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DATE: November 14, 2011

TO: Chairperson and Members of the Planning Commission

FROM: Development Services Department/Planning Division

SUBJECT: **CONSIDERATION OF A REGULAR COASTAL PERMIT (RC11-00005) TO ALLOW THE DEMOLITION OF AN EXISTING SINGLE-FAMILY RESIDENCE FOR THE CONSTRUCTION OF THREE DETACHED 1,188-SQUARE FOOT SINGLE-FAMILY UNITS LOCATED AT 2003 SOUTH TREMONT STREET- DAKMIN DEVELOPMENT - APPLICANT: DAKMIN INC.**

**RECOMMENDATION**

Staff recommends that the Planning Commission by motion:

- (1) Confirm issuance of a Class 3 Categorical Exemption for New Construction or Conversion of Small Structures, pursuant to Section 15303(b) of the California Environmental Quality Act (CEQA); and adopt Planning Commission Resolution No. 2011-P43 approving Regular Coastal Permit (RC11-00005) with findings and conditions of approval attached herein.

**PROJECT DESCRIPTION AND BACKGROUND**

**Background:** The subject property is located on Lots A & B in Block 9 of South Oceanside Map 301, at 2003 South Tremont Street. An application for a Regular Coastal Permit was filed on April 27, 2011.

**Site Review:** This 14,764-square foot lot accommodates a single-story 1,022-square foot single-family residence with a single car garage, constructed in 1947. The lot is located at the south west corner of Vista Way and South Tremont Street at 2003 South Tremont Street.

The Land Use designation is Medium Density–C Residential (MDC-R) and the corresponding zoning classification is R3 (Medium Density Residential). Being situated within the coastal zone, the project requires a Regular Coastal Permit, pursuant to Section III.D.1 of the Coastal Permit Handbook adopted May 8, 1985. The property is not within the “appeal jurisdiction” of the local coastal zone.

**Project Description:** The project application is comprised of a Regular Coastal Permit.

Regular Coastal Permit (RC10-00005) represents a request for the following:

- (a) This proposed project would allow the demolition of an existing 1,022-square foot single-family residence to permit the construction of three detached 1,118-square foot single-family units with three two-car garages on an existing 0.34-acre site. Each unit would be a prefabricated residential unit approved by the Universal Building Code regulations and the architectural design shall be a craftsman style similar to many of the homes in the neighborhood. An approximate 55-foot long by 24-foot wide proposed driveway would be incorporated for access to the three two-car garages via Vista Way. The project site shall be fully landscaped with a landscape palette consisting of fruitless olive trees, cajeput trees, India Hawthorne and other low line shrubs and ground cover that shall enhance and compliment the new development as well as the neighborhood. No trash enclosure will be implemented into the project, to allow a clean design and enable each individual unit to have separate trash bins located within the proposed garages.

The project is subject to the following Ordinances and City Policies:

1. General Plan Land Use Element
2. Zoning Ordinance
3. Local Coastal Program
4. California Environmental Quality Act

## **ANALYSIS**

### **KEY PLANNING ISSUES**

#### **1. General Plan Compliance**

##### **Goal 1.23: Architecture**

**Objective:** The architectural quality of all proposed projects shall enhance neighborhood and community values and City image.

Policy:

- A. Architectural form, treatments, and materials shall serve to significantly improve on the visual image of the surrounding neighborhood.

The proposed three residential units with two-car garages reflect a combination of a craftsman and colonial architectural style. Many of the neighboring homes in this area include a wide variety of eclectic single-family and multi-family architecture designs and styles that are consistent and complimentary to the proposed DAKMIN development.

The architectural style is consistent with many of the South Oceanside homes along Tremont Street and the entire South Oceanside neighborhood. Each unit would provide three bedrooms and two baths and each unit's proposed square footage would be consistent with the size of single-family homes in the area.

The project is designed with a modern craftsman style and includes details such as earth tone wood cedar trim, intricate roof lines and established stone veneer over columns and entry ways that provide a sense of balance for the site. Window and glass treatments will add interest to the home while promoting a sense of openness.

The development will meet the development regulations and, would not alter public views toward the coast or the views of adjoining neighbors to the west. The proposed three units are under the required 35-foot height requirement for the R3 District with the proposed 12.8 foot single story height for the homes. The design of the proposed project is in conformance with the General Plan.

## **2. Zoning Ordinance Compliance**

This project is located in the R3 (Medium Density Residential) District and complies with the requirements of that zone. Such projects are reviewed for compatibility with existing and surrounding development, as well as applicable public beach access regulations. In the R3 District, the maximum allowable density for residential uses is a minimum lot area per dwelling unit of 1,000 square feet. The proposed three units is under the maximum allowable density of 13 units based on the existing 13,333-square foot lot.

Table 1 compares the proposed development with the allowable regulations pursuant to Article 17 for Medium Density Residential Developments.

**Table 1 Development Standards**

<b>Requirement</b>	<b>Required</b>	<b>Proposed</b>
Front (Vista Way)	20 feet	23.4 feet
Side yard	3 feet	5 feet
Corner Side yard (S. Tremont St.)	12 feet	12 feet
Rear yard	15 feet	15 feet
Height	35 feet	12.8 feet

### **3. Local Coastal Program Compliance**

The proposed project is within the appeal jurisdiction of the Local Coastal Program (LCP) and complies with all provisions of this zone. Projects within the Coastal Zone are required to meet the provisions of the adopted Local Coastal Program and the underlying R3 zone, as well as the 1986 City of Oceanside Zoning Code which was in place at the time of the LCP Adoption. The existing and evolving character of the neighborhood within the Coastal Zone and site-specific design elements have been considered throughout the design and review of this project. The proposed three-unit development will not exceed the 35-foot height restriction within the Coastal Zone, nor extend past the Stringline.

### **DISCUSSION**

*Issue: Project Compatibility with the Existing Neighborhood and surrounding properties*

Will the new development be consistent with and compatible to, the existing neighborhood and the adjoining homes in the surrounding area?

*Recommendation:* Staff finds that (in terms of height, design, bulk, building type, and neighborhood consistency) the development of the three detached apartment units would be consistent with the existing multi-family nature of the neighborhood. The proposed craftsman style units give the appearance of an individual single-family residence, which is similar to many of the South Oceanside homes in this area.

The proposed three residential units will provide additional housing to the area, as well as provide a beautified street scene along a gateway street known as Vista Way. The proposed landscape scheme and palate will improve the property and the neighborhood.

### **ENVIRONMENTAL DETERMINATION**

The project is exempt under the provisions of the California Environmental Quality Act (CEQA) Class 3, Section 15303(b) New Construction or Conversion of Small Structures.

**PUBLIC NOTIFICATION**

Legal notice was published in the North County Times and notices were sent to property owners and residents within a 1,500-foot radius of the subject property, individuals and/or organizations requesting notification, the applicant and other interested parties.

**SUMMARY**

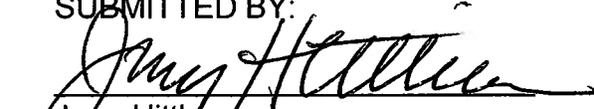
The proposed Regular Coastal Permit (RC11-00005), as conditioned, is consistent with the land use policies of the General Plan, the requirements of the Zoning Ordinance, and the policies of the Local Coastal Program. The project has been conditioned to meet or exceed all applicable standards. As such, staff recommends that the Planning Commission approve the project based on the findings and subject to the conditions contained in the attached Resolution. Staff recommends that the Planning Commission:

- Move to approve Regular Coastal Permit (RC10-00005) and adopt Planning Commission Resolution No. 2011-P43 as attached.

PREPARED BY:

  
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Scott Nightingale  
Planner II

SUBMITTED BY:

  
\_\_\_\_\_  
Jerry Hittleman  
City Planner

JH/SN/fil

Attachments:

1. Planning Commission Resolution No. 2011-P43
2. Site Plan/Floor Plan and Elevations

1 PLANNING COMMISSION  
2 RESOLUTION NO. 2011-P43

3 A RESOLUTION OF THE PLANNING COMMISSION OF THE  
4 CITY OF OCEANSIDE, CALIFORNIA APPROVING A  
5 REGULAR COASTAL PERMIT ON CERTAIN REAL  
PROPERTY IN THE CITY OF OCEANSIDE

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6 APPLICATION NO: RC11-00005  
7 APPLICANT: DAKMIN INC.  
8 LOCATION: 2003 S. Tremont Street

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9 THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES  
10 RESOLVE AS FOLLOWS:

11 WHEREAS, there was filed with this Commission a verified petition on the forms  
12 prescribed by the Commission requesting a Regular Coastal Permit (RC11-00005) under the  
13 provisions of the City of Oceanside Local Coastal Program to permit the following:

14 the demolition of an existing 1,022-square foot single-family residence for the construction  
15 of three 1,188-square foot single family units located 2003 South Tremont Street;  
on certain real property described in the project description;

16 WHEREAS, the Planning Commission, after giving the required notice, did on the 14<sup>th</sup> day  
17 of November, 2011 conduct a duly advertised public hearing as prescribed by law to consider said  
18 application;

19 WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State  
20 Guidelines thereto, this project has been found to be categorically exempt as a Class 3 project,  
21 "New Construction or Conversion of Small Structures," per Article 19, section 15303 (b) of State  
22 CEQA Guidelines;

