommendations, subject to
approval by the City Engineer.

1 42. All street improvements shall be completed to the satisfaction of the City Engineer.

2 43. Any existing broken pavement, concrete curb, gutter or sidewalk or any damaged
3 during construction of the project, shall be repaired or replaced as directed by the City Engineer.

4 44. Full width alley improvements, including the installation of a longitudinal concrete
5 alley gutter, shall be constructed along the development's frontage with appropriate transition to
6 the alley's access to Civic Center Drive in accordance with the standard plans and specifications of
7 the City of Oceanside and as approved by the City Engineer.

8 45. All existing overhead utility lines within the subdivision and within the full width
9 street, alley or right-of-way abutting the new subdivision, and all new extension services for the
10 development of the project, including but not limited to, electrical, cable and telephone, shall be
11 placed underground prior to issuance of a building permit for Parcel 2 per Section 901.G. of the
12 Subdivision Ordinance (R91-166) and as required by the City Engineer and current City policy.

13 46. The developer shall comply with all the provisions of the City's cable television
14 ordinances including those relating to notification as required by the City Engineer.

15 47. Grading and drainage facilities shall be designed and installed to adequately
16 accommodate the local storm water runoff and shall be in accordance with the City's Engineers
17 Manual and as directed by the City Engineer.

18 48. The developer shall obtain any necessary permits and clearances from all public
19 agencies having jurisdiction over the project due to its type, size, or location, including but not
20 limited to the U. S. Army Corps of Engineers, California Department of Fish & Game, U. S. Fish
21 and Wildlife Service and/or San Diego Regional Water Quality Control Board (including NPDES),
22 San Diego County Health Department, prior to the issuance of grading permits.

23 49. The approval of the tentative map or development plan shall not mean that
24 proposed grading or improvements on adjacent properties (including any City properties/Right-
25 of-Way or easements) is granted or guaranteed to the developer. The developer is responsible
26 for obtaining permission to grade or to construct on adjacent properties. Should such permission
27 be denied, the resulting changes to the Tentative Map/Development Plan shall be subject to a
28 Substantial Conformity review. Changes not meeting substantial conformity requirements shall be
submitted for appropriate public hearing action.

1 50. Prior to any grading of any part of the subdivision/development, a comprehensive
2 soils and geologic investigation shall be conducted of the soils, slopes, and formations in the
3 project. All necessary measures shall be taken and implemented to assure slope stability, erosion
4 control, and soil integrity. No grading shall occur until a detailed grading plan, to be prepared in
5 accordance with the Grading Ordinance and Zoning Ordinance, is approved by the City Engineer.

6 51. The extent and location of the proposed grading including “over excavation”, if
7 any, should be clearly depicted on a grading plan. The consultant shall provide recommendations
8 and the means for temporary excavations for removals during construction and the sequence of
9 construction. Appropriate cross sections depicting the location of adjacent structures and public
10 ways where the excavations would remove the lateral support shall be part of the excavation plans.

11 52. It is the responsibility of the property owner/developer to evaluate and determine
12 that all soil imported as part of this development is free of hazardous and/or contaminated
13 material as defined by the City and the County of San Diego Department of Environmental
14 Health. Exported or imported soils shall be properly screened, tested, and documented
15 regarding hazardous contamination.

16 53. This project shall provide year-round erosion control including measures for the site
17 required for the phasing of grading. Prior to the issuance of grading permit, an erosion control
18 plan, designed for all proposed stages of construction, shall be reviewed, secured by the developer
19 with cash securities and approved by the City Engineer.

20 54. Prior to issuance of a grading or building permit (with the exception of
21 demolition permits), the developer shall submit appropriate calculations, plans, specifications,
22 and an Operations and Maintenance (O & M) Manual for review and approval by the City
23 Engineer and the Building Official for the construction, installation, operation, and maintenance
24 of the non-gravity (e.g. sump pump) private storm drain system (System). The System shall be
25 fully automated and provide sufficient redundancies and emergency backup for cases of power
26 failures. The plans, calculations, and the O & M Manual shall be prepared by an appropriately
27 licensed engineer to the satisfaction of the City Engineer. The operation and maintenance
28 responsibilities for the System shall be sufficiently detailed in the Home Owners Association
CC&R’s and Management Plan, both of this shall adequately reference the O&M Manual. The
CC&R’s and the Management Plan shall be subject to the review and approval of the City

1 Attorney and shall be recorded prior to the issuance of any certificates of occupancy or prior to
2 the approval of the final map (whichever occurs first). Any amendments to the CC&R's or the
3 Management Plan in which the responsibility of operation or maintenance of the System is to be
4 changed shall not be permitted without the specific approval of the City. The System shall
5 remain private in perpetuity. The subdivider/developer, or any successor-in interest shall
6 defend, indemnify, and hold harmless the City, its agents, officers, or employees from any
7 claim, action, or proceedings against the City, concerning the non-gravity private storm drain
8 system.

9 55. Prior to issuance of a grading or building permit (with the exception of
10 demolition permits), the developer shall submit appropriate calculations, plans, specifications,
11 and an Operations and Maintenance (O & M) Manual for review and approval by the City
12 Engineer and the Building Official for the construction, installation, operation, and maintenance
13 of the private stacked mechanical vehicle storage system. The plans, calculations, and the O &
14 M Manual shall be prepared by an appropriately licensed engineer to the satisfaction of the City
15 Engineer and the Building Official. The operation and maintenance responsibilities for the
16 System shall be sufficiently detailed in the Home Owners Association CC&R's and
17 Management Plan, both of this shall adequately reference the O&M Manual. The CC&R's and
18 the Management Plan shall be subject to the review and approval of the City Attorney and shall
19 be recorded prior to the issuance of any certificates of occupancy or prior to the approval of the
20 final map (whichever occurs first). Any amendments to the CC&R's or the Management Plan
21 in which the responsibility of operation or maintenance of the System is to be changed shall not
22 be permitted without the specific approval of the City. The System shall remain private in
23 perpetuity. The subdivider/developer, or any successor-in-interest shall defend, indemnify, and
24 hold harmless the City, its agents, officers, or employees from any claim, action, or proceedings
25 against the City, concerning the private stacked mechanical vehicle storage system.

26 56. Precise grading and private improvement plans shall be prepared, reviewed, secured
27 and approved prior to the issuance of any building permits. The plan shall reflect all pavement,
28 flatwork, landscaped areas, special surfaces, curbs, gutters, medians, striping, and signage,
footprints of all structures, walls, drainage devices and utility services. Parking lot striping and any
on site traffic calming devices shall be shown on all Precise Grading and Private Improvement

1 Plans.

2 57. Landscaping plans, including plans for the construction of walls, fences or other
3 structures at or near intersections or project entrances, must conform to intersection sight distance
4 requirements.

5 58. Landscape and irrigation plans must be submitted to the City Engineer prior to the
6 issuance of a preliminary/rough grading permit and approved by the City Engineer prior to the
7 issuance of occupancy permits. Frontage landscaping shall be installed prior to the issuance of
8 any certificates of occupancy. Any project fences, sound or privacy walls and monument entry
9 walls/signs shall be shown on, bonded for and built from the landscape plans. These features shall
10 also be shown on the precise grading plans for purposes of location only. Plantable, segmental
11 walls shall be designed, reviewed and constructed by the grading plans and landscaped/irrigated
12 through project landscape plans. All plans must be approved by the City Engineer and a pre-
13 construction meeting held, prior to the start of any improvements.

14 59. The drainage design on the development plan/tentative map is conceptual only. The
15 final design shall be based upon a hydrologic/hydraulic study to be approved by the City Engineer
16 during final engineering. All drainage picked up in an underground system shall remain
17 underground until it is discharged into an approved channel, or as otherwise approved by the City
18 Engineer. All public storm drains shall be shown on City standard plan and profile sheets. All
19 storm drain easements shall be dedicated where required. The developer shall be responsible for
20 obtaining all easements for storm drainage facilities.

21 60. All storm drains shall be designed and constructed per current editions of the City's
22 Engineers Design and Processing Manual, the San Diego County Hydrology and Drainage Design
23 Manuals, and San Diego Area Regional Standard Drawings.

24 61. For any increase of storm water flows from the development site to other
25 properties, the developer shall secure appropriate easement(s) from and maintenance
26 agreement(s) with the owner(s) of the impacted properties to the satisfaction of the City
27 Engineer. Upon approval by City Engineer and the City Attorney, the appropriate documents
28 shall be recorded prior to issuance of any permits for the development. Should the developer be
unable to secure such easement(s) or agreement(s), the resulting changes to the Development Plan
shall be subject to a Substantial Conformity review. Changes not meeting substantial conformity

1 requirements shall be submitted for appropriate public hearing action.

2 62. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and
3 disposed of in accordance with all state and federal requirements, prior to stormwater discharge
4 either off-site or into the City drainage system.

5 63. The development shall comply with all applicable regulations established by the
6 United States Environmental Protection Agency (USEPA) as set forth in the National Pollutant
7 Discharge Elimination System (NPDES) permit requirements for urban runoff and storm water
8 discharge and any regulations adopted by the City pursuant to the NPDES. Regulations or
9 requirements. Further, the developer may be required to file a Notice of Intent with the State
10 Water Resources Control Board to obtain coverage under the NPDES. General Permit for Storm
11 Water Discharges Associated with Construction Activity and may be required to implement a
12 Storm Water Pollution Prevention Plan (SWPPP) concurrent with the commencement of
13 grading activities. SWPPPs include both construction and post construction pollution
14 prevention and pollution control measures and identify funding mechanisms for post
15 construction control measures. The developer shall comply with all the provisions of the Clean
16 Water Program during and after all phases of the development process, including but not limited
17 to: mass grading, rough grading, construction of street and landscaping improvements, and
18 construction of dwelling units. The developer shall design the Project's storm drains and other
19 drainage facilities to include Best Management Practices to minimize non-point source
20 pollution, satisfactory to the City Engineer.

21 64. Upon acceptance of any fee waiver or reduction by the developer, the entire
22 project will be subject to prevailing wage requirements as specified by Labor Code section
23 1720(b) (4). The developer shall agree to execute a form acknowledging the prevailing wage
24 requirements prior to the granting of any fee reductions or waivers.

25 65. The developer/subdivider shall prepare and submit an Operations & Maintenance
26 (O&M) Plan to the City Engineer with the first submittal of engineering plans. The O&M Plan
27 shall be prepared by the developer's Civil Engineer. It shall be directly based on the project's
28 SWMP previously approved by the project's approving authority (Community Development
Commission). At a minimum the O&M Plan shall include the designated responsible parties to
manage the storm water BMP(s), employee's training program and duties, operating schedule,

1 maintenance frequency, routine service schedule, specific maintenance activities, copies of
2 resource agency permits, cost estimate for implementation of the O&M Plan and any other
3 necessary elements.

4 66. The developer/subdivider shall enter into a City-Standard Stormwater Facilities
5 Maintenance Agreement with the City obliging the developer/subdivider to maintain, repair and
6 replace the Storm Water Best Management Practices (BMPs) identified in the project's
7 approved SWMP, as detailed in the O&M Plan into perpetuity. The Agreement shall be
8 approved by the City Attorney prior to issuance of any precise grading permit and shall be
9 recorded at the County Recorder's Office prior to issuance of any building permit. Security in
10 the form of cash (or certificate of deposit payable to the City) or an irrevocable, City-Standard
11 Letter of Credit shall be required prior to issuance of a precise grading permit. The amount of
12 the security shall be equal to 10 years of maintenance costs, as identified by the O&M Plan, but
13 not to exceed a total of \$25,000. The developer's Civil Engineer shall prepare the O&M cost
14 estimate.

15 67. At a minimum, maintenance agreements shall require the staff training,
16 inspection and maintenance of all BMPs on an annual basis. The project proponent shall
17 complete and maintain O&M forms to document all maintenance activities. Parties responsible
18 for the O&M plan shall retain records at the subject property for at least 5 years. These
19 documents shall be made available to the City for inspection upon request at any time.

20 68. The Agreement shall include a copy of executed onsite and offsite access
21 easements necessary for the operation and maintenance of BMPs that shall be binding on the
22 land throughout the life of the project to the benefit of the party responsible for the O&M of
23 BMPs, satisfactory to the City Engineer. The agreement shall also include a copy of the O&M
24 Plan approved by the City Engineer.

25 69. The BMPs described in the project's approved SWMP shall not be altered in any
26 way, shape or form without formal approval by either an Administrative Substantial
27 Conformance issued by the City Planner or the project's final approving authority (Community
28 Development Commission) at a public hearing. The determination of whatever action is
required for changes to a project's approved SWMP shall be made by the City Planner.

1 70. The developer/subdivider shall provide a copy of the title/cover page of the
2 approved SWMP with the first engineering submittal package. The appropriate document shall
3 be submitted for review and approval by the City Engineer. All Stormwater documents shall be
4 in compliance with the latest edition of submission requirements.

5 71. The approval of the tentative map/development shall not mean that closure,
6 vacation, or abandonment of any public street, right of way, easement, or facility is granted or
7 guaranteed to the developer. The developer is responsible for applying for all closures,
8 vacations, and abandonments as necessary. The application(s) shall be reviewed and approved
9 or rejected by the City of Oceanside under separate process(es) per codes, ordinances, and
10 policies in effect at the time of the application. The City of Oceanside retains its full legislative
11 discretion to consider any application to vacate a public street or right of way.

12 72. Landscape plans, shall meet the criteria of the City of Oceanside Landscape
13 Guidelines and Specifications for Landscape Development (latest revision), Water Conservation
14 Ordinance No. 91-15, Engineering criteria, City code and ordinances, including the maintenance
15 of such landscaping, shall be reviewed and approved by the City Engineer prior to the issuance
16 of building permits. Landscaping shall not be installed until bonds have been posted, fees paid,
17 and plans signed for final approval. The following special landscaping requirements shall be
18 required prior to plan approval:

- 19 a. Final landscape plans shall accurately show placement of all plant material such as but
20 not limited to trees, shrubs, and groundcovers.
- 21 b. Landscape Architect shall be aware of all utility, sewer, storm drain easement and place
22 planting locations accordingly to meet City of Oceanside requirements.
- 23 c. All required landscape areas shall be maintained by the owner. The landscape areas
24 shall be maintained per City of Oceanside requirements.
- 25 d. The proposed project shall meet the minimum requirements set forth by Redevelopment
26 in all areas including landscape and setbacks.
- 27 e. Proposed landscape species shall be native or naturalized to fit the site and meet climate
28 changes indicative to their planting location. The selection of plant material shall also
 be based on cultural, aesthetic, and maintenance considerations. In addition proposed

- 1 landscape species shall be low water users as well as meet all fire department
2 requirements.
- 3 f. All planting areas shall be prepared with appropriate soil amendments, fertilizers, and
4 appropriate supplements based upon a soils report from an agricultural suitability soil
5 sample taken from the site.
- 6 g. Ground covers or bark mulch shall fill in between the shrubs to shield the soil from the
7 sun, evapotranspiration and run-off. All the flower and shrub beds shall be mulched to
8 a 3” depth to help conserve water, lower the soil temperature and reduce weed growth.
- 9 h. According to the Interim Tree Plan for the Redevelopment District at proposed project
10 along Cleveland Street, *Pistacia chinensis* – Chinese Pistache ‘Keith Davey’ is the
11 required street tree. Remove the *Washingtonia filifera* – California Fan Palm in the right
12 of way and replace with min. 36” box *Pistacia chinensis* – Chinese Pistache ‘Keith
13 Davey’ at 30’ on center.
- 14 i. Root barriers shall be installed adjacent to all paving surfaces, where a paving surface is
15 located within 6 feet of a trees trunk. Root barriers shall extend 5 feet in each direction
16 from the centerline of the trunk, for a total distance of 10 feet. Root barriers shall be 24
17 inches in depth. Installing a root barrier around the tree’s root ball is unacceptable.
- 18 j. All fences, gates, walls, stone walls, retaining walls, and plantable walls shall obtain
19 planning department approval for these items in the conditions or application stage prior
20 to 1st submittal of working drawings.
- 21 k. For the planting and placement of trees and their distances from hardscape and other
22 utilities/ structures the landscape plans shall follow the City of Oceanside’s (current)
23 Tree Planting Distances and Spacing Standards.
- 24 l. An automatic irrigation system shall be installed to provide coverage for all planting
25 areas shown on the plan. Low precipitation equipment shall provide sufficient water for
26 plant growth with a minimum water loss due to water run-off.
- 27 m. Irrigation systems shall use high quality, automatic control valves, controllers and other
28 necessary irrigation equipment. All components shall be of non-corrosive material. All
drip systems shall be adequately filtered and regulated per the manufacturer’s
recommended design parameters.

- 1 n. All irrigation improvements shall follow the City of Oceanside Guidelines and Water
- 2 Conservation Ordinance.
- 3 o. The landscape plans shall match all plans affiliated with the project.
- 4 p. Landscape plans shall comply with Biological and/or Geotechnical reports, as required,
- 5 shall match the grading and improvement plans, comply with SWMP Best Management
- 6 Practices and meet the satisfaction of the City Engineer.
- 7 q. Existing landscaping on and adjacent to the site shall be protected in place and
- 8 supplemented or replaced to meet the satisfaction of the City Engineer.

9 73. All landscaping, fences, walls, etc. on the site, in medians within the public right-

10 of-way and within any adjoining public parkways shall be permanently maintained by the

11 owner, his assigns or any successors-in-interest in the property. The maintenance program shall

12 include: a) normal care and irrigation of the landscaping b) repair and replacement of plant

13 materials c) irrigation systems as necessary d) general cleanup of the landscaped and open areas

14 e) parking lots and walkways, walls, fences, etc. Failure to maintain landscaping shall result in

15 the City taking all appropriate enforcement d to citations. This maintenance program condition

shall be recorded with a covenant as required by this resolution.

16 74. In the event that the conceptual landscape plan (CLP) does not match the

17 conditions of approval, the resolution of approval shall govern.

18 **Fire:**

19 75. Fire Department Requirements shall be placed on plans in the notes section.

20 76. Smoke detectors are required, and detector locations must be indicated on the

21 plans.

22 77. A minimum fire flow of 3,000 gallons per minute shall be required.

23 78. Additional hydrants may be required depending upon fire department connection

24 locations and other building elements not shown. Hydrants must be placed within 400-feet of

25 each other.

26 79. The size of the fire hydrants shall be 2 ½ “X 2 ½ 4”.

27 80. In accordance with the California Fire Code Sec. 901.4.4, City approved

28 addresses for commercial occupancies shall be placed on the structure in such a position as to be

1 plainly visible and legible from the street or roadway fronting the property. Numbers shall be
2 contrasting with their background.

3 81. Commercial buildings require 6 inch address numbers.

4 82. Plans shall be submitted to the Fire Prevention Bureau for plan check review and
5 approval prior to the issuance of building permits.

6 83. Buildings shall meet Oceanside Fire Departments current codes at the time of
7 building permit application.

8 84. The fire hydrants shall be installed and tested prior to placing any combustible
9 materials on the job site.

10 85. Provide on-site hydrants and mains capable of supplying the required fire flow.

