

AGENDA NO. 6

PLANNING COMMISSION



STAFF REPORT

DATE: November 7, 2011

TO: Chairperson and Members of the Planning Commission

FROM: Development Services Department/Planning Division

SUBJECT: **CONSIDERATION OF REGULAR COASTAL PERMITS (RC11-00009/RC10-00010/RC11-00011) TO ALLOW CONVERSION OF THREE EXISTING SINGLE-FAMILY HOMES TO DUPLEXES AT 811, 813 AND 815 SOUTH PACIFIC STREET – SOUTH PACIFIC DUPLEX CONVERSIONS – APPLICANTS: REVX PACIFIC NORTH LLC; REVX PACIFIC SOUTH LLC; STEVE LOOMIS**

RECOMMENDATION

Staff recommends that the Planning Commission by motion:

- (1) Approve Regular Coastal Permits (RC11-00009/RC11-00010/RC11-00011) by adopting Planning Commission Resolution Nos. 2011-P39, 2011-P40, 2011-P41,

PROJECT DESCRIPTION AND BACKGROUND

Background: Situated within the Coastal Zone and the Townsite Neighborhood Planning Area, the subject properties comprise three contiguous beachfront lots, each measuring 25 feet in width and 130 feet in depth. Each lot is presently developed with a 4,501-square foot single-family home. Comprised of two stories over a daylight basement, each residence includes nine bedrooms and nine bathrooms. Each residence is served by four enclosed parking spaces, configured as two pairs of tandem stalls. All three of these homes were approved in March 2005 under the provisions of the then-applicable 1992 Zoning Ordinance. The tandem parking configuration required approval of a Variance, given that the residences required three independently-accessible enclosed parking spaces under the parking standards of the 1992 Zoning Ordinance.

Since their construction, these homes have functioned as vacation rental properties. In the spring of 2011, the City was made aware that the homes had been converted to duplexes, allowing the basement level of each residence to serve as a separate rental unit independent of the first and second-story floor area. In response to code enforcement action, the property owners have removed unpermitted cooking facilities, removed door

signage indicating multiple dwelling units in each structure, and made other changes necessary to reestablish the approved single-family residential uses.

The current proposal is subject to the City's General Plan, Local Coastal Program and 1986 Zoning Ordinance, which was formally reinstated for Coastal Zone properties outside of the Downtown Redevelopment Area in May 2009.

Site Review: Per the 1986 Zoning Ordinance, the subject properties bear a zoning designation of Residential-Tourist (R-T). The subject properties have a land use designation of Urban High-Density Residential (UHD-R). These designations provide for single and multi-family residential uses serving both residents and visitors. The subject properties abut multifamily development to the north and south, bungalow-style apartments to the east and the Pacific Ocean to the west. The legal nonconforming 25' x 130' dimensions of each lot are typical of beachfront properties south of Wisconsin Avenue. The properties occupy a portion of coastal bluff that descends approximately 10 vertical feet from South Pacific Street to the beach immediately inland of the revetment. Like other properties in the 800 Block of South Pacific Street, the subject sites were excavated to allow beach-level habitable space (defined as basement) to extend eastward to the front yard setback. Beach-level development on the subject sites has little to no visibility from South Pacific Street, depending upon one's vantage point within the public right-of-way.

All three of the existing residences are situated six inches from the front property line, in accordance with the blockface averaging provisions of the 1992 Zoning Ordinance. All three homes maintain three-foot side yard setbacks, and all three homes extend westward to the coastal stringline, which is approximately 15 feet inland of the rear property line. The homes achieve lot coverage of 63 percent, where 40 percent lot coverage is the maximum allowed for single-family development under the now-applicable 1986 Zoning Ordinance.

The existing residences exhibit a similar architecture, with each presenting a different roof configuration; one residence displays a gabled roof on the front elevation; another displays a rounded barrel roof; and another displays a shed roof. The front elevations of the residences are further distinguished by different second-story window configurations. The rear elevations are essentially identical, featuring extensive fenestration at the basement and street levels and substantially recessed second stories that provide for open deck areas to the west.

Photographs of existing site conditions are attached to this staff report as Exhibit 2.

Project Description: The applicants seek to convert the existing single-family residences to duplexes. The proposed conversions would be achieved by reconfiguring primary entrances and stairwells such that habitable space at the beach and street levels of each structure would be segregated from habitable space above street level.

As part of the proposed conversions, the applicants seek to enclose much of the open deck area on the existing second story, while adding an entirely new third story. As proposed, the conversions would add 546 square feet of habitable space to the existing second story and an additional 825 square feet of habitable space on the new third story. The existing second story would be extended westward another 29 feet, bringing it to within eight feet of the rear building line at the street level. The expanded portions of the second story would accommodate a great room and a kitchen. The remaining eight feet above the street level would serve as open deck area. The new third story would extend westward of an existing roof projection that serves as a stair enclosure and storage space. The western extent of the new third story would come to within eight feet of the rear building line of the second story, with the remaining eight feet above the second story utilized as open deck area. Habitable space on the third story would consist of a game room and two bathrooms.

The basement and street levels of each structure would function as one independent unit, with the second and third stories serving as a second independent unit. The lower unit would include five bedrooms and five bathrooms. The upper unit would include four bedrooms and six bathrooms.

The proposed project would not alter the existing parking configuration; each structure would continue to be served by four enclosed parking spaces, arranged as two pairs of tandem stalls. While the space within the existing garage would not be partitioned, each pair of tandem stalls would be assigned to a specific unit.

Exterior wall finishes, roof materials and window products associated with the proposed additions would match those of the existing structures: exterior walls would be finished with sand float stucco; new roof elements would be finished with natural slate tile; and new windows would be composed of dual-paned glass in vinyl frames.

The proposed project would not alter existing hardscape, landscape or other exterior features.

Upon conversion, the duplex structures are expected to continue to serve as vacation rentals, though each unit could also function as a long-term rental or an owner-occupied residence.

The project is subject to the following Ordinances and City policies:

1. General Plan Land Use Element
2. 1986 Zoning Ordinance
3. Local Coastal Program
4. California Environmental Quality Act (CEQA)

ANALYSIS

KEY PLANNING ISSUES

1. **General Plan**

The General Plan Land Use Map designation for the subject property is Urban High Density Residential (UHD-R). The proposed project is consistent with this land use designation as well as the goals and objectives of the City's General Plan, as follows:

A. Land Use Element

Goal 1.23: Architecture

Objective: The architectural quality of all proposed projects shall enhance neighborhood and community values and City image.

Policy A: Architectural form, treatments, and materials shall serve to significantly improve on the visual image of the surrounding neighborhood.

It is staff's position that the proposed project would maintain the architectural integrity of the existing structures, both in terms of building form and finish materials. As viewed from South Pacific Street, the structures would read essentially as they do now, given that the proposed additions would be more than 42 feet removed from the front property line and largely screened by existing development.

As measured from street grade, the proposed duplexes would be only 18 inches taller than the existing single-family homes, which are roughly 22 feet above the street at the front building line and roughly 28.5 feet above the street at their highest point (48 feet removed from the front property line). As viewed from the beach, the tallest elements of the proposed duplexes would be situated 15 feet eastward of the coastal stringline (30 feet from the rear property line). It is staff's position that the terraced design of the proposed duplexes would mitigate potential massing impacts on both South Pacific Street and the public beach areas to the west. The proposed additions would have the most significant massing impacts on the adjacent properties to the north and south, which are managed by the same vacation rental company.

Goal 1.32: Coastal Zone

Objective: To provide for the conservation of the City's coastal resources and fulfill the requirements of the California Coastal Act of 1976.

Policy A: The City shall utilize the certified Local Coastal Plan for review of all proposed projects within the Coastal Zone. Specifically, the goals and policies of the Local Coastal Program Land Use Plan are the guiding policy review document.

The proposed project has been reviewed by staff for compliance with the policies of the Local Coastal Program (LCP). Staff finds that the application complies with applicable policies of the LCP, as follows:

Adequate access to and along the coast shall be provided and maintained.

Proposals that constitute multi-family development or involve at least 70 feet of street frontage are required to dedicate and construct public access to the beach when such access is not already present within 250 feet of the proposed project. With each lot maintaining only 25 feet of street frontage, the proposed projects are not subject to this public beach access requirement. Furthermore, existing public beach access is located within 250 feet of all three properties, at Wisconsin Avenue to the north and Hayes Street to the south.

The City shall maintain existing view corridors through public rights-of-way.

Located on interior lots substantially removed from existing public view corridors at Wisconsin Avenue and Hayes Street, the proposed projects would not impact any existing public view corridors. Existing ocean views within the required side yard setback areas would be maintained.

The City shall ensure that all new development is compatible in height, scale, color and form with the surrounding neighborhood.

The proposed improvements would be consistent with existing development on the west side of the 800 Block of South Pacific Street, in terms of both architecture and site design. Neighborhood compatibility would be achieved by situating additional building height away from the public right-of-way, thereby reducing potential massing impacts and maintaining the terraced design characteristic of the rear elevations of existing beachfront development in the immediate area.

New development shall utilize optimum landscaping to accent and enhance desirable site characteristics and architectural features.

As evidenced by existing development along South Pacific Street between Wisconsin Avenue and the City's southern boundary, front yard landscaping is highly constrained by the narrowness of the typical lot, which often affords only enough width for driveways and pedestrian access. Such is the case with the subject properties. Additional landscaping at the street frontage would further compromise pedestrian circulation along the west side of South Pacific Street, which is already made difficult by the absence of sidewalk. For this reason, staff is not recommending that additional landscaping be required in conjunction with the proposed projects.

The City shall require that all new residential development provides adequate on-site parking.

Duplex development on each of the subject properties is required to provide three enclosed parking spaces, with no requirement that all of these spaces be side-by-side and independently accessible. The proposed duplexes would be served by the existing four-vehicle garages, where parking is configured as two pairs of tandem stalls. The existing four-vehicle garages would thus supply one more stall than is minimal required under current parking standards.

The proposed projects would not impact on-street parking resources in the immediate area, as existing driveway curb-cuts would be maintained at their current dimensions.

2. Zoning Compliance

As noted above, the proposed project is subject to the standards of the 1986 Zoning Ordinance, which was reinstated for properties in those portions of the Coastal Zone located outside of the Downtown Redevelopment Area. The 1986 Zoning Ordinance identifies both multi-family residences and vacation rentals as land uses permitted within the R-T (Residential-Tourist) Zone. Staff finds that the proposed project complies with all applicable development standards for the R-T Zone, including the reduced front yard setback allowed through calculation of a stringline that accounts for the front yard setbacks of existing structures on abutting sites. Per the stringline provision, the minimum required front yard setback for the subject properties is roughly two feet less restrictive than the front yard setback now maintained by the existing single-family homes.

The following table illustrates the proposal's conformance to R-T development standards:

Table 1: Development Standards

	REQUIRED	PROPOSED
MINIMUM FRONT YARD	2 feet, 3 inches*	4 feet (No change)
MINIMUM SIDE YARD	3 feet	3 feet
MINIMUM REAR YARD	Coastal stringline	Coastal stringline
MAXIMUM HEIGHT	35 feet above average finished grade	35 feet above average finished grade

As established by the stringline calculation methodology outlined in Zoning Ordinance Section 1716.

As noted in the table above, the proposed duplexes would rise to the maximum allowable building height of 35 feet above average finished grade. For a depth of 48 feet westward of the front building line, the height of the proposed duplexes would not exceed that of the existing single-family homes (i.e. 22.5 feet above street grade). Furthermore, only at a point nearly 70 feet removed from the front building line would the proposed duplexes achieve an actual profile of 35 feet relative to adjacent grade

(rising to as much as 40 feet above adjacent grade at a point roughly 82 feet removed from the front building line). On the rear elevation, the proposed duplexes would be terraced back at the third and fourth levels above the beach, incorporating open deck areas and pitched roof elements to reduce massing impacts.

While applicable R-T development standards allow for certain ancillary features (e.g. parapet walls, stair and elevator enclosures, architectural elements, chimneys) to project above the 35-foot height maximum, the proposed duplexes would not include any such height projections.

DISCUSSION

Issue: Project compatibility with the existing neighborhood and surrounding properties: Is the proposed conversion of single-family homes to duplexes consistent with the existing pattern of beachfront land use and development along the 800 Block of South Pacific Street?

Recommendation: The proposed duplexes would provide for tourist-serving facilities in keeping with the purpose and intent of the Residential-Tourist zoning designation. The proposed duplexes would be compatible in bulk and scale with the surrounding built environment, as established in previous sections of this staff report.

Issue: Project consistency with development standards of the 1986 Zoning Ordinance: Do the proposed residences conform to the setback, height, parking and landscaping requirements of the R-T zone?

Recommendation: The proposed duplexes would be consistent with all applicable R-T development standards, with the exception of landscape requirements specified in Zoning Ordinance Section 1731. Because virtually all of the front and side yard setback areas must be utilized for pedestrian circulation and vehicular access, it is not possible to meet the codified requirement that a minimum of 60 percent of required front and side yard setback areas be landscaped. Furthermore, underground utilities at the street frontage make it impossible to install tree species or deep-rooted shrubbery in the small triangular planter areas that now lie between the existing driveways. Staff thus sees no practical way to augment the existing landscape on the subject properties.

ENVIRONMENTAL DETERMINATION

The proposed project has been reviewed pursuant to the California Environmental Quality Act (CEQA) and the project is exempt under the provisions of the California Environmental Quality Act (CEQA) Class 1 15301 (e), Categorical Exemption "Existing Facilities"

PUBLIC NOTIFICATION

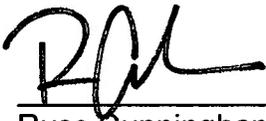
In advance of the October 25, 2010 Planning Commission public hearing on the proposal, legal notice was published in the North County Times and notices were sent to occupants and property owners of record within a 1,500-foot radius of the subject property, individuals and/or organizations requesting notification, the applicant, and other interested parties.

SUMMARY

Regular Coastal Permits (RC11-00009/RC11-00010/RC11-00011) are consistent with the requirements of the Zoning Ordinance, the land use policies of the General Plan and the policies of the Local Coastal Program. The proposed projects meet all applicable development standards for the surrounding R-T zoning district. The scale and architecture of the proposed projects would comport with the surrounding neighborhood, avoid adverse massing impacts, and preserve existing public views of the ocean or coastline. Accordingly, staff recommends that the Planning Commission approve the proposals subject to the conditions contained in the attached resolutions. Staff recommends that the Planning Commission:

- Confirm issuance of Class 1, Categorical Exemption for Existing Facilities of the California Environmental Quality Act.
- Move to approve Regular Coastal Permits RC11-00009/RC11-00010/RC11-00011 and adopt Planning Commission Resolution Nos. 2011-P39, 2011-P40 and 2011-P41 as attached.

PREPARED BY:



Russ Cunningham
Senior Planner

SUBMITTED BY:



Jerry Hittleman
City Planner

JH/RC/fil

Attachments:

1. Planning Commission Resolution Nos. 2011-P39, 2011-P40 and 2011-P41
2. Plans
3. Site Photos and Renderings

1 PLANNING COMMISSION
2 RESOLUTION NO. 2011-P39

3 A RESOLUTION OF THE PLANNING COMMISSION OF THE
4 CITY OF OCEANSIDE, CALIFORNIA APPROVING A
5 REGULAR COASTAL PERMIT ON CERTAIN REAL
6 PROPERTY IN THE CITY OF OCEANSIDE

6 APPLICATION NO: RC11-00009
7 APPLICANT: REVX North Pacific, LLC
8 LOCATION: 811 South Pacific Street
9 APN 150-356-14-00

9 THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES
10 RESOLVE AS FOLLOWS:

11 WHEREAS, there was filed with this Commission a verified petition on the forms
12 prescribed by the Commission requesting a Regular Coastal Permit under the provisions of the
13 City of Oceanside Local Coastal Program and 1986 Zoning Ordinance to permit the following:

14 conversion of an existing single-family residence to a duplex, with the addition of 1,409
15 square feet of new habitable space;

16 on certain real property described in the project description.