23 WHEREAS, there are hereby imposed on the subject development project certain fees,  
24 dedications, reservations and other exactions pursuant to state law and city ordinance;

25 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the  
26 project is subject to certain fees, dedications, reservations and other exactions as provided below:

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Description	Authority for Imposition	Current Estimate Fee or Calculation Formula
Parkland Dedication/Fee	Ordinance No. 91-10 Resolution No. 06-R0334-1	\$3,503 per unit
Drainage Fee	Ordinance No. 85-23 Resolution No. 06-R0334-1	Depends on area (range is \$2,843-\$15,964 per acre)
Public Facility Fee	Ordinance No. 91-09 Resolution No. 06-R0334-1	\$ .713 per square foot or \$713 per thousand square feet for non-residential uses and \$2,072 per unit for residential
School Facilities Mitigation Fee	Ordinance No. 91-34	\$.47 per square foot non-residential for Oceanside (\$ .42 for Vista and Fallbrook) \$2.97 per square foot residential (\$2.63 for Vista; \$2.63 for Fallbrook)
Thoroughfare Fee (For commercial and industrial please note the 75 percent discount)	Ordinance No. 83-01 Resolution No. 06-R0334-1	\$255 per vehicle trip (based on SANDAG trip generation table available from staff and from SANDAG)
Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 09-OR 0093-1	Fee based on water meter size. Residential is typically \$4,597 per unit; Non-residential is \$36,775 for a 2" meter.
Wastewater System Buy-in fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 09-OR 0092-1	Based on capacity or water meter size. Residential is typically \$6,313 per unit; Non-residential is \$50,501 for a 2" meter.
San Diego County Water Authority Capacity Fees	SDCWA Ordinance No. 2005-03	Based on meter size. Residential is typically \$4,326 per unit; Non-residential is \$22,495 for a 2" meter.

1           WHEREAS, the current fees referenced above are merely fee amount estimates of the  
2 impact fees that would be required if due and payable under currently applicable ordinances and  
3 resolutions, presume the accuracy of relevant project information provided by the applicant, and  
4 are not necessarily the fee amount that will be owing when such fee becomes due and payable;

5           WHEREAS, unless otherwise provided by this resolution, all impact fees shall be  
6 calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside  
7 City Code and the City expressly reserves the right to amend the fees and fee calculations  
8 consistent with applicable law;

9           WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,  
10 dedication, reservation or other exaction to the extent permitted and as authorized by law;

11           WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that  
12 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction  
13 described in this resolution begins on the effective date of this resolution and any such protest must  
14 be in a manner that complies with Section 66020;

15           WHEREAS, action on this resolution becomes final 10 days after its adoption, unless  
16 appealed to the City Council, and shall become effective after the 10-working-day appeal period to  
17 the Coastal Commission has expired; and

18           WHEREAS, studies and investigations made by this Commission and in its behalf reveal  
19 the following facts:

20 FINDINGS:

21 For the Regular Coastal Permit:

- 22 1. The proposed three-unit development on the existing 0.34-acre site, as conditioned, is  
23 consistent with the land use policies of the Local Coastal Program as implemented  
24 through the Zoning Ordinance. Specifically, the project will not substantially alter or  
25 impact existing public views within the Coastal Zone; and the physical aspects of the  
26 project are consistent with existing developments in the neighborhood.
- 27 2. The proposed development of three rental units will not obstruct any existing, planned or  
28 required public beach access, in conformance with the policies of Chapter 3 of the  
29 Coastal Act. The site is located an ample amount away from public beach areas, so  
beach access obstruction will not be an issue.

1 3. The project will not result in the loss of any on-street public parking resources, as the  
2 addition will not trigger additional parking or take away from existing on-site parking.  
3 All parking will be on site, and no additional driveways will be created as a part of this  
4 development.

5 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby  
6 approve Regular Coastal Permit (RC11-00005) subject to the following conditions:

7 **Building:**

- 8 1. Construction shall comply with the 2010 edition of the California Codes.  
9 2. Construction hours are limited to 7:00 a.m. to 6:00 p.m. Monday through Friday.  
10 3. Exterior lighting must comply with Chapter 39 of the Oceanside City Code and Section  
11 5.106.8 of the 2010 California Green Building Code. Provide a photometric plan of the  
12 parking lot showing all lighting.  
13 4. Roof modification and plant on walls utilizing any portion of a modular unit will require  
structural sign off by the modular building designer and engineer.

14 **Engineering:**

- 15 5. For the demolition of any existing structure or surface improvements; grading plans  
16 shall be submitted and erosion control plans be approved by the City Engineer prior to  
17 the issuance of a demolition permit. No demolition shall be permitted without an  
18 approved erosion control plan.  
19 6. Design and construction of all improvements shall be in accordance with the City of  
20 Oceanside Engineers Design and Processing Manual, City Ordinances, and standard  
21 engineering and specifications of the City of Oceanside and subject to approval by the  
22 City Engineer.  
23 7. Prior to issuance of a building permit all improvement requirements shall be covered by  
24 a development agreement and secured with sufficient improvement securities or bonds  
25 guaranteeing performance and payment for labor and materials, setting/adjustment of  
26 monuments, and warranty against defective materials and workmanship.  
27 8. A Declaration of Covenants, Conditions and Restrictions (DCC&R) is required prior to  
28 issuance of any grading permit, and will be reviewed and approved by the City Attorney.  
29 The owner/developer shall record the DCC&R with the County of San Diego Recorders'  
Office attesting to these improvement conditions.

- 1 9. The project site consists of two lots. Prior to approval of any grading plan, the  
2 owner/developer shall submit a lot merger application to the City of Oceanside for  
3 review and approval. No grading plan shall be approved until such time that a lot  
4 merger is reviewed and approved by the City Engineer. The owner/developer shall  
5 provide a copy of the recorded lot merger document to the City of Oceanside prior to  
6 issuance of any grading permit.
- 7 10. Prior to any grading of any part of this project, a comprehensive soils and geologic  
8 investigation shall be conducted of the soils, slopes, and formations in the project. All  
9 necessary measures shall be taken and implemented to assure slope stability, erosion  
10 control, and soil integrity. No grading shall occur until a detailed grading plan, to be  
11 prepared in accordance with the Grading Ordinance and Zoning Ordinance is approved by  
12 the City Engineer.
- 13 11. It is the responsibility of the owner/developer to evaluate and determine that all soil  
14 imported as part of this development is free of hazardous and/or contaminated material  
15 as defined by the City and the County of San Diego Department of Environmental  
16 Health. Exported or imported soils shall be properly screened, tested, and documented  
17 regarding hazardous contamination.
- 18 12. Prior to approval of any grading plan, an erosion control plan, designed for all proposed  
19 stages of construction, shall be reviewed, secured by the owner/developer with cash  
20 securities and approved by the City Engineer.
- 21 13. A precise grading and improvement plan shall be prepared, reviewed, secured and  
22 approved prior to the issuance of any building permits. The plan shall reflect all pavement,  
23 flatwork, landscaped areas, special surfaces, curbs, gutters, striping, and signage, footprints  
24 of all structures, walls, drainage devices and utility services.
- 25 14. Prior to the issuance of a grading permit, the owner/developer shall notify and host a  
26 neighborhood meeting with all of the area residents located within 300 feet of the project  
27 site, to inform them of the grading and construction schedule, and to answer questions.
- 28 15. The owner/developer shall monitor, supervise and control all construction and  
29 construction-supportive activities, so as to prevent these activities from causing a public  
nuisance, including but not limited to, insuring strict adherence to the following:

- 1 a) Dirt, debris and other construction material shall not be deposited on any public  
2 street or within the City's storm water conveyance system.
- 3 b) All grading and related site preparation and construction activities shall be  
4 limited to the hours of 7:00 a.m. to 6:00 p.m., Monday through Friday. No  
5 engineering related construction activities shall be conducted on Saturdays,  
6 Sundays or legal holidays unless written permission is granted by the City Engineer  
7 with specific limitations to the working hours and types of permitted operations.  
8 All on-site construction staging areas shall be as far as possible (minimum 100  
9 feet) from any existing residential development. Because construction noise may  
10 still be intrusive in the evening or on holidays, the City of Oceanside Noise  
11 Ordinance also prohibits "any disturbing excessive or offensive noise which  
12 causes discomfort or annoyance to reasonable persons of normal sensitivity."
- 13 c) The construction site shall accommodate the parking of all motor vehicles used by  
14 persons working at or providing deliveries to the site. An alternate parking site can  
15 be considered by the City Engineer in the event that the lot size is too small and  
16 cannot accommodate parking of all motor vehicles.
- 17 d) The owner/developer shall complete a haul route permit application (if required  
18 for import/export of dirt) and submit to the City of Oceanside Engineering  
19 Division 48 hours in advance of beginning of work. Hauling operations (if  
20 required) shall be 8:00 a.m. to 3:30 p.m. unless approved otherwise.

21 16. A traffic control plan shall be prepared according to the City traffic control guidelines  
22 and approved to the satisfaction of the City Engineer prior to the start of work within the  
23 public right-of-way. Traffic control during construction of streets that have been opened  
24 to public traffic shall be in accordance with construction signing, marking and other  
25 protection as required by the Caltrans Traffic Manual and City Traffic Control  
26 Guidelines. Traffic control plans shall be in effect from 8:00 a.m. to 3:30 p.m. unless  
27 approved otherwise.