11 86. All security gates shall have Knox-Box override.

12 87. Blue hydrant identification markers shall be placed as per Oceanside's Engineers
13 Design and Processing Manual Standard Drawing No. M-13.

14 88. Provide standpipes as required per the 2007 C.B.C.

15 89. Buildings four or more stories in height shall be provided with not less than one
16 standpipe during construction. The standpipe shall be installed before the progress of
17 construction is more than 35 feet above grade. Two and one-half inch valve hose connections
18 shall be provided at approved accessible locations adjacent to useable stairs.

19 90. A "Knox" key storage box shall be provided for all new construction. For
20 buildings, other than high-rise, a minimum of three complete sets of keys shall be provided.
21 Keys shall be provided for all exterior entry doors, fire protection equipment control rooms,
22 mechanical and electrical rooms, elevator controls and equipment spaces, etc. For high-rise
23 buildings six complete sets are required.

24 91. Fire extinguishers are required and shall be included on the plans submitted for
25 plan check.

26 92. An automatic fire extinguisher system complying with UL300 shall be provided
27 to protect commercial-type cooking or heating equipment that produces grease-laden vapors. A
28 separate plan submittal is required for the installation of the system and shall be in accordance
with C.F.C. Article 10.

1 93. Provide a class “K” type portable fire extinguisher within 30-feet of the kitchen
2 appliances emitting grease-laden vapors (N.F.P.A 17A and N.F.P.A. 96).

3 94. Provide a 13R fire sprinkler system. The system shall be designed per N.F.P.A.
4 13, and U.B.C. Standard 9-3, installation of sprinkler systems in residential occupancies up to
5 and including four stories in height.

6 95. The Fire Department connection shall not be affixed to the building. The Fire
7 Department connection must be located at least 40 feet away from the building; within 40 feet
8 of a fire hydrant and on the address side of the building unless otherwise determined by the Fire
9 Department. The hydrant shall be located on the same side of the street as the Fire Department
10 connection.

11 96. Provide a fire alarm system as required per U.F.C. Article 10 and N.F.P.A. 72
12 1999 edition.

13 97. Multi-building complexes require address directory boards that are visible from
14 the main entrance.

15 98. Multi-tenant buildings require identification on the rear exit doors with
16 individual suite numbers or letters.

17 99. An 800mHz Radio Signal Interference/ Bi-directional Amplifier (BDA) is
18 required for the buildings. All new commercial and R-1 buildings and existing buildings where
19 a structural tenant improvement is being proposed must be tested for 800mHz radio
20 transmission interference. The radio shall be submitted to the Fire Marshal prior to final
21 inspection by the Fire Department. When tested, if 800mHz signal strength readings (RSSI)
22 fall below 65 in any portion of the building, either above or below grade as measured by an
23 800mHz portable radio, purchase and installation of one or more Bi-directional Amplifier radio
24 coverage enhancer is required. The BDA/coverage enhancer shall be maintained as a condition
25 of occupancy and tested annually.

26 100. Rescue Air Systems shall be required. The specifications shall be reviewed and
27 approved by the Fire Marshal.

28 **Planning:**

 101. This Tentative Map (T-201-07), Development Plan (D-207-07), Regular Coastal
Permit (RC-210-07) and Conditional Use Permits (RC-202-07 & RC-204-07) shall expire on

1 May 21, 2010, unless implemented as required by the Zoning Ordinance.

2 102. This Tentative Map, Development Plan, Regular Coastal Permit and Conditional
3 Use Permits approves only a mixed use development consisting of 10-unit multifamily
4 residential and 2,000 square feet of ground floor retail/office uses as shown on the plans and
5 exhibits presented to the Community Development Commission for review and approval. No
6 deviation from these approved plans and exhibits shall occur without Economic and Community
7 Development Department approval. Substantial deviations shall require a revision to the
8 Tentative Map, Development Plan, Regular Coastal Permit and Conditional Use Permits or a
9 new Tentative Map, Development Plan, Regular Coastal Permit and Conditional Use Permits.

10 103. The applicant, permittee or any successor-in-interest shall defend, indemnify and
11 hold harmless the City of Oceanside, its agents, officers or employees from any claim, action or
12 proceeding against the City, its agents, officers, or employees to attack, set aside, void or annul
13 an approval of the City, concerning Tentative Map (T-201-07), Development Plan (D-207-07),
14 Regular Coastal Permit (RC-210-07) and Conditional Use Permits (C-202-07 & C-204-07).
15 The City will promptly notify the applicant of any such claim, action or proceeding against the
16 City and will cooperate fully in the defense. If the City fails to promptly notify the applicant of
17 any such claim action or proceeding or fails to cooperate fully in the defense, the applicant shall
18 not, thereafter, be responsible to defend, indemnify or hold harmless the City.

19 104. All mechanical rooftop and ground equipment shall be screened from public
20 view as required by the Zoning Ordinance. That is, on all four sides and top. The roof jacks,
21 mechanical equipment, screen and vents shall be painted with non-reflective paint to match the
22 roof. This information shall be shown on the building plans.

23 105. Landscape plans, meeting the criteria of the City's Landscape Guidelines and
24 Water Conservation Ordinance No. 91-15, including the maintenance of such landscaping, shall
25 be reviewed and approved by the City Engineer and City Planner prior to the issuance of
26 building permits. Landscaping shall not be installed until bonds have been posted, fees paid,
27 and plans signed for final approval.

28 106. All landscaping, fences, walls, etc. on the site, in medians in the public right-of-
way and in any adjoining public parkways shall be permanently maintained by the owner, his
assigns or any successors in interest in the property. The maintenance program shall include

1 normal care and irrigation of the landscaping; repair and replacement of plant materials;
2 irrigation systems as necessary; and general cleanup of the landscaped and open areas, parking
3 lots and walkways, walls, fences, etc. Failure to maintain landscaping shall result in the City
4 taking all appropriate enforcement actions by all acceptable means including but not limited to
5 citations and/or actual work with costs charged to or recorded against the owner. This condition
6 shall be recorded with the covenant required by this resolution.

7 107. Front yard landscaping with a complete irrigation system, in compliance with
8 Water Conservation Ordinance No. 91-15, shall be required.

9 108. All multi-family unit dwelling projects shall dispose of or recycle solid waste in
10 a manner provided in City Ordinance 13.3.

11 109. A letter of clearance from the affected school district in which the property is
12 located shall be provided as required by City policy at the time building permits are issued.

13 110. A covenant or other recordable document approved by the City Attorney shall be
14 prepared by the applicant developer and recorded prior to the issuance of building permits. The
15 covenant shall provide that the property is subject to this resolution, and shall generally list the
16 conditions of approval.

17 111. Prior to the issuance of building permits, compliance with the applicable
18 provisions of the City's anti-graffiti (Ordinance No. 93-19/Section 20.25 of the City Code) shall
19 be reviewed and approved by the Economic and Community Development Department. These
20 requirements, including the obligation to remove or cover with matching paint all graffiti within
21 24 hours, shall be noted on the Landscape Plan and shall be recorded in the form of a covenant
22 affecting the subject property.

23 112. Prior to the transfer of ownership and/or operation of the site the owner shall
24 provide a written copy of the applications, staff report and resolutions for the project to the new
25 owner and or operator. This notification's provision shall run with the life of the project and
26 shall be recorded as a covenant on the property.

27 113. Failure to meet any conditions of approval for this development shall constitute a
28 violation of the Tentative Map (T-201-07), Development Plan (D-207-07), Regular Coastal
Permit (RC-210-07) and Conditional Use Permits (C-202-07 & C-204-07).

1 114. Unless expressly waived, all current zoning standards and City ordinances and
2 policies in effect at the time building permits are issued are required to be met by this project.
3 The approval of this project constitutes the applicant's agreement with all statements in the
4 Description and Justification, and other materials and information submitted with this
5 application, unless specifically waived by an adopted condition of approval.

6 115. The developer's construction of all fencing and walls associated with the project
7 shall be in conformance with the approved Development Plan. Any substantial change in any
8 aspect of fencing or wall design from the approved Development Plan shall require a revision to
9 the Development Plan or a new Development Plan.

10 116. If any aspect of the project fencing and walls is not covered by an approved
11 Development Plan, the construction of fencing and walls shall conform to the development
12 standards of the City Zoning Ordinance. In no case, shall the construction of fences and walls
13 (including combinations thereof) exceed the limitations of the zoning code, unless expressly
14 granted by a Variation or other development approval.

15 117. The following unit type and floor plan mix, as approved by the Community
16 Development Commission, shall be indicated on plans submitted to the Building Division and
17 Economic and Community Development Department for building permit:

	Sq.Ft.	# Bedrms	# Baths	# Units	%
18 Plan 1	1,422	1	2	2	20
19 Plan 2	1,525	1	2	2	20
20 Plan 3	1,758	2	2.5	1	10
21 Plan 4	1,771	2	2.5	1	10
22 Plan 5	1,983	2	2.5	2	20
23 Plan 6	2,127	3	3.5	1	10
24 Plan 7	2,351	3	3.5	1	10

25 118. Side and rear elevations and window treatments shall be trimmed to substantially
26 match the front elevations. A set of building plans shall be reviewed and approved by the
27 Economic and Community Development Department prior to the issuance of building permits.

28 119. Elevations, siding materials, colors, roofing materials and floor plans shall be
substantially the same as those approved by the Community Development Commission. These
shall be shown on plans submitted to the Building Division and Economic and Community
Development Department.

1 120. An association of homeowners (HOA) shall be formed and Covenants,
2 Conditions and Restrictions (CC&R's) shall provide for the maintenance of all common open
3 space, and commonly owned fences and walls and adjacent parkways. The maintenance shall
4 include normal care and irrigation of landscaping, repair and replacement of plant material and
5 irrigation systems as necessary; and general cleanup of the landscaped and open area, parking
6 lots and walkways. The CC&R's shall be subject to the review and approval of the City
7 Attorney prior to the approval of the final map. The CC&R's are required to be recorded prior
8 to or concurrently with the final map. Any amendments to the CC&R's in which the association
9 relinquishes responsibility for the maintenance of any common open space shall not be
10 permitted without the specific approval of the City of Oceanside. Such a clause shall be a part
11 of the CC&R's. The CC&R's shall also contain provisions for the following:

12 a) The parking for the residential portion of the project shall be exclusive to
13 the residential occupancy of the building and shall not be shared or used by the commercial
14 occupancy.

15 b) Prohibition of parking or storage of recreational vehicles, trailers, or boats.

16 c) Maintenance of all common areas, and on-site and frontage landscaping.

17 d) An acknowledgement that the City of Oceanside does not have a view
18 preservation ordinance and that views may be subject to change with maturing off-site
19 landscape and the potential for future off-site building.

20 121. The project shall prepare a Management Plan. The Management Plan is subject to
21 the review and approval of the Economic and Community Development Director and the Police
22 Chief prior to the occupancy of the project, and shall be recorded as CC&R's against the property.
23 The Management Plan shall cover the following:

24 a) Security - The Management Plan, at a minimum, shall address on-site
25 management, hours-of-operation and measures for providing appropriate security for the project
26 site.

27 a) Maintenance - The Management Plan shall cover, but not be limited to
28 anti-graffiti and site and exterior building, landscaping, parking lots, sidewalks, walkways and
overall site maintenance measures and shall ensure that a high standard of maintenance at this
site exists at all times. The maintenance portion of the management plan shall include a

1 commitment for the sweeping and cleaning of parking lots, sidewalks and other concrete
2 surfaces at sufficient intervals to maintain a “like new” appearance. Wastewater, sediment, trash
3 or other pollutants shall be collected on site and properly disposed of and shall not be
4 discharged off the property or into the City’s storm drain system.

5 b) Any graffiti within the center shall be removed by the center management
6 or its designated representative within 24 hours of occurrence. Any new paint used to cover
7 graffiti shall match the existing color scheme.

8 c) Parking space plan for both the commercial and residential parking spaces.

9 122. This project is subject to the provisions of the Local Coastal Plan for Coastal
10 Housing. The developer shall obtain a Coastal Affordable Housing Permit from the Director of
11 Housing and Neighborhood Services prior to issuance of building permits or recordation of a
12 final map, whichever occurs first.

13 123. A trash enclosure must be provided as required by Chapter 13 of the City Code and
14 shall also include additional space for storage and collection of recyclable materials per City
15 standards. Recycling is required by City Ordinance. The enclosure must be built in a flat,
16 accessible location as determined by the City Engineer. The enclosure shall meet City standards
17 including being constructed of concrete block, reinforced with rebar and filled with cement. A
18 concrete slab must be poured with a berm on the inside of the enclosure to prevent the bin(s) from
19 striking the block walls. The slab must extend out of the enclosure for the bin(s) to roll out onto.
20 Steel posts must be set in front of the enclosure with solid metal gates. All driveways and service
21 access areas must be designed to sustain the weight of a 50,000-pound service vehicle. Trash
22 enclosures, driveways and service access areas shall be shown on both the improvement and
23 landscape plans submitted to the City Engineer. The specifications shall be reviewed and approved
24 by the City Engineer. The City's waste disposal contractor is required to access private property to
25 service the trash enclosures. A service agreement must be signed by the property owner and shall
26 remain in effect for the life of the project. All trash enclosures shall be designed to provide user
27 access without the use and opening of the service doors for the bins. Trash enclosures shall have
28 design features such as materials and trim similar to that of the rest of the project. This design shall
be shown on the landscape plans and shall be approved by the Redevelopment Manager.

1 **Water Utilities:**

2 124. All public water and/or sewer facilities not located within the public right-of-way
3 shall be provided with easements sized according to the City's Engineers Manual. Easements
4 shall be constructed for all weather access.

5 125. No trees, structures or building overhang shall be located within any water or
6 wastewater utility easement.

7 126. The property owner will maintain private water and wastewater utilities located
8 on private property.

9 127. Water services and sewer laterals constructed in existing right-of-way locations
10 are to be constructed by approved and licensed contractors at developer's expense.

11 128. The developer will be responsible for developing all water and sewer utilities
12 necessary to develop the property. Any relocation of water and/or sewer utilities is the
13 responsibility of the developer and shall be done by an approved licensed contractor at the
14 developer's expense.

15 129. All lots with a finish pad elevation located below the elevation of the next
16 upstream manhole cover of the public sewer shall be protected from backflow of sewage by
17 installing and maintaining an approved type backwater valve, per the Uniform Plumbing Code
18 (U.P.C.).

19 130. Water and Wastewater Buy-in fees and the San Diego County Water Authority
20 Fees are to be paid to the City and collected by the Water Utilities Department at the time of
21 Building Permit issuance.

22 131. All Water and Wastewater construction shall conform to the most recent edition
23 of the City's Engineers Manual, or as approved by the Water Utilities Director.

24 132. All residential units of this building may be required to be metered individually.

25 133. All new development of multi-family residential units shall include hot water pipe
26 insulation and installation of a hot water re-circulation device or design to provide hot water to
27 the tap within 15 seconds in accordance with City of Oceanside Ordinance No. 02-0R126-1.

28 134. The developer shall construct a public reclamation water system that will serve
each lot and or parcels that are located in the proposed project in accordance with the City of
Oceanside Ordinance No. 91-15. The proposed reclamation water system shall be located in

1 the public right-of-way or in a public utility easement.

2 135. A water and sewer study shall be prepared by the developer at the developer's
3 expense and reviewed and approved by the Water Utilities Department.

4 136. A separate irrigation meter and approved backflow prevention device is required
5 and shall be displayed on the plans.

6 137. A grease, oil and sand interceptor, as described by the Uniform Plumbing Code,
7 relating to garages and wash racks shall be installed in each building sewer in an appropriate
8 location and shall be maintained by the property owner. The location shall be called out on the
9 approved building plans.

10 138. If a restaurant or food service tenant occupies the property; a grease, oil and sand
11 interceptor, as described by the Uniform Plumbing Code, relating to garages and wash racks
12 shall be installed in each building sewer in an appropriate location and shall be maintained by
13 the property owner. The location shall be called out on the approved building plans.

14 139. Subterranean parking structures shall be designed with a drainage system that
15 conveys runoff to the City's storm drain system and shall comply with the California Regional
16 Water Quality Control Board Order No. 2007-0001.

17 PASSED AND ADOPTED by the Oceanside Community Development Commission of
18 the City of Oceanside this ___ day of _____ 2008 by the following vote:

19 AYES:

20 NAYS:

21 ABSENT:

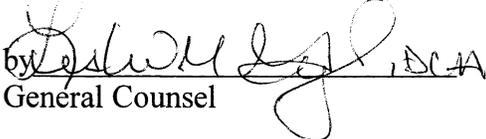
22 ABSTAIN:

Chairman

23 ATTEST:

24 _____
25 Secretary

26 APPROVED AS TO FORM:
27 OFFICE OF THE CITY ATTORNEY

28 by  DCA
General Counsel

DEVELOPMENT PLAN TRADEWINDS

REFERENCE REPORTS

PRELIMINARY GEOTECHNICAL REPORT, TRADEWINDS PROJECT, 314 S. CLEVELAND STREET, OCEANSIDE, CA, PREPARED BY TAYLOR GROUP, INC., 10/20/07, NOVEMBER 6, 2007
 PRELIMINARY DRAINAGE STUDY, TRADEWINDS PROJECT, 314 S. CLEVELAND STREET, OCEANSIDE, CA, PREPARED BY TAYLOR GROUP, INC., 10/20/07, NOVEMBER 6, 2007
 STORM WATER MITIGATION PLAN, TRADEWINDS PROJECT, 314 S. CLEVELAND STREET, OCEANSIDE, CA, PREPARED BY TAYLOR GROUP, INC., 10/20/07, NOVEMBER 6, 2007

ESTIMATED EARTHWORK QUANTITIES

CUT: 30 CUBIC YARDS
 FILL: 210 CUBIC YARDS
 NET IMPORT: 180 CUBIC YARDS
 REMOVAL EARTHWORK: 80 CUBIC YARDS
 EARTHWORK ADJ.:
 EARTHWORK WILL CONSIST OF OVER-CUTTING THE ENTIRE SITE TO EL. 45' AND FILLING COMPACTED FILL TO THE FINISHED GRADE ELEVATIONS AT THE PRELIMINARY GEOTECHNICAL REPORT.