17 WHEREAS, the Planning Commission, after giving the required notice, did on the 7th day
18 of November 2011 conduct a duly advertised public hearing as prescribed by law to consider said
19 application;

20 WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State
21 Guidelines thereto; this project has been found to be categorically exempt per Article 19 from
22 environmental review;

23 WHEREAS, there is hereby imposed on the subject development project certain fees,
24 dedications, reservations and other exactions pursuant to state law and city ordinance;

25 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that
26 the project is subject to certain fees, dedications, reservations and other exactions as provided
27 below:

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Description	Authority for Imposition	Current Estimate Fee or Calculation Formula
Parkland Dedication/Fee	Ordinance No. 91-10 Resolution No. 06-R0334-1	\$3,503 per unit.
Drainage Fee	Ordinance No. 85-23 Resolution No. 06-R0334-1	Depends on area (range is \$2,843-\$15,964 per acre).
Public Facility Fee	Ordinance No. 91-09 Resolution No. 06-R0334-1	\$2,072 per unit for residential.
School Facilities Mitigation Fee	Ordinance No. 91-34	\$2.63 per square foot residential.
Traffic Signal Fee	Ordinance No. 87-19 Resolution No. 06-R0334-1	\$15.71 per vehicle trip.
Thoroughfare Fee (For commercial and industrial please note the 75 percent discount)	Ordinance No. 83-01 Resolution No. 06-R0334-1	\$255 per vehicle trip (based on SANDAG trip generation table available from staff and from SANDAG).
Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 05-OR 0611-1	Fee based on water meter size. Residential is typically \$4,597 per unit.
Wastewater System Buy-in fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 05-OR 0610-1	Based on capacity or water meter size. Residential is typically \$6,313 per unit.
San Diego County Water Authority Capacity Fees	SDCWA Ordinance No. 2005-03	Based on meter size. Residential is typically \$4,326 per unit.

WHEREAS, the current fees referenced above are merely fee amount estimates of the impact fees that would be required if due and payable under currently applicable ordinances and resolutions, presume the accuracy of relevant project information provided by the applicant, and are not necessarily the fee amount that will be owing when such fee becomes due and payable;

WHEREAS, unless otherwise provided by this resolution, all impact fees shall be calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside

1 City Code and the City expressly reserves the right to amend the fees and fee calculations
2 consistent with applicable law;

3 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,
4 dedication, reservation or other exaction to the extent permitted and as authorized by law;

5 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that
6 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction
7 described in this resolution begins on the effective date of this resolution and any such protest
8 must be in a manner that complies with Section 66020;

9 WHEREAS, this resolution becomes effective 10 days from its adoption in the absence of
10 the filing of an appeal or call for review;

11 WHEREAS, the documents or other material which constitute the record of
12 proceedings upon which the decision is based will be maintained by the City of Oceanside
13 Planning Division, 300 North Coast Highway, Oceanside, California 92054.

14 WHEREAS, studies and investigations made by this Commission and in its behalf reveal
15 the following facts:

16 FINDINGS:

17 For the Regular Coastal Permit (RC11-00009) to allow conversion of an existing single-family
18 residence to a duplex with the addition of 1,409 square feet of new habitable space:

19 1. The proposed duplex conversion conforms to the policies of the Local Coastal Program
20 (LCP), including those pertinent to coastal access (Article 2), recreation (Article 3),
21 land resources (Article 5) and development (Article 6), in that it:

- 22 • Does not interfere with the public's right to access to the coastline and ocean,
23 given that dedicated public access ways exist within 250 feet of the subject site;
- 24 • Provides for recreational use of private oceanfront land;
- 25 • Does not impact environmentally sensitive habitat area or prime agricultural
26 land;
- 27 • Occurs in an already-developed area with adequate public services;
- 28 • Protects views to and along the ocean;
- 29 • Is visually compatible with the character of surrounding areas.

2. The project site, at 811 South Pacific Street, is situated within the Appeal Area of the
Coastal Zone and conforms to the public access and recreation policies of Chapter 3 of

1 the Coastal Act. The entire 800 Block of South Pacific Street measures 450 feet in
2 length, with public beach access located at both ends (where South Pacific Street
3 intersects with Wisconsin Avenue and Hayes Street). Thus, all properties in the 800
4 Block of South Pacific Street are situated within 250 feet of existing public beach
5 access.

6 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby
7 confirm issuance of a Categorical Exemption pursuant to Section 15303 of the California
8 Environmental Quality Act and approve Regular Coastal Permit (RC11-00009) subject to the
9 following conditions:

10 **Building:**

- 11 1. Construction shall comply with the 2010 edition of the California Codes.
- 12 2. The developer shall monitor, supervise and control all building construction and
13 supporting activities so as to prevent these activities from causing a public nuisance,
14 including, but not limited to, strict adherence to the following:
 - 15 a) Building construction work hours shall be limited to between 7:00 a.m. and 6:00
16 p.m. Monday through Friday, and on Saturday from 7:00 a.m. to 6:00 p.m. for
17 work that is not inherently noise-producing. Examples of work not permitted on
18 Saturday are concrete and grout pours, roof nailing and activities of similar noise-
19 producing nature. No work shall be permitted on Sundays and Federal Holidays
20 (New Year's Day, Memorial Day, July 4th, Labor Day, Thanksgiving Day,
21 Christmas Day) except as allowed for emergency work under the provisions of the
22 Oceanside City Code Chapter 38 (Noise Ordinance).
 - 23 b) The construction site shall be kept reasonably free of construction debris as
24 specified in Section 13.17 of the Oceanside City Code. Storage of debris in
25 approved solid waste containers shall be considered compliance with this
26 requirement. Small amounts of construction debris may be stored on-site in a neat,
27 safe manner for short periods of time pending disposal.
- 28 3. Separate/unique addresses will be required to facilitate utility releases. Verification that
29 the addresses have been properly assigned by the City's Planning Division must
accompany the Building Permit application.

1 **Fire:**

- 2 4. Fire Department requirements shall be placed on plans in the notes section.

3 **Water Utilites:**

4 5. The developer will be responsible for developing all water and sewer utilities necessary to
5 develop the property. Any relocation of water and/or sewer utilities is the responsibility of
6 the developer and shall be done by an approved licensed contractor at the developer's
7 expense.

8 6. The property owner shall maintain private water and wastewater utilities located on private
9 property.

10 7. Water services and sewer laterals constructed in existing right-of-way locations are to be
11 constructed by approved and licensed contractors at developer's expense.

12 8. All Water and Wastewater construction shall conform to the most recent edition of the
13 Water, Sewer, and Reclaimed Water Design and Construction Manual or as approved by
14 the Water Utilities Director.

15 9. Residential units shall be metered individually. Private utility systems for residential
16 developments are not allowed.

17 10. All public water and/or sewer facilities not located within the public right-of-way shall be
18 provided with easements sized according to the Water, Sewer, and Reclaimed Water
19 Design and Construction Manual. Easements shall be constructed for all weather access.

20 11. No trees, structures or building overhang shall be located within any water or wastewater
21 utility easement.

22 12. All lots with a finish pad elevation located below the elevation of the next upstream
23 manhole cover of the public sewer shall be protected from backflow of sewage by
24 installing and maintaining an approved type backwater valve, per the Uniform Plumbing
25 Code (U.P.C.).

26 13. Water and Wastewater Buy-in fees and the San Diego County Water Authority Fees are to
27 be paid to the City and collected by the Water Utilities Department at the time of Building
28 Permit issuance.

29 14. All Water Utilities Fees are due at the time of building permit issuance per City Code
Section 32B.7, unless the developer/applicant applies and is approved for a deferral of all
fees per City of Oceanside Ordinance No. 09-OR0676-1.

1 **Planning:**

2 15. Regular Coastal Permit (RC11-00009) shall expire two years from the effective date unless
3 implemented as required by the Zoning Ordinance. Absent the timely appeal of this
4 approval, it will expire on November 7, 2013 unless implemented as required by the
5 Zoning Ordinance.

6 16. Regular Coastal Permit (RC11-00009) is granted for the following purposes only:

- 7 a) Conversion of an existing single-family residence to a duplex, involving the
8 relocation of primary entrances and the modification of interior stairs;
- 9 b) Addition of 1,409 square feet of new habitable space, 825 square feet of which
10 will constitute a new third story above basement.

11 No deviation from these approved plans and exhibits shall occur without Planning
12 Commission approval. Substantial deviations shall require a revision to the Regular
13 Coastal Permit or a new Coastal Permit.

14 17. Regular Coastal Permit (RC11-00009) shall be called for review by the Planning
15 Commission if complaints are filed and verified as valid by the City Planner or the
16 Code Enforcement Officer concerning the violation of any of the approved conditions
17 or the project assumptions demonstrated under the application approval.

18 18. The validity of Regular Coastal Permit (RC11-00009) shall not be affected by changes
19 in ownership or tenants.

20 19. A request for changes in conditions of approval or a change to the approved plans that
21 would affect conditions of approval shall be treated as a new application. The City
22 Planner may waive the requirements for a new application if the changes requested are
23 minor, do not involve substantial alterations or addition to the plan or the conditions of
24 approval, and consistent with the intent of the project's approval or otherwise found to
25 be in substantial conformance.

26 20. Regular Coastal Permit (RC11-00009) may be revised or renewed in accordance with
27 the provisions of the Zoning Ordinance. Any application for RC11-00009 revision or
28 renewal shall also be evaluated against existing land use and development policies as
29 well as any intervening changes to the site area and/or neighborhood.

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1 21. The applicant, permittee or any successor-in-interest shall defend, indemnify and hold
2 harmless the City of Oceanside, its agents, officers or employees from any claim, action
3 or proceeding against the City, its agents, officers, or employees to attack, set aside,
4 void or annul an approval of the City concerning Regular Coastal Permit (RC11-
5 00009). The City will promptly notify the applicant of any such claim, action or
6 proceeding against the City and will cooperate fully in the defense. If the City fails to
7 promptly notify the applicant of any such claim action or proceeding or fails to
8 cooperate fully in the defense, the applicant shall not, thereafter, be responsible to
9 defend, indemnify or hold harmless the City.

10 22. A covenant or other recordable document approved by the City Attorney shall be
11 prepared by the applicant and recorded prior to the issuance of building permits. The
12 covenant shall provide that the property is subject to this resolution, and shall generally
13 list the conditions of approval.

14 23. Prior to issuance of a building permit, the applicant and landowner shall execute and
15 record a covenant, in a form and content acceptable to the City Attorney, which shall
16 provide:

- 17 a) That the applicant understands that the site may be subject to extraordinary
18 hazard from waves during storms and from erosion and the applicants assumes
19 the liability from those hazards.
- 20 b) That the applicant unconditionally waives any claim of liability on the part of
21 the City and agrees to defend, indemnify and hold harmless the City and its
22 advisors relative to the City's approval of the project for any damage due to
23 natural hazards.

24 24. Prior to the transfer of ownership and or operation of the site, the owner shall provide a
25 written copy of the applications, staff report and resolutions for the project to the new
26 owner and or operator. This notification provision shall run with the life of the project
27 and shall be recorded as a covenant on the property.

28 25. Failure to meet any conditions of approval for this project shall constitute a violation of
29 Regular Coastal Permit RC11-00009.

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- 1 26. Unless expressly waived, all current zoning standards and City ordinances and policies
2 in effect at the time building permits are issued are required to be met by this project.
3 The approval of this project constitutes the applicant's agreement with all statements in
4 the Description and Justification and other materials and information submitted with
5 this application, unless specifically waived by an adopted condition of approval.
- 6 27. Elevations, siding materials, colors, roofing materials and floor plans shall be
7 substantially the same as those approved by the Planning Commission. These shall be
8 shown on plans submitted to the Building Division for building permits.
- 9 28. All mechanical rooftop and ground equipment shall be screened from public view as
10 required by the Zoning Ordinance. That is, on all four sides and top. The roof jacks,
11 mechanical equipment, screening and vents shall be painted with non-reflective paint to
12 match the roof. All roof top surfaces shall have a non-reflective surface and mechanical
13 appurtenances shall be painted to match the roof color. This information shall be shown
14 on the building plans.
- 15 29. HVAC casings shall be fully enclosed and shall not project into a required yard or
16 project above the district's height requirement.
- 17 30. Any metallic material (i.e. copper) shall be treated at the time that it is installed, or
18 earlier, so that its surface does not reflect light. Non-metallic roofing material is
19 preferred and non-reflective roofing material is required. The copper roofing shall be
20 treated to have a non-reflective surface (patina) at the time it is installed.
- 21 31. Buildings, structures, fences or walls located on lots contiguous to the shoreline, shall
22 be compatible in scale with the existing development and shall not extend further
23 seaward than the line established on the Stringline Setback Map.
- 24 32. Fence height limitations and opacity requirements are subject to Section 1050(U) of the
25 Zoning Ordinance and required front yards. Fence materials shall be 75 percent
26 transparent.
- 27 33. All wood fences adjacent to public right-of-way, visible from the public right-of-way,
28 or facing the shore will be stained or otherwise finished with a waterproof material.

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34. The developer's construction of all fencing and walls associated with the project shall be in conformance with the approved Regular Coastal Permit. Any substantial change in any aspect of fencing or wall design from the approved Regular Coastal Permit shall require a revision to the Regular Coastal Permit or a new Regular Coastal Permit.

35. If any aspect of the project fencing and walls is not covered by an approved Regular Coastal Permit, the construction of fencing and walls shall conform to the development standards of the City Zoning Ordinance. In no case shall the construction of fences and walls (or combinations thereof) exceed the limitations of the Zoning Ordinance, unless expressly granted by a Variance or other development approval.

36. The project shall dispose of or recycle solid waste in a manner provided in City Ordinance 13.3.

37. A letter of clearance from the affected school district in which the property is located shall be provided as required by City policy at the time building permits are issued.

38. Prior to the issuance of building permits the developer or owner shall make an irrevocable offer of dedication to the City of Oceanside an easement for lateral public access and passive recreational use along the shoreline adjacent to this property. The document shall provide that the offer of dedication shall not be used or construed to allow anyone, prior to acceptance of the offer, to interfere with any rights of public

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1 access acquired through a use which may exist on the property. The easement shall be
2 located along the entire width of the property line to the toe of the bluff (toe of the
3 seawall, a line 25 feet inland of the daily high water line, which is understood to be
4 ambulatory from day to day). The easement shall be recorded free of prior liens and
5 free of any other encumbrances which may affect said interest. The easement shall run
6 with the land in favor of the City of Oceanside, and is binding to all successors and
7 assignees.

8 PASSED AND ADOPTED Resolution No. 2011-P39 on November 7, 2011 by the
9 following vote, to wit:

10 AYES:

11 NAYS:

12 ABSENT:

13 ABSTAIN:

14
15 _____
16 Tom Rosales, Chairperson
17 Oceanside Planning Commission

18 ATTEST:

19 _____
20 Jerry Hittleman, Secretary

21 I, JERRY HITTLEMAN, Secretary of the Oceanside Planning Commission, hereby certify that
22 this is a true and correct copy of Resolution No. 2011-P39.

23 Dated: November 7, 2011

24
25 Applicant accepts and agrees with all conditions of approval and acknowledges impact fees
26 may be required as stated herein:

27
28 _____
29 Applicant/Representative

_____ Date

1 PLANNING COMMISSION
2 RESOLUTION NO. 2011-P41

3 A RESOLUTION OF THE PLANNING COMMISSION OF THE
4 CITY OF OCEANSIDE, CALIFORNIA APPROVING A
5 REGULAR COASTAL PERMIT ON CERTAIN REAL
PROPERTY IN THE CITY OF OCEANSIDE

6 APPLICATION NO: RC11-00010
7 APPLICANT: RE VX North Pacific, LLC
8 LOCATION: 813 South Pacific Street
APN 150-356-15-00

9 THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES
10 RESOLVE AS FOLLOWS:

11 WHEREAS, there was filed with this Commission a verified petition on the forms
12 prescribed by the Commission requesting a Regular Coastal Permit under the provisions of the
13 City of Oceanside Local Coastal Program and 1986 Zoning Ordinance to permit the following:

14 conversion of an existing single-family residence to a duplex, with the addition of 1,409
15 square feet of new habitable space;
16 on certain real property described in the project description.