28 17. Sidewalk improvements shall comply with ADA requirements. Publicly maintained  
29 pedestrian ramps maintained by the City of Oceanside must be fully located within public  
right-of-way.

- 1 18. Sight distance requirements at the project driveway or street shall conform to the corner  
2 sight distance criteria as provided by SDRSD, DS-20A or DS-20B.
- 3 19. The private project driveway alignments and geometric layouts shall meet the City of  
4 Oceanside Engineers Design and Processing Manual. The pavement sections shall be  
5 based on approved geotechnical report and in compliance with the City of Oceanside  
6 Engineers Design and Processing Manual.
- 7 20. Vista Way along property frontage shall be slurry sealed to a full width within public right-  
8 of-way. Tremont Street along property frontage shall be paved with one and half inches of  
9 additional asphalt overlay.
- 10 21. Any existing public or private pavement, concrete curb, gutter, driveways, pedestrian  
11 ramps and sidewalk within the project, or adjacent to the project boundary that is damaged  
12 during construction of the project, shall be repaired or replaced as directed by the City  
13 Engineer. Any existing broken pavement, concrete curb, gutter, driveways, pedestrian  
14 ramps and sidewalk along the property frontage shall be repaired or replaced as directed by  
15 the City Engineer.
- 16 22. All new extension services for the development of the project, including but not limited to,  
17 electrical, cable and telephone, shall be placed underground per Section 901.G. of the  
18 Subdivision Ordinance (R91-166) and as required by the City Engineer and current City  
19 policy.
- 20 23. The approval of the project shall not mean that proposed grading or improvements on  
21 adjacent properties (including any City properties/right-of-way or easements) is granted  
22 or guaranteed to the owner/developer. The owner/developer is responsible for obtaining  
23 permission to grade to construct on adjacent properties. Should such permission be  
24 denied, project shall be subject to going back to the public hearing or subject to a  
25 substantial conformity review.
- 26 24. Drainage facilities shall be designed and installed to adequately accommodates the local  
27 storm water runoff and shall be in accordance with the San Diego County Hydrology and  
28 Design Manual and in compliance with the City of Oceanside Engineers Design and  
29 Processing Manual to the satisfaction of the City Engineer.

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- 1 25. The drainage design shown on the improvement and precise grading plans, and the  
2 drainage report for this project is conceptual only. The final drainage report and drainage  
3 design shall be based upon a hydrologic/hydraulic study that is in compliance with the  
4 latest San Diego County Hydrology and Drainage Manual to be approved by the City  
5 Engineer during final engineering. All drainage picked up in an underground system shall  
6 remain underground until it is discharged into an approved channel, or as otherwise  
7 approved by the City Engineer. All storm drain easements shall be dedicated where  
8 required. The owner/developer shall be responsible for obtaining any off-site easements for  
9 storm drainage facilities.
- 10 26. Storm drain facilities shall be designed and located such that the inside travels lanes on  
11 streets with collector or above design criteria shall be passable during conditions of a 100-  
12 year frequency storm.
- 13 27. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and disposed  
14 of in accordance with all state and federal requirements, prior to stormwater discharge  
15 either off-site or into the City drainage system.
- 16 28. Prior to approval and issuance of a grading permit, the owner/developer shall provide a  
17 copy of the title/cover page of an approved Standard Development Project (SDP) –  
18 Storm Water Mitigation Plan (SDP-SWMP).
- 19 29. The owner/developer shall comply with all the provisions of the City's cable television  
20 ordinances including those relating to notification as required by the City Engineer.
- 21 30. Landscaping plans, including plans for the construction of walls, fences or other structures  
22 at or near intersections, must conform to intersection sight distance requirements.  
23 Landscape and irrigation plans for disturbed areas shall be submitted to the City Engineer  
24 prior to the issuance of a preliminary grading permit and approved by the City Engineer  
25 prior to the issuance of occupancy permits. Frontage landscaping shall be installed prior to  
26 the issuance of any certificates of occupancy. Any project fences, sound or privacy walls  
27 and monument entry walls/signs shall be shown on, bonded for and built from the  
28 landscape plans. These features shall also be shown on the precise grading plans for  
29 purposes of location only. Plantable, segmental walls shall be designed, reviewed and  
constructed by the grading plans and landscaped/irrigated through project landscape plans.

1 All plans must be approved by the City Engineer and a pre-construction meeting held,  
2 prior to the start of any improvements.

3 31. The approval of the project shall not mean that closure, vacation, or abandonment of any  
4 public street, right of way, easement, or facility is granted or guaranteed to the  
5 owner/developer. The owner/developer is responsible for applying for all closures,  
6 vacations, and abandonments as necessary. The application(s) shall be reviewed and  
7 approved or rejected by the City of Oceanside under separate process(es) per codes,  
8 ordinances, and policies in effect at the time of the application. The City of Oceanside  
9 retains its full legislative discretion to consider any application to vacate a public street  
10 or right of way.

11 32. The owner/developer shall obtain any necessary permits and clearances from all public  
12 agencies having jurisdiction over the project due to its type, size, or location, including but  
13 not limited to the U. S. Army Corps of Engineers, California Department of Fish & Game,  
14 U. S. Fish and Wildlife Service and/or San Diego Regional Water Quality Control Board  
15 (including NPDES), San Diego County Health Department, prior to the issuance of grading  
16 permits.

17 33. Approval of this development project is conditioned upon payment of all applicable impact  
18 fees and connection fees in the manner provided in chapter 32B of the Oceanside City  
19 Code. All traffic signal fees and contributions, highway thoroughfare fees, park fees,  
20 reimbursements, and other applicable charges, fees and deposits shall be paid prior the  
21 issuance of any building permits, in accordance with City Ordinances and policies.

22 34. Upon acceptance of any fee waiver or reduction by the owner/developer, the entire  
23 project will be subject to prevailing wage requirements as specified by Labor Code  
24 section 1720(b) (4). The owner/developer shall agree to execute a form acknowledging  
25 the prevailing wage requirements prior to the granting of any fee reductions or waivers.

26 35. In the event that the conceptual plan does not match the conditions of approval, the  
27 resolution of approval shall govern.

28 **Fire:**

29 36. Fire Department requirements shall be placed on building plans in the notes section.

30 37. Smoke and carbon monoxide alarms required per CBC, CRC and CFC. Locations must  
31 be shown on the building plans.

1 38. All proposed and existing fire hydrants within 400 feet of the project shall be shown on  
2 the site plan.

3 39. In accordance with the California Fire Code, approved addresses for residential  
4 occupancies shall be placed on the structure in such a position as to be plainly visible  
5 and legible from the street or roadway fronting the property.

6 40. Single family dwellings require 4 inch address numbers.

7 41. Plans shall be submitted to the Fire Prevention Bureau for plan check review and  
8 approval prior to the issuance of building permits.

9 42. Fire sprinklers required.

10 43. An approved NFPA 13D fire sprinkler system must be installed in each dwelling unit.

11 **Planning:**

12 44. This Regular Coastal Permit shall expire two years from the effective date of approval,  
13 unless implemented per the Zoning Ordinance or unless the Planning Commission grants  
14 a time extension.

15 45. This Regular Coastal Permit, as conditioned, approves the demolition of an existing 1,022  
16 square foot residence for the construction of three 1,188-sqaure foot residential units with  
17 two car garages located on existing 0.34-acre site at 2003 South Tremont Street. No  
18 deviation from the approved plans and exhibits shall occur without Planning Division  
19 approval. Substantial deviations shall require a revision to the Regular Coastal Permit or a  
20 new Regular Coastal Permit.

21 46. The applicant, permittee or any successor-in-interest shall defend, indemnify and hold  
22 harmless the City of Oceanside, its agents, officers or employees from any claim, action or  
23 proceeding against the City, its agents, officers, or employees to attack, set aside, void or  
24 annul an approval of the City, concerning Regular Coastal Permit (RC11-00005). The City  
25 will promptly notify the applicant of any such claim, action or proceeding against the  
26 City and will cooperate fully in the defense. If the City fails to promptly notify the  
27 applicant of any such claim action or proceeding or fails to cooperate fully in the  
28 defense, the applicant shall not, thereafter, be responsible to defend, indemnify or hold  
29 harmless the City.