OWNER / SUBDIVIDER

TAYLOR GROUP, INC.
 710 WEST 10TH AVENUE
 SUITE 200
 OCEANSIDE, CA 92054
 (760) 481-7740

ENGINEER OF WORK

TAYLOR GROUP, INC.
 710 WEST 10TH AVENUE
 SUITE 200
 OCEANSIDE, CA 92054
 (760) 481-7740

DATE

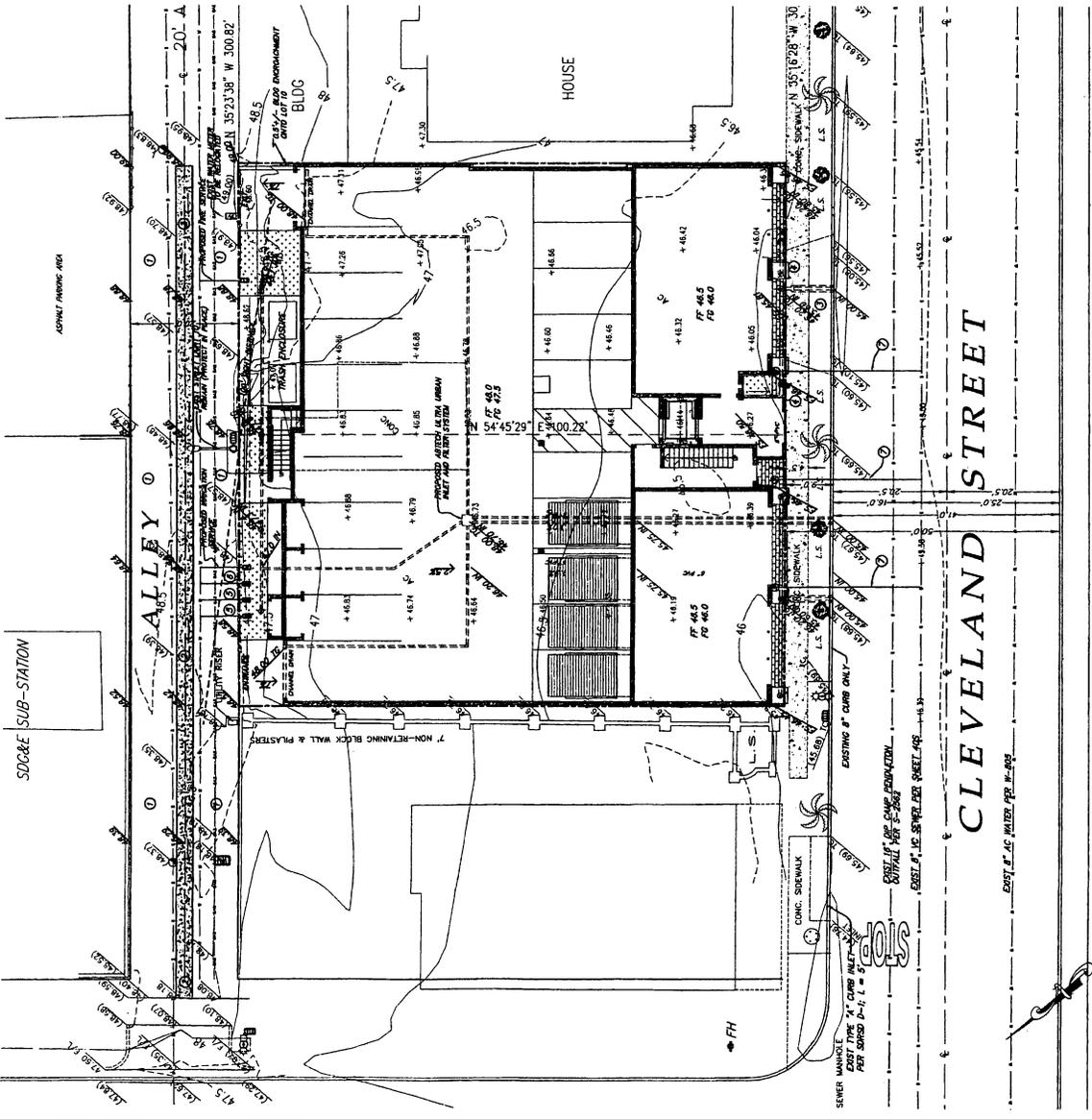
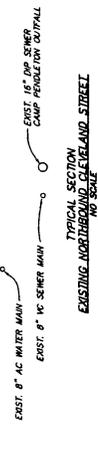
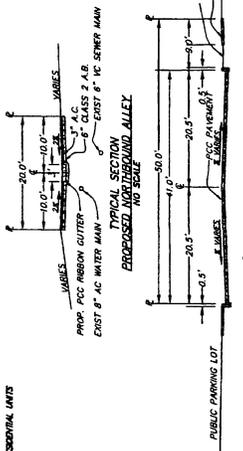
CURRY R. WATER
 A.C.E. 58274 EXPIRES 04-30-2008

LEGEND

- EX. MAJOR CONTOURS
- EX. INTERMEDIATE CONTOURS
- EX. SPOT ELEV.
- DUAL ST. LITE
- STORM MANHOLE
- EXISTING LANDSCAPED AREA
- SMALL DECIDUOUS TREE
- 12" PALM TREE
- WATER METER
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING ASPHALT SURFACE
- EXISTING CONCRETE SURFACE
- EXISTING WATER MAIN
- EXISTING SEWER LINE
- SUBDIVISION BOUNDARY
- PROPOSED DRAINAGE
- PROPOSED AREA DRAIN PIPING
- PROPOSED AREA DRAIN INLET
- PROPOSED SEWER LATERAL
- PROPOSED FINISH GRADE ELEVATION
- PROPOSED AC PAVING

CONSTRUCTION NOTES

1. REPAIR ALLEY WITH 3" A.C. OVER 8" MIN CLASS 2 A.B.
2. CONSTRUCT PCC ARBON GUTTER PER OCCASIONAL STD. DRAWING M-9
3. REMOVE EXIST. PCC DRAINWAY APPROX.
4. REPLACE PCC SIDEWALK
5. CONSTRUCT 1/4" WATER SPRINKLE FOR COMMERCIAL UNITS
6. CONSTRUCT 2" WATER SPRINKLE FOR RESIDENTIAL UNITS
7. CONSTRUCT 4" SEWER LATERAL



T-201-07, D-207-07, RC-210-07

TRADEWINDS
 314 N. CLEVELAND STREET
 OCEANSIDE, CALIFORNIA

PREPARED BY:
tgi TAYLOR GROUP, INC.
 710 WEST 10TH AVENUE
 SUITE 200
 OCEANSIDE, CA 92054
 (760) 481-7740

NO.	DATE	REVISION

EXISTING CONDITIONS MAP FOR TRADEWINDS

LEGEND

- EX. MAJOR CONTOURS
- EX. INTERMEDIATE CONTOURS
- EX. SPOT ELEV.
- DUAL ST. LITE
- SEWER CLEAN OUT
- STORM MANHOLE
- PROTECTED LANDSCAPED AREA
- SMALL LANDSCAPED TREE
- 12" PALM TREE
- ST. LITE. ELEC. BOX
- WATER METER
- EXISTING SEWER MANHOLE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING STREET LIGHT
- EXISTING ASPHALT SURFACE
- EXISTING CONCRETE SURFACE
- EXISTING WATER MAIN
- EXISTING SEWER LINE
- SUBDIVISION BOUNDARY

LEGAL DESCRIPTION
 A PORTION OF THE TRADWINDS IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NUMBER NO. 244 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 1, 1988.

ASSESSOR'S PARCEL NUMBERS
 147-086-13 AND 147-086-14

SOURCE OF TOPOGRAPHY
 SURVEY BY DAVID JULY LAND SURVEYING DATED AUGUST 18, 2002.

BENCHMARK
 TOWN OF OCEANSIDE BENCHMARK 6-16, BRASS CAP ON TOP OF CURB E.T.C. NORTHWEST CORNER BETWEEN 17th STREET & 17th LANE. ELEVATION IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1989.

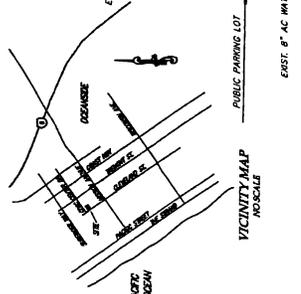
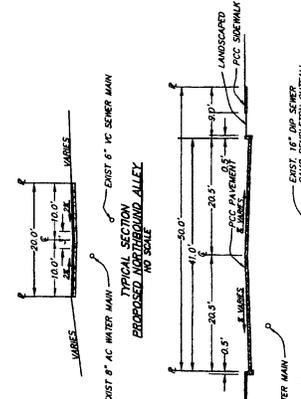
ELEVATION = 1245.84 FEET.

BASIS OF BEARINGS
 THE BASIS OF BEARINGS FOR THIS SURVEY IS A PORTION OF THE 1884 PLAT OF THE SAN DIEGO AND SAN JOSE RAILROAD AS SHOWN ON A.C.S. 16884.

OWNER/SUBDIVIDER
 TAYLOR GROUP, INC. AND SHELBY NORTH-ONION
 20 WILSON
 PHOENIX, AZ 85024
 (PH) 604-7762

REFERENCE REPORTS

- PRELIMINARY GEOTECHNICAL REPORT, TRADEWINDS PROJECT, 314 S. CLEVELAND STREET, OCEANSIDE, CA, PREPARED BY TAYLOR GROUP, INC. PROJECT NO. 02070442Z, NOVEMBER 4, 2007.
- PRELIMINARY DRAINAGE STUDY, TRADEWINDS PROJECT, 314 S. CLEVELAND STREET, OCEANSIDE, CA, PREPARED BY TAYLOR GROUP, INC. PROJECT NO. 02070442Z, JANUARY 10, 2008.
- STORM WATER ATTENUATION PLAN, TRADEWINDS PROJECT, 314 S. CLEVELAND STREET, OCEANSIDE, CA, PREPARED BY TAYLOR GROUP, INC. PROJECT NO. 02070442Z, JANUARY 10, 2008.



ENGINEER OF WORK
 TAYLOR GROUP, INC.
 20 WILSON
 PHOENIX, AZ 85024
 (PH) 721-8990

PREPARED BY
 TAYLOR GROUP, INC.
 20 WILSON
 PHOENIX, AZ 85024
 (PH) 721-8990

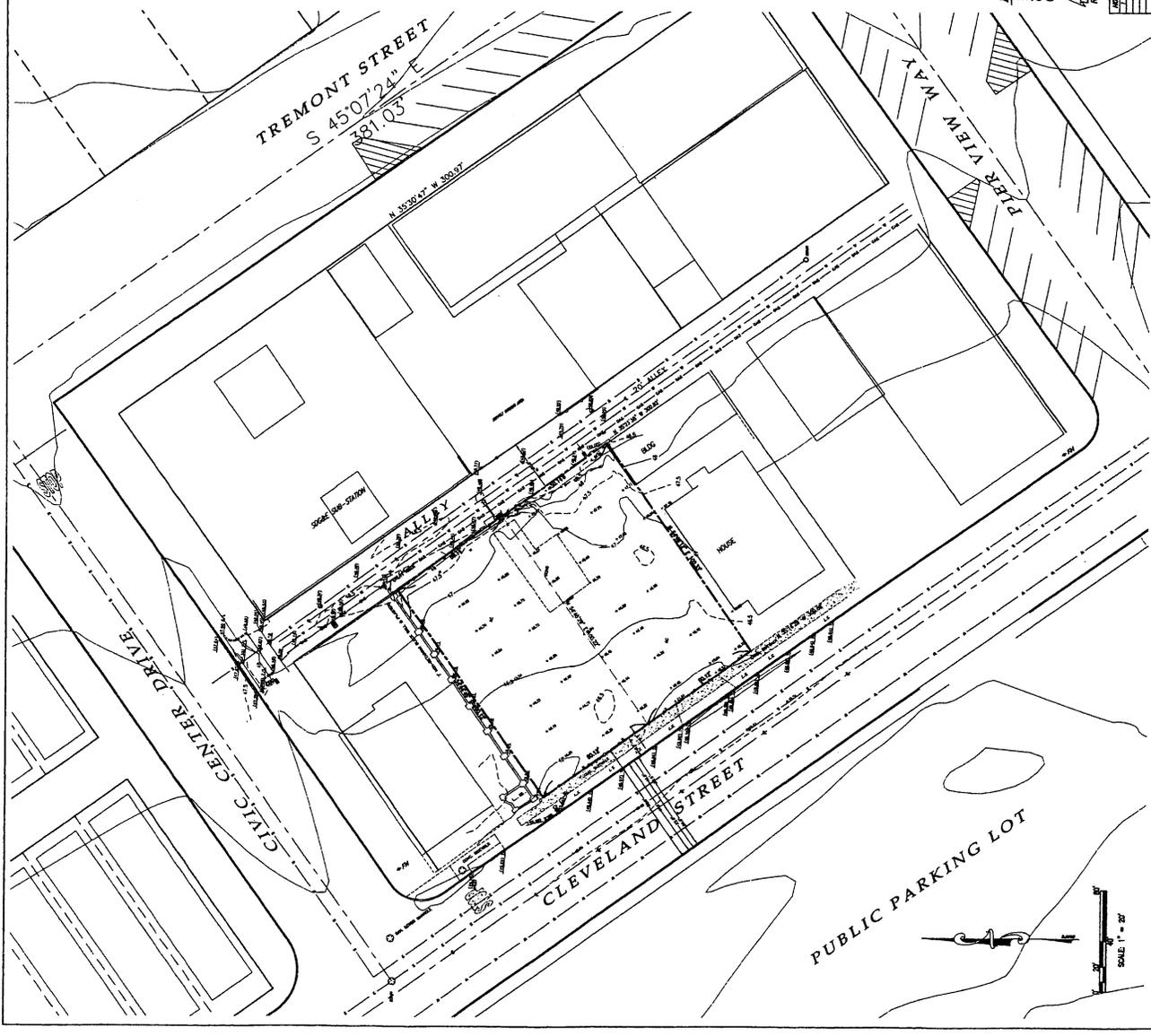
NO.	DATE	REVISION	DATE

T - 201 - 07, D-207-07, RC - 210 - 07

TRADEWINDS
 314 N. CLEVELAND STREET
 OCEANSIDE, CALIFORNIA

TAYLOR GROUP, INC.
 20 WILSON
 PHOENIX, AZ 85024
 (PH) 721-8990

SCALE 1" = 20'



TENTATIVE MAP FOR CONDOMINIUM PROJECT TRADEWINDS

THE TENTATIVE MAP IS FOR A CONDOMINIUM PROJECT AS SHOWN IN SUBDIVISION 10 OF SECTION 10 OF THE CHIL COAST, 207 SECTION GRASS AND 2 COMMERCIAL UNITS.

LOTS 10 AND 11 IN BLOCK 10 OF OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, CALIFORNIA, AS SHOWN IN THE COUNTY RECORD OF SAN DIEGO COUNTY, JULY 1, 1985.

ASSESSOR'S PARCEL NUMBERS

147-088-13 AND 147-088-14

GENERAL NOTES

- TOTAL GROSS AREA: 0.33 ACRES (10,046 SQ. FT.)
- DISTRICT: COMMERCIAL
- PROPOSED ZONING: NO CHANGE
- PROPOSED SUBDIVISION: SUBDIVISION 10
- PROPOSED LOTS: 10 AND 11
- PROPOSED UNIT TYPES: RESIDENTIAL AND 2 COMMERCIAL
- GENERAL PLAN DESIGNATION: HIGH DENSITY RESIDENTIAL
- CONTIGUOUS INTERVAL: 0.2 FOOT
- MAXIMUM SLOPE PERCENT: 2%
- SETBACK REQUIREMENTS: SEE
- EXISTING BLOCK FACE AVENUE
- SEAR: 5' ON ALLEY

SOURCE OF TOPOGRAPHY

SURVEY BY DAVID JULY LAND SURVEYING DATED AUGUST 14, 2002. BOUNDARY LINES SHOWN HEREON ARE BASED ON RECORD TITLE AND ARE NOT TO BE CONSIDERED AN OFFICIAL SURVEY BOUNDARY.

BENCHMARK

FOUND CITY OF OCEANSIDE BENCHMARK 62-114, WALLS CAP ON TOP OF CONCRETE FOUNDATION, 10' NORTH AND 10' WEST OF THE NORTH AMERICAN VERTICAL DATUM OF 1983.

BASIS OF BEARINGS

ELEVATION = 124.874 FEET. THE BASIS OF BEARINGS FOR THIS SURVEY IS A PORTION OF THE EXTREME OF MISSOURI AVENUE AS SHOWN ON R.C.S. 16844 I.E. N 64°43'41" E

OWNER/SUBDIVIDER

MICHAEL A. CHOWN AND SHAZEL MOOR-CHOWN
30 WILSON
SAN DIEGO, CA 92104
(760) 844-7783

- LEGEND**
- 47' - 47' MAIN CONTOURS
 - 47.5' - 47.5' INTERMEDIATE CONTOURS
 - 48.0' - 48.0' SPOT ELEV.
 - 48.5' - 48.5' DUAL ST. LITE
 - 49.0' - 49.0' SENEY CLEAN OUT
 - 49.5' - 49.5' STORM MANHOLE
 - 50.0' - 50.0' IRRIGATED LANDSCAPED AREA
 - 50.5' - 50.5' SMALL DECIDUOUS TREE
 - 51.0' - 51.0' 12" PALM TREE
 - 51.5' - 51.5' ST. LITE ELEC. BOX
 - 52.0' - 52.0' WATER METER
 - 52.5' - 52.5' EXISTING SENEY MANHOLE
 - 53.0' - 53.0' EXISTING WATER VALVE
 - 53.5' - 53.5' EXISTING FIRE HYDRANT
 - 54.0' - 54.0' EXISTING STREET LIGHT
 - 54.5' - 54.5' EXISTING ASPHALT SURFACE
 - 55.0' - 55.0' EXISTING CONCRETE SURFACE
 - 55.5' - 55.5' EXISTING WATER MAIN
 - 56.0' - 56.0' EXISTING SENEY LINE
 - 56.5' - 56.5' SUBDIVISION BOUNDARY

REFERENCE REPORTS

GEOTECHNICAL REPORT, TRADEWINDS PROJECT, 314 S. CLEVELAND STREET, OCEANSIDE, CA, PREPARED BY TAYLOR GROUP, INC. FOR PROJECT NO. 0207-0012, NOVEMBER 6, 2007

PRELIMINARY DRAINAGE STUDY, TRADEWINDS PROJECT, 314 S. CLEVELAND STREET, OCEANSIDE, CA, PREPARED BY TAYLOR GROUP, INC. FOR PROJECT NO. 0207-0012, JANUARY 14, 2008

ESTIMATED EARTHWORK QUANTITIES, TRADEWINDS PROJECT, 314 S. CLEVELAND STREET, OCEANSIDE, CA, PREPARED BY TAYLOR GROUP, INC. FOR PROJECT NO. 0207-0012, JANUARY 14, 2008

CITY JO CONC. YARDS, NET IMPORT: 165 CONC. YARDS, FEDERAL EXHIBITION: 650 CONC. YARDS

ESTIMATED EARTHWORK QUANTITIES

CITY JO CONC. YARDS

NET IMPORT: 165 CONC. YARDS

FEDERAL EXHIBITION: 650 CONC. YARDS

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NET IMPORT: 165 CONC. YARDS

FEDERAL EXHIBITION: 650 CONC. YARDS

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ESTIMATED EARTHWORK QUANTITIES