17 WHEREAS, the Planning Commission, after giving the required notice, did on the 7th day
18 of November 2011 conduct a duly advertised public hearing as prescribed by law to consider said
19 application;

20 WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State
21 Guidelines thereto; this project has been found to be categorically exempt per Article 19 from
22 environmental review;

23 WHEREAS, there is hereby imposed on the subject development project certain fees,
24 dedications, reservations and other exactions pursuant to state law and city ordinance;

25 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that
26 the project is subject to certain fees, dedications, reservations and other exactions as provided
27 below:

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29 ////////////////

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Description	Authority for Imposition	Current Estimate Fee or Calculation Formula
Parkland Dedication/Fee	Ordinance No. 91-10 Resolution No. 06-R0334-1	\$3,503 per unit.
Drainage Fee	Ordinance No. 85-23 Resolution No. 06-R0334-1	Depends on area (range is \$2,843-\$15,964 per acre).
Public Facility Fee	Ordinance No. 91-09 Resolution No. 06-R0334-1	\$2,072 per unit for residential.
School Facilities Mitigation Fee	Ordinance No. 91-34	\$2.63 per square foot residential.
Traffic Signal Fee	Ordinance No. 87-19 Resolution No. 06-R0334-1	\$15.71 per vehicle trip.
Thoroughfare Fee (For commercial and industrial please note the 75 percent discount)	Ordinance No. 83-01 Resolution No. 06-R0334-1	\$255 per vehicle trip (based on SANDAG trip generation table available from staff and from SANDAG).
Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 05-OR 0611-1	Fee based on water meter size. Residential is typically \$4,597 per unit.
Wastewater System Buy-in fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 05-OR 0610-1	Based on capacity or water meter size. Residential is typically \$6,313 per unit.
San Diego County Water Authority Capacity Fees	SDCWA Ordinance No. 2005-03	Based on meter size. Residential is typically \$4,326 per unit.

WHEREAS, the current fees referenced above are merely fee amount estimates of the impact fees that would be required if due and payable under currently applicable ordinances and resolutions, presume the accuracy of relevant project information provided by the applicant, and are not necessarily the fee amount that will be owing when such fee becomes due and payable;

WHEREAS, unless otherwise provided by this resolution, all impact fees shall be calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside

1 City Code and the City expressly reserves the right to amend the fees and fee calculations
2 consistent with applicable law;

3 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,
4 dedication, reservation or other exaction to the extent permitted and as authorized by law;

5 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that
6 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction
7 described in this resolution begins on the effective date of this resolution and any such protest
8 must be in a manner that complies with Section 66020;

9 WHEREAS, this resolution becomes effective 10 days from its adoption in the absence of
10 the filing of an appeal or call for review;

11 WHEREAS, the documents or other material which constitute the record of
12 proceedings upon which the decision is based will be maintained by the City of Oceanside
13 Planning Division, 300 North Coast Highway, Oceanside, California 92054.

14 WHEREAS, studies and investigations made by this Commission and in its behalf reveal
15 the following facts:

16 FINDINGS:

17 For the Regular Coastal Permit (RC11-00010) to allow conversion of an existing single-family
18 residence to a duplex with the addition of 1,409 square feet of new habitable space:

- 19 1. The proposed duplex conversion conforms to the policies of the Local Coastal Program
20 (LCP), including those pertinent to coastal access (Article 2), recreation (Article 3),
21 land resources (Article 5) and development (Article 6), in that it:
 - 22 • Does not interfere with the public's right to access to the coastline and ocean,
23 given that dedicated public access ways exist within 250 feet of the subject site;
 - 24 • Provides for recreational use of private oceanfront land;
 - 25 • Does not impact environmentally sensitive habitat area or prime agricultural
26 land;
 - 27 • Occurs in an already-developed area with adequate public services;
 - 28 • Protects views to and along the ocean;
 - 29 • Is visually compatible with the character of surrounding areas.
2. The project site, at 813 South Pacific Street, is situated within the Appeal Area of the
Coastal Zone and conforms to the public access and recreation policies of Chapter 3 of

1 the Coastal Act. The entire 800 Block of South Pacific Street measures 450 feet in
2 length, with public beach access located at both ends (where South Pacific Street
3 intersects with Wisconsin Avenue and Hayes Street). Thus, all properties in the 800
4 Block of South Pacific Street are situated within 250 feet of existing public beach
5 access.

6 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby
7 confirm issuance of a Categorical Exemption pursuant to Section 15303 of the California
8 Environmental Quality Act and approve Regular Coastal Permit (RC11-00010) subject to the
9 following conditions:

10 **Building:**

- 11 1. Construction shall comply with the 2010 edition of the California Codes.
- 12 2. The developer shall monitor, supervise and control all building construction and
13 supporting activities so as to prevent these activities from causing a public nuisance,
14 including, but not limited to, strict adherence to the following:
 - 15 a) Building construction work hours shall be limited to between 7:00 a.m. and 6:00
16 p.m. Monday through Friday, and on Saturday from 7:00 a.m. to 6:00 p.m. for
17 work that is not inherently noise-producing. Examples of work not permitted on
18 Saturday are concrete and grout pours, roof nailing and activities of similar noise-
19 producing nature. No work shall be permitted on Sundays and Federal Holidays
20 (New Year's Day, Memorial Day, July 4th, Labor Day, Thanksgiving Day,
21 Christmas Day) except as allowed for emergency work under the provisions of the
22 Oceanside City Code Chapter 38 (Noise Ordinance).
 - 23 b) The construction site shall be kept reasonably free of construction debris as
24 specified in Section 13.17 of the Oceanside City Code. Storage of debris in
25 approved solid waste containers shall be considered compliance with this
26 requirement. Small amounts of construction debris may be stored on-site in a neat,
27 safe manner for short periods of time pending disposal.
- 28 3. Separate/unique addresses will be required to facilitate utility releases. Verification that
29 the addresses have been properly assigned by the City's Planning Division must
accompany the Building Permit application.

1 **Fire:**

- 2 4. Fire Department requirements shall be placed on plans in the notes section.

3 **Water Utilites:**

- 4 5. The developer will be responsible for developing all water and sewer utilities necessary to
5 develop the property. Any relocation of water and/or sewer utilities is the responsibility of
6 the developer and shall be done by an approved licensed contractor at the developer's
7 expense.
- 8 6. The property owner shall maintain private water and wastewater utilities located on private
9 property.
- 10 7. Water services and sewer laterals constructed in existing right-of-way locations are to be
11 constructed by approved and licensed contractors at developer's expense.
- 12 8. All Water and Wastewater construction shall conform to the most recent edition of the
13 Water, Sewer, and Reclaimed Water Design and Construction Manual or as approved by
14 the Water Utilities Director.
- 15 9. Residential units shall be metered individually. Private utility systems for residential
16 developments are not allowed.
- 17 10. All public water and/or sewer facilities not located within the public right-of-way shall be
18 provided with easements sized according to the Water, Sewer, and Reclaimed Water
19 Design and Construction Manual. Easements shall be constructed for all weather access.
- 20 11. No trees, structures or building overhang shall be located within any water or wastewater
21 utility easement.
- 22 12. All lots with a finish pad elevation located below the elevation of the next upstream
23 manhole cover of the public sewer shall be protected from backflow of sewage by
24 installing and maintaining an approved type backwater valve, per the Uniform Plumbing
25 Code (U.P.C.).
- 26 13. Water and Wastewater Buy-in fees and the San Diego County Water Authority Fees are to
27 be paid to the City and collected by the Water Utilities Department at the time of Building
28 Permit issuance.
- 29 14. All Water Utilities Fees are due at the time of building permit issuance per City Code
Section 32B.7, unless the developer/applicant applies and is approved for a deferral of all
fees per City of Oceanside Ordinance No. 09-OR0676-1.

1 **Planning:**

2 15. Regular Coastal Permit (RC11-00010) shall expire two years from the effective date unless
3 implemented as required by the Zoning Ordinance. Absent the timely appeal of this
4 approval, it will expire on November 7, 2013 unless implemented as required by the
5 Zoning Ordinance.

6 16. Regular Coastal Permit (RC11-00010) is granted for the following purposes only:
7 a) Conversion of an existing single-family residence to a duplex, involving the
8 relocation of primary entrances and the modification of interior stairs;
9 b) Addition of 1,409 square feet of new habitable space, 825 square feet of which
10 will constitute a new third story above basement.

11 No deviation from these approved plans and exhibits shall occur without Planning
12 Commission approval. Substantial deviations shall require a revision to the Regular
13 Coastal Permit or a new Coastal Permit.

14 17. Regular Coastal Permit (RC11-00010) shall be called for review by the Planning
15 Commission if complaints are filed and verified as valid by the City Planner or the
16 Code Enforcement Officer concerning the violation of any of the approved conditions
17 or the project assumptions demonstrated under the application approval.

18 18. The validity of Regular Coastal Permit (RC11-00010) shall not be affected by changes
19 in ownership or tenants.

20 19. A request for changes in conditions of approval or a change to the approved plans that
21 would affect conditions of approval shall be treated as a new application. The City
22 Planner may waive the requirements for a new application if the changes requested are
23 minor, do not involve substantial alterations or addition to the plan or the conditions of
24 approval, and consistent with the intent of the project's approval or otherwise found to
25 be in substantial conformance.

26 20. Regular Coastal Permit (RC11-00010) may be revised or renewed in accordance with
27 the provisions of the Zoning Ordinance. Any application for RC11-00010 revision or
28 renewal shall also be evaluated against existing land use and development policies as
29 well as any intervening changes to the site area and/or neighborhood.

20. The applicant, permittee or any successor-in-interest shall defend, indemnify and hold
harmless the City of Oceanside, its agents, officers or employees from any claim, action

1 or proceeding against the City, its agents, officers, or employees to attack, set aside,
2 void or annul an approval of the City concerning Regular Coastal Permit (RC11-
3 00010). The City will promptly notify the applicant of any such claim, action or
4 proceeding against the City and will cooperate fully in the defense. If the City fails to
5 promptly notify the applicant of any such claim action or proceeding or fails to
6 cooperate fully in the defense, the applicant shall not, thereafter, be responsible to
7 defend, indemnify or hold harmless the City.

8 22. A covenant or other recordable document approved by the City Attorney shall be
9 prepared by the applicant and recorded prior to the issuance of building permits. The
10 covenant shall provide that the property is subject to this resolution, and shall generally
11 list the conditions of approval.

12 23. Prior to issuance of a building permit, the applicant and landowner shall execute and
13 record a covenant, in a form and content acceptable to the City Attorney, which shall
14 provide:

15 a) That the applicant understands that the site may be subject to extraordinary
16 hazard from waves during storms and from erosion and the applicants assumes
17 the liability from those hazards.

18 b) That the applicant unconditionally waives any claim of liability on the part of
19 the City and agrees to defend, indemnify and hold harmless the City and its
20 advisors relative to the City's approval of the project for any damage due to
21 natural hazards.

22 24. Prior to the transfer of ownership and or operation of the site, the owner shall provide a
23 written copy of the applications, staff report and resolutions for the project to the new
24 owner and or operator. This notification provision shall run with the life of the project
25 and shall be recorded as a covenant on the property.

26 25. Failure to meet any conditions of approval for this project shall constitute a violation of
27 Regular Coastal Permit RC11-00010.

28 26. Unless expressly waived, all current zoning standards and City ordinances and policies
29 in effect at the time building permits are issued are required to be met by this project.
The approval of this project constitutes the applicant's agreement with all statements in

1 the Description and Justification and other materials and information submitted with
2 this application, unless specifically waived by an adopted condition of approval.

3 27. Elevations, siding materials, colors, roofing materials and floor plans shall be
4 substantially the same as those approved by the Planning Commission. These shall be
5 shown on plans submitted to the Building Division for building permits.

6 28. All mechanical rooftop and ground equipment shall be screened from public view as
7 required by the Zoning Ordinance. That is, on all four sides and top. The roof jacks,
8 mechanical equipment, screening and vents shall be painted with non-reflective paint to
9 match the roof. All roof top surfaces shall have a non-reflective surface and mechanical
10 appurtenances shall be painted to match the roof color. This information shall be shown
11 on the building plans.

12 29. HVAC casings shall be fully enclosed and shall not project into a required yard or
13 project above the district's height requirement.

14 30. Any metallic material (i.e. copper) shall be treated at the time that it is installed, or
15 earlier, so that its surface does not reflect light. Non-metallic roofing material is
16 preferred and non-reflective roofing material is required. The copper roofing shall be
17 treated to have a non-reflective surface (patina) at the time it is installed.

18 31. Buildings, structures, fences or walls located on lots contiguous to the shoreline, shall
19 be compatible in scale with the existing development and shall not extend further
20 seaward than the line established on the Stringline Setback Map.

21 32. Fence height limitations and opacity requirements are subject to Section 1050(U) of the
22 Zoning Ordinance and required front yards. Fence materials shall be 75 percent
23 transparent.

24 33. All wood fences adjacent to public right-of-way, visible from the public right-of-way,
25 or facing the shore will be stained or otherwise finished with a waterproof material.

26 34. The developer's construction of all fencing and walls associated with the project shall
27 be in conformance with the approved Regular Coastal Permit. Any substantial change
28 in any aspect of fencing or wall design from the approved Regular Coastal Permit shall
29 require a revision to the Regular Coastal Permit or a new Regular Coastal Permit.

30 35. If any aspect of the project fencing and walls is not covered by an approved Regular
31 Coastal Permit, the construction of fencing and walls shall conform to the development

standards of the City Zoning Ordinance. In no case shall the construction of fences and walls (or combinations thereof) exceed the limitations of the Zoning Ordinance, unless expressly granted by a Variance or other development approval.

36. The project shall dispose of or recycle solid waste in a manner provided in City Ordinance 13.3.

37. A letter of clearance from the affected school district in which the property is located shall be provided as required by City policy at the time building permits are issued.

38. Prior to the issuance of building permits the developer or owner shall make an irrevocable offer of dedication to the City of Oceanside an easement for lateral public access and passive recreational use along the shoreline adjacent to this property. The document shall provide that the offer of dedication shall not be used or construed to

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1 allow anyone, prior to acceptance of the offer, to interfere with any rights of public
2 access acquired through a use which may exist on the property. The easement shall be
3 located along the entire width of the property line to the toe of the bluff (toe of the
4 seawall, a line 25 feet inland of the daily high water line, which is understood to be
5 ambulatory from day to day). The easement shall be recorded free of prior liens and
6 free of any other encumbrances which may affect said interest. The easement shall run
7 with the land in favor of the City of Oceanside, and is binding to all successors and
8 assignees.

9 PASSED AND ADOPTED Resolution No. 2011-P40 on November 7, 2011 by the
10 following vote, to wit:

11 AYES:

12 NAYS:

13 ABSENT:

14 ABSTAIN:

15 _____
16 Tom Rosales, Chairperson
17 Oceanside Planning Commission

18 ATTEST:

19 _____
20 Jerry Hittleman, Secretary

21 I, JERRY HITTLEMAN, Secretary of the Oceanside Planning Commission, hereby certify that
22 this is a true and correct copy of Resolution No. 2011-P40.

23 Dated: November 7, 2011

24
25 Applicant accepts and agrees with all conditions of approval and acknowledges impact fees
26 may be required as stated herein:

27 _____
28 Applicant/Representative

29 _____
Date

1 PLANNING COMMISSION
2 RESOLUTION NO. 2011-P41

3 A RESOLUTION OF THE PLANNING COMMISSION OF THE
4 CITY OF OCEANSIDE, CALIFORNIA APPROVING A
5 REGULAR COASTAL PERMIT ON CERTAIN REAL
6 PROPERTY IN THE CITY OF OCEANSIDE

6 APPLICATION NO: RC11-00011
7 APPLICANT: REVX North Pacific, LLC
8 LOCATION: 815 South Pacific Street
9 APN 150-356-15-00

9 THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES
10 RESOLVE AS FOLLOWS:

11 WHEREAS, there was filed with this Commission a verified petition on the forms
12 prescribed by the Commission requesting a Regular Coastal Permit under the provisions of the
13 City of Oceanside Local Coastal Program and 1986 Zoning Ordinance to permit the following:

14 conversion of an existing single-family residence to a duplex, with the addition of 1,409
15 square feet of new habitable space;

16 on certain real property described in the project description.

17 WHEREAS, the Planning Commission, after giving the required notice, did on the 7th day
18 of November 2011 conduct a duly advertised public hearing as prescribed by law to consider said
19 application;

20 WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State
21 Guidelines thereto; this project has been found to be categorically exempt per Article 19 from
22 environmental review;

23 WHEREAS, there is hereby imposed on the subject development project certain fees,
24 dedications, reservations and other exactions pursuant to state law and city ordinance;

25 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that
26 the project is subject to certain fees, dedications, reservations and other exactions as provided
27 below:

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29 ////////////////

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Description	Authority for Imposition	Current Estimate Fee or Calculation Formula
Parkland Dedication/Fee	Ordinance No. 91-10 Resolution No. 06-R0334-1	\$3,503 per unit.
Drainage Fee	Ordinance No. 85-23 Resolution No. 06-R0334-1	Depends on area (range is \$2,843-\$15,964 per acre).
Public Facility Fee	Ordinance No. 91-09 Resolution No. 06-R0334-1	\$2,072 per unit for residential.
School Facilities Mitigation Fee	Ordinance No. 91-34	\$2.63 per square foot residential.
Traffic Signal Fee	Ordinance No. 87-19 Resolution No. 06-R0334-1	\$15.71 per vehicle trip.
Thoroughfare Fee (For commercial and industrial please note the 75 percent discount)	Ordinance No. 83-01 Resolution No. 06-R0334-1	\$255 per vehicle trip (based on SANDAG trip generation table available from staff and from SANDAG).
Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 05-OR 0611-1	Fee based on water meter size. Residential is typically \$4,597 per unit.
Wastewater System Buy-in fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 05-OR 0610-1	Based on capacity or water meter size. Residential is typically \$6,313 per unit.
San Diego County Water Authority Capacity Fees	SDCWA Ordinance No. 2005-03	Based on meter size. Residential is typically \$4,326 per unit.