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- 1 47. Prior to the issuance of building permits, compliance with the applicable provisions of the  
2 City's anti-graffiti ordinance (Ordinance No. 93-19/Section 20.25 of the City Code) shall be  
3 reviewed and approved by the Planning Division. These requirements, including the  
4 obligation to remove or cover with matching paint all graffiti within 24 hours, shall be  
5 noted on the Architectural Site Plan and shall be recorded in the form of a covenant  
6 affecting the subject property. A covenant or other recordable document approved by the  
7 City Attorney shall be prepared by the applicant and recorded prior to the issuance of  
8 building permits. The covenant shall provide that the property is subject to this  
9 resolution, and shall generally list the conditions of approval.
- 10 48. Prior to the transfer of ownership and/or operation of the site the owner shall provide a  
11 written copy of the applications, staff report and resolutions for the project to the new  
12 owner and or operator. This notification's provision shall run with the life of the project  
13 and shall be recorded as a covenant on the property.
- 14 49. The sight distance from the proposed driveway shall be shown on the final plans prior to  
15 occupancy release. The sight distance must be shown from the back of the sidewalk per  
16 standard drawing T-1 in the Engineering Manual. All landscaping must not obscure the  
17 sight lines from both the street and sidewalk.
- 18 50. Failure to meet any conditions of approval for this development shall constitute a violation  
19 of the Regular Coastal Permit.
- 20 51. Unless expressly waived, all current zoning standards and City ordinances and policies  
21 in effect at the time building permits are issued are required to be met by this project.  
22 The approval of this project constitutes the applicant's agreement with all statements in  
23 the Description and Justification and other materials and information submitted with this  
24 application, unless specifically waived by an adopted condition of approval.
- 25 52. Elevations, siding materials, colors, roofing materials and floor plans shall be  
26 substantially the same as those approved by the Planning Commission. These shall be  
27 shown on plans submitted to the Building Division and Planning Division.
- 28 53. A covenant or other recordable document approved by the City Attorney shall be  
29 prepared by the applicant and recorded prior to the issuance of building permits. The  
covenant shall provide that the property is subject to this resolution, and shall generally  
list the conditions of approval.

- 1 54. The project shall dispose of or recycle solid waste in a manner provided in Oceanside  
2 City Code section 13.3.
- 3 55. Photo documentation of structures shall be accomplished in the following manner:  
4 Format (4" x 5") to include black and white shots of all exterior elevations of the cultural  
5 resource, producing archival quality negatives and contacts. Interior shots shall be  
6 accomplished in the same format. Color slide photo documentation shall be required,  
7 the number of shots to be determined by the Oceanside Historic Preservation Advisory  
8 Commission (OHPAC). All documentation shall be accomplished under the direction of  
9 a designed member of the OHPAC and to the satisfaction of the City Planner.
- 10 56. A letter of clearance from the affected school district in which the property is located  
11 shall be provided as required by City policy at the time building permits are issued.
- 12 57. Prior to issuance of a building permit, the applicant and landowner shall execute and  
13 record a covenant, in a form and content acceptable to the City Attorney, providing that  
14 the property is subject to this resolution and all conditions of approval.

14 **Water Utilities:**

- 15 58. The developer will be responsible for developing all water and sewer utilities necessary to  
16 develop the property. Any relocation of water and/or sewer utilities is the responsibility of  
17 the developer and shall be done by an approved licensed contractor at the developer's  
18 expense.
- 19 59. The property owner shall maintain private water and wastewater utilities located on private  
20 property.
- 21 60. Water services and sewer laterals constructed in existing right-of-way locations are to be  
22 constructed by approved and licensed contractors at developer's expense.
- 23 61. All Water and Wastewater construction shall conform to the most recent edition of the  
24 Water, Sewer and Reclaimed Water Design and Construction Manual (Water Design  
25 Manual) or as approved by the Water Utilities Director.
- 26 62. Residential units shall be metered individually. Private utility systems for residential  
27 developments are not allowed. If these homes are intended as rental units and shall have  
28 one owner, then they will be allowed to share a common domestic water meter. However,  
29 if these units are intended to be sold, then each home shall have a separate water and sewer  
service.

- 1 63. The public sewer main shall be extended within Vista Way from the alley between  
2 Tremont Street and Broadway to the property. This sewer main shall meet all City Design  
3 Requirements as stated in the Water Design Manual.
- 4 64. All public water and/or sewer facilities not located within the public right-of-way shall be  
5 provided with easements sized according to the Water, Sewer, and Reclaimed Water  
6 Design and Construction Manual. Easements shall be constructed for all weather access.
- 7 65. No trees, structures or building overhang shall be located within any water or wastewater  
8 utility easement.
- 9 66. All lots with a finish pad elevation located below the elevation of the next upstream  
10 manhole cover of the public sewer shall be protected from backflow of sewage by installing  
11 and maintaining an approved type backwater valve, per the Uniform Plumbing Code  
12 (U.P.C.).
- 13 67. A separate irrigation meter and approved backflow prevention device is required and shall  
14 be displayed on the plans.
- 15 68. Water and Wastewater Buy-in fees and the San Diego County Water Authority Fees are to  
16 be paid to the City and collected by the Water Utilities Department at the time of Building  
17 Permit issuance.
- 18 69. All Water Utilities Fees are due at the time of building permit issuance per City Code  
19 Section 32B.7, unless the developer/applicant applies and is approved for a deferral of all  
20 fees per City of Oceanside Ordinance No. 09-OR0676-1.

20 ///////////////  
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1 70. All new development of single-family and multi-family residential units shall include hot  
2 water pipe insulation and installation of a hot water recirculation device or design to  
3 provide hot water to the tap within 15 seconds in accordance with City of Oceanside  
4 Ordinance No. 02-OR126-1.

5 PASSED AND ADOPTED Resolution No. 2011-P43 on November 14, 2011 by the  
6 following vote, to wit:

7 AYES:

8 NAYS:

9 ABSENT:

10 ABSTAIN:

11 \_\_\_\_\_  
Tom Rosales, Chairperson  
12 Oceanside Planning Commission

13 ATTEST:

14 \_\_\_\_\_  
Jerry Hittleman, Secretary

15 I, JERRY HITTLEMAN, Secretary of the Oceanside Planning Commission, hereby certify that  
16 this is a true and correct copy of Resolution No. 2011-P43.  
17

18 Dated: November 14, 2011

19 Applicant accepts and agrees with all conditions of approval and acknowledges impact fees may  
20 be required as stated herein:  
21

22 \_\_\_\_\_  
Applicant/Representative

\_\_\_\_\_ Date

OCT 11 2001

Planning Department

**PROJECT DATA:**

**OWNER:** DAKMIN, INC.  
 C/O L.D. THALUNY / SUSAN GARNER  
 3386 BAYSIDE WALK  
 SAN DIEGO, CA 92109  
 (619) 506-0300

**SITE ADDRESS:**  
 2003 S. TREMONT ST.  
 OCEANSIDE, CA 92054

**LEGAL DESCRIPTION:**  
 A PORTION OF LOTS 1, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

**APN:** 155 - 033 - 03  
**ZONE:** R-3 (RM - C)

**LOT AREA:** 13333 SF 0.306 AC

**BUILDING FOOTPRINT:**

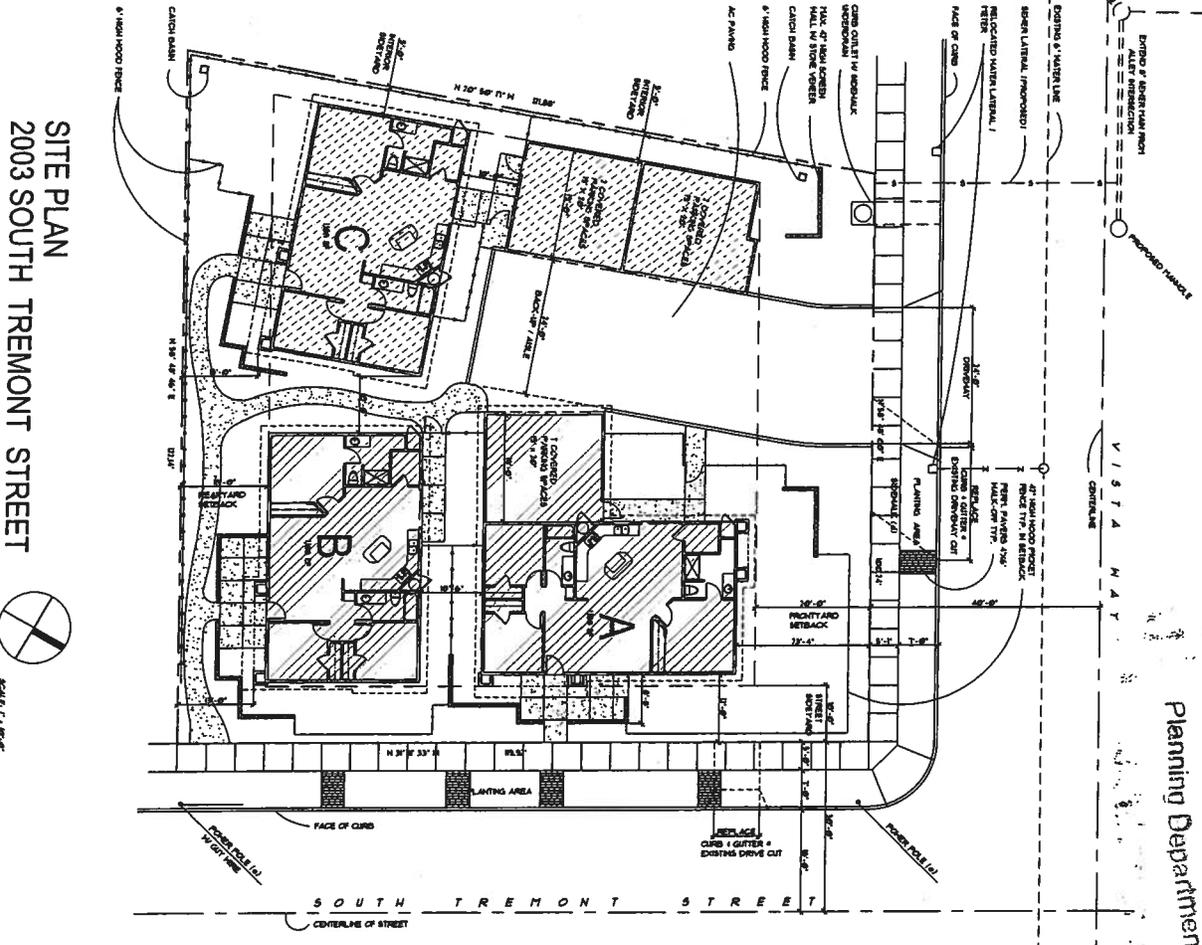
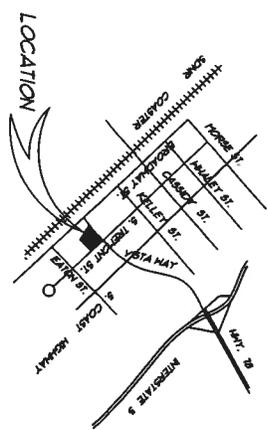
UNIT A	1080 SF
UNIT B	1080 SF
UNIT C	1080 SF
ATTACHED GARAGE	4066 SF
GARAGE	833 SF
<b>TOTAL AREA</b>	<b>4805 SF</b>