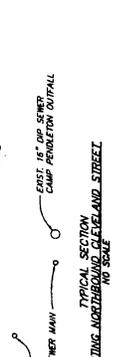
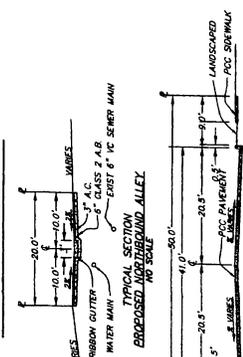
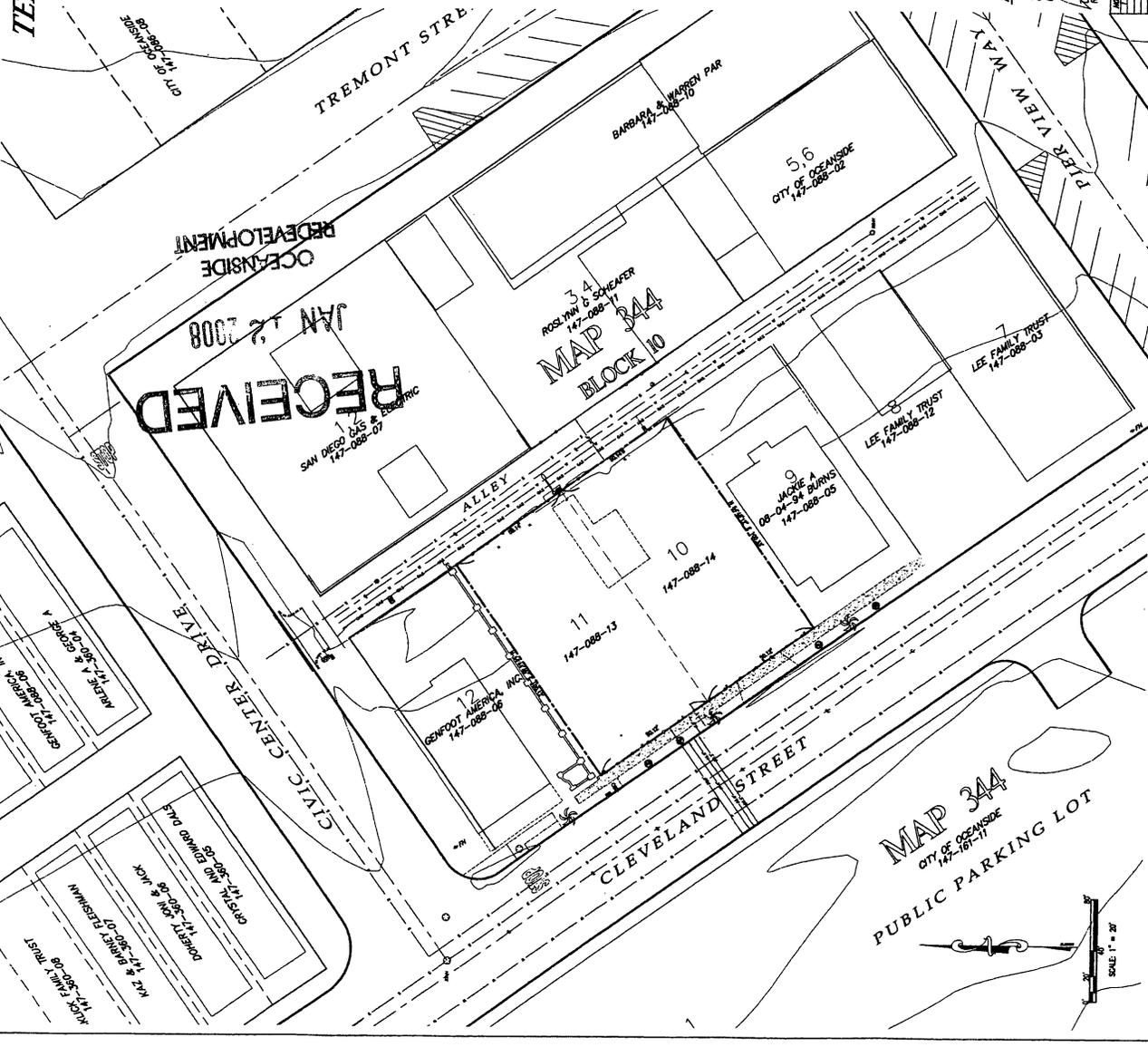
CITY JO CONC. YARDS

NET IMPORT: 165 CONC. YARDS

FEDERAL EXHIBITION: 650 CONC. YARDS

ESTIMATED EARTHWORK QUANTITIES

CITY JO CONC. YARDS



DATE	08-30-2008
BY	COURTNEY R. TAYLOR
CHECKED BY	ROBERTA M. BROWN
SCALE	AS SHOWN
PROJECT NO.	0207-0012
CLIENT	MICHAEL A. CHOWN AND SHAZEL MOOR-CHOWN
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ENGINEER OF WORK
TAYLOR GROUP, INC.
714 WEST NEW WAY
OCEANSIDE, CA 92054
(760) 774-1100

COURTNEY R. TAYLOR
REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
LICENSE NO. 44584

PREPARED BY:
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T-201-07, D-207-07, RC-210-07

TRADEWINDS
314 N. CLEVELAND STREET
OCEANSIDE, CALIFORNIA



TRADEWINDS MIXED USE DEVELOPMENT PROJECT
314 NORTH CLEVELAND STREET
OCEANSIDE CA 92054

REVISIONS
DATE
BY

PLANNING
DATE: 08/07/2017
NUMBER: 01
SHEET: 1004/1008

ZONING COMPLIANCE SITE PLAN
Sheet: 7.1
Of 7.1

PROJECT INFORMATION

DEVELOPER: TRADEWINDS MIXED USE DEVELOPMENT PROJECT
GENERAL CONTRACTOR: TRADEWINDS MIXED USE DEVELOPMENT PROJECT
ARCHITECT: TRADEWINDS MIXED USE DEVELOPMENT PROJECT
LANDSCAPE ARCHITECT: TRADEWINDS MIXED USE DEVELOPMENT PROJECT
ENGINEER: TRADEWINDS MIXED USE DEVELOPMENT PROJECT
CONSTRUCTION TYPE: TYPE V - HOUR FULLY SPRINKLERED
NUMBER OF STORIES: FOUR STORIES
PROPOSED ZONING: COMMERCIAL MIXED USE
EXISTING GENERAL PLAN DESIGNATION: REDEVELOPMENT
PROPOSED GENERAL PLAN DESIGNATION: REDEVELOPMENT
TOTAL SITE SQUARE FOOTAGE: 10,000 SF (0.23 ACRES)
NUMBER OF UNITS: 10
NUMBER OF OFFICE/RETAIL: 10
TOTAL BUILDING COVERAGE: 80% (8,000 SF)
LANDSCAPE: 10% (1,000 SF)
OFF STREET PARKING REQUIRED: 10
TOTAL OFF STREET PARKING PROVIDED: 10
TOTAL BUILDING AREA: 22,000 SF
TOTAL COMMON OPEN SPACE: 700 SF
TOTAL PRIVATE OPEN SPACE: 1,000 SF

OPEN SPACE REQUIREMENTS

TOTAL OPEN SPACE REQUIRED: 200 SF PER UNIT x 10 = 2,000 SF
TOTAL OPEN SPACE PROVIDED: 1,000 SF
GENERAL COVERAGE: 20%

UNIT	PRIVATE SECOND FLOOR	PRIVATE OPEN SPACE	TOTAL OPEN SPACE
UNIT 2A	500 SF	445 SF	945 SF
UNIT 2B	500 SF	445 SF	945 SF
UNIT 2C	500 SF	445 SF	945 SF
UNIT 2D	500 SF	445 SF	945 SF
UNIT 2E	500 SF	445 SF	945 SF
UNIT 2F	500 SF	445 SF	945 SF
UNIT 2G	500 SF	445 SF	945 SF
UNIT 2H	500 SF	445 SF	945 SF
UNIT 2I	500 SF	445 SF	945 SF
UNIT 2J	500 SF	445 SF	945 SF
UNIT 2K	500 SF	445 SF	945 SF
UNIT 2L	500 SF	445 SF	945 SF
UNIT 2M	500 SF	445 SF	945 SF
UNIT 2N	500 SF	445 SF	945 SF
UNIT 2O	500 SF	445 SF	945 SF
UNIT 2P	500 SF	445 SF	945 SF
UNIT 2Q	500 SF	445 SF	945 SF
UNIT 2R	500 SF	445 SF	945 SF
UNIT 2S	500 SF	445 SF	945 SF
UNIT 2T	500 SF	445 SF	945 SF
UNIT 2U	500 SF	445 SF	945 SF
UNIT 2V	500 SF	445 SF	945 SF
UNIT 2W	500 SF	445 SF	945 SF
UNIT 2X	500 SF	445 SF	945 SF
UNIT 2Y	500 SF	445 SF	945 SF
UNIT 2Z	500 SF	445 SF	945 SF
TOTAL	10,000 SF	9,000 SF	19,000 SF

RETAIL UNIT 101
COMMON USE SPACE ON ROOF DECK: 1000 SF

RETAIL UNIT 102
COMMON USE SPACE ON ROOF DECK: 1000 SF

RETAIL UNIT 103
COMMON USE SPACE ON ROOF DECK: 1000 SF

RETAIL UNIT 104
COMMON USE SPACE ON ROOF DECK: 1000 SF

RETAIL UNIT 105
COMMON USE SPACE ON ROOF DECK: 1000 SF

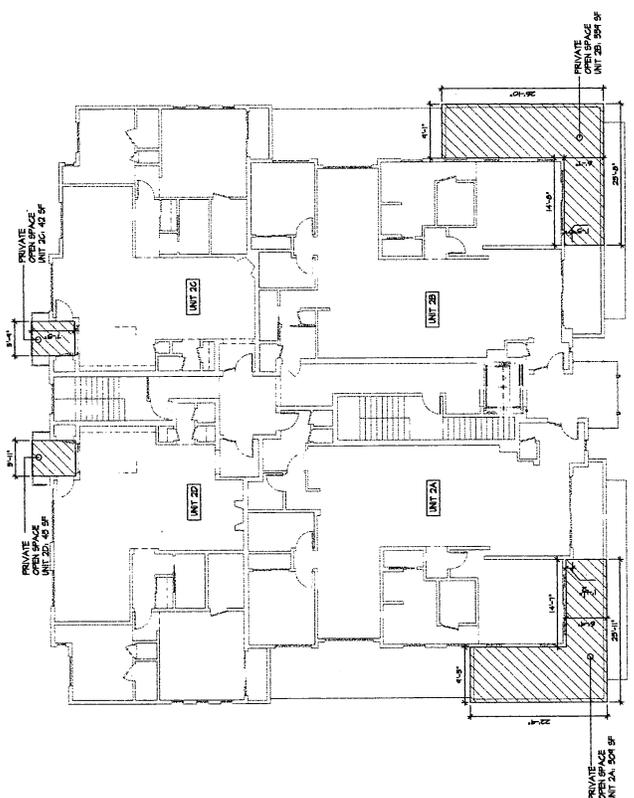
RETAIL UNIT 106
COMMON USE SPACE ON ROOF DECK: 1000 SF

RETAIL UNIT 107
COMMON USE SPACE ON ROOF DECK: 1000 SF

RETAIL UNIT 108
COMMON USE SPACE ON ROOF DECK: 1000 SF

RETAIL UNIT 109
COMMON USE SPACE ON ROOF DECK: 1000 SF

RETAIL UNIT 110
COMMON USE SPACE ON ROOF DECK: 1000 SF

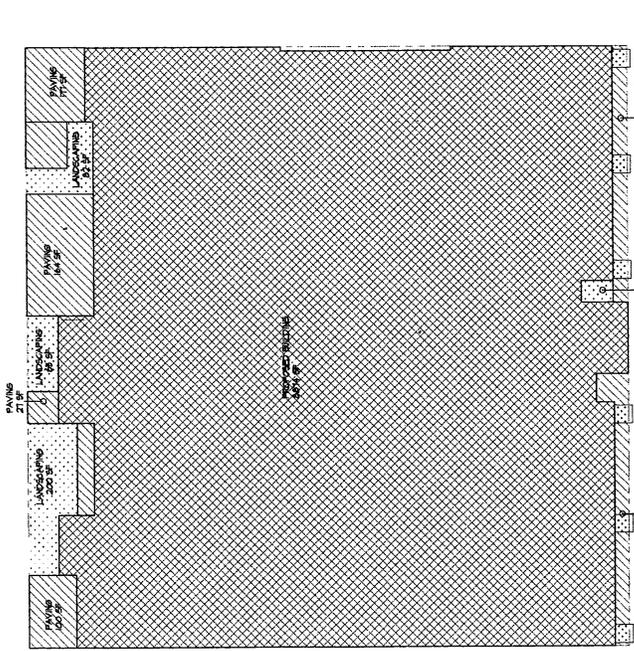
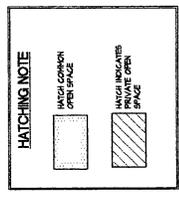


SECOND FLOOR OPEN SPACE CALCULATIONS

SCALE: 1/8" = 1'-0"

AREA SUMMARY

PRIVATE OPEN SPACE UNIT 2A: 500 SF
PRIVATE OPEN SPACE UNIT 2B: 500 SF
PRIVATE OPEN SPACE UNIT 2C: 500 SF
PRIVATE OPEN SPACE UNIT 2D: 500 SF
PRIVATE OPEN SPACE UNIT 2E: 500 SF
PRIVATE OPEN SPACE UNIT 2F: 500 SF
PRIVATE OPEN SPACE UNIT 2G: 500 SF
PRIVATE OPEN SPACE UNIT 2H: 500 SF
PRIVATE OPEN SPACE UNIT 2I: 500 SF
PRIVATE OPEN SPACE UNIT 2J: 500 SF
PRIVATE OPEN SPACE UNIT 2K: 500 SF
PRIVATE OPEN SPACE UNIT 2L: 500 SF
PRIVATE OPEN SPACE UNIT 2M: 500 SF
PRIVATE OPEN SPACE UNIT 2N: 500 SF
PRIVATE OPEN SPACE UNIT 2O: 500 SF
PRIVATE OPEN SPACE UNIT 2P: 500 SF
PRIVATE OPEN SPACE UNIT 2Q: 500 SF
PRIVATE OPEN SPACE UNIT 2R: 500 SF
PRIVATE OPEN SPACE UNIT 2S: 500 SF
PRIVATE OPEN SPACE UNIT 2T: 500 SF
PRIVATE OPEN SPACE UNIT 2U: 500 SF
PRIVATE OPEN SPACE UNIT 2V: 500 SF
PRIVATE OPEN SPACE UNIT 2W: 500 SF
PRIVATE OPEN SPACE UNIT 2X: 500 SF
PRIVATE OPEN SPACE UNIT 2Y: 500 SF
PRIVATE OPEN SPACE UNIT 2Z: 500 SF
TOTAL PRIVATE OPEN SPACE AREA: 10,000 SF

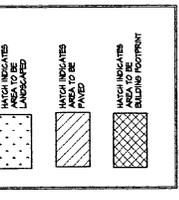


SITE CALCULATIONS

SCALE: 1/8" = 1'-0"

AREA SUMMARY

LOT AREA: 10,000 SF
BUILDING AREA: 8,000 SF (80% OF LOT)
PAVING AREA: 500 SF (5% OF LOT)
LANDSCAPING AREA: 400 SF (4% OF LOT)
TOTAL OPEN SPACE AREA: 1,000 SF (10% OF LOT)



Prepared by: [Name]
Address: [Address]
Phone: [Phone]
Project Address: [Address]
Project Name: [Name]
Scale: 1" = 200'-0"

REVISIONS
DATE
BY

PLANNING
DATE: 08/07/2017
NUMBER: 01
SHEET: 1004/1008

ZONING COMPLIANCE SITE PLAN
Sheet: 7.1
Of 7.1



314 MOULDER STREET
OCEANSIDE, CA 92054
TRADEWINDS MIXED USE
DEVELOPMENT PROJECT



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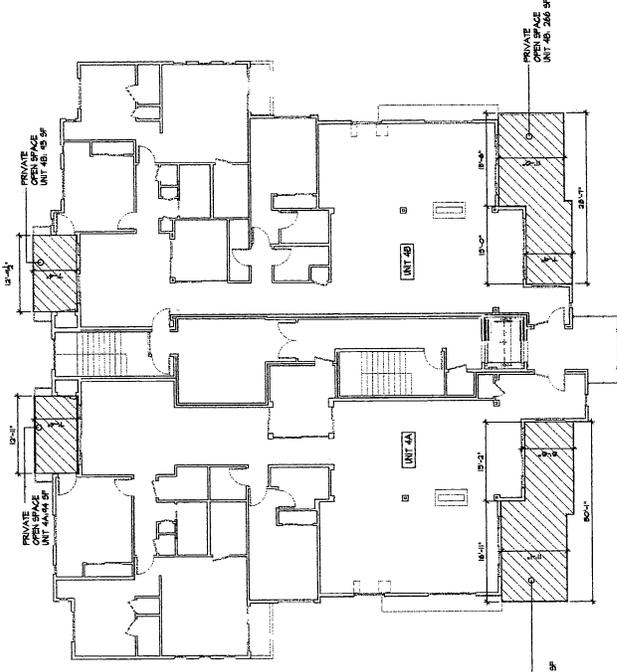
314 MOULDER STREET
OCEANSIDE, CA 92054
TRADEWINDS MIXED USE
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DEVELOPMENT PROJECT

OPEN SPACE REQUIREMENTS

TOTAL OPEN SPACE REQUIRED: 240 SF PER UNIT x 10 = 2400 SF
TOTAL PRIVATE OPEN SPACE: 1488 SF
TOTAL COMMON OPEN SPACE: 912 SF