WHEREAS, the current fees referenced above are merely fee amount estimates of the impact fees that would be required if due and payable under currently applicable ordinances and resolutions, presume the accuracy of relevant project information provided by the applicant, and are not necessarily the fee amount that will be owing when such fee becomes due and payable;

WHEREAS, unless otherwise provided by this resolution, all impact fees shall be calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside

1 City Code and the City expressly reserves the right to amend the fees and fee calculations
2 consistent with applicable law;

3 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,
4 dedication, reservation or other exaction to the extent permitted and as authorized by law;

5 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that
6 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction
7 described in this resolution begins on the effective date of this resolution and any such protest
8 must be in a manner that complies with Section 66020;

9 WHEREAS, this resolution becomes effective 10 days from its adoption in the absence of
10 the filing of an appeal or call for review;

11 WHEREAS, the documents or other material which constitute the record of
12 proceedings upon which the decision is based will be maintained by the City of Oceanside
13 Planning Division, 300 North Coast Highway, Oceanside, California 92054.

14 WHEREAS, studies and investigations made by this Commission and in its behalf reveal
15 the following facts:

16 FINDINGS:

17 For the Regular Coastal Permit (RC11-00011) to allow conversion of an existing single-family
18 residence to a duplex with the addition of 1,409 square feet of new habitable space:

19 1. The proposed duplex conversion conforms to the policies of the Local Coastal Program
20 (LCP), including those pertinent to coastal access (Article 2), recreation (Article 3),
21 land resources (Article 5) and development (Article 6), in that it:

- 22 • Does not interfere with the public's right to access to the coastline and ocean,
23 given that dedicated public access ways exist within 250 feet of the subject site;
- 24 • Provides for recreational use of private oceanfront land;
- 25 • Does not impact environmentally sensitive habitat area or prime agricultural
26 land;
- 27 • Occurs in an already-developed area with adequate public services;
- 28 • Protects views to and along the ocean;
- 29 • Is visually compatible with the character of surrounding areas.

2. The project site, at 815 South Pacific Street, is situated within the Appeal Area of the
Coastal Zone and conforms to the public access and recreation policies of Chapter 3 of

1 the Coastal Act. The entire 800 Block of South Pacific Street measures 450 feet in
2 length, with public beach access located at both ends (where South Pacific Street
3 intersects with Wisconsin Avenue and Hayes Street). Thus, all properties in the 800
4 Block of South Pacific Street are situated within 250 feet of existing public beach
5 access.

6 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby
7 confirm issuance of a Categorical Exemption pursuant to Section 15303 of the California
8 Environmental Quality Act and approve Regular Coastal Permit (RC11-00011) subject to the
9 following conditions:

10 **Building:**

- 11 1. Construction shall comply with the 2010 edition of the California Codes.
- 12 2. The developer shall monitor, supervise and control all building construction and
13 supporting activities so as to prevent these activities from causing a public nuisance,
14 including, but not limited to, strict adherence to the following:
 - 15 a) Building construction work hours shall be limited to between 7:00 a.m. and 6:00
16 p.m. Monday through Friday, and on Saturday from 7:00 a.m. to 6:00 p.m. for
17 work that is not inherently noise-producing. Examples of work not permitted on
18 Saturday are concrete and grout pours, roof nailing and activities of similar noise-
19 producing nature. No work shall be permitted on Sundays and Federal Holidays
20 (New Year's Day, Memorial Day, July 4th, Labor Day, Thanksgiving Day,
21 Christmas Day) except as allowed for emergency work under the provisions of the
22 Oceanside City Code Chapter 38 (Noise Ordinance).
 - 23 b) The construction site shall be kept reasonably free of construction debris as
24 specified in Section 13.17 of the Oceanside City Code. Storage of debris in
25 approved solid waste containers shall be considered compliance with this
26 requirement. Small amounts of construction debris may be stored on-site in a neat,
27 safe manner for short periods of time pending disposal.
- 28 3. Separate/unique addresses will be required to facilitate utility releases. Verification that
29 the addresses have been properly assigned by the City's Planning Division must
accompany the Building Permit application.

1 **Fire:**

- 2 4. Fire Department requirements shall be placed on plans in the notes section.

3 **Water Utilites:**

- 4 5. The developer will be responsible for developing all water and sewer utilities necessary to
5 develop the property. Any relocation of water and/or sewer utilities is the responsibility of
6 the developer and shall be done by an approved licensed contractor at the developer's
7 expense.
- 8 6. The property owner shall maintain private water and wastewater utilities located on private
9 property.
- 10 7. Water services and sewer laterals constructed in existing right-of-way locations are to be
11 constructed by approved and licensed contractors at developer's expense.
- 12 8. All Water and Wastewater construction shall conform to the most recent edition of the
13 Water, Sewer, and Reclaimed Water Design and Construction Manual or as approved by
14 the Water Utilities Director.
- 15 9. Residential units shall be metered individually. Private utility systems for residential
16 developments are not allowed.
- 17 10. All public water and/or sewer facilities not located within the public right-of-way shall be
18 provided with easements sized according to the Water, Sewer, and Reclaimed Water
19 Design and Construction Manual. Easements shall be constructed for all weather access.
- 20 11. No trees, structures or building overhang shall be located within any water or wastewater
21 utility easement.
- 22 12. All lots with a finish pad elevation located below the elevation of the next upstream
23 manhole cover of the public sewer shall be protected from backflow of sewage by
24 installing and maintaining an approved type backwater valve, per the Uniform Plumbing
25 Code (U.P.C.).
- 26 13. Water and Wastewater Buy-in fees and the San Diego County Water Authority Fees are to
27 be paid to the City and collected by the Water Utilities Department at the time of Building
28 Permit issuance.
- 29 14. All Water Utilities Fees are due at the time of building permit issuance per City Code
Section 32B.7, unless the developer/applicant applies and is approved for a deferral of all
fees per City of Oceanside Ordinance No. 09-OR0676-1.

1 **Planning:**

2 15. Regular Coastal Permit (RC11-00011) shall expire two years from the effective date unless
3 implemented as required by the Zoning Ordinance. Absent the timely appeal of this
4 approval, it will expire on November 7, 2013 unless implemented as required by the
5 Zoning Ordinance.

6 16. Regular Coastal Permit (RC11-00011) is granted for the following purposes only:

- 7 a) Conversion of an existing single-family residence to a duplex, involving the
8 relocation of primary entrances and the modification of interior stairs;
9 b) Addition of 1,409 square feet of new habitable space, 825 square feet of which
10 will constitute a new third story above basement.

11 No deviation from these approved plans and exhibits shall occur without Planning
12 Commission approval. Substantial deviations shall require a revision to the Regular
13 Coastal Permit or a new Coastal Permit.

14 17. Regular Coastal Permit (RC11-00011) shall be called for review by the Planning
15 Commission if complaints are filed and verified as valid by the City Planner or the
16 Code Enforcement Officer concerning the violation of any of the approved conditions
17 or the project assumptions demonstrated under the application approval.

18 18. The validity of Regular Coastal Permit (RC11-00011) shall not be affected by changes
19 in ownership or tenants.

20 19. A request for changes in conditions of approval or a change to the approved plans that
21 would affect conditions of approval shall be treated as a new application. The City
22 Planner may waive the requirements for a new application if the changes requested are
23 minor, do not involve substantial alterations or addition to the plan or the conditions of
24 approval, and consistent with the intent of the project's approval or otherwise found to
25 be in substantial conformance.

26 20. Regular Coastal Permit (RC11-00011) may be revised or renewed in accordance with
27 the provisions of the Zoning Ordinance. Any application for RC11-00011 revision or
28 renewal shall also be evaluated against existing land use and development policies as
29 well as any intervening changes to the site area and/or neighborhood.

20. The applicant, permittee or any successor-in-interest shall defend, indemnify and hold
harmless the City of Oceanside, its agents, officers or employees from any claim, action

1 document shall provide that the offer of dedication shall not be used or construed to
2 allow anyone, prior to acceptance of the offer, to interfere with any rights of public
3 access acquired through a use which may exist on the property. The easement shall be
4 located along the entire width of the property line to the toe of the bluff (toe of the
5 seawall, a line 25 feet inland of the daily high water line, which is understood to be
6 ambulatory from day to day). The easement shall be recorded free of prior liens and
7 free of any other encumbrances which may affect said interest. The easement shall run
8 with the land in favor of the City of Oceanside, and is binding to all successors and
9 assignees.

10 PASSED AND ADOPTED Resolution No. 2011-P41 on November 7, 2011 by the
11 following vote, to wit:

12 AYES:

13 NAYS:

14 ABSENT:

15 ABSTAIN:

16 _____
17 Tom Rosales, Chairperson
18 Oceanside Planning Commission

19 ATTEST:

20 _____
21 Jerry Hittleman, Secretary

22 I, JERRY HITTLEMAN, Secretary of the Oceanside Planning Commission, hereby certify that
23 this is a true and correct copy of Resolution No. 2011-P41.

24 Dated: November 7, 2011

25 Applicant accepts and agrees with all conditions of approval and acknowledges impact fees
26 may be required as stated herein:
27

28 _____
29 Applicant/Representative

_____ Date

ARCHITECT:
STUDIO 4
 JAMES MCDONALD, OWNER
 1000 W. 10TH ST., SUITE 100
 DENVER, CO 80202
 PHONE: 721-4800
 FAX: 721-4803
 PAUL LONGTON
 ARCHITECT
 PRINCIPAL

PROJECT:
 RENOVATION & ADDITION TO
 111 S. PACIFIC ST.
 OCCUPANCY: OFFICE

OWNER:
 REVX
 PACIFIC MONTH LLC
 111 S. PACIFIC ST.
 DENVER, CO 80202

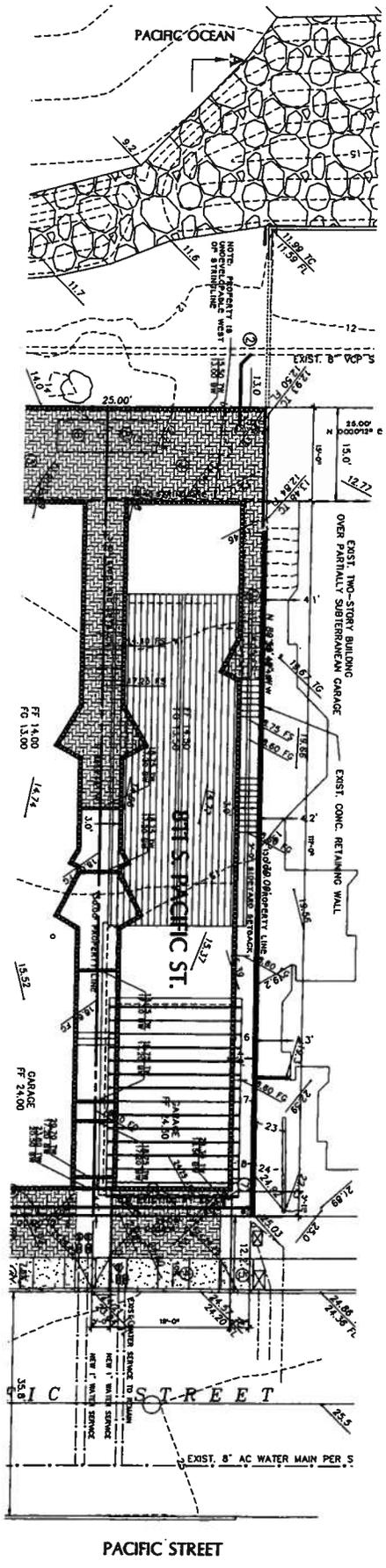
OWNER'S REP:
 PAUL LONGTON
 STUDIO 4 ARCHITECTS
 200 MELBA DRIVE
 DENVER, CO 80202
 PHONE: 721-4804

REVISIONS:
 NO. DATE BY
 1 11/11/11 WJL/ML

DRAWING STATUS:
 [] NOT FOR CONSTRUCTION
 [] PRELIMINARY DESIGN
 [] CONCEPT DESIGN
 [] PERMIT DESIGN
 [] PERMIT DESIGN
 [] PERMIT DESIGN
 [] PERMIT DESIGN

SHEET NO.:
 SHEET TITLE:
 DATE:

SP.1

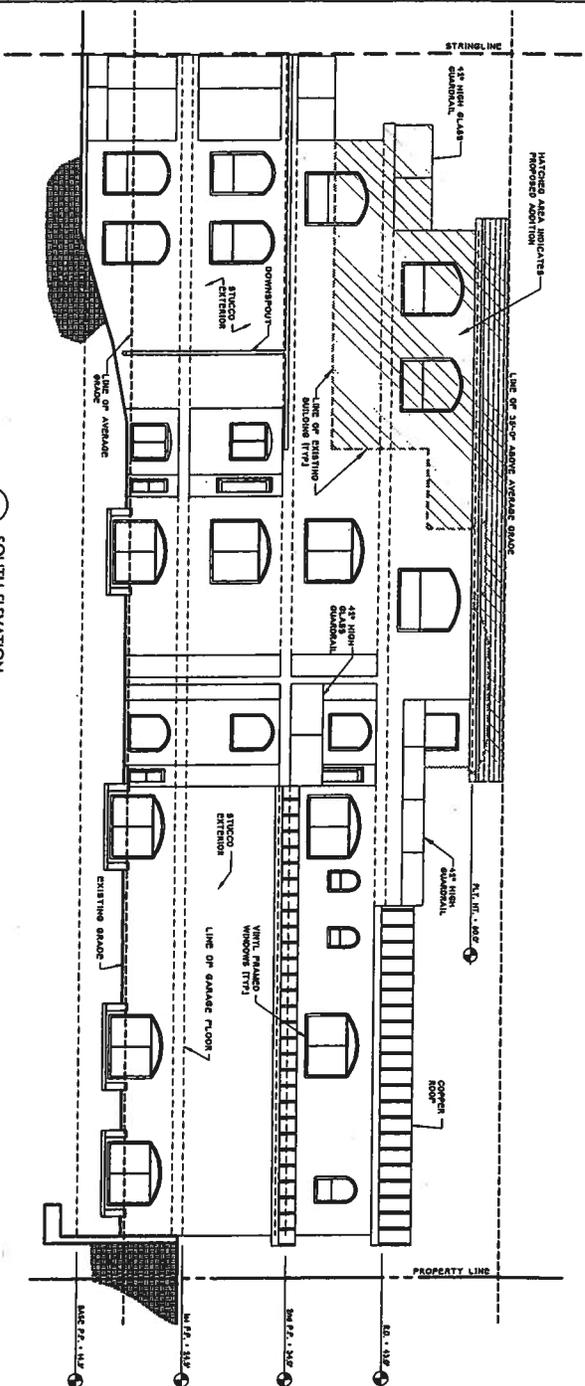


1 SITE PLAN
 SCALE: 1/8" = 1'-0"

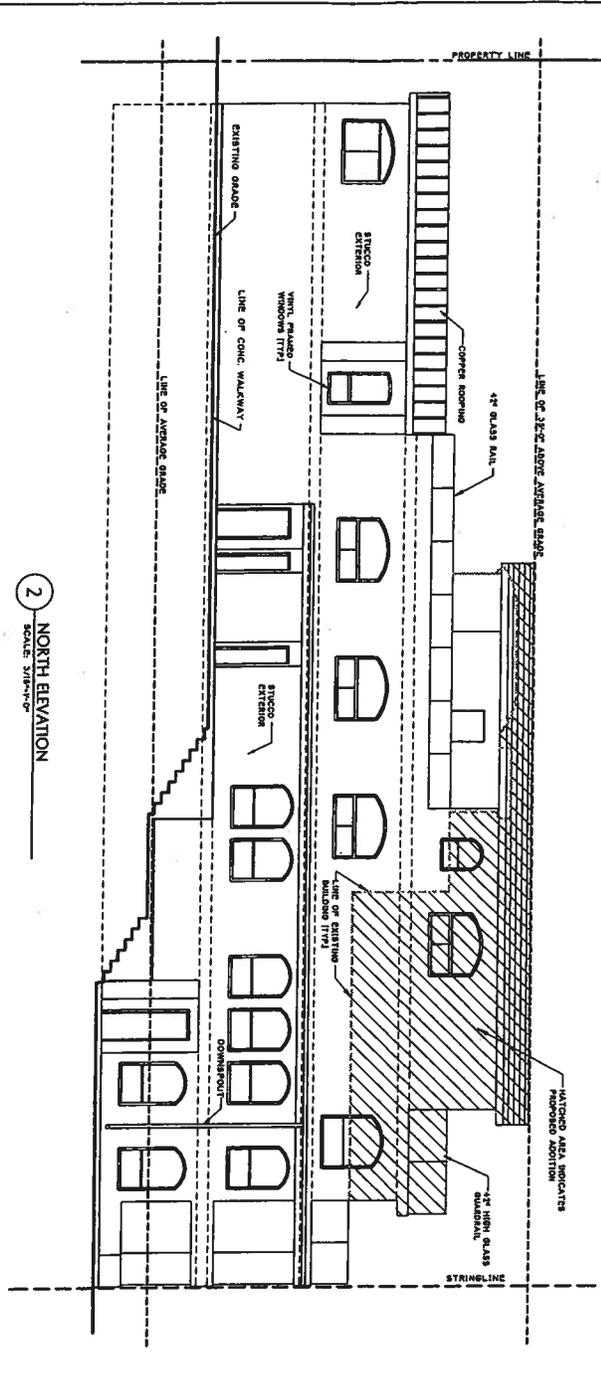


- SITE NOTES**
1. THE CONTRACTOR SHALL VERIFY ALL EASERS, CONDITIONS AND DISPOSITIONS OF ALL DISSEMINATED.
 2. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES PRIOR TO COMMENCING WORK.
 3. ALL EXISTING UTILITIES SHALL BE MAINTAINED FROM BUILDING STRUCTURES & NO LESS THAN 18" BELOW.
 4. EXISTING SEWER LATERAL, PER CITY OF DENVER ENGINEERING DEPARTMENT.
 5. EXISTING WATER LATERAL, PER CITY OF DENVER WATER & SEWER DEPARTMENT.
 6. ALL PROPOSED UTILITIES AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THIS SITE PLAN.

* NOTE: THESE ARE AN ASSUMED RECORDS THAT AFFECT SETBACKS
 ** NOTE: PER FINISHED SURFACE



1 SOUTH ELEVATION
SCALE: 3/8"=1'-0"



2 NORTH ELEVATION
SCALE: 3/8"=1'-0"

ARCHITECT:
STUDIO 4
1800 NEHA DRIVE
OCCAUNUC, CA 95034
TEL: 925.221.4400 FAX:
925.221.4400
P:ALOW@STUDIO4.COM
PAUL LONGTON
PASADENA, CA

PROJECT:
BAGDON &
ADDISON RD.
671 S. PACIFIC ST.
OCCAUNUC, CA 95034

OWNER:
REXX
PACIFIC NORTH LLC
HAYWARD SQUARE
400 S. OGDEN
EMERYVILLE, CA 94608

OWNER'S REP:
PAUL LONGTON
STUDIO 4 ARCHITECTS
2591 NEHA DRIVE
OCCAUNUC, CA 95034
(925) 221-0041

ISSUE DATES
DATE: 11/11/11
REVISIONS

DRAWING STATUS
NOT FOR CONSTRUCTION
NO CONTRACT SIGNATURES
NO CONTRACT STAMP
NO CONTRACT SEAL
NO CONTRACT DATE
NO CONTRACT NUMBER
NO CONTRACT ADDRESS
NO CONTRACT CITY
NO CONTRACT STATE
NO CONTRACT ZIP
NO CONTRACT COUNTY
NO CONTRACT COUNTY
NO CONTRACT COUNTY

DESIGNED BY: MHR
CHECKED BY: PL

SHEET TITLE
EXTERIOR
ELEVATIONS
SHEET NO.:
A-3.0

PROJECT:
 RESNOU &
 ADDITION TO
 PH 1, PACIFIC ST.
 OCEANVIEW, OR 97024

OWNER:
 REVX
 PACIFIC NORTH LLC
 MANAGING PARTNER:
 JAMES R. BOGSON
 411 S. STREET
 SUITE 200
 SEASIDE, OR 97138

OWNER'S REP:
 PALL, LONGTON
 STUDIO 4 ARCHITECTS
 202 N.W. 5th Ave.
 OCEANVIEW, OR 97024
 (503) 222-4400

REVISIONS:
 NO. DATE BY
 1 10/1/11 P/L

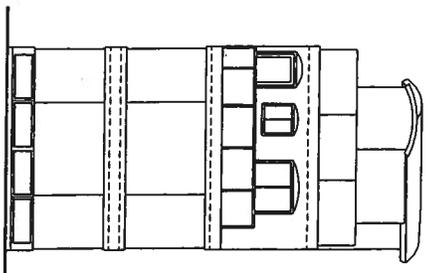
DEVELOPER:
 REVX
 PACIFIC NORTH LLC
 411 S. STREET
 SUITE 200
 SEASIDE, OR 97138

DATE:
 10/1/11

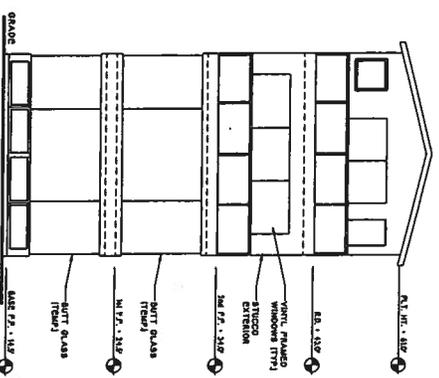
SCALE:
 1/8" = 1'-0"

PROJECT NO.:
 1000

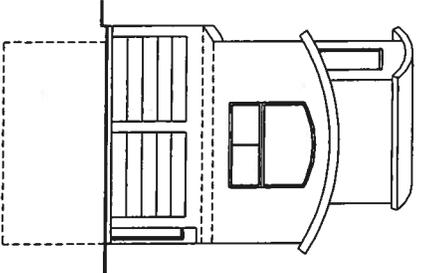
SHEET NO.:
 A-4.0



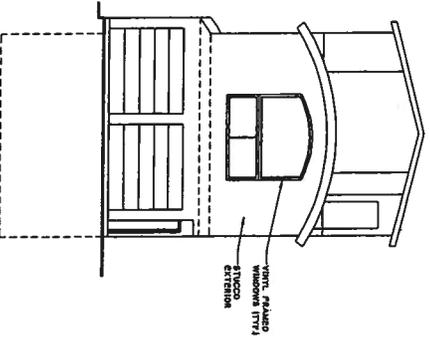
X2 EXISTING WEST ELEVATION
 SCALE: 3/16" = 1'-0"



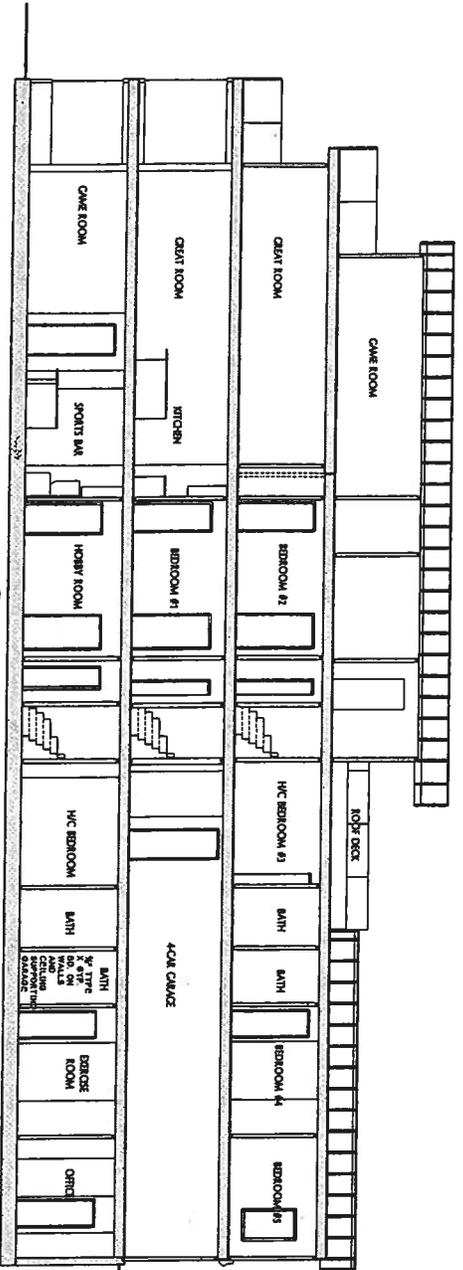
2 PROPOSED WEST ELEVATION
 SCALE: 3/16" = 1'-0"



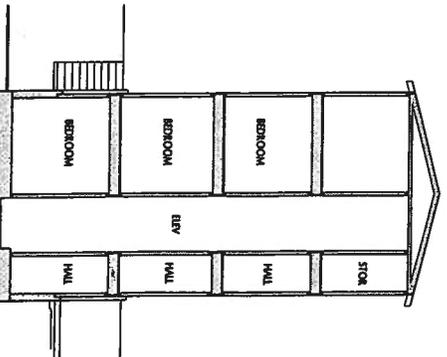
X1 EXISTING EAST ELEVATION
 SCALE: 3/16" = 1'-0"



1 PROPOSED EAST ELEVATION
 SCALE: 3/16" = 1'-0"

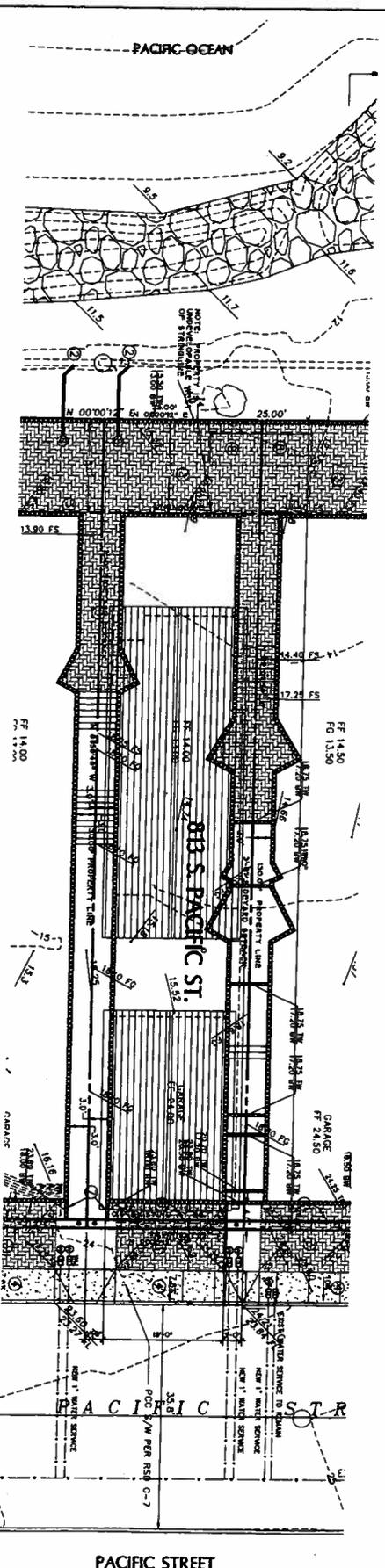


A BUILDING SECTION
 SCALE: 3/16" = 1'-0"



B BUILDING SECTION
 SCALE: 3/16" = 1'-0"

STUDIO 4
 ARCHITECTS



* NOTE: THERE ARE NO EASEMENTS RECORDED THAT AFFECT SERVICES IN THIS UNFINISHED SURFACE

1 SITE PLAN
SCALE: 1/8"=1'-0"



- SITE NOTES**
1. THIS CONTRACTOR SHALL VERIFY ALL GRADES, CONDITIONS AND DIMENSIONS FROM TO CORNER AND WORK THEREON SHALL BE NOTICED IMMEDIATELY OF ALL DISCREPANCIES.
 2. ALL UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE NOTICED IMMEDIATELY.
 3. SURFACE WATER SHALL DRAIN AWAY FROM BUILDING STRUCTURES & NO LEAKS FROM IS ALLOWED.
 4. EXISTING SEWER LATERAL PER CITY OF OCEANSIDE ENGINEERING DEPARTMENT.
 5. EXISTING WATER LATERAL PER CITY OF OCEANSIDE WATER & SEWER DEPARTMENT.
 6. ALL PROPERTY LINE EASEMENTS AND ENCUMBRANCES, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THIS SITE PLAN.

ARCHITECT STUDIO 4 17401 715-4804 PM OCEANSIDE, CA 92054 P: 760-772-8888 F: 760-772-8889 PAUL LONGTON PRINCIPAL		PROJECT: MODERN & ADDITION TO 813 S PACIFIC ST. OCEANSIDE, CA 92054		OWNER: EVERGREEN HERBON LP 200 N. CALIFORNIA ST. SUITE 1000 OCEANSIDE, CA 92054		OWNER'S REP: PAUL LONGTON STUDIO 4 ARCHITECTS 200 N. CALIFORNIA ST. SUITE 1000 OCEANSIDE, CA 92054 PH: 760-772-8888		RELEASE DATE: 08/11/2011 SCALE: 1/8"=1'-0"		DRAWING STATUS: SHEET NO. SP.1 DATE: 08/11/2011 DRAWN BY: [REDACTED] CHECKED BY: [REDACTED] DATE: 08/11/2011	
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SHEET NO. SP.1

SHEET TITLE SITE PLAN

OWNER'S NAME EVERGREEN HERBON LP

PROJECT NAME MODERN & ADDITION TO 813 S PACIFIC ST.