**COVERAGE:** 36%

**LANDSCAPE AREA:** 6,193 SF (29%)

**PAVEMENT AREA:** 1,145 SF (3%)

**PARKING REQUIRED:** 2 SPACES PER UNIT \* 6 SPACES ENCLOSED



**SITE PLAN**  
**2003 SOUTH TREMONT STREET**



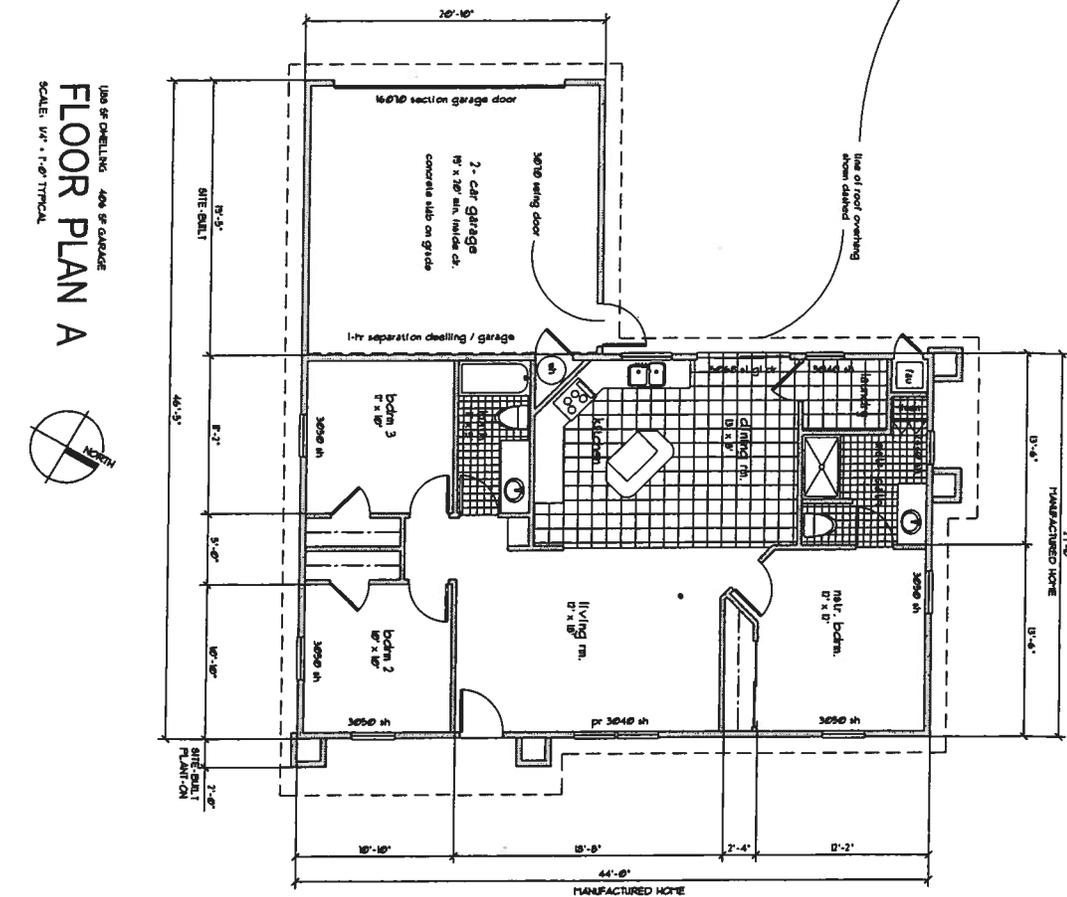
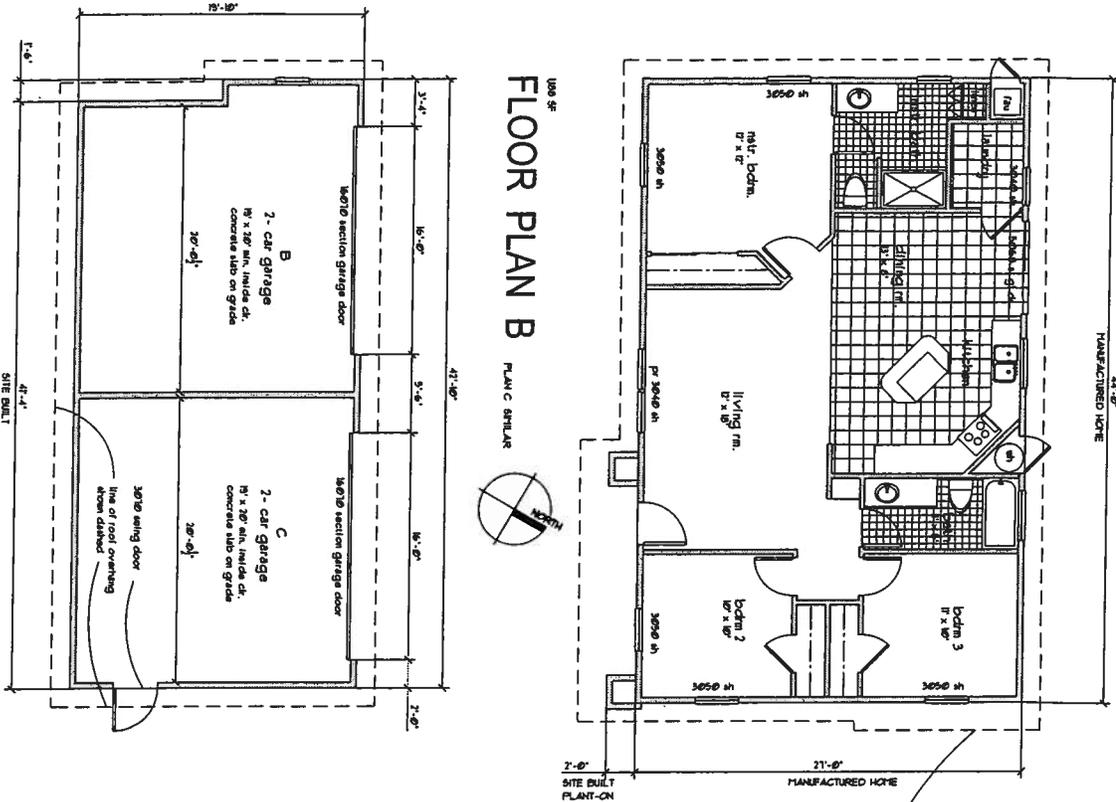
SCALE: 1" = 8'-0"

- NOTES:**
- CONSTRUCTION SHALL VERIFY WITH THE 2008 EDITION OF THE CALIFORNIA BUILDING CODES.
  - CONSTRUCTION SHALL BE LIMITED TO 1.41 TO 1.61 TYPICAL THROUGH HEIGHT.
  - EXTENSION LIGHTING SHALL BE LIMITED TO 1.41 TO 1.61 TYPICAL THROUGH HEIGHT.
  - CALIFORNIA GREEN BUILDING CODE: A PHOTOGRAPHIC SURVEY SHALL BE PROVIDED FOR THE PROPERTY LOT SHOWING ALL UTILITIES.
  - NOISE INSULATION AND SOUND ATTENUATION SHALL BE PROVIDED FOR A TYPICAL UNIT HALL, RESIDENT STRUCTURE, AND OFFICE OF THE PROJECT MANAGER AND OWNER.