Category	Area (SF)
Private Second Floor	304 SF
Private Third Floor	304 SF
Private Fourth Floor	304 SF
Private Fifth Floor	304 SF
Private Sixth Floor	304 SF
Private Seventh Floor	304 SF
Private Eighth Floor	304 SF
Private Ninth Floor	304 SF
Private Tenth Floor	304 SF
Private Eleventh Floor	304 SF
Private Twelfth Floor	304 SF
Private Thirteenth Floor	304 SF
Private Fourteenth Floor	304 SF
Private Fifteenth Floor	304 SF
Private Sixteenth Floor	304 SF
Private Seventeenth Floor	304 SF
Private Eighteenth Floor	304 SF
Private Nineteenth Floor	304 SF
Private Twentieth Floor	304 SF
Private Twenty-First Floor	304 SF
Private Twenty-Second Floor	304 SF
Private Twenty-Third Floor	304 SF
Private Twenty-Fourth Floor	304 SF
Private Twenty-Fifth Floor	304 SF
Private Twenty-Sixth Floor	304 SF
Private Twenty-Seventh Floor	304 SF
Private Twenty-Eighth Floor	304 SF
Private Twenty-Ninth Floor	304 SF
Private Thirtieth Floor	304 SF
Private Thirty-First Floor	304 SF
Private Thirty-Second Floor	304 SF
Private Thirty-Third Floor	304 SF
Private Thirty-Fourth Floor	304 SF
Private Thirty-Fifth Floor	304 SF
Private Thirty-Sixth Floor	304 SF
Private Thirty-Seventh Floor	304 SF
Private Thirty-Eighth Floor	304 SF
Private Thirty-Ninth Floor	304 SF
Private Fortieth Floor	304 SF
Private Forty-First Floor	304 SF
Private Forty-Second Floor	304 SF
Private Forty-Third Floor	304 SF
Private Forty-Fourth Floor	304 SF
Private Forty-Fifth Floor	304 SF
Private Forty-Sixth Floor	304 SF
Private Forty-Seventh Floor	304 SF
Private Forty-Eighth Floor	304 SF
Private Forty-Ninth Floor	304 SF
Private Fiftieth Floor	304 SF
Private Fifty-First Floor	304 SF
Private Fifty-Second Floor	304 SF
Private Fifty-Third Floor	304 SF
Private Fifty-Fourth Floor	304 SF
Private Fifty-Fifth Floor	304 SF
Private Fifty-Sixth Floor	304 SF
Private Fifty-Seventh Floor	304 SF
Private Fifty-Eighth Floor	304 SF
Private Fifty-Ninth Floor	304 SF
Private Sixtieth Floor	304 SF
Private Sixty-First Floor	304 SF
Private Sixty-Second Floor	304 SF
Private Sixty-Third Floor	304 SF
Private Sixty-Fourth Floor	304 SF
Private Sixty-Fifth Floor	304 SF
Private Sixty-Sixth Floor	304 SF
Private Sixty-Seventh Floor	304 SF
Private Sixty-Eighth Floor	304 SF
Private Sixty-Ninth Floor	304 SF
Private Seventieth Floor	304 SF
Private Seventy-First Floor	304 SF
Private Seventy-Second Floor	304 SF
Private Seventy-Third Floor	304 SF
Private Seventy-Fourth Floor	304 SF
Private Seventy-Fifth Floor	304 SF
Private Seventy-Sixth Floor	304 SF
Private Seventy-Seventh Floor	304 SF
Private Seventy-Eighth Floor	304 SF
Private Seventy-Ninth Floor	304 SF
Private Eightieth Floor	304 SF
Private Eighty-First Floor	304 SF
Private Eighty-Second Floor	304 SF
Private Eighty-Third Floor	304 SF
Private Eighty-Fourth Floor	304 SF
Private Eighty-Fifth Floor	304 SF
Private Eighty-Sixth Floor	304 SF
Private Eighty-Seventh Floor	304 SF
Private Eighty-Eighth Floor	304 SF
Private Eighty-Ninth Floor	304 SF
Private Ninetieth Floor	304 SF
Private Ninety-First Floor	304 SF
Private Ninety-Second Floor	304 SF
Private Ninety-Third Floor	304 SF
Private Ninety-Fourth Floor	304 SF
Private Ninety-Fifth Floor	304 SF
Private Ninety-Sixth Floor	304 SF
Private Ninety-Seventh Floor	304 SF
Private Ninety-Eighth Floor	304 SF
Private Ninety-Ninth Floor	304 SF
Private One Hundredth Floor	304 SF

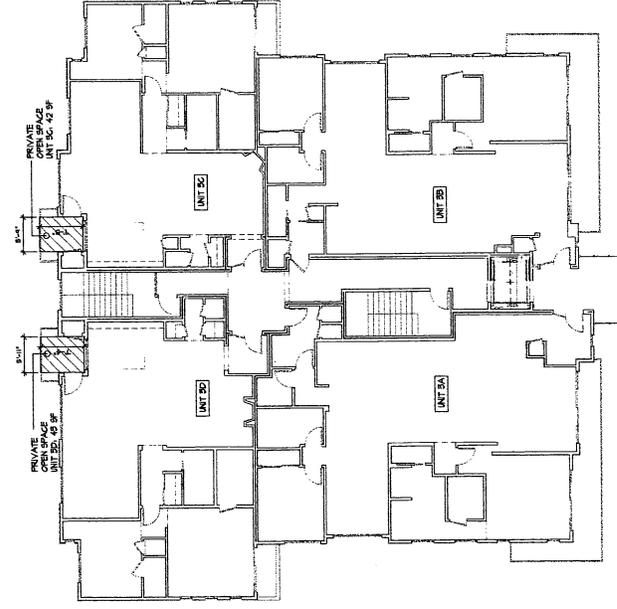


FOURTH FLOOR OPEN SPACE CALCULATIONS

SCALE: 1/8" = 1'-0"

AREA SUMMARY

Private Open Space Unit 4A	341 SF
Private Open Space Unit 4B	341 SF
TOTAL PRIVATE OPEN SPACE AREA	702 SF

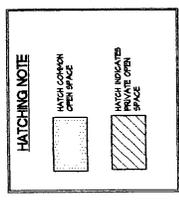


THIRD FLOOR OPEN SPACE CALCULATIONS

SCALE: 1/8" = 1'-0"

AREA SUMMARY

Private Open Space Unit 3C	42 SF
Private Open Space Unit 3D	48 SF
TOTAL PRIVATE OPEN SPACE AREA	90 SF



Prepared by: [Name]
 Name: [Name]
 Address: [Address]
 Phone: [Phone]
 Project Name: TRADEWINDS MIXED USE DEVELOPMENT PROJECT
 Date: 08/10/2017
 Revision: 01
 Scale: 1/8" = 1'-0"

Sheet Name:
ZONING COMPLIANCE SITE PLAN
 Sheet: **Z.2**

REVISIONS:
 NO. DATE DESCRIPTION
 01 08/10/17 INITIAL ISSUE
 02 08/10/17 CORRECTIVE ACTION

DATE: 08/10/17
 TIME: 10:00 AM
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]



DATE: 08/11/11
 DRAWN BY: JAW
 CHECKED BY: JAW
 PROJECT NO: 11-0000

PLANNING
 DATE: 08/11/11
 DRAWN BY: JAW
 CHECKED BY: JAW
 PROJECT NO: 11-0000

Sheet: **Z.4**
 of 22

Prepared by:
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 Title: PROFESSIONAL ENGINEER
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 Fax: (619) 234-4301
 Project Address: 3045 WILSON AVENUE, SUITE 100, OCEANSIDE, CA 92054
 Project Name: TRADEWINDS MIXED USE DEVELOPMENT

AREA SUMMARY
 CIRCULATION AREA: 434 SF
 TENANT AREA: 1871 SF
 COMMON PARKING AREA: 3180 SF
 TOTAL BUILDING AREA: 5485 SF

AREA SUMMARY
 LIVABLE PHASE UNIT 2A: 1491 SF
 LIVABLE PHASE UNIT 2B: 1789 SF
 LIVABLE PHASE UNIT 2C: 1404 SF
 LIVABLE PHASE UNIT 2D: 1528 SF
 CIRCULATION: 404 SF
 TOTAL BUILDING AREA: 7146 SF

AREA SUMMARY
 SECOND FLOOR LIVABLE SPACE: 1491 SF
 TOTAL FLOOR AREA UNIT 2A: 1491 SF
 OUTDOOR LIVING SPACE REQUIRED: 200 SF
 PRIVATE OUTDOOR LIVING SPACE PROVIDED: 449 SF

AREA SUMMARY
 SECOND FLOOR LIVABLE SPACE: 1789 SF
 TOTAL FLOOR AREA UNIT 2B: 1789 SF
 OUTDOOR LIVING SPACE REQUIRED: 200 SF
 PRIVATE OUTDOOR LIVING SPACE PROVIDED: 839 SF

AREA SUMMARY
 SECOND FLOOR LIVABLE SPACE: 1404 SF
 TOTAL FLOOR AREA UNIT 2C: 1404 SF
 OUTDOOR LIVING SPACE REQUIRED: 200 SF
 PRIVATE OUTDOOR LIVING SPACE PROVIDED: 238 SF

AREA SUMMARY
 SECOND FLOOR LIVABLE SPACE: 1528 SF
 TOTAL FLOOR AREA UNIT 2D: 1528 SF
 OUTDOOR LIVING SPACE REQUIRED: 200 SF
 PRIVATE OUTDOOR LIVING SPACE PROVIDED: 271 SF

AREA SUMMARY
 SECOND FLOOR LIVABLE SPACE: 1491 SF
 TOTAL FLOOR AREA UNIT 2A: 1491 SF
 OUTDOOR LIVING SPACE REQUIRED: 200 SF
 PRIVATE OUTDOOR LIVING SPACE PROVIDED: 254 SF

AREA SUMMARY
 THIRD FLOOR LIVABLE SPACE: 1771 SF
 TOTAL FLOOR AREA UNIT 3A: 1771 SF
 OUTDOOR LIVING SPACE REQUIRED: 200 SF
 PRIVATE OUTDOOR LIVING SPACE PROVIDED: 254 SF

AREA SUMMARY
 THIRD FLOOR LIVABLE SPACE: 1491 SF
 TOTAL FLOOR AREA UNIT 3B: 1491 SF
 OUTDOOR LIVING SPACE REQUIRED: 200 SF
 PRIVATE OUTDOOR LIVING SPACE PROVIDED: 246 SF

AREA SUMMARY
 THIRD FLOOR LIVABLE SPACE: 1528 SF
 TOTAL FLOOR AREA UNIT 3C: 1528 SF
 OUTDOOR LIVING SPACE REQUIRED: 200 SF
 PRIVATE OUTDOOR LIVING SPACE PROVIDED: 271 SF

AREA SUMMARY
 THIRD FLOOR LIVABLE SPACE: 1491 SF
 TOTAL FLOOR AREA UNIT 3D: 1491 SF
 OUTDOOR LIVING SPACE REQUIRED: 200 SF
 PRIVATE OUTDOOR LIVING SPACE PROVIDED: 271 SF

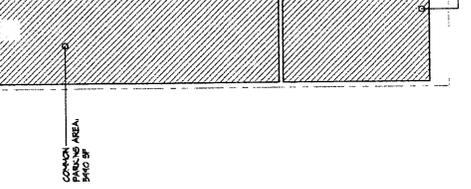
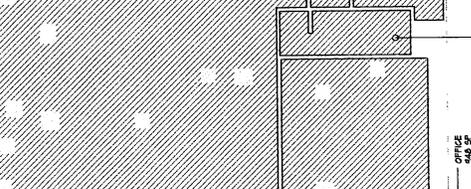
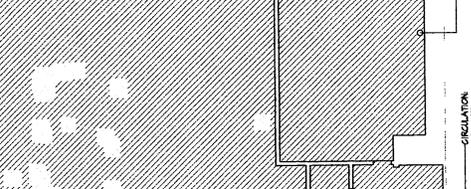
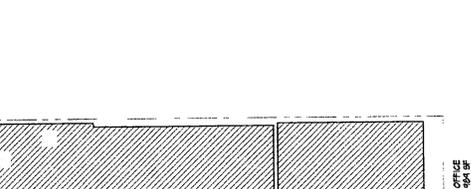
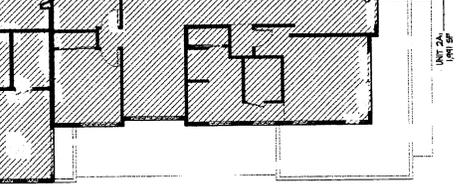
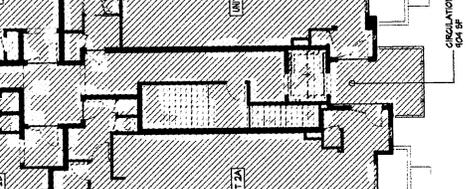
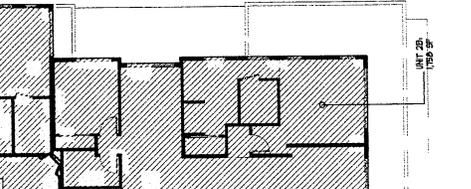
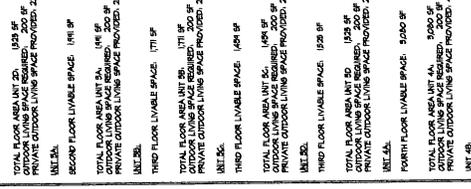
AREA SUMMARY
 FOURTH FLOOR LIVABLE SPACE: 5240 SF
 TOTAL FLOOR AREA UNIT 4A: 5240 SF
 OUTDOOR LIVING SPACE REQUIRED: 200 SF
 PRIVATE OUTDOOR LIVING SPACE PROVIDED: 46 SF

AREA SUMMARY
 FOURTH FLOOR LIVABLE SPACE: 3710 SF
 TOTAL FLOOR AREA UNIT 4B: 3710 SF
 OUTDOOR LIVING SPACE REQUIRED: 200 SF
 PRIVATE OUTDOOR LIVING SPACE PROVIDED: 46 SF

AREA SUMMARY
 TRUNK AREA:
 FIRST FLOOR LIVABLE SPACE: 1871 SF
 COMMON USE ROOF DECK: 806 SF

AREA SUMMARY
 COMMON USE SPACE:
 CALCULATION SECOND FLOOR: 404 SF
 CALCULATION THIRD FLOOR: 404 SF
 CALCULATION FOURTH FLOOR: 284 SF
 COMMON USE TOTAL: 1092 SF
 TOTAL COMMON USE SPACE: 878 SF

AREA TOTALS:
 PARKING: 3180 SF
 COMMON USE SPACE: 2078 SF
 TOTAL BUILDING AREA: 25502 SF
 SEE SHEETS Z.1, Z.2 AND Z.3 FOR SITE AND OPEN SPACE REQUIREMENTS



SCALE: 1/4" = 1'-0"



TRADEWINDS MIXED USE DEVELOPMENT PROJECT
314 NORTH CLEVELAND STREET
OCEANSIDE CA 92054

REVISIONS

NO.	DATE	DESCRIPTION

PLANNING

DATE	BY	REVISION

Prepared by: BOB MCDONALD, AIA
Address: 2005 S. BROADWAY, SUITE 200
Phone: (949) 234-4000
Project Address: 314 NORTH CLEVELAND ST
OCEANSIDE, CA 92054
Project Name: TRADEWINDS MIXED USE DEVELOPMENT PROJECT

Sheet Name: SECOND FLOOR PLAN
Sheet No. of 25
Scale: 1" = 20'-0"

NOTE: SEE SHEET 212/212.1/2.1 FOR AREA CALCULATION

NOTE: SEE SHEET 501 FOR SITE PLAN INFORMATION

NOTE: ALL DIMENSIONS UNLESS OTHERWISE NOTED

NOTE: ALL FINISHES TO MATCH

NOTE: SEE SHEET 501 FOR SITE PLAN INFORMATION

NOTE: ALL FINISHES TO MATCH

NOTE: SEE SHEET 501 FOR SITE PLAN INFORMATION

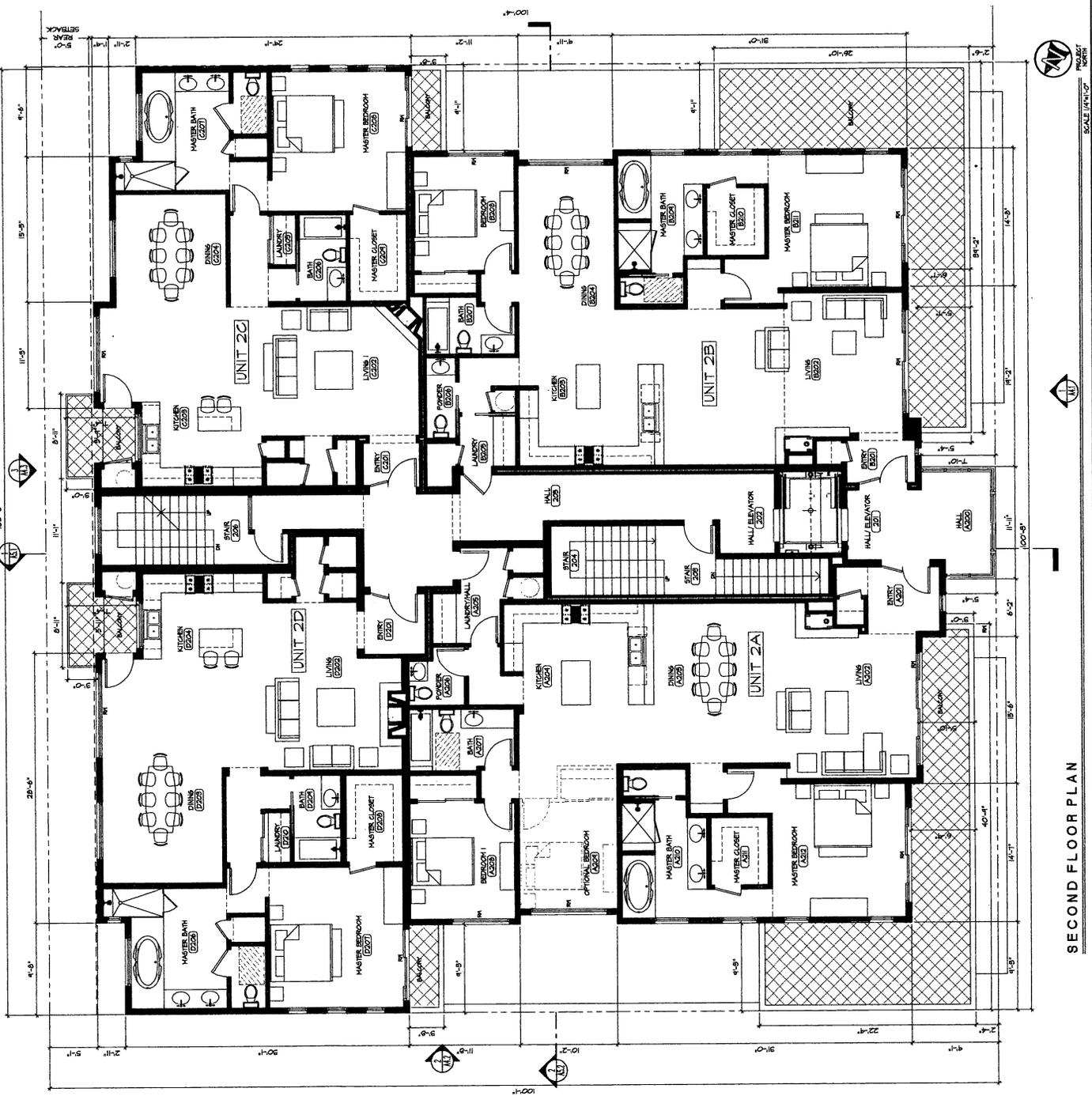
NOTE: ALL FINISHES TO MATCH

NOTE: SEE SHEET 501 FOR SITE PLAN INFORMATION

NOTE: ALL FINISHES TO MATCH

NOTE: SEE SHEET 501 FOR SITE PLAN INFORMATION

NOTE: ALL FINISHES TO MATCH



SCALE: 1/4" = 1'-0"

SECOND FLOOR PLAN

A1.2



TRADEWINDS MIXED USE DEVELOPMENT PROJECT
314 NORTH CLEVELAND STREET
OCEANSIDE CA 92054

DATE: 08/07/07
DRAWN BY: [Signature]