PROJECT ADDRESS 813 S PACIFIC ST. OCEANSIDE, CA 92054

DATE 08/11/2011

DRAWN BY [REDACTED]

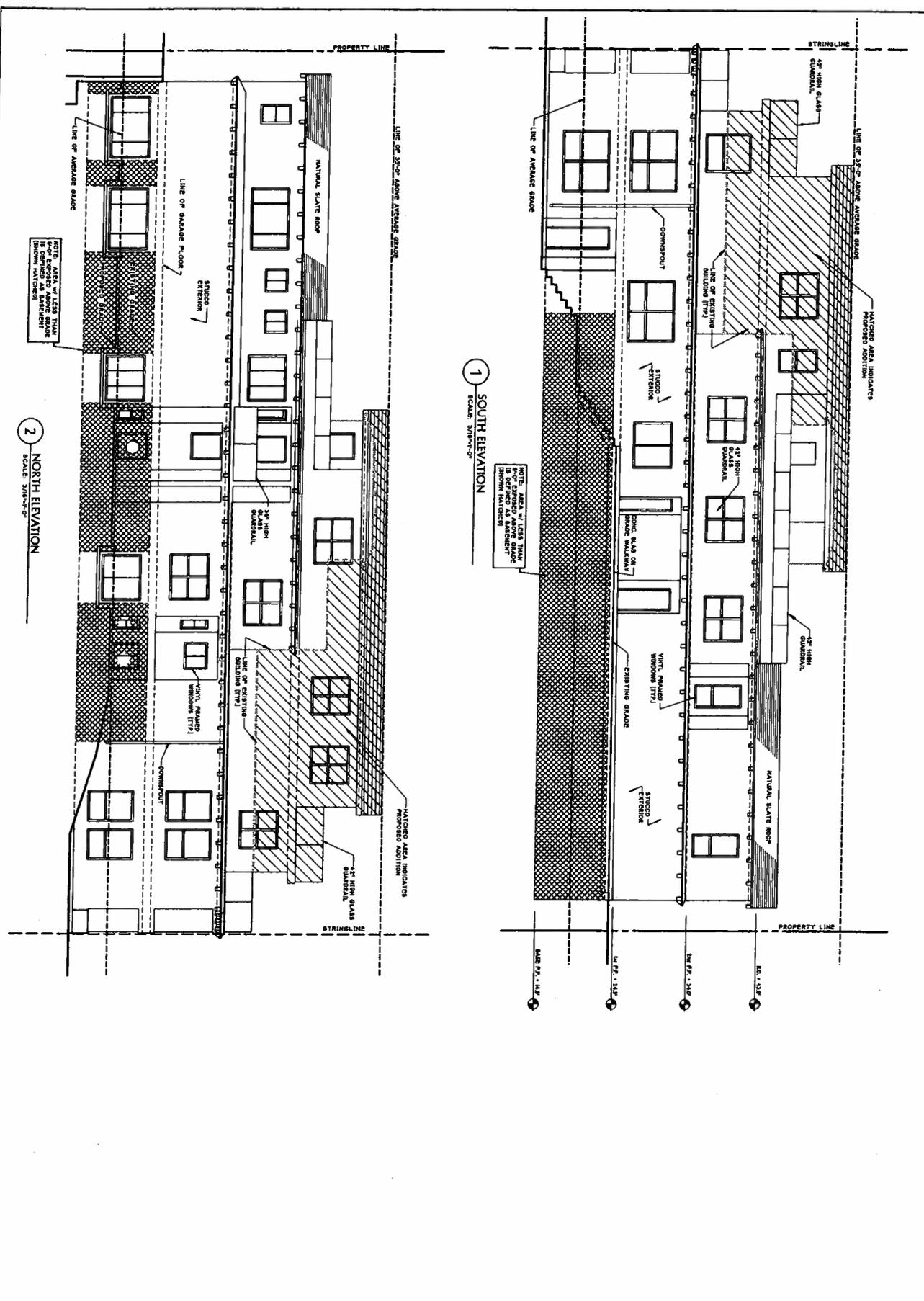
CHECKED BY [REDACTED]

DATE 08/11/2011

SCALE 1/8"=1'-0"

PROJECT NO. [REDACTED]

CLIENT NO. [REDACTED]



1 SOUTH ELEVATION
SCALE: 3/8"=1'-0"

2 NORTH ELEVATION
SCALE: 3/8"=1'-0"

PROJECT:
REMODEL & ADDITION TO
40 S. MADR ST.
OAKLAND, CA 94612

OWNER:
EVERGREEN
HEBRON, LP
ATTN: LOCAL MANAGER
501 17TH STREET
FRENCH CREEK
FRENCH HEBRON, LP

OWNER'S REP.:
PALL LONGTON
STUDIO 4 ARCHITECTS
OAKLAND, CA 94612
OAI 724-0404

DATE:
ISSUE: 04/11/11
REVISION:

DRAWING STATUS:
DATE FOR SUBMITTAL:
DATE FOR PERMITS:
DATE FOR CONSTRUCTION:
DATE FOR RECORDS:
DATE FOR ARCHIVE:

DESIGNED BY: MGR
CHECKED BY: PL

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:
A-3.0

PROJECT:
REMODEL & ADDITION TO
40 S. MADR ST.
OAKLAND, CA 94612

OWNER:
EVERGREEN
HEBRON, LP
ATTN: LOCAL MANAGER
501 17TH STREET
FRENCH CREEK
FRENCH HEBRON, LP

OWNER'S REP.:
PALL LONGTON
STUDIO 4 ARCHITECTS
OAKLAND, CA 94612
OAI 724-0404

DATE:
ISSUE: 04/11/11
REVISION:

DRAWING STATUS:
DATE FOR SUBMITTAL:
DATE FOR PERMITS:
DATE FOR CONSTRUCTION:
DATE FOR RECORDS:
DATE FOR ARCHIVE:

DESIGNED BY: MGR
CHECKED BY: PL

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:
A-3.0

AGENCIES
STUDIO
 5700 W. 10TH AVE
 DENVER, CO 80202
 PHONE 721-4800
 FAX 721-4801
 P. PAUL LONGSTON
 PRINCIPAL

PROJECT:
 REPAIR &
 ADDITION TO
 815 S PACIFIC ST
 OCCUPANCY: C-7

OWNER:
 RBV
 PACIFIC SOUTH U
 MANAGED HOMES
 JAMES DOUGLAS
 410 Q STREET
 DENVER, CO 80202

OWNER REP:
 PAUL LONGSTON
 STUDIO & ARCHITECT
 2290 KENYON DRIVE
 OCCUPANCY: C-7
 DENVER, CO 80202

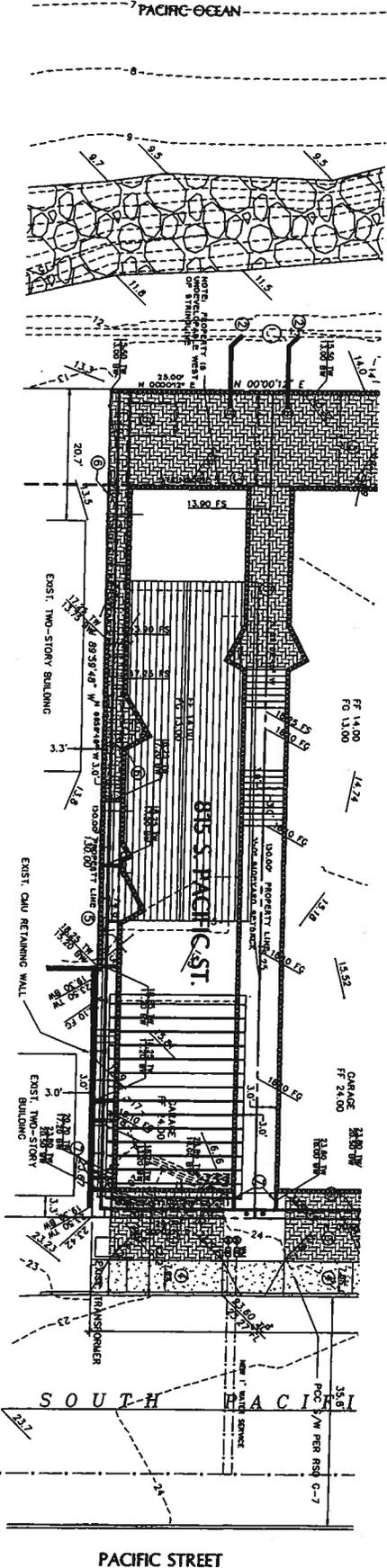
REVISIONS:
 NO. DATE
 1 10/11/10

DATE:
 10/11/10

DRAWING STATUS:
 PRELIMINARY DESIGN
 PRELIMINARY PERMITS
 PRELIMINARY CONTRACT
 PRELIMINARY PERMITS
 PRELIMINARY CONTRACT
 PRELIMINARY PERMITS
 PRELIMINARY CONTRACT

DESIGNED BY: MJC
CHECKED BY: PL
SHEET TITLE:
 SITE PLAN

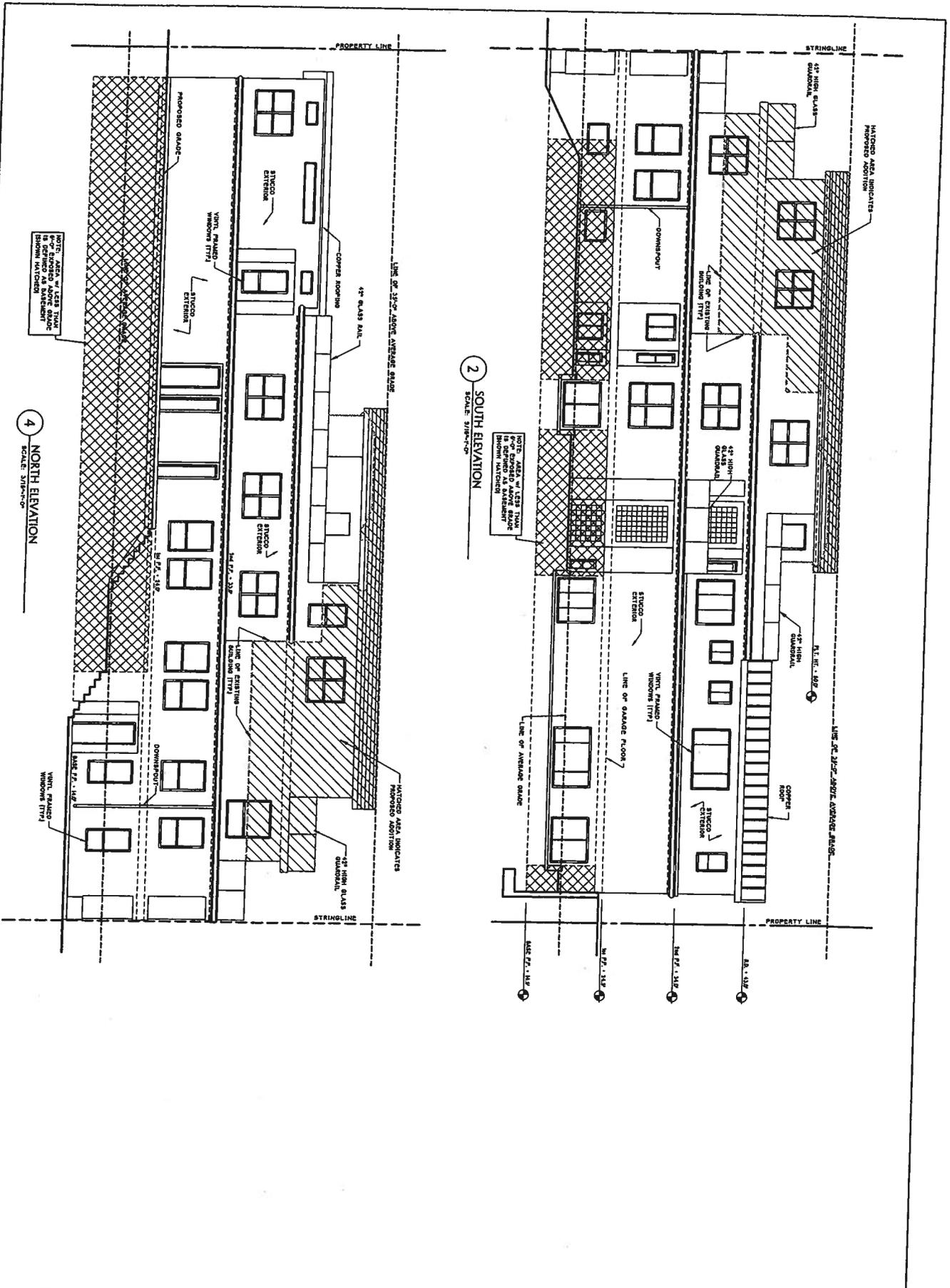
SHEET NO.:
 SP-1



1 SITE PLAN
 SCALE: 1/8"=1'-0"

- SITE NOTES**
1. THE CONTRACTOR SHALL VERIFY ALL SETBACK CONDITIONS AND DIMENSIONS FROM THE COMMENCING WORK. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF OCCASION ENGINEERING DEPARTMENT.
 2. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES FROM THE COMMENCING WORK.
 3. SURFACE WATER SHALL DRAIN AWAY FROM BUILDING STRUCTURES & NO LEAKS SHALL BE ALLOWED.
 4. EXISTING SEWER LATERAL FOR CITY OF OCCASION ENGINEERING DEPARTMENT SHALL BE MAINTAINED.
 5. EXISTING WATER LATERAL FOR CITY OF OCCASION WATER & SEWER DEPARTMENT SHALL BE MAINTAINED.
 6. ALL PROPERTY LINES, SETBACKS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THIS SITE PLAN.

* NOTE: THERE ARE NO CASABRITS
 ** NOTE: PERMANENT SURVIVORS



NOTE: AREA OF LIES THAT IS TO BE EXPOSED ABOVE GARAGE SHOWN HATCHED

4 NORTH ELEVATION
SCALE: 3/8"=1'-0"

2 SOUTH ELEVATION
SCALE: 3/8"=1'-0"

ARCHITECT:
STUDIO
 300 HERRING
 OCEANVIEW, CA 949
 (707) 721-4800
 P: 440/STONEMOUNTAIN
 PAUL LONGTON
 ARCHITECT

PROJECT:
 REPAIR &
 ADDITION TO
 815 S. PACIFIC ST.
 OCEANVIEW, CA 949

OWNER:
 REVX
 PACIFIC SOUTH U

ARCHITECT OF RECORD:
 PAUL LONGTON
 ARCHITECT

OWNER'S REP:
 PAUL LONGTON
 ARCHITECT

DATE:
 2009 JULY 01/02
 OCEANVIEW, CA 949

RELIEF DATE:
 08/11/11
 10/11/11
 12/11/11

DRAWING STATUS:
 01 PRELIMINARY
 02 CONCEPT DESIGN
 03 SCHEMATIC DESIGN
 04 PERMIT SET
 05 PERMIT REVIEW
 06 PERMIT OBTAINED
 07 PRELIMINARY CONTRACT DOCUMENTS
 08 CONTRACT DOCUMENTS
 09 PERMITTING
 10 CONSTRUCTION DOCUMENTS
 11 CONSTRUCTION DOCUMENTS
 12 CONSTRUCTION DOCUMENTS

DESIGNER:
 MLR

CHECKED BY:
 PL

SHEET TITLE:
 EXTERIOR
 ELEVATIONS

SHEET NO.:
 A-3.0



Application for Public Hearing

Community Development Department / Planning Division
(760) 435-3520
Oceanside Civic Center 300 North Coast Highway
Oceanside, California 92054-2885

STAFF USE ONLY

ACCEPTED *9-6-11* BY *RC*
9-12-11 BY *DW*
Duplex @ 811 S Pacific St

Please Print or Type All Information

HEARING

PART I - APPLICANT INFORMATION

1. APPLICANT <i>REVX Pacific North LLC</i>	2. STATUS <i>Owner</i>
3. ADDRESS <i>421 Q Street Beaver City, NE 68926</i>	4. PHONE/FAX/E-mail
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing) <i>Paul Longton</i>	
6. ADDRESS <i>2909 Mesa Drive Oceanside, CA 92054</i>	7. PHONE/FAX/E-mail <i>760 722-4904</i>

GPA
MASTER/SP.PLAN
ZONE CH.
TENT. MAP
PAR. MAP
DEV. PL.
CLUP.
VARIANCE
COASTAL <i>RC11-00009</i>
O.H.P.A.C.

PART II - PROPERTY DESCRIPTION

8. LOCATION <i>811 S. Pacific St.</i>	9. SIZE <i>3,250 SF (.075 Acres)</i>		
10. GENERAL PLAN	11. ZONING <i>RT.</i>	12. LAND USE <i>Single Family Res.</i>	13. ASSESSOR'S PARCEL NUMBER <i>150-356.14-00</i>

PART III - PROJECT DESCRIPTION

14. GENERAL PROJECT DESCRIPTION
Convert existing single family residence to a duplex. Add a 'Great Room' to the 2nd Floor and a 'Game Room' to the 3rd Floor

15. PROPOSED GENERAL PLAN	16. PROPOSED ZONING <i>RT (no change)</i>	17. PROPOSED LAND USE <i>Duplex</i>	18. NO. UNITS <i>2</i>	19. DENSITY <i>26.8 Du/acre</i>
20. BUILDING SIZE <i>5910 SF</i>	21. PARKING SPACES <i>4</i>	22. % LANDSCAPE <i>20%</i>	23. % LOT COVERAGE or FAR <i>63.2%</i>	

PART IV - ATTACHMENTS

24. DESCRIPTION/JUSTIFICATION	25. LEGAL DESCRIPTION	26. TITLE REPORT
27. NOTIFICATION MAP & LABELS	28. ENVIRONMENTAL INFO FORM	29. PLOT PLANS
30. FLOOR PLANS AND ELEVATIONS	31. CERTIFICATION OF POSTING	32. OTHER (See attachment for required reports)

PART V - SIGNATURES

33. APPLICANT OR REPRESENTATIVE (Print): <i>Paul Longton</i>	34. DATE <i>8/9/11</i>	SIGNATURES OF ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).	
Sign: <i>[Signature]</i>	35. OWNER (Print): <i>James Dodson</i>	36. DATE <i>8/10/2011</i>	
I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.		Sign: <i>[Signature]</i>	

**Description & Justification
To Convert an Existing Single Family Res to
A Duplex
At
Lot 8, 811 S Pacific St, Oceanside, 92054**

August 9, 2011

Owner:

REVX
Pacific North LLC
2532 Boulder Legend Lane
Escondido, CA 92026

Managing Member
James H. Dodson

421 Q Street
Beaver City, NE 68926

Statistics at a glance

Address –	811 S Pacific St
APN –	150-356-14-00
Zoning –	RT
Proposed zoning –	No Change
Lot Size –	3,250 SF (.075 Acres)
Existing Land Use –	Single Family Residence
Proposed Land Use –	Duplex
Number of units –	2
Density/acre –	26.8 units/acre
Existing lot coverage -	63.2%
Proposed Lot Coverage	No Change

Existing Building Size:

Beach Level	2054 SF
Street Level	1079 SF
<u>Second Story</u>	<u>1368 SF</u>
Total Habitable	4501 SF

Garage (4-spaces) 861 SF

Decks 562 SF

Proposed Construction

Beach Level	-0-
First Story	38 SF
Second Story	546 SF
Third Story	825 SF
<u>Total New Const.</u>	<u>1409 SF</u>

Building SF when complete (2-units)

Unit #1	
Beach Level	2054 SF
First Story	1117 SF
<u>Total Unit #1</u>	<u>3171 SF</u>

Unit #2	
Second Story	1914 SF
Third Story	825 SF
<u>Total Unit #2</u>	<u>2739 SF</u>

Total both units 5910 SF

Decks Total 357 SF
(There will be 205 SF of deck that will be replaced with habitable space)

Parking required – 4 spaces
Parking provided – 4 spaces

The Architecture is by Paul Longton, Architect

Proposed Construction

The proposed construction will remodel the existing single family residence to a duplex. There will be no change to the eastern (Pacific Street side) portion of the building. The view of the building as seen from the street will be unchanged. Currently the stair and elevator tower go to the roof deck. All of the proposed construction will be west of the stair and elevator tower.