**TREMONT III DAKMIN, INC.**  
 2003 S. Tremont Ave.  
 OCEANSIDE CALIFORNIA

DATE: JAN 24, 2001  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 APPROVED BY: [Signature]  
 PROJECT: [Project Name]

paid d. glass  
 design & construction  
 1025 W. 10th St. #100  
 OCEANSIDE, CA 92054  
 (619) 434-1111



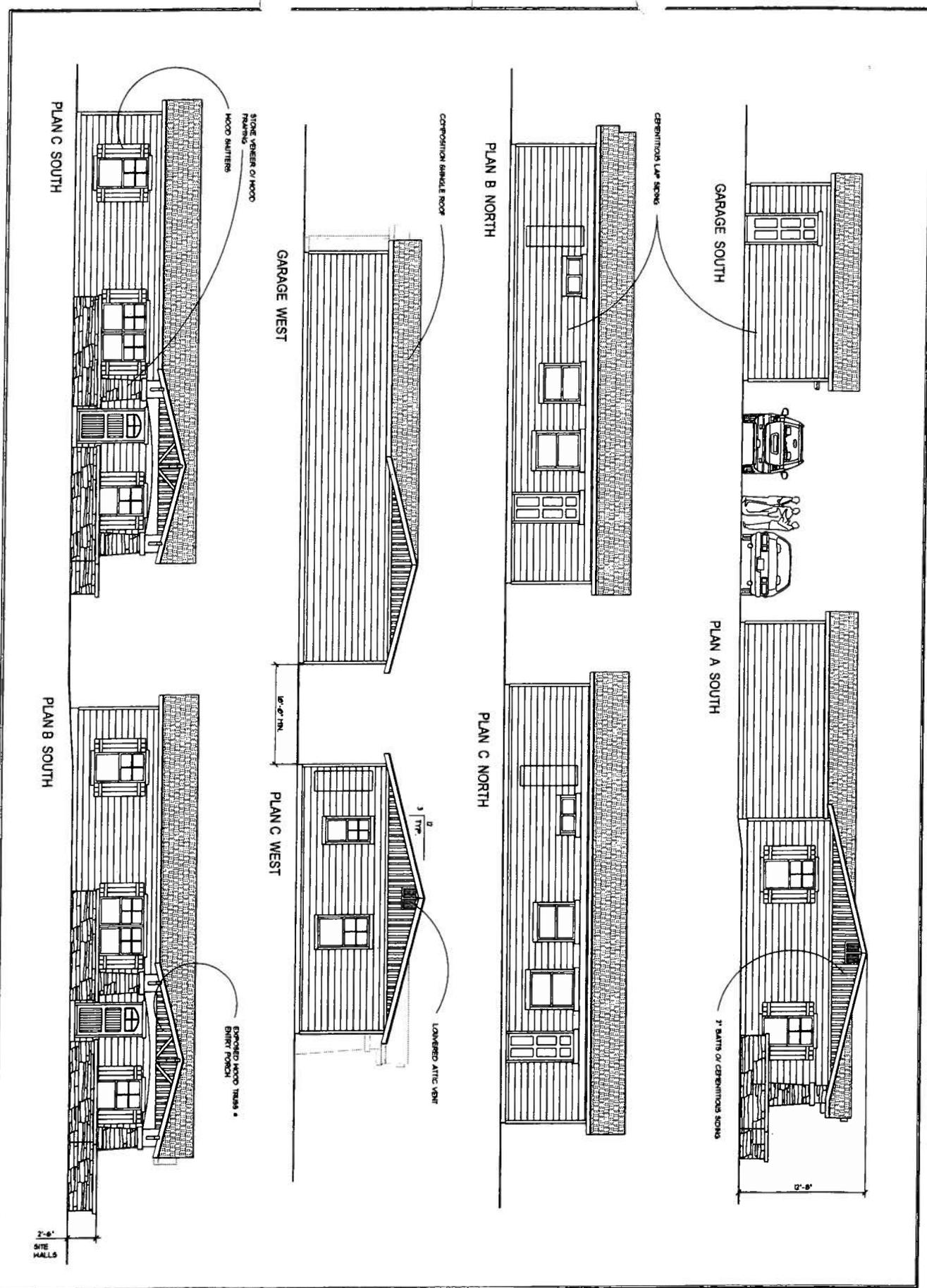
835 sq ft  
**GARAGE PLAN**



DATE:	JAN 24, 2000
DESIGNED BY:	PAUL D. GIBSON
DRAWN BY:	PAUL D. GIBSON
CHECKED BY:	PAUL D. GIBSON
APPROVED BY:	PAUL D. GIBSON
SCALE:	1/4" = 1'-0" TYPICAL



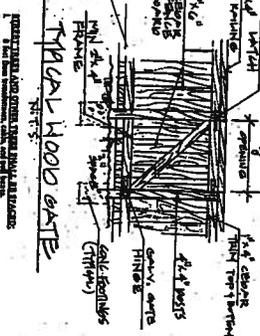
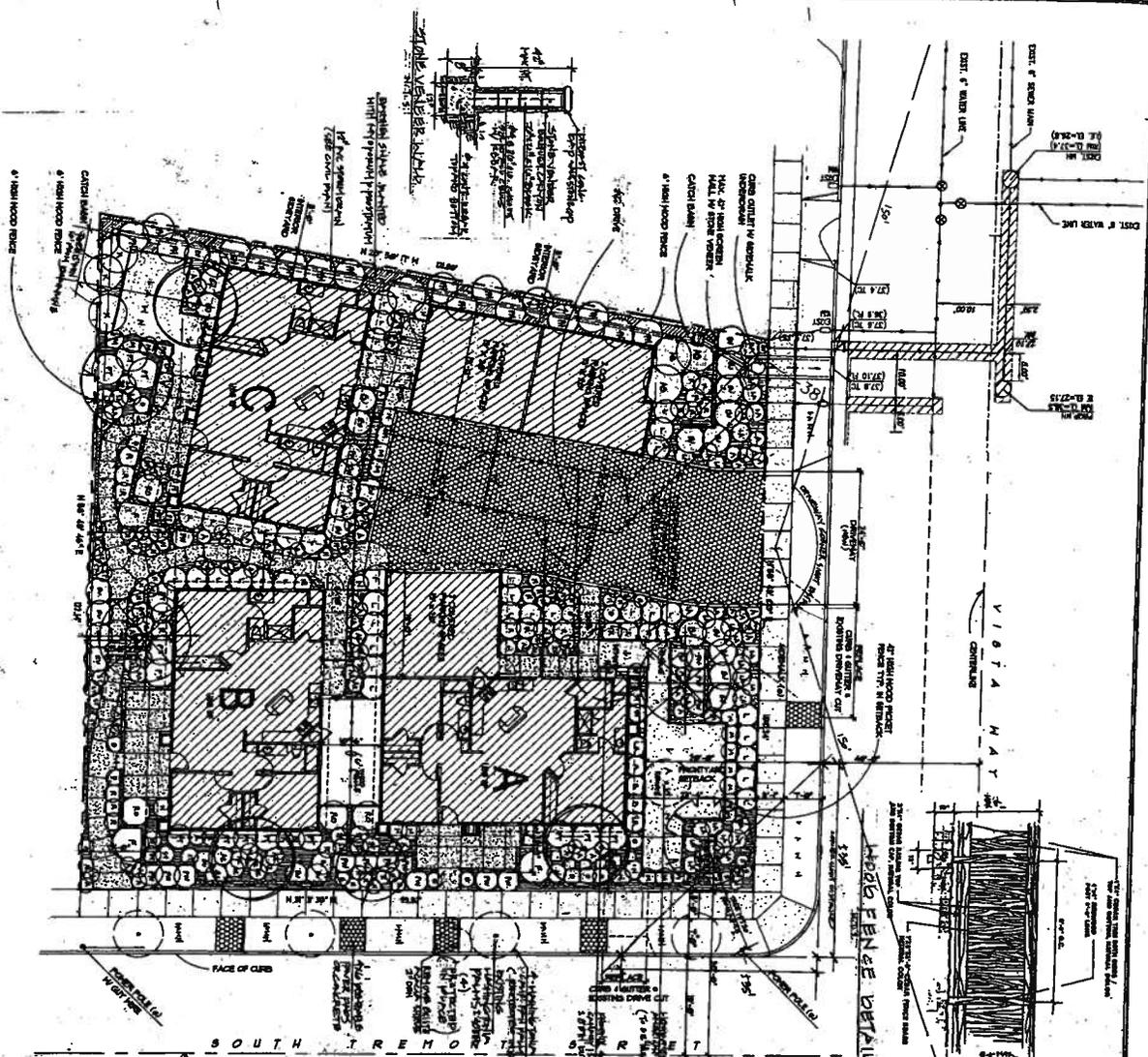






# 2003 SOUTH TREMONT STREET

## PLANTING PLAN



**PLANTING SCHEDULE**

PLANTING	QUANTITY	NOTES
1. 12\"/>		

**PLANTING SCHEDULE**

PLANTING	QUANTITY	NOTES
1. 12\"/>		

**APPROVED CHANGES:**

NO.	DATE	DESCRIPTION

**BENCHMARK:**  
 CONCEPTUAL LANDSCAPE PLAN  
 2003 S. TREMONT ST  
 OCEANSIDE, CALIFORNIA

**CONCEPTUAL LANDSCAPE PLAN**  
**TREMONT III DAKMIN, INC.**  
 2003 S. Tremont Ave.  
 OCEANSIDE CALIFORNIA

**TYPICAL PLANTING NOTES**

All planting areas shall be based on a detailed site plan showing the location of all plants, trees, shrubs, and other vegetation. The plan shall also show the location of all irrigation lines, valves, and other utilities. The plan shall be prepared in accordance with the following specifications:

1. All plants shall be specified by name, size, and quantity.
2. All plants shall be specified by name, size, and quantity.
3. All plants shall be specified by name, size, and quantity.
4. All plants shall be specified by name, size, and quantity.
5. All plants shall be specified by name, size, and quantity.
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14. All plants shall be specified by name, size, and quantity.
15. All plants shall be specified by name, size, and quantity.
16. All plants shall be specified by name, size, and quantity.