PROJECT NAME: TRADEWINDS MIXED USE DEVELOPMENT PROJECT

DATE: 08/07/07

PROJECT ADDRESS: 314 NORTH CLEVELAND ST
OCEANSIDE, CA 92054

PROJECT NAME: TRADEWINDS MIXED USE DEVELOPMENT PROJECT

DATE: 08/07/07

PROJECT ADDRESS: 314 NORTH CLEVELAND ST
OCEANSIDE, CA 92054

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DATE: 08/07/07

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PROJECT NAME: TRADEWINDS MIXED USE DEVELOPMENT PROJECT

DATE: 08/07/07

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OCEANSIDE, CA 92054

PROJECT NAME: TRADEWINDS MIXED USE DEVELOPMENT PROJECT

DATE: 08/07/07

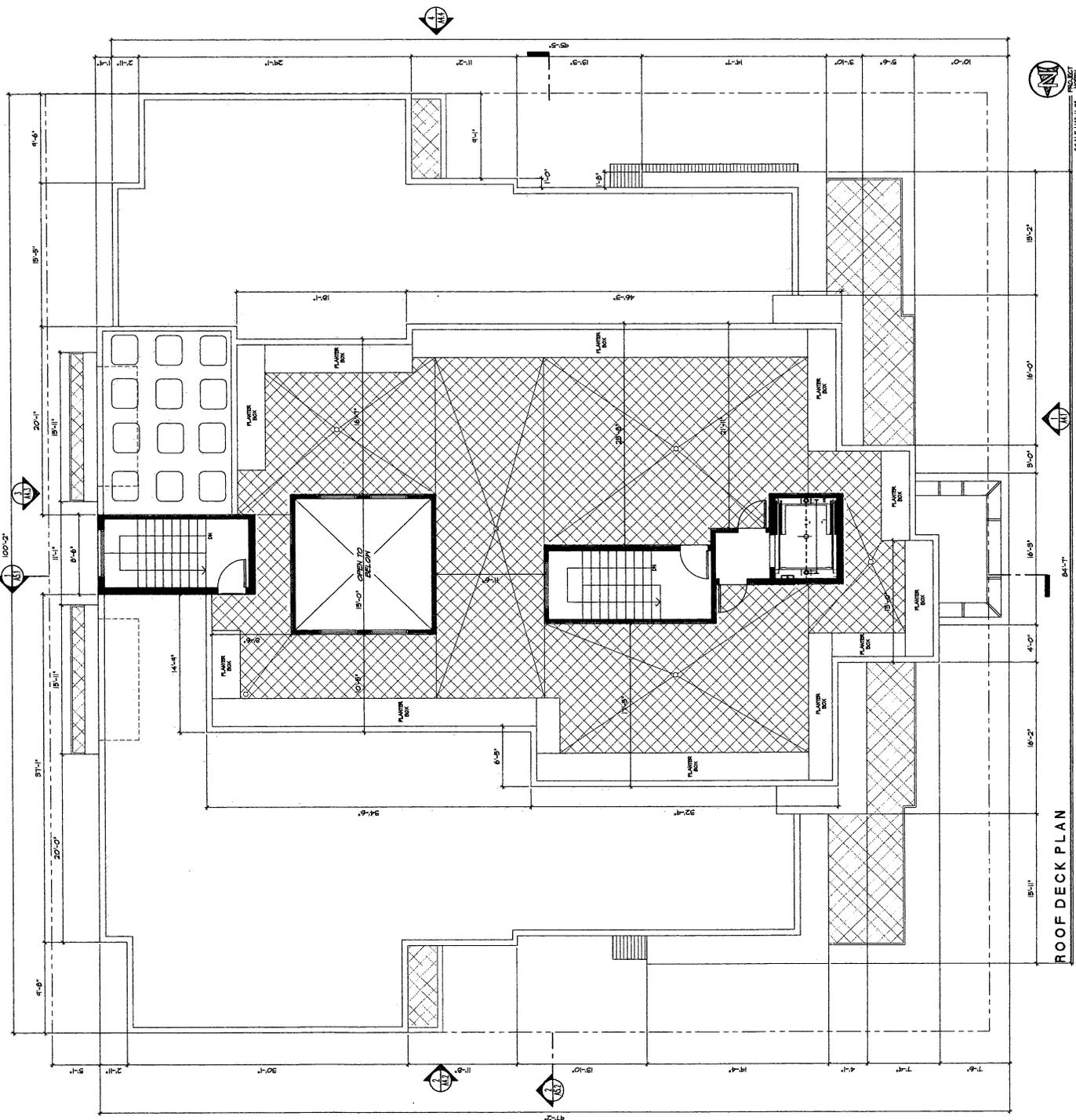
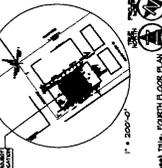
PROJECT ADDRESS: 314 NORTH CLEVELAND ST
OCEANSIDE, CA 92054

NOTE
SEE SHEET 7.02/2A.2.4 FOR AREA CALCULATION

NOTE
SEE SHEET 501 FOR SITE PLAN INFORMATION

NOTE
RA INDICATES REQUIRED RAINFALL

Prepared By: [Name]
Name: [Name]
Address: [Address]
Phone: [Phone]
Project Address: 314 NORTH CLEVELAND ST
OCEANSIDE, CA 92054
Project Name: TRADEWINDS MIXED USE DEVELOPMENT PROJECT



SCALE: 1/4" = 1'-0"
NORTH

ROOF DECK PLAN

Sheet Title: FOURTH FLOOR PLAN

Scale: 1" = 200'-0"

Sheet: A1.5

Of: 07

Sheet: A1.5



TRADESHOWS MIXED USE
DEVELOPMENT PROJECT
314 NORTH CLEVELAND STREET
OCEANSIDE CA 92054

REVISIONS

NO.	DESCRIPTION

Prepared by: [Name]
Address: [Address]
Phone: [Phone]
Project Address: 314 NORTH CLEVELAND ST
OCEANSIDE, CA 92054
Project Name: TRADESHOWS MIXED USE DEVELOPMENT PROJECT
JOB No: 1402/1403

PLANNING
Date: 08/10/17
Reviewed by: [Name]

Sheet: **A3.0**
Of: 2

Sheet Name: **ROOF PLAN**

Scale: 1" = 20'-0"

Sheet Title: **ROOF PLAN**

Scale: 1/4" = 1'-0"

Scale: 1/8" = 1'-0"

Scale: 1/16" = 1'-0"

Scale: 1/32" = 1'-0"

Scale: 1/64" = 1'-0"

Scale: 1/128" = 1'-0"

Scale: 1/256" = 1'-0"

Scale: 1/512" = 1'-0"

Scale: 1/1024" = 1'-0"

Scale: 1/2048" = 1'-0"

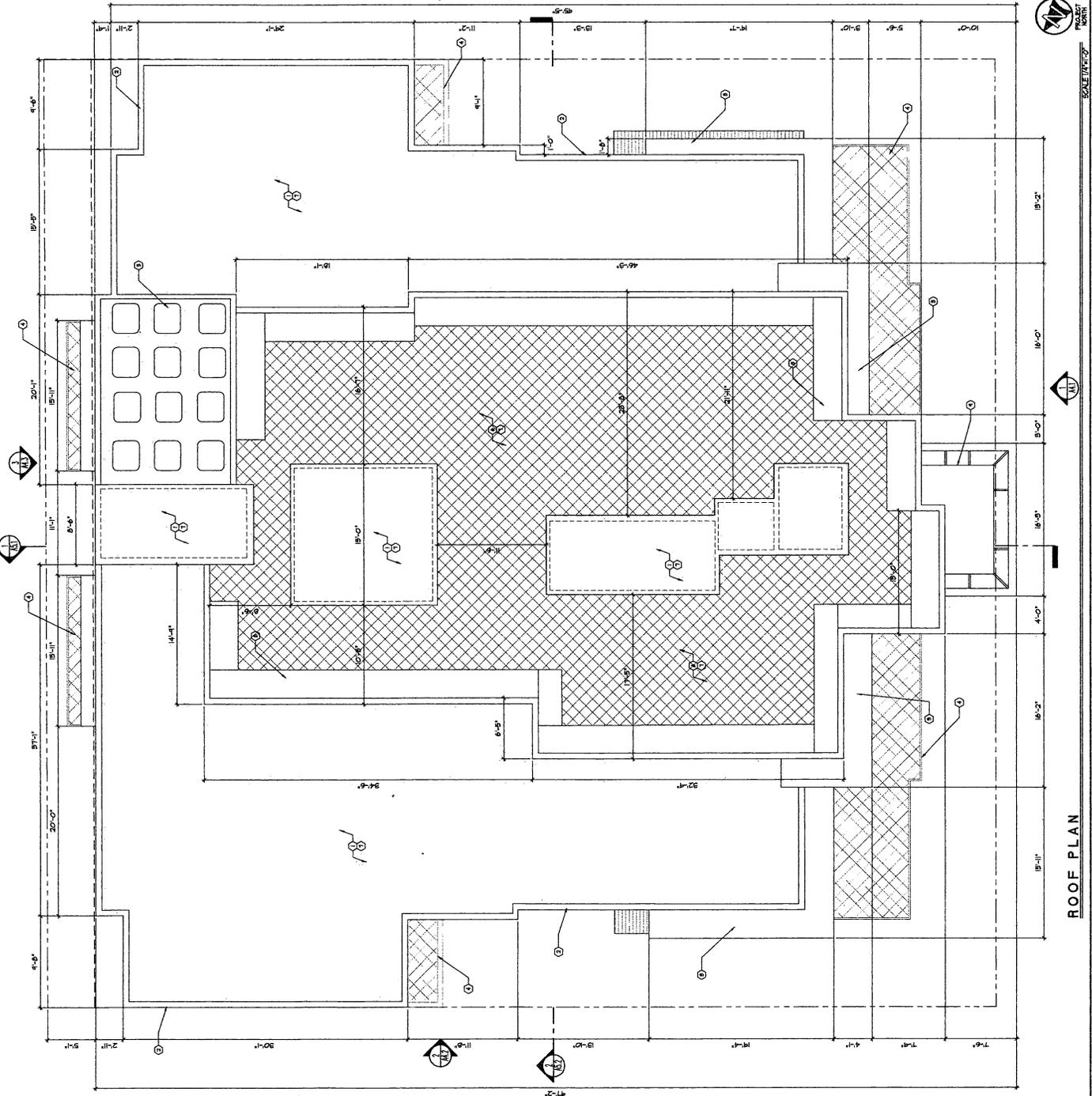
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NOTE
SEE SHEET A3.2 FOR AREA CALCULATION

NOTE
SEE SHEET S01 FOR SITE PLAN INFORMATION

ROOF PLAN NOTES

- 1 BUILT-UP ROOFING
- 2 PARAMETERS PER ELEVATION/SECTION
- 3 CURBS/RAILS WITH CABLE SUPPORT PER EXTERIOR ELEVATIONS
- 4 BALCONIES BELOW PER FLOOR PLANS
- 5 MECHANICAL UNITS
- 6 ROOF DECK BELOW PER ROOF DECK PLAN
- 7 SLOPE TO DRAIN
- 8 PLANTERS PER LANDSCAPE
- 9 DECORATIVE METAL AND GLASS ANNEX PER EXTERIOR ELEVATIONS



ROOF PLAN

SCALE 1/4" = 1'-0"



NORTH

Sheet Title: **ROOF PLAN**

Scale: 1" = 20'-0"

Sheet: **A3.0**
Of: 2

Sheet Name: **ROOF PLAN**

Scale: 1/4" = 1'-0"

Scale: 1/8" = 1'-0"

Scale: 1/16" = 1'-0"

Scale: 1/32" = 1'-0"

Scale: 1/64" = 1'-0"

Scale: 1/128" = 1'-0"

Scale: 1/256" = 1'-0"

Scale: 1/512" = 1'-0"

Scale: 1/1024" = 1'-0"

Scale: 1/2048" = 1'-0"

Scale: 1/4096" = 1'-0"

Scale: 1/8192" = 1'-0"

Scale: 1/16384" = 1'-0"

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Scale: 1/262144" = 1'-0"

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TRADEWINDS MIXED USE
DEVELOPMENT PROJECT
314 NORTH CLEVELAND STREET
OCEANSIDE CA 92054

Prepared by:
Name: [Redacted]
Address: [Redacted]
Phone: [Redacted]
Project Address: 314 NORTH CLEVELAND ST
Project Name: TRADEWINDS MIXED USE DEVELOPMENT PROJECT

PLANNING
DATE: 01/14/17
DRAWN BY: [Redacted]
SCALE: 1/8"=1'-0"

Sheet Name: EXTERIOR ELEVATIONS
Sheet: A4.1
OF: 3

Revised:
1/14/17

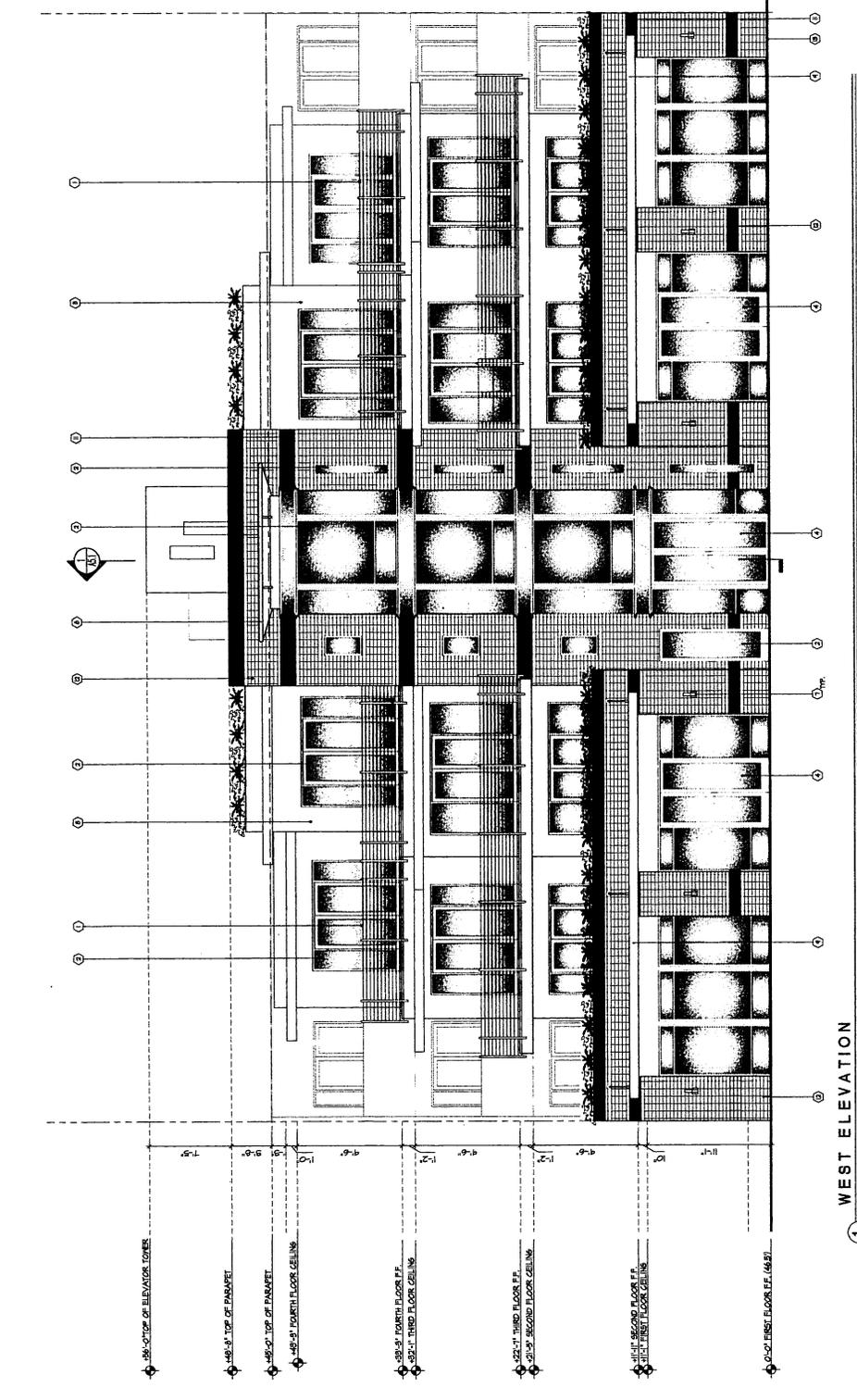
Prepared by:
Name: [Redacted]
Address: [Redacted]
Phone: [Redacted]
Project Address: 314 NORTH CLEVELAND ST
Project Name: TRADEWINDS MIXED USE DEVELOPMENT PROJECT

Scale: 1" = 20'-0"
Sheet Title: EXTERIOR ELEVATIONS

DATE: 01/14/17
DRAWN BY: [Redacted]
SCALE: 1/8"=1'-0"

- ### ELEVATION NOTES
- CABLE RAIL WITH A STAINLESS STEEL FINISH
 - 3/4" GALV. LWF 6" WINDOW OR DOOR WITH ANODIZED ALUMINUM FRAME. COLOR: CLEAR ANODIZED
 - EXTERIOR GROUT PLASTER BY SPOD STUCCO - COLOR TO BE SIA PAINT # 690
 - METAL AND GLASS ENTRY DOOR PER ARCHITECT. COLOR: CLEAR ANODIZED.
 - CUSTOM METAL GARAGE DOOR. FINISH: BRONZE
 - PAVING: LIGHT PER ARCHITECT
 - DECORATIVE LIGHT PER ARCHITECT
 - CUSTOM METAL AND GLASS TRILLOX FINISH. COLOR: SILVER METALLIC
 - METAL FINISH. COLOR PER ARCHITECT
 - ASP SPAIN METAL ROOFING. COLOR: COOL HEATHER COPPER
 - BRICK VENEER BANDING. COLOR TO MATCH SIA PAINT # 624
 - BRICK VENEER BY HERRING BRICK
 - PROPOSED BRIDGE

FIRE DEPARTMENT NOTES:
 1. IN ACCORDANCE WITH UNIFORM FIRE CODE SECTION 903.4 APPROVED ADDRESS PLACEMENT SHALL BE PLACED ON THE STRUCTURE IN SUCH A POSITION AS TO BE PLAINLY VISIBLE FROM THE STREET AND NOT OBSCURED BY THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
 2. ADDRESS NUMBERS AND MULTIFAMILY DWELLINGS SHALL BE PLACED AT ADDRESS NUMBERS.