There will be no increase in bedrooms. The building will add a "Great Room" to the 2nd Floor. This Great Room will be the kitchen and living room for the 2nd Unit. There

will be a deck to the west of the new Great Room. The second floor steps back from the west – giving the elevation a “tiered” look.

The construction will add a Game Room as the 3rd floor construction. The Game Room will have a deck to the west. The 3rd floor will step back from the west adding to the “tiered appearance”

The new construction at the 3rd floor will not change the height of the building. The new Game Room will be at the height of existing stair and elevator tower.

Parking

Parking for the building will remain unchanged at 4 covered parking spots. The intensity of use will not change with the number of bedrooms remaining unchanged.

Preservation of Public Views

The public view corridors will remain unchanged. The corners of the building at the west end are “clipped” to allow better views. The proposed construction at the 2nd and 3rd stories will step back from the west face.

Proposed Materials

Some of the existing features of the home are: a 50 year roof, copper flashings, elevator, laminated glass for sound proofing and UV protection, non-corrosive materials for prolonged life and low maintenance beachfront living, maintenance of north/south access at the beach level so the public access is maintained at all times and tides.

The interior materials will be superior for ease of living, low maintenance and energy efficiency. The furnace will be high efficiency. The appliances are all Energy Star approved. The water heaters are of the “Instant” variety that are much more energy efficient than the “tank” type. Bathroom floors are heated. Lights and fans in the bathrooms are occupant initiated for convenience and, ultimately, for energy efficiency.

Extra care is taken to use materials that isolate sound from floor to floor and from inside to outside, or the reverse.

The new construction will maintain this high standard of materials.

Engineering

The existing residence was built using a “mat slab”. Per the conversations with the

structural engineer, there will be no need to upgrade the existing foundation. Similarly since the footprint of the building will not change, the civil engineering need not change nor would there be any need for a Wave Up-rush Study.

Regular Coastal

The proposed project is consistent with the policies of the Local Coastal Program as implemented through the Zoning Ordinances. Specifically the physical aspects of the project are consistent with the adjoining properties and those in the neighborhood. The project will not substantially alter or impact existing public views of the coastal zone area.

The proposed project will not obstruct any existing planned public beach access including any beach areas fronting the existing property; therefore the proposed project is in conformance with the policies of Chapter 3 of the Coastal Act.



NOTICE OF EXEMPTION

City of Oceanside, California

Post Date:
Removal:
(180 days)

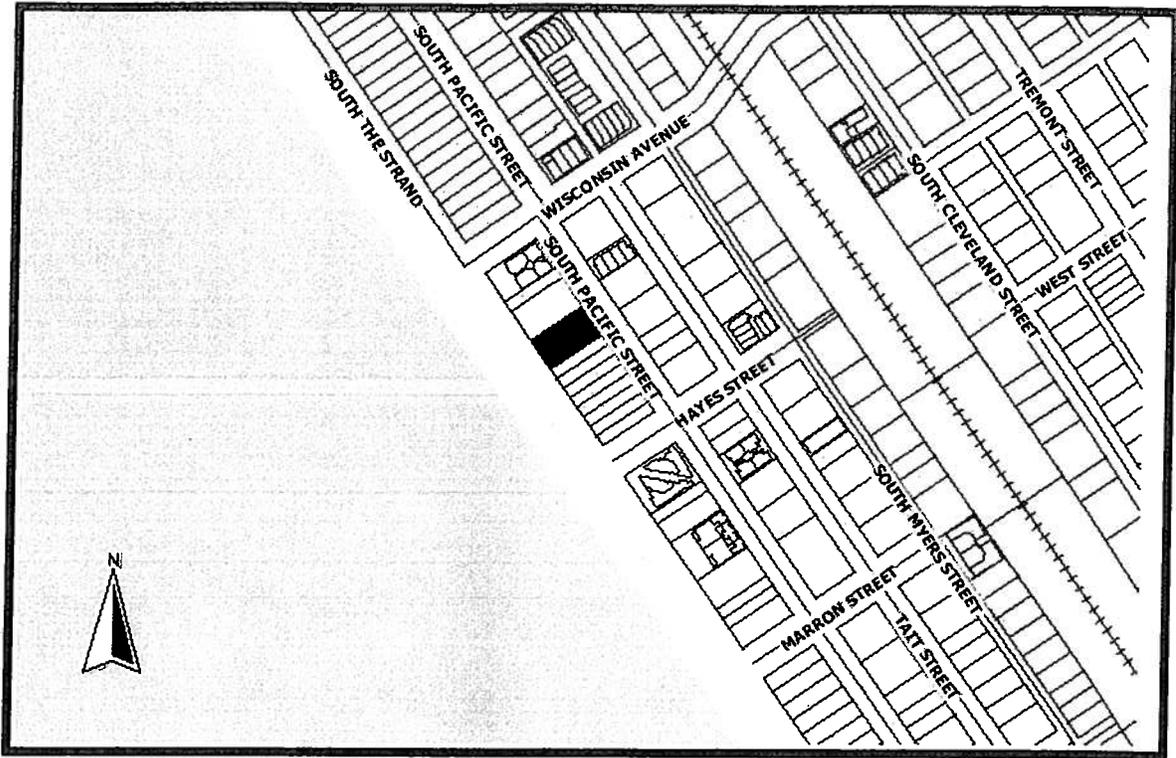
1. **APPLICANT:** Paul Longton
2. **ADDRESS:** 2909 Mesa Drive, Oceanside CA. 92054
3. **PHONE NUMBER:** (760) 722-4904
4. **LEAD AGENCY:** City of Oceanside (300 N. Coast Hwy. Oceanside, CA 92054)
5. **PROJECT MGR.:** Russ Cunningham (760-435-3525)
6. **PROJECT TITLE:** RC11-00009 (South Pacific Duplex Conversions)
7. **DESCRIPTION:** A Regular Coastal Permit to allow conversion of an existing single-family residence to a duplex, with the addition of 1,409 square feet of new habitable space, at 811 South Pacific Street. The proposal involves the reconfiguration of primary entrances and interior stairwells, 546 square feet of additional habitable space on the existing second story, and 825 square feet of additional habitable space constituting a new third story. The project site is zoned R-T (Residential-Tourist) and is situated within the Townsite Neighborhood Planning Area and the Coastal Zone.

ADMINISTRATIVE DETERMINATION: Planning Division staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA). Based on this review, the Environmental Coordinator finds that further environmental evaluation is not required because:

- The project is categorically exempt, Class 1, for Existing Facilities, Section 15301 (e); or,
- "The activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA" (Section 15061(b)(3)); or,
- The project is statutorily exempt, Section , <name> (Sections 15260-15277); or,
- The project does not constitute a "project" as defined by CEQA (Section 15378).

Russ Cunningham, Senior Planner

Date: October 31, 2011



File Numbers: RC11-00009/RC11-00010/RC11-00011

Applicant: REVX, Pacific North LLC/Steve Loomis/REVX, Pacific South LLC

Description:

REGULAR COASTAL PERMITS (RC11-00009/RC11-000010/RC11-00011) for the conversion of three existing single-family residences to duplexes at 811, 813 and 815 S. Pacific St. Situated within the Townsite Neighborhood Planning Area and the Coastal Zone, the subject properties bear a land use designation of Urban High Density Residential (UHD-R) and a zoning designation of Residential-Tourist (RT). Building modifications include the addition of third-story habitable space. – **811-815 SOUTH PACIFIC STREET DUPLEX CONVERSIONS**

Environmental Determination:

The project is exempt from the California Environmental Quality Act.

City of Oceanside, Planning Division
300 N. Coast Highway
Oceanside, CA 92054 - (760) 435-3520

LEGAL DESCRIPTION

811 South Pacific Street

Lot 8 in Block C of Myers Annex to Oceanside, County of San Diego, State of California according to map thereof No. 984, filed in the Office of the County Recorder of San Diego County, April 13, 1906, excepting therefrom that portion if any heretofore now lying below the mean high tide of the Pacific Ocean



Application for Public Hearing

Community Development Department / Planning Division
(760) 435-3520
Oceanside Civic Center 300 North Coast Highway
Oceanside, California 92054-2885

STAFF USE ONLY

ACCEPTED

~~9-16-11~~
9-12-11

BY
RC
DW

Duplex @ 813 S Pacific

Please Print or Type All Information

HEARING

PART I - APPLICANT INFORMATION

1. APPLICANT Steve Loomis	2. STATUS
3. ADDRESS 1239 Orchard Glen Circle Encinitas CA 92024	4. PHONE/FAX/E-mail sloomis@stoneloma.com
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing) Paul Longton	7. PHONE/FAX/E-mail 760 722.4904
6. ADDRESS 2909 Mesa Drive Oceanside, CA 92054	

GPA
MASTER/SP.PLAN
ZONE CH.
TENT. MAP
PAR. MAP
DEV. PL.
C.U.P.
VARIANCE
COASTAL RC11-00010
O.M.P.A.C.

PART II - PROPERTY DESCRIPTION

8. LOCATION 813 S. Pacific St.	9. SIZE 3,250 SF (0.075 Acres)
10. GENERAL PLAN	11. ZONING RT
12. LAND USE Single Family Res.	13. ASSESSOR'S PARCEL NUMBER 150,356.15.00

PART III - PROJECT DESCRIPTION

14. GENERAL PROJECT DESCRIPTION Convert existing single family residence to a duplex. Add a 'Great Room' to the 2nd Floor and a 'Game Room' to the 3rd Floor.				
15. PROPOSED GENERAL PLAN	16. PROPOSED ZONING RT (no change)	17. PROPOSED LAND USE Duplex	18. NO. UNITS 2	19. DENSITY 26.8 DU/acre
20. BUILDING SIZE 5910 SF	21. PARKING SPACES 4	22. % LANDSCAPE 20%	23. % LOT COVERAGE or FAR 63.2%	

PART IV - ATTACHMENTS

24. DESCRIPTION/JUSTIFICATION	25. LEGAL DESCRIPTION	26. TITLE REPORT
27. NOTIFICATION MAP & LABELS	28. ENVIRONMENTAL INFO FORM	29. PLOT PLANS
30. FLOOR PLANS AND ELEVATIONS	31. CERTIFICATION OF POSTING	32. OTHER (See attachment for required reports)

PART V - SIGNATURES

33. APPLICANT OR REPRESENTATIVE (Print): Paul Longton	34. DATE	SIGNATURES OF ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).
Sign:	35. OWNER (Print): Steve Loomis, Manager	

I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

Sign:

Description & Justification
To Convert an Existing Single Family Res to
A Duplex
At
Lot 9, 813 S Pacific St, Oceanside, 92054

August 9, 2011

Owner:

Steve Loomis, Manager

1239 Orchard Glen Circle
Encinitas CA 92024

Statistics at a glance

Address – 813 S Pacific St
APN – 150-356-15-00

Zoning – RT
Proposed zoning – No Change

Lot Size – 3,250 SF (.075 Acres)
Existing Land Use – Single Family Residence
Proposed Land Use – Duplex

Number of units – 2
Density/acre – 26.8 units/acre

Existing lot coverage - 63.2%
Proposed Lot Coverage No Change

Existing Building Size:

Beach Level	2054 SF
Street Level	1079 SF
<u>Second Story</u>	<u>1368 SF</u>
Total Habitable	4501 SF

Garage (4-spaces) 861 SF

Decks 562 SF

Proposed Construction

Beach Level	-0-
First Story	38 SF
Second Story	546 SF
<u>Third Story</u>	<u>825 SF</u>
Total New Const.	1409 SF

Building SF when complete (2-units)

Unit #1	
Beach Level	2054 SF
<u>First Story</u>	<u>1117 SF</u>
Total Unit #1	3171 SF

Unit #2	
Second Story	1914 SF
Third Story	825 SF
<u>Total Unit #2</u>	<u>2739 SF</u>

Total both units 5910 SF

Decks Total 357 SF
(There will be 205 SF of deck that will be replaced with habitable space)

Parking required – 4 spaces
Parking provided – 4 spaces

The Architecture is by Paul Longton, Architect

Proposed Construction

The proposed construction will remodel the existing single family residence to a duplex. There will be no change to the eastern (Pacific Street side) portion of the building. The view of the building as seen from the street will be unchanged. Currently the stair and elevator tower go to the roof deck. All of the proposed construction will be west of the stair and elevator tower.

There will be no increase in bedrooms. The building will add a "Great Room" to the 2nd Floor. This Great Room will be the kitchen and living room for the 2nd Unit. There will be a deck to the west of the new Great Room. The second floor steps back from the west – giving the elevation a "tiered" look.

The construction will add a Game Room as the 3rd floor construction. The Game Room will have a deck to the west. The 3rd floor will step back from the west adding to the "tiered appearance"

The new construction at the 3rd floor will not change the height of the building. The new Game Room will be at the height of existing stair and elevator tower.

Parking

Parking for the building will remain unchanged at 4 covered parking spots. The intensity of use will not change with the number of bedrooms remaining unchanged.

Preservation of Public Views

The public view corridors will remain unchanged. The corners of the building at the west end are "clipped" to allow better views. The proposed construction at the 2nd and 3rd stories will step back from the west face.

Proposed Materials

Some of the existing features of the home are: a 50 year roof, copper flashings, elevator, laminated glass for sound proofing and UV protection, non-corrosive materials for prolonged life and low maintenance beachfront living, maintenance of north/south access at the beach level so the public access is maintained at all times and tides.

The interior materials will be superior for ease of living, low maintenance and energy efficiency. The furnace will be high efficiency. The appliances are all Energy Star approved. The water heaters are of the "Instant" variety that are much more energy efficient than the "tank" type. Bathroom floors are heated. Lights and fans in the bathrooms are occupant initiated for convenience and, ultimately, for energy efficiency.

Extra care is taken to use materials that isolate sound from floor to floor and from inside to outside, or the

reverse.

The new construction will maintain this high standard of materials.

Engineering

The existing residence was built using a "mat slab". Per the conversations with the structural engineer, there will be no need to upgrade the existing foundation. Similarly since the footprint of the building will not change, the civil engineering need not change nor would there be any need for a Wave Up-rush Study.

Regular Coastal

The proposed project is consistent with the policies of the Local Coastal Program as implemented through the Zoning Ordinances. Specifically the physical aspects of the project are consistent with the adjoining properties and those in the neighborhood. The project will not substantially alter or impact existing public views of the coastal zone area.

The proposed project will not obstruct any existing planned public beach access including any beach areas fronting the existing property; therefore the proposed project is in conformance with the policies of Chapter 3 of the Coastal Act.