**LANDSCAPE ARCHITECT 1814**  
**JAMES R. IVERSEN**  
 1415 MACKINNON AVENUE  
 CARDIFF, CALIFORNIA 92007  
 (760) 942-1742

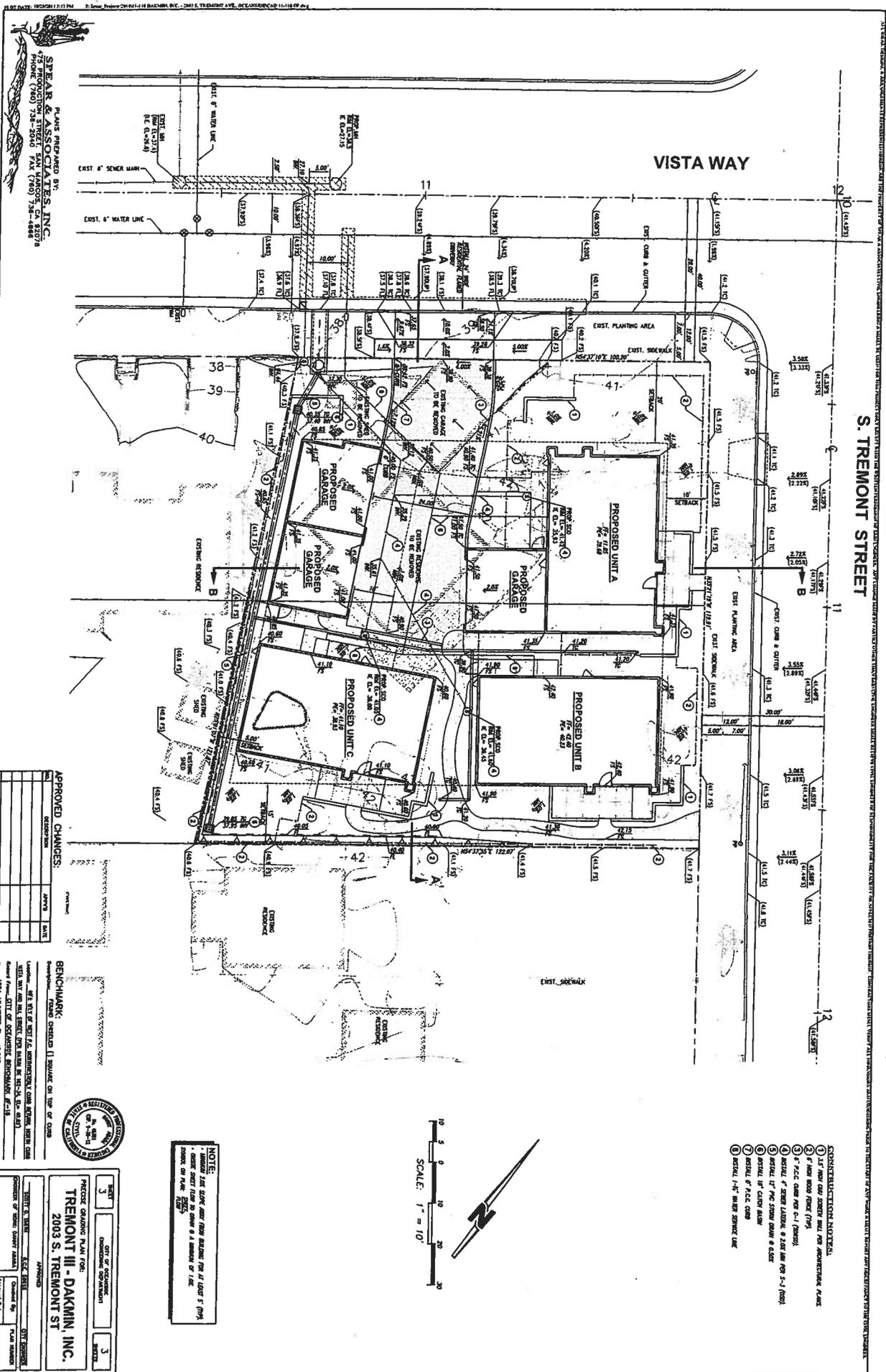
**CONCEPTUAL LANDSCAPE PLAN**  
**TREMONT III DAKMIN, INC.**  
 2003 S. Tremont Ave.  
 OCEANSIDE CALIFORNIA











PLANS PREPARED BY:  
**SPEAR & ASSOCIATES, INC.**  
 475 PRODUCTION AVENUE  
 PHOENIX, ARIZONA 85004  
 PHONE (700) 736-2040 FAX (700) 736-4888

APPROVED CHANGES:

NO.	DESCRIPTION	APPROVED	DATE

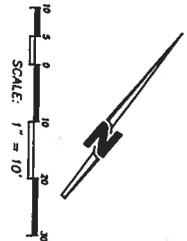
**BENCHMARK:**  
 CORNER OF S. TREMONT ST. & S. DAKMIN ST.  
 ELEVATION: 1087.50



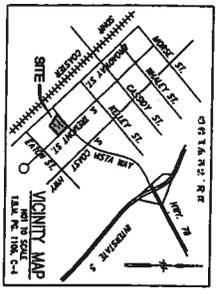
**TREMONT III - DAKMIN, INC.**  
 2003 S. TREMONT ST.

DATE: 08/11/03  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 APPROVED BY: [Name]

**NOTE:**  
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 2. EXISTING UTILITIES SHOWN AS DOTTED LINES.  
 3. ALL PROPOSED UTILITIES TO BE INSTALLED AS SHOWN.



- CONSTRUCTION NOTES:**
1. SET NEW CURB AND GUTTER WITH NEW APPROVED MARK.
  2. 6" FIBER REINFORCED CONCRETE (FRC).
  3. 4" FRC CURB WITH 6" FIBER REINFORCEMENT.
  4. INSTALL 6" STAINLESS STEEL & 3/8" DIA. W/ 5'-1" (LONG).
  5. INSTALL 1/2" PVC STAINLESS STEEL & 3/8" DIA.
  6. INSTALL 1/2" PVC CURB WITH 6" FIBER REINFORCEMENT.
  7. INSTALL 6" FRC CURB.
  8. INSTALL 1/2" W/ 6" FIBER REINFORCEMENT.



**GENERAL NOTES**

1. THE CONTRACTOR SHALL NOTIFY THE SAN DIEGO GAS AND ELECTRIC SERVICE COMPANY (SDG&E) AND TELEPHONE COMPANY (TELEPHONE COMPANY) AT LEAST 48 HOURS BEFORE ANY WORK BEGINS TO ALLOW THEM TO LOCATE AND MARK ALL EXISTING GAS, WATER, AND TELEPHONE LINES. ALL UTILITIES SHALL BE PROTECTED AND REPAIRED AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA.
2. A PERMIT SHALL BE OBTAINED FROM THE CITY TEMPORARILY/OCCUPANCY DEPARTMENT FOR WORK WITHIN EXISTING/EXISTING OCCUPANCY DEPARTMENT JURISDICTION.
3. THE CONTRACTOR SHALL NOTIFY THE CITY OF OCCUPANCY TEMPORARILY/OCCUPANCY DEPARTMENT 48 HOURS BEFORE WORK BEGINS TO OBTAIN A PERMIT TO OCCUPY PUBLIC RIGHT-OF-WAY. PHONE CALL: (760)335-5081.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA.
6. ALL UTILITIES SHALL BE PROTECTED AND REPAIRED AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA.
7. CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA.
8. ALL UTILITIES SHALL BE PROTECTED AND REPAIRED AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA.
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16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA.

PLANS PREPARED BY:  
**SPEAR & ASSOCIATES, INC.**  
 7300 PROCESSION STREET, SAN JUANITO, CA 92078  
 TEL: (760) 734-1888

**GENERAL NOTES, CONTINUED**

17. EXISTING UTILITIES SHALL BE PROTECTED AND REPAIRED AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA.
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**DECLARATION OF ENGINEER OF WORK**

I, the undersigned, being duly licensed as a Professional Engineer in the State of California, do hereby certify that the plans and specifications for the above described project were prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of California. I am not aware of any fraud or deception in the preparation of these plans and specifications. I am not aware of any fraud or deception in the preparation of these plans and specifications. I am not aware of any fraud or deception in the preparation of these plans and specifications.