WEST ELEVATION
SCALE 1/8"=1'-0"



TRADEMARKS MIXED USE
DEVELOPMENT PROJECT
314 NORTH CLEVELAND STREET
OAKLAND, CA 94612

Prepared by
Address
Phone
Project Address
Date
Revised by
Date

PLANNING
REVISIONS

DATE: 08/20/07
SHEET: 28 OF 28

PROJECT: TRADEMARKS MIXED USE DEVELOPMENT PROJECT

SHEET: SCHEMATIC BUILDING SECTION

Sheet: A5.2
Of: 28

Scale: 1/8" = 1'-0"

Prepared by
Address
Phone
Project Address
Date
Revised by
Date

PLANNING
REVISIONS

DATE: 08/20/07
SHEET: 28 OF 28

PROJECT: TRADEMARKS MIXED USE DEVELOPMENT PROJECT

SHEET: SCHEMATIC BUILDING SECTION

Sheet: A5.2
Of: 28

Scale: 1/8" = 1'-0"

Prepared by
Address
Phone
Project Address
Date
Revised by
Date

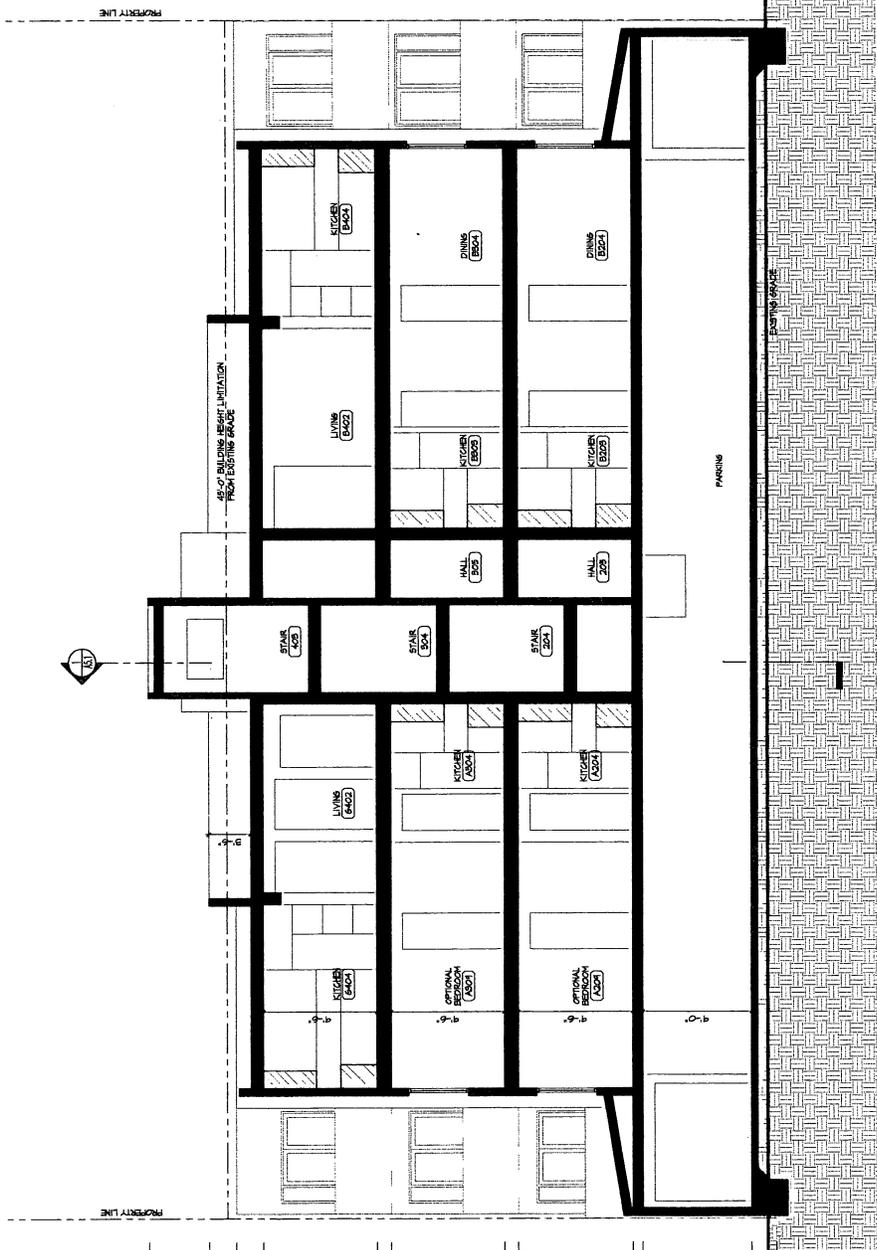
PLANNING
REVISIONS

DATE: 08/20/07
SHEET: 28 OF 28

PROJECT: TRADEMARKS MIXED USE DEVELOPMENT PROJECT

SHEET: SCHEMATIC BUILDING SECTION

Sheet: A5.2
Of: 28

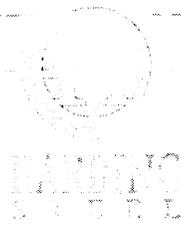


SCHEMATIC BUILDING SECTION 2

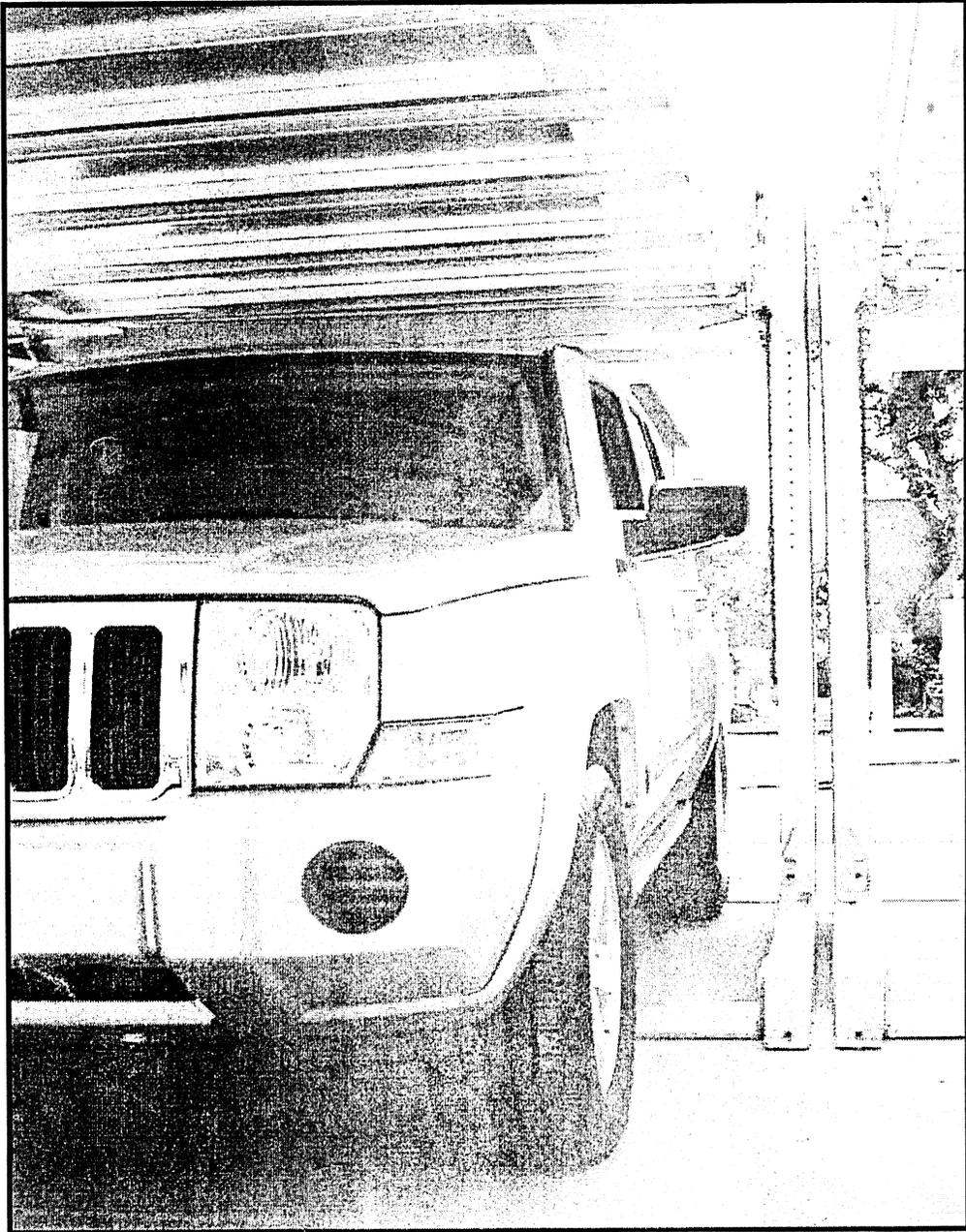
SCALE: 1/8" = 1'-0"



Scale: 1/8" = 1'-0"



SUV and SUV-XL by Harding Steel

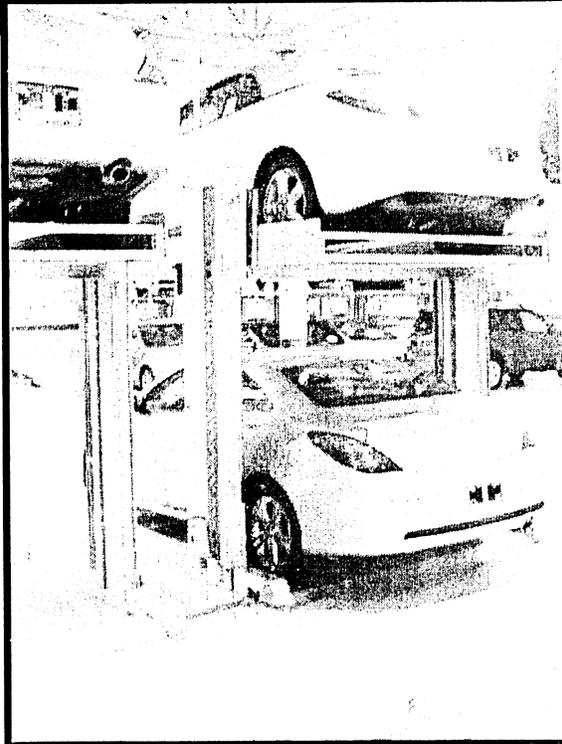
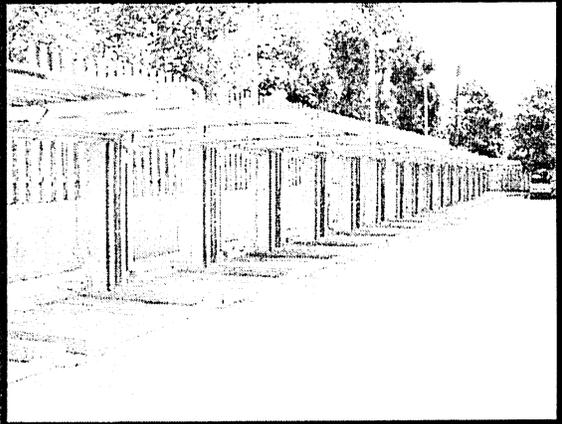
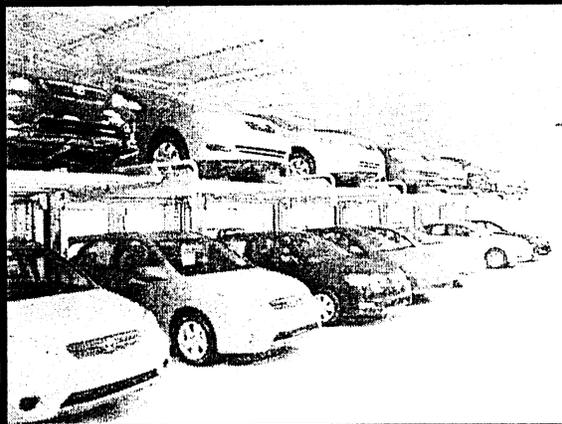


World-Class Lifts since 1968



SUV and SUV-XL by Harding Steel

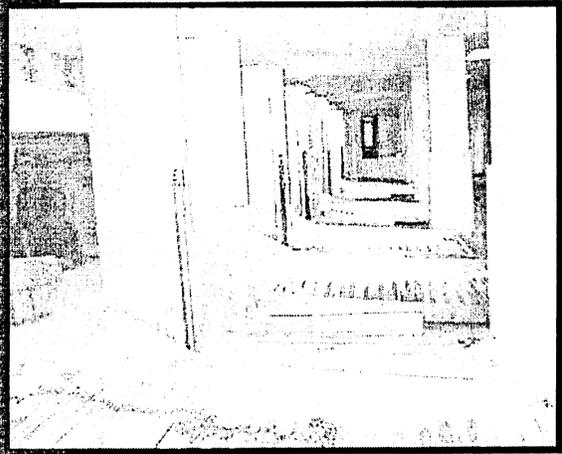
The world's most popular commercial grade parking lift

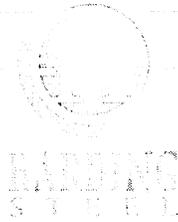


Commercial, Mixed Use, and Multi-Family

Automotive Dealership Inventory Storage

Valet or Self-Operated Parking





SUV Lift Features

- 100% galvanized steel construction
- Commercial grade design and materials
- Dual hydraulic cylinders
- Self-standing, self-supporting unit
- Can be moved or relocated
- Central or individual hydraulic power pack
- Solid platform prevents dripping from upper level
- Accommodates most popular SUVs and minivans
- Available in Standard and Wide models

Safety

- Standard key-lock switch for security and safety
- Automatic shut-off if operator releases the key-switch
- Steel-on steel locks hold the upper platform in place
- Manual lock release required to lower the unit
- Hydraulic velocity fuse protection

Dimensions

- Typical ceiling heights
 - 10'6" for two sedans
 - 11'6" for one car and one SUV
 - 12'6" or greater for 2 SUV's
- Width (side-to-side dimension)
 - 8'0" (standard model)
 - 8'6" (wide model)
- Length
 - 12'4" (total parking lift length on standard)
 - 13'0" (total parking lift length on wide)

Power Requirements

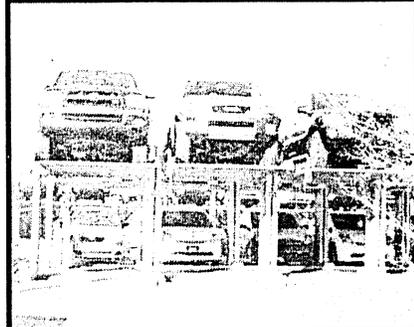
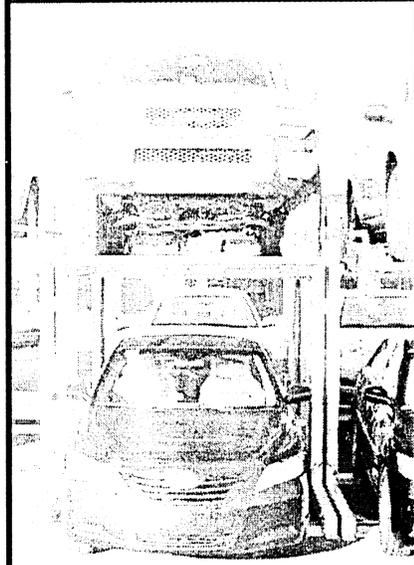
- 220V, 20 amp, single phase (for individual power pack)
- 220V, 3-phase, 40 amp for commercial central power pack
- 220V, single phase, 40 amp commercial power pack

Shipping and Installation

- Shipped by common carrier to most locations
- Installed by factory trained technicians

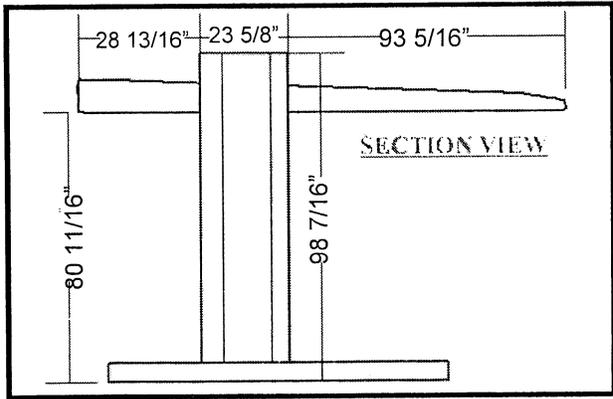
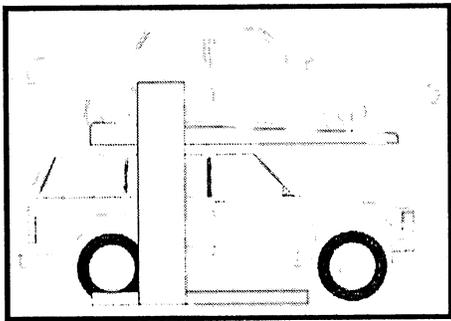
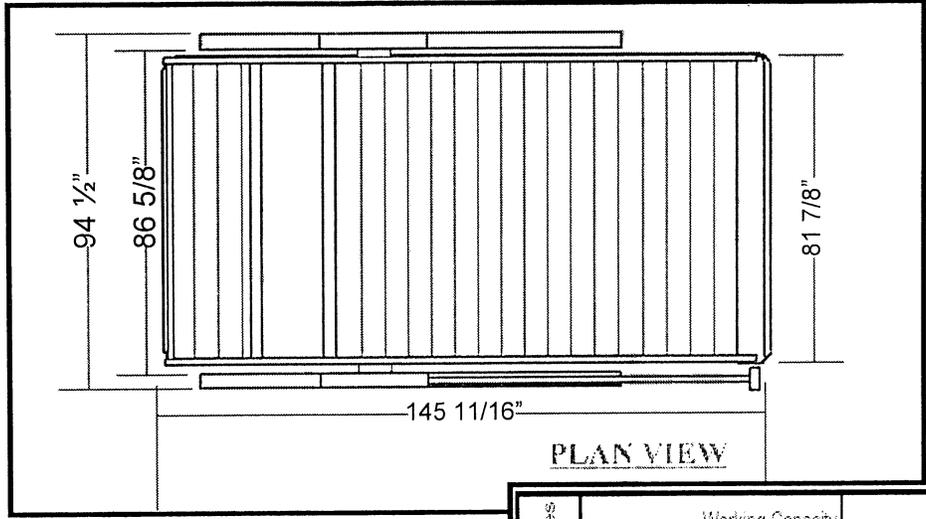
Warranty