NOTICE OF EXEMPTION
City of Oceanside, California

Post Date:
Removal:
(180 days)

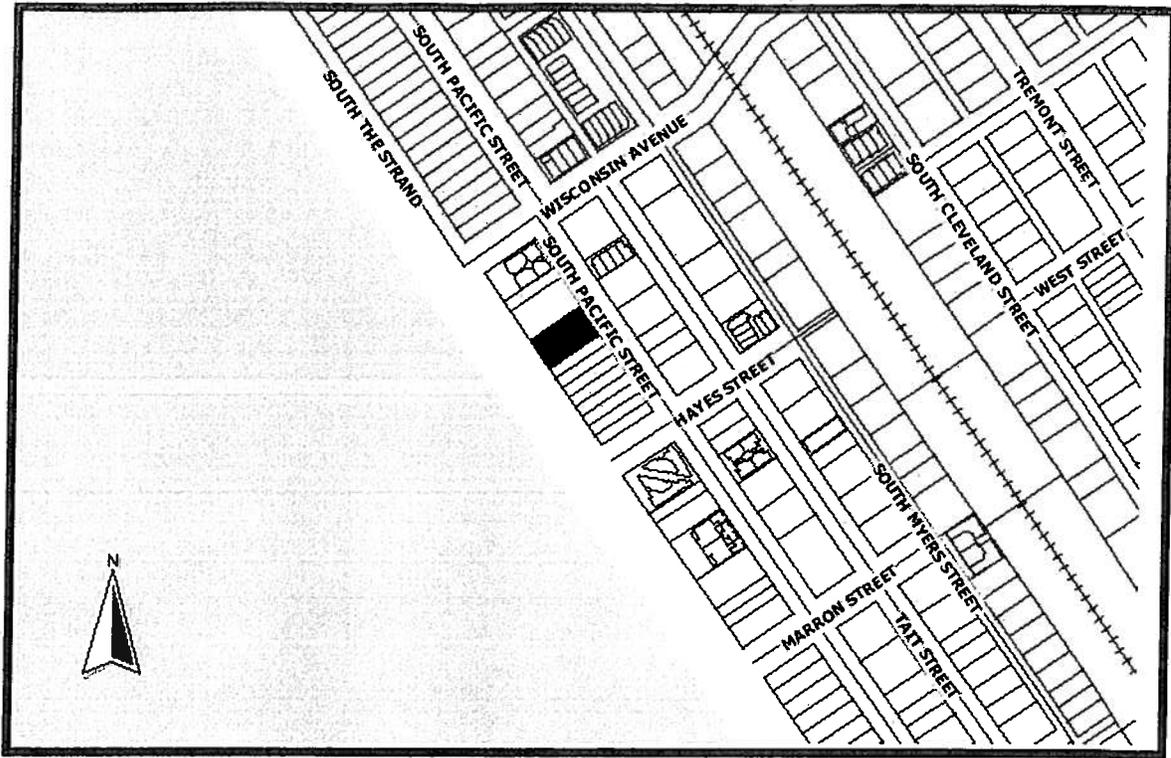
1. **APPLICANT:** Paul Longton
2. **ADDRESS:** 2909 Mesa Drive, Oceanside CA. 92054
3. **PHONE NUMBER:** (760) 722-4904
4. **LEAD AGENCY:** City of Oceanside (300 N. Coast Hwy. Oceanside, CA 92054)
5. **PROJECT MGR.:** Russ Cunningham (760-435-3525)
6. **PROJECT TITLE:** RC11-00010 (South Pacific Duplex Conversions)
7. **DESCRIPTION:** A Regular Coastal Permit to allow conversion of an existing single-family residence to a duplex, with the addition of 1,409 square feet of new habitable space, at 813 South Pacific Street. The proposal involves the reconfiguration of primary entrances and interior stairwells, 546 square feet of additional habitable space on the existing second story, and 825 square feet of additional habitable space constituting a new third story. The project site is zoned R-T (Residential-Tourist) and is situated within the Townsite Neighborhood Planning Area and the Coastal Zone.

ADMINISTRATIVE DETERMINATION: Planning Division staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA). Based on this review, the Environmental Coordinator finds that further environmental evaluation is not required because:

- The project is categorically exempt, Class 1, for Existing Facilities, Section 15301 (e); or,
- "The activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA" (Section 15061(b)(3)); or,
- The project is statutorily exempt, Section , <name> (Sections 15260-15277); or,
- The project does not constitute a "project" as defined by CEQA (Section 15378).

Russ Cunningham, Senior Planner

Date: October 31, 2011



File Numbers: RC11-00009/RC11-00010/RC11-00011

Applicant: REVX, Pacific North LLC/Steve Loomis/REVX, Pacific South LLC

Description:

REGULAR COASTAL PERMITS (RC11-00009/RC11-00010/RC11-00011) for the conversion of three existing single-family residences to duplexes at 811, 813 and 815 S. Pacific St. Situated within the Townsite Neighborhood Planning Area and the Coastal Zone, the subject properties bear a land use designation of Urban High Density Residential (UHD-R) and a zoning designation of Residential-Tourist (RT). Building modifications include the addition of third-story habitable space. – **811-815 SOUTH PACIFIC STREET DUPLEX CONVERSIONS**

Environmental Determination:

The project is exempt from the California Environmental Quality Act.

City of Oceanside, Planning Division
300 N. Coast Highway
Oceanside, CA 92054 - (760) 435-3520

LEGAL DESCRIPTION

813 South Pacific Street

Lot 9 in Block C of Myers Annex to Oceanside, County of San Diego, State of California according to map thereof No. 984, filed in the Office of the County Recorder of San Diego County, April 13, 1906, excepting therefrom that portion if any heretofore now lying below the mean high tide of the Pacific Ocean



Application for Public Hearing

Community Development Department / Planning Division
(760) 435-3520
Oceanside Civic Center 300 North Coast Highway
Oceanside, California 92054-2885

STAFF USE ONLY

ACCEPTED

~~9-6-11~~

BY

RC

9-12-11

DW

Duplex @ 815 S Pacific

Please Print or Type All Information

PART I - APPLICANT INFORMATION

1. APPLICANT REVX Pacific South LLC	2. STATUS Owner
3. ADDRESS 421 G Street Beaver City, NE 68924	4. PHONE/FAX/E-mail
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing) Paul Langton	
6. ADDRESS 2904 Mesa Drive Oceanside, CA 92054	7. PHONE/FAX/E-mail 760 722 4901

HEARING

GRA
MASTER/SP.PLAN
ZONE CH.
TENT. MAP
PAR. MAP
DEV. PL.
C.U.P.
VARIANCE
COASTAL RC11-00011
O.H.P.A.C.

PART II - PROPERTY DESCRIPTION

8. LOCATION 815 S. Pacific St.	9. SIZE 3,250 SF (0.75 Acres)
10. GENERAL PLAN	11. ZONING RT
12. LAND USE Single Family Res.	13. ASSESSOR'S PARCEL NUMBER 150.356.16.00

PART III - PROJECT DESCRIPTION

14. GENERAL PROJECT DESCRIPTION
Convert existing single family residence to a duplex. Add a 'Great Room' to the 2nd Floor and a 'Living Room' to the 3rd Floor.

15. PROPOSED GENERAL PLAN	16. PROPOSED ZONING RT (no change)	17. PROPOSED LAND USE Duplex	18. NO. UNITS 2	19. DENSITY 26.8 Duplex
20. BUILDING SIZE 5910 SF	21. PARKING SPACES 4	22. % LANDSCAPE 20%	23. % LOT COVERAGE or FAR 63.2%	

PART IV - ATTACHMENTS

24. DESCRIPTION/JUSTIFICATION	25. LEGAL DESCRIPTION	26. TITLE REPORT
27. NOTIFICATION MAP & LABELS	28. ENVIRONMENTAL INFO FORM	29. PLOT PLANS
30. FLOOR PLANS AND ELEVATIONS	31. CERTIFICATION OF POSTING	32. OTHER (See attachment for required reports)

PART V - SIGNATURES

33. APPLICANT OR REPRESENTATIVE (Print) Sign:	34. DATE	SIGNATURES OF ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).
35. OWNER (Print) James Palson Managing Member Sign:	36. DATE 8/10/2011	
I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.		

**Description & Justification
To Convert an Existing Single Family Res to
A Duplex
At
Lot 10, 815 S Pacific St, Oceanside, 92054**

August 9, 2011

Owner:

REVX Pacific South, LLC

Managing Member

James H. Dodson

421 Q Street

Beaver City, NE 68926

Statistics at a glance

Address –	815 S Pacific St
APN –	150-356-16-00
Zoning –	RT
Proposed zoning –	No Change
Lot Size –	3,250 SF (.075 Acres)
Existing Land Use –	Single Family Residence
Proposed Land Use –	Duplex
Number of units –	2
Density/acre –	26.8 units/acre
Existing lot coverage -	63.2%
Proposed Lot Coverage	No Change

Existing Building Size:

Beach Level	2054 SF
Street Level	1079 SF
<u>Second Story</u>	<u>1368 SF</u>
Total Habitable	4501 SF

Garage (4-spaces) 861 SF

Decks 562 SF

Proposed Construction

Beach Level	-0-
First Story	38 SF
Second Story	546 SF
<u>Third Story</u>	<u>825 SF</u>
Total New Const.	1409 SF

Building SF when complete (2-units)

Unit #1	
Beach Level	2054 SF
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Total Unit #1	3171 SF

Unit #2	
Second Story	1914 SF
<u>Third Story</u>	<u>825 SF</u>
Total Unit #2	2739 SF

Total both units 5910 SF

Decks Total 357 SF
(There will be 205 SF of deck that will be replaced with habitable space)

Parking required – 4 spaces
Parking provided – 4 spaces

The Architecture is by Paul Longton, Architect

Proposed Construction

The proposed construction will remodel the existing single family residence to a duplex. There will be no change to the eastern (Pacific Street side) portion of the building. The view of the building as seen from the street will be unchanged. Currently the stair and elevator tower go to the roof deck. All of the proposed construction will be west of the stair and elevator tower.

There will be no increase in bedrooms. The building will add a "Great Room" to the 2nd Floor. This Great Room will be the kitchen and living room for the 2nd Unit. There will be a deck to the west of the new Great Room. The second floor steps back from the west – giving the elevation a "tiered" look.

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Parking

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Preservation of Public Views

The public view corridors will remain unchanged. The corners of the building at the west end are "clipped" to allow better views. The proposed construction at the 2nd and 3rd stories will step back from the west face.

Proposed Materials

Some of the existing features of the home are: a 50 year roof, copper flashings, elevator, laminated glass for sound proofing and UV protection, non-corrosive materials for prolonged life and low maintenance beachfront living, maintenance of north/south access at the beach level so the public access is maintained at all times and tides.

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Engineering

The existing residence was built using a "mat slab". Per the conversations with the structural engineer, there will be no need to upgrade the existing foundation. Similarly since the footprint of the building will not change, the civil engineering need not change nor would there be any need for a Wave Up-rush Study.

Regular Coastal

The proposed project is consistent with the policies of the Local Coastal Program as implemented through the Zoning Ordinances. Specifically the physical aspects of the project are consistent with the adjoining properties and those in the neighborhood. The project will not substantially alter or impact existing public views of the coastal zone area.

The proposed project will not obstruct any existing planned public beach access including any beach areas fronting the existing property; therefore the proposed project is in conformance with the policies of Chapter 3 of the Coastal Act.



NOTICE OF EXEMPTION

City of Oceanside, California

Post Date:
Removal:
(180 days)

1. **APPLICANT:** Paul Longton
2. **ADDRESS:** 2909 Mesa Drive, Oceanside CA. 92054
3. **PHONE NUMBER:** (760) 722-4904
4. **LEAD AGENCY:** City of Oceanside (300 N. Coast Hwy. Oceanside, CA 92054)
5. **PROJECT MGR.:** Russ Cunningham (760-435-3525)
6. **PROJECT TITLE:** RC11-00011 (South Pacific Duplex Conversions)
7. **DESCRIPTION:** A Regular Coastal Permit to allow conversion of an existing single-family residence to a duplex, with the addition of 1,409 square feet of new habitable space, at 815 South Pacific Street. The proposal involves the reconfiguration of primary entrances and interior stairwells, 546 square feet of additional habitable space on the existing second story, and 825 square feet of additional habitable space constituting a new third story. The project site is zoned R-T (Residential-Tourist) and is situated within the Townsite Neighborhood Planning Area and the Coastal Zone.

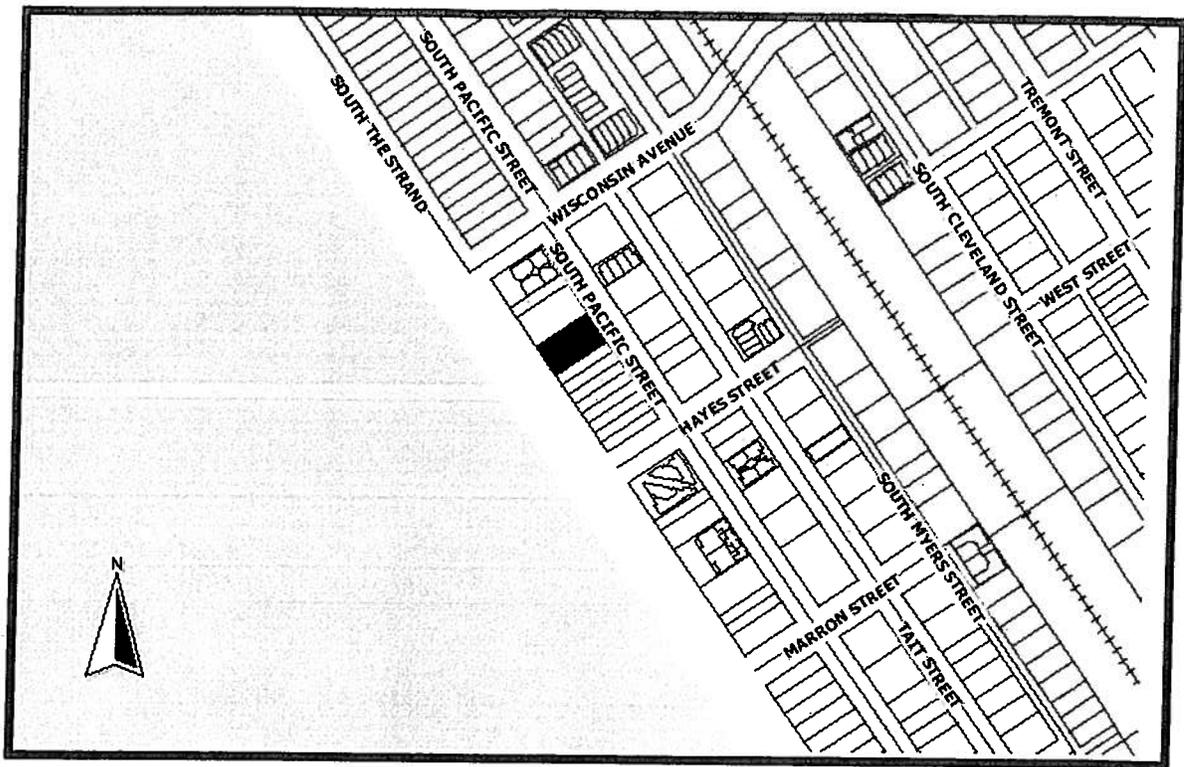
ADMINISTRATIVE DETERMINATION: Planning Division staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA). Based on this review, the Environmental Coordinator finds that further environmental evaluation is not required because:

- The project is categorically exempt, Class 1, for Existing Facilities, Section 15301 (e); or,
- "The activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA" (Section 15061(b)(3)); or,
- The project is statutorily exempt, Section , <name> (Sections 15260-15277); or,
- The project does not constitute a "project" as defined by CEQA (Section 15378).

A handwritten signature in black ink, appearing to read "Russ Cunningham".

Russ Cunningham, Senior Planner

Date: October 31, 2011



File Numbers: RC11-00009/RC11-00010/RC11-00011

Applicant: REVX, Pacific North LLC/Steve Loomis/REVX, Pacific South LLC

Description:

REGULAR COASTAL PERMITS (RC11-00009/RC11-000010/RC11-00011) for the conversion of three existing single-family residences to duplexes at 811, 813 and 815 S. Pacific St. Situated within the Townsite Neighborhood Planning Area and the Coastal Zone, the subject properties bear a land use designation of Urban High Density Residential (UHD-R) and a zoning designation of Residential-Tourist (RT). Building modifications include the addition of third-story habitable space. – **811-815 SOUTH PACIFIC STREET DUPLEX CONVERSIONS**

Environmental Determination:

The project is exempt from the California Environmental Quality Act.

City of Oceanside, Planning Division
300 N. Coast Highway
Oceanside, CA 92054 - (760) 435-3520

LEGAL DESCRIPTION

815 South Pacific Street

Lot 10 in Block C of Myers Annex to Oceanside, County of San Diego, State of California according to map thereof No. 984, filed in the Office of the County Recorder of San Diego County, April 13, 1906, excepting therefrom that portion if any heretofore now lying below the mean high tide of the Pacific Ocean