- One year electrical, two year mechanical, five year structural





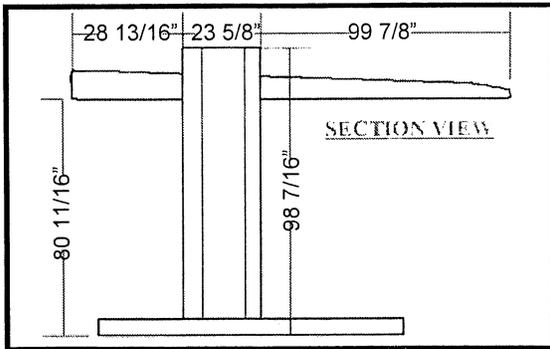
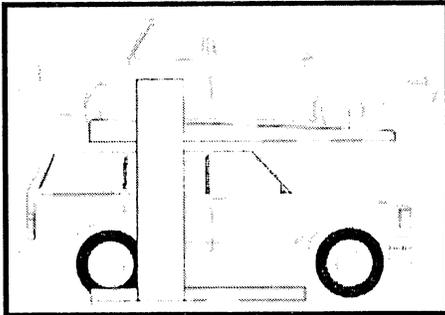
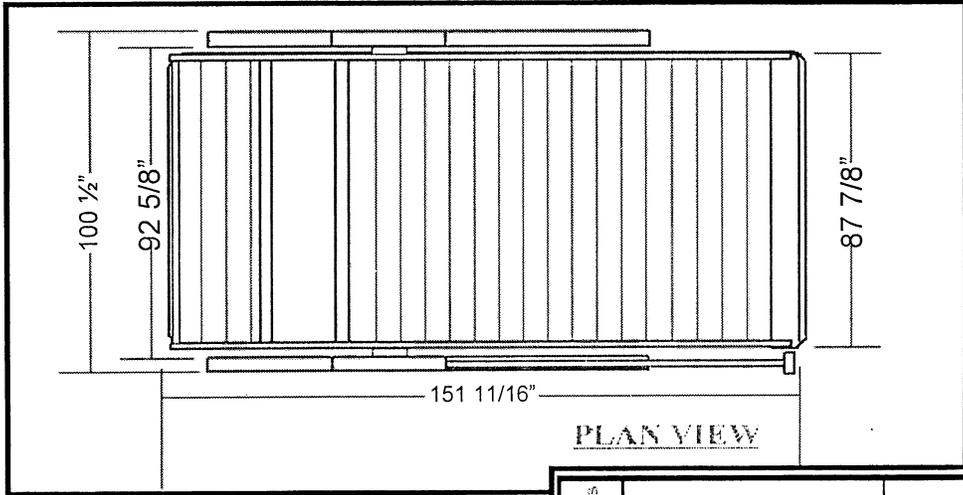
Harding Steel SUV Lift Specifications



Capacities	Working Capacity	6,600 lbs.
	Static Capacity	13,200 lbs.
	Dynamic Capacity	9,900 lbs.
Dimensions	Overall Width	94 1/2"
	Platform Width	81 7/8"
	Drive-thru Width	86 5/8"
	Overall Platform Length	145 11/16"
	Maximum vehicle wheelbase	141"
Speed	Maximum clearance (lower car)	79"
	Overall height	98 7/16"
	Lifting Speed (seconds)	17 seconds
Power	Lowering Speed (seconds)	15 seconds
	Power Requirements	220V 3 Phase 40 amp 220V Single Phase 40 amp
Features	Application	Outdoor/Indoor
	Surface	Asphalt/Concrete
	Material	100% Galvanized Steel
	Safety	Steel-on-Steel Locks



Harding Steel SUV-XL Lift Specifications



Capacities	Working Capacity	8,600 lbs.
	Static Capacity	13,200 lbs.
	Dynamic Capacity	9,900 lbs.
Dimensions	Overall Width	100 1/2"
	Platform Width	87 7/8"
	Drive-thru Width	92 5/8"
	Overall Platform Length	151 11/16"
	Maximum vehicle wheelbase	146"
	Maximum clearance (lower car)	79"
	Overall height	98 7/16"
Speed	Lifting Speed (seconds)	17 seconds
	Lowering Speed (seconds)	15 seconds
Power	Power Requirements	220V 3 Phase 40 amp 220V Single Phase 40 amp
Features	Application	Outdoor/Indoor
	Surface	Asphalt/Concrete
	Material	100% Galvanized Steel
	Safety	Steel-on-Steel Locks

Parking Demand Analysis for Tradewinds Development Updated March 5, 2008

This parking demand analysis addresses parking needs and availability of parking issues concerning a proposed mixed-use development called Tradewinds development. The project is located on the north side of Cleveland Street between Civic Center Drive and Pier View Way in the City of Occanside, California. The land use and floor space for each land use are as shown below:

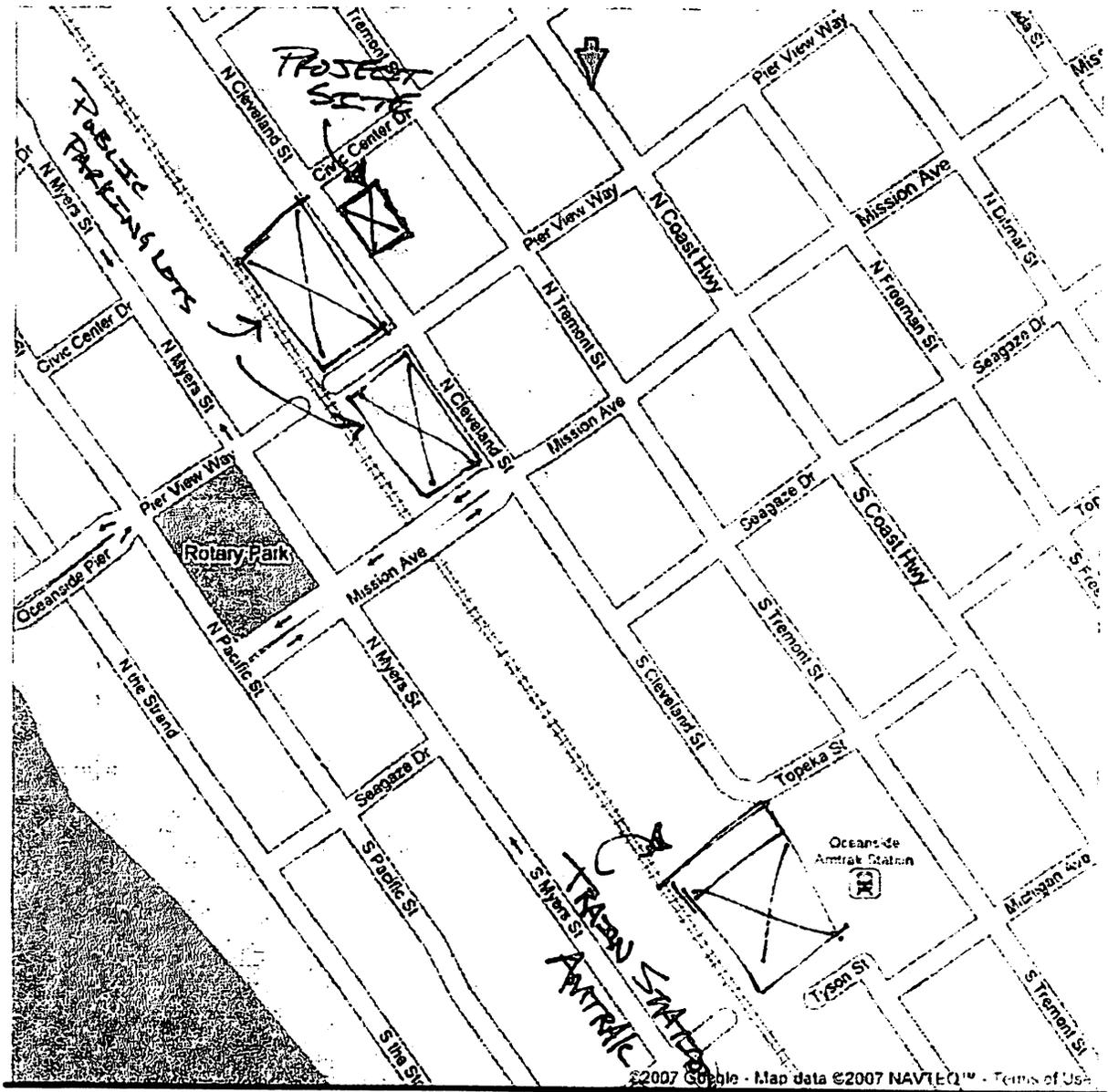
<u>First Floor</u>	<u>8,874 sf total</u>
Office/ Retail North Unit	948 sf (leasable)
Office/ Retail South Unit 1	989 sf (leasable)
Entry Lobby/Stair/Elevator	392 sf
Common Parking Area	6,298 sf
Egress Stair	95
Storage/Utility	192 sf
<u>Second floor</u>	<u>7,517 sf total</u>
Unit 2A	1,932 sf
(two bedroom, two and one half baths with optional third bedroom/ office)	
Unit 2B	1,755 sf
(two bedroom, two and one half baths with optional third bedroom/ office)	
Unit 2C	1,422 sf
(one bedroom, two baths)	
Unit 2D	1,523 sf
(one bedroom, two baths)	
Circulation Space	885 sf
<u>Third floor</u>	<u>7,595 sf total</u>
Unit 3A	1,983 sf
(two bedroom, two and one half baths with optional third bedroom/ office)	
Unit 3B	1,771 sf
(two bedroom, two and one half baths with optional third bedroom/ office)	
Unit 3C	1,422 sf
(one bedroom, two baths)	
Unit 3D	1,524 sf
(one bedroom, two baths)	
Circulation Space	895 sf
<u>Fourth Floor</u>	<u>5,516 sf total</u>
Unit 4A	2,351 sf
(three bedroom, three and one half baths with office and separate family game room)	
Unit 4B	2,127 sf
(three bedroom, three and one half baths with office and separate family game room)	
Circulation Space	737 sf
Common Use Gym	301 sf

Shared Parking Analysis for Tradewinds Project
Page 2 of 6

<u>Fifth Floor – Roof Deck</u>	<u>2,473 sf total</u>
Circulation Space 1	637 sf
Circulation Space 2	1,836 sf

Total Building Area: 30,089 sf, 23,791 sf excluding parking/ service area on first floor

The project location and the vicinity are shown in the figure below:



The project's land use combination provides an opportunity for users to share available parking spaces. For example, the retail and office users have a peak parking demand during the day time when residential parking demand is minimal. Likewise, parking demand for office users would be non-existent during the nights, and retail users' parking demand would start to diminish during the evenings. Additionally, the project is within a walking distance of a train station which will encourage office and retail users to ride trains instead of driving and parking on-site. The residents would also be encouraged to ride trains and would not need to own a car and park on-site. These factors would contribute to a significant reduction in the project's parking demands and requirements.

The City's parking code (Ref: Article 31: Off-site Parking and Loading Regulations, <http://www.ci.oceanside.ca.us/pdf/20-31.pdf> downloaded on October 9, 2007) specifies the following for Joint Use of parking facilities

"...Such a facility shall contain not less than the total number of spaces or berths as determined individually, unless Fewer spaces may be permitted where adjoining uses on the same site have different hours of operation and the same parking spaces or loading berths can serve both without conflict. A determination of the extent, if any, to which joint use will achieve the purpose of this chapter shall be made by the planning Director, who may require submission of survey data necessary to reach a decision."

The Urban Land Institute (ULI) publication "Shared Parking" provides a methodology that allows calculation of peak parking demand at a mixed-use shared parking facility similar to this project (Reference: "Shared Parking", published by Urban Land Institute, 1983). The methodology uses parking ratios (or percentage of peak parking demand) for various stand-alone land uses (office, retail, hotel, restaurant, residential, etc.) expected during each hour of a typical weekday and a Saturday. These ratios are multiplied by the peak parking demand (or the parking spaces required by parking code for a stand-alone facility) to obtain number of parking spaces required for the facility during each hour of a day. By adding these hourly parking space requirements for each land use within a shared parking facility, the hourly parking space requirement for the entire facility is determined for each hour of the day (both a typical weekday and a typical Saturday). The maximum hourly demand calculated by this method is, therefore, determined as the maximum parking space requirement for the mixed-use, shared parking facility.

The ULI shared parking methodology is deemed appropriate to use in determining the peak parking demand for the Tradewinds mixed-use shared parking project.

Table 1 shows calculation of peak parking demand for each land use of the project as a stand – alone land use (per the City's parking code) and the results of the shared parking demand analysis using ULI's Shared Parking methodology.

Table 2 shows hourly parking ratios or percentage of peak parking demand observed for various land uses per ULI's "Shared parking" publication, and **Table 3** shows calculation of hourly parking needs for various land uses proposed for Tradewinds projects using ULI's parking ratios.

Table 1
Parking Needs Calculations for Tradewinds Project

Project Land use Mix		Parking Spaces Required		Total Stand Alone Need	Total Shared Parking** Need
Use	Size (sf/Unit)	Rate*	Number		
Office	989	1 per 300 sf	3	26	23
Retail	948	1 per 200 sf	5		
1-bedroom Condo	4	1.5 per unit	6		
2-bedroom Condo	6	2 per unit	12		

* Rate is City of Oceanside's Parking Code
 ** Using Shared Parking Methodology developed by Urban Land Institute ("Shared Parking", 1983)
 For Condominium projects, visitor parking is not required in Re-development area

Table 2
Hourly Parking Ratios for Various Land Uses Per ULI's "Shared Parking"

Hour of Day	Office		Retail		Res (1 bedroom)		Res (2 bedroom)	
	Weekday	Saturday	Weekday	Saturday	Weekday	Saturday	Weekday	Saturday
6:00 AM	3%				100%	100%	100%	100%
7:00 AM	20%	20%	8%	3%	87%	95%	87%	95%
8:00 AM	63%	60%	18%	10%	79%	88%	79%	88%
9:00 AM	93%	80%	42%	30%	73%	81%	73%	81%
10:00 AM	100%	80%	68%	45%	68%	74%	68%	74%
11:00 AM	100%	100%	87%	73%	59%	71%	59%	71%
12:00 PM	90%	100%	97%	85%	60%	71%	60%	71%
1:00 PM	90%	80%	100%	95%	59%	70%	59%	70%
2:00 PM	97%	60%	97%	100%	60%	71%	60%	71%
3:00 PM	93%	40%	95%	100%	61%	73%	61%	73%
4:00 PM	77%	40%	87%	90%	66%	75%	66%	75%
5:00 PM	47%	20%	79%	75%	77%	81%	77%	81%
6:00 PM	23%	20%	82%	65%	85%	85%	85%	85%
7:00 PM	7%	20%	89%	60%	94%	87%	94%	87%
8:00 PM	7%	20%	87%	55%	96%	92%	96%	92%
9:00 PM	3%		61%	40%	98%	95%	98%	95%
10:00 PM	3%		32%	38%	99%	96%	99%	96%
11:00 PM			13%	13%	100%	98%	100%	98%
12:00 AM					100%	100%	100%	100%

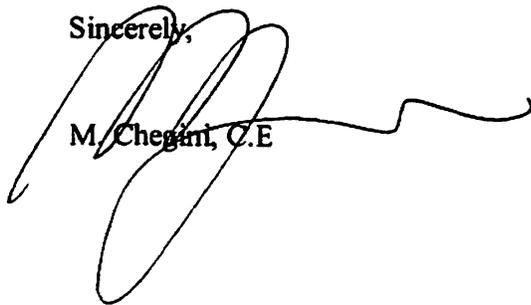
Table 3
Hourly Parking Spaces Required for Various Land Uses of Tradewinds Project

Hour of Day	Office		Retail		Res (1 bedroom)		Res (2 bedroom)		Total	
	Peak Demand=3		Peak Demand=5		Peak Demand=6		Peak Demand=12		Weekday	Saturday
	Weekday	Saturday	Weekday	Saturday	Weekday	Saturday	Weekday	Saturday		
6:00 AM	1	0	0	0	6	6	12	12	19	18
7:00 AM	1	1	1	1	6	6	11	12	19	20
8:00 AM	2	2	1	1	5	6	10	11	18	20
9:00 AM	3	3	3	2	5	5	9	10	20	20
10:00 AM	3	3	4	3	5	5	9	9	21	20
11:00 AM	3	3	5	4	4	5	8	9	20	21
12:00 PM	3	3	5	5	4	5	8	9	20	22
1:00 PM	3	3	5	5	4	5	8	9	20	22
2:00 PM	3	2	5	5	4	5	8	9	20	21
3:00 PM	3	2	5	5	4	5	8	9	20	21
4:00 PM	3	2	5	5	4	5	8	9	20	21
5:00 PM	2	1	4	4	5	5	10	10	21	20
6:00 PM	1	1	4	4	6	6	11	11	22	22
7:00 PM	1	1	4	3	6	6	12	11	23	21
8:00 PM	1	1	4	3	6	6	12	12	23	22
9:00 PM	1	0	4	2	6	6	12	12	23	20
10:00 PM	1	0	2	2	6	6	12	12	21	20
11:00 PM	0	0	1	1	6	6	12	12	19	19
12:00 AM	0	0	0	0	6	6	12	12	18	18
Total Peak Demand of Total =									23	22

As shown in Table 1, the Tradewinds project would require a total of 26 parking spaces per the City's parking code requirement without shared parking. With shared parking, a total of 23 parking spaces would be required. The project would provide a total of 23 spaces on-site. In addition, the parking demand could be reduced due to location of the project near the train station, or could easily be satisfied in off-site public parking facilities across the street along Cleveland Street.

Should you have any questions, please do not hesitate to call me at 949-860-4800.

Sincerely,



M. Chegini, C.E



**CITY OF OCEANSIDE
PLANNING DEPARTMENT**

NOTICE OF EXEMPTION

TO: X RECORDER/COUNTY CLERK
COUNTY OF SAN DIEGO
P.O. BOX 1750
SAN DIEGO, CA 92112-4147

PROJECT TITLE AND FILE NUMBER:

TENTATIVE MAP (T-201-07), DEVELOPMENT PLAN (D-207-07), CONDITIONAL USE PERMITS (C-202-07 & C-204-07), AND REGULAR COASTAL PERMIT (RC-210-07) FOR THE CONSTRUCTION OF A MIXED USE DEVELOPMENT CONSISTING OF 10-UNIT MULTIFAMILY CONDOMINIUMS AND APPROXIMATELY 2,000 SQUARE FEET OF GROUND FLOOR OFFICE/RETAIL USES LOCATED AT 314 NORTH CLEVELAND STREET

PROJECT LOCATION - SPECIFIC:

314 North Cleveland Street

PROJECT LOCATION - GENERAL:

N. Cleveland and Civic Center Drive

TENTATIVE MAP (T-201-07)
DEVELOPMENT PLAN (D-207-07)
CONDITIONAL USE PERMITS (C-202-07 & C-204-07)
REGULAR COASTAL PERMIT (RC-210-07)

DESCRIPTION OF NATURE, PURPOSE AND BENEFICIARIES OF PROJECT:

A Tentative Map, Development Plan, Conditional Use Permits and Regular Coastal Permit for a mixed-use development consisting of 10-unit condominiums and 2,000 square foot of ground floor retail/office space located at 314 North Cleveland Street.

NAME OF PUBLIC AGENCY APPROVING PROJECT:

City of Oceanside

NAME OF PERSON(S) OR AGENCY CARRYING OUT PROJECT:

Michael Chegini
20 Morgan
Irvine, CA 92618
(949) 860-8400

Exempt Status per the Guidelines to Implement the California Environmental Quality Act (CEQA)
(Public Resources Code Section 21000 et. al.):

NOT SUBJECT TO CEQA PER THE GENERAL RULE, SECTION 15061(B)(3)

STATUTORY EXEMPTION PER ARTICLE 18, SECTION(S)

CATEGORICAL EXEMPTION PER ARTICLE 19, SECTION 15301(b)

REASONS WHY PROJECT IS EXEMPT:

The proposed project is an infill project on two lots consisting of ten-unit multifamily condominium and approximately 2,000 square feet of ground floor office/retail uses and the subject site is less than 5-acres in size; therefore, it is exempt from environmental review.

Contact Person: Shan Babick, Associate Planner

SIGNATURE

March 10, 2008

DATE

For: Jerry Hittleman, Interim City Planning