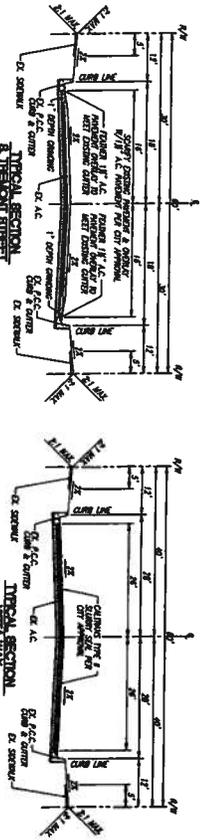
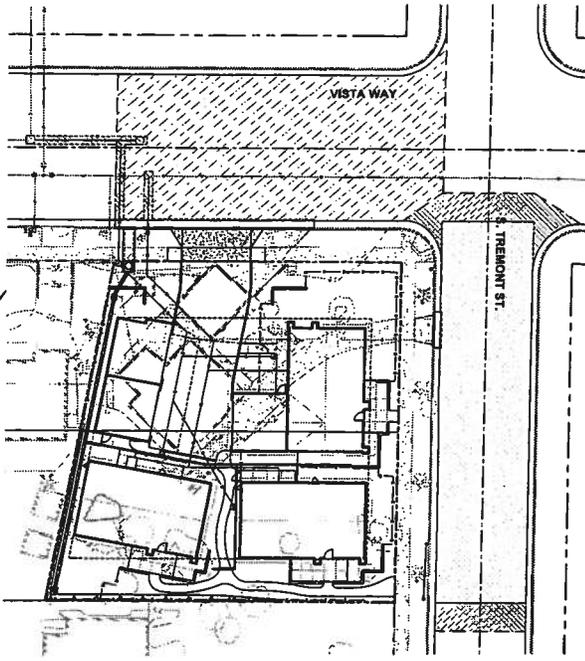
DATE: 10/15/13  
 DWYER ABRAHAM

**AS BUILT CERTIFICATION**

I, the undersigned, being duly licensed as a Professional Engineer in the State of California, do hereby certify that the above described project was completed in accordance with the plans and specifications prepared by me or under my direct supervision. I am not aware of any fraud or deception in the preparation of these plans and specifications. I am not aware of any fraud or deception in the preparation of these plans and specifications. I am not aware of any fraud or deception in the preparation of these plans and specifications.



**TREMONT AND VISTA WAY  
 WATER AND SEWER IMPROVEMENTS**



Unauthorized Services Allowed  
 Call: TOLL FREE  
 1-800-422-4133

APPROVED BY TRANSPORTATION  
 DATE: \_\_\_\_\_

APPROVED BY WATER UTILITIES  
 DATE: \_\_\_\_\_

APPROVED BY THE DISTRICT  
 DATE: \_\_\_\_\_

APPROVED CHANGES:  
 NO. DESCRIPTION DATE

BENCHMARK: NONE CHECKED 11 SQUARE ON TOP OF CURB  
 2003 S. TREMONT ST  
 2003 S. TREMONT ST

**WORK TO BE DONE:**  
 IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THE CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLIC WORKS STANDARD SPECIFICATIONS AND SPECIAL CITY ORDINANCES OR STANDARD SPECIFICATIONS AND STANDARD REFERENCE DRAWINGS.

IMPROVEMENTS	SID. DIMS.	SYMBOL	QUANTITY
PROPERTY BOUNDARY			
DESIGN CONDITIONS			
EXISTING WATER LINE			
EXISTING SEWER LINE			
EXISTING GAS LINE			
1.5" AC PARALLEL OVERLAY			430 SF
1.5" AC PARALLEL OVERLAY TRANSITION			900 SF
CATCH BASIN TYPE 1 SLOTTED S&A	0-7' (RSD)		5,870 SF
CONCRETE SIDEWALK	1-1.5' (RSD)		116 SF
TRENCH REINFORCING	0-4' (RSD)		300 SF
CURB & GUTTER	0-4' (RSD)		82 LF
DREWEWAY	0-14' (RSD)		200 SF
CURB OUTLET - TYPE A	0-25' (RSD)		1 EA
REGULATED WATER SERVICE	0-1' (RSD)		1 EA
SEWER LATERAL	0-1' (RSD)		1 EA
SEWER MAIN	0-1' (RSD)		15 LF

**SHEET INDEX**

SHEET 1 - THIS SHEET  
 SHEET 2 - SEWER & WATER MAINS  
 SHEET 3 - FORM & FINISH

**REFERENCE DRAWINGS**

SDG&E 100-100  
 SDG&E 100-100  
 SDG&E 100-100

**LEGAL DESCRIPTION**

A PORTION OF LOT 1 A & B IN BLOCK 9 OF SOUTH OAKMONT TRACT, BEING A SUBDIVISION OF A PORTION OF THE COUNTY RECORDS OF SAN DIEGO COUNTY, SEPTEMBER 14, 1989.

**APN**

155-03-03

**OWNER / PERMITTEE**

LAURENCE J. DUNN  
 1345 WILSON BLVD SUITE 100  
 SAN DIEGO, CA 92108

**SITE ADDRESS**

2003 S. TREMONT ST  
 SAN DIEGO, CA 92108

WDD# N/A

PROJECT: TREMONT AND VISTA WAY WATER AND SEWER IMPROVEMENTS

SHEET: 1 OF 3

DATE: 10/15/13

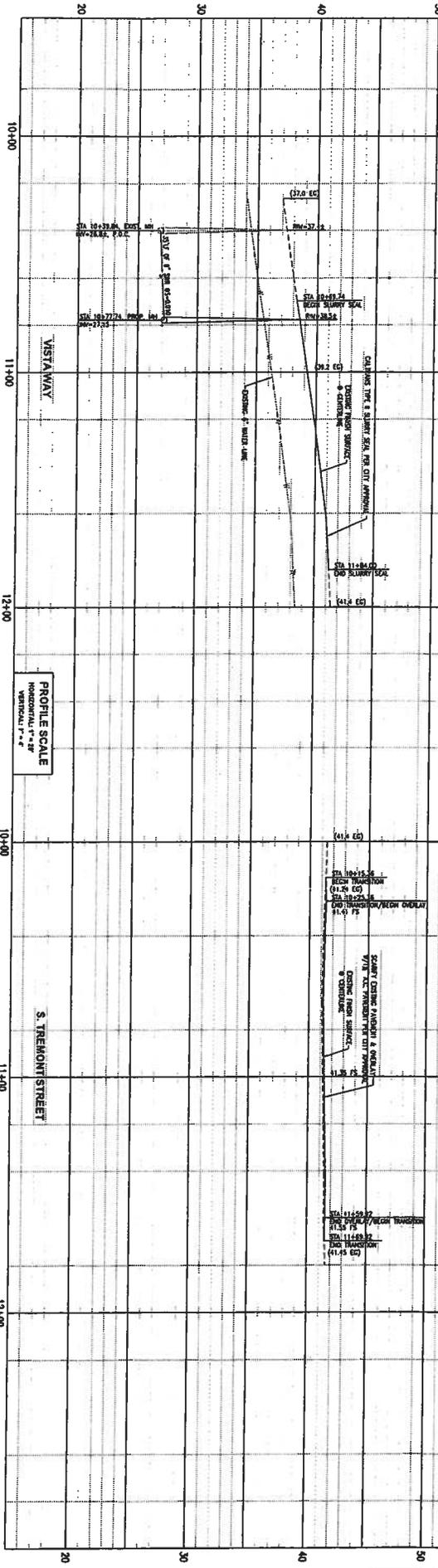
DESIGNED BY: DWYER ABRAHAM

CHECKED BY: DWYER ABRAHAM

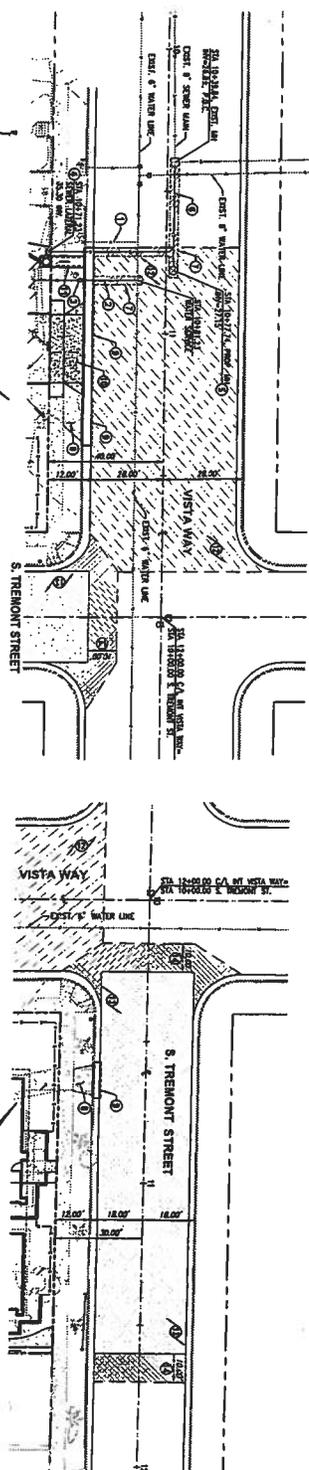
APPROVED BY: DWYER ABRAHAM



**NOTE:**  
 THIS IS A PRELIMINARY PLAN. THE LOCATION OF ALL UTILITIES AND THE EXACT LOCATION OF ALL STRUCTURES SHALL BE DETERMINED BY FIELD SURVEY. THE ENGINEER ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.



**PROFILE SCALE**  
 HORIZONTAL SCALE: 1" = 40'  
 VERTICAL SCALE: 1" = 4'



**SCALE: 1" = 20'**

**SCALE: 1" = 20'**

**PAVEMENT NOTE:**  
 PAVEMENT SHALL BE CONCRETE ON A 4" SAND FILL. THE CONCRETE SHALL BE 12" THICK AND SHALL BE PLACED IN 6" COURSES. THE JOINTS SHALL BE PLACED AT 12' INTERVALS. THE JOINTS SHALL BE REINFORCED WITH 2 #4 BARS. THE JOINTS SHALL BE REINFORCED WITH 2 #4 BARS. THE JOINTS SHALL BE REINFORCED WITH 2 #4 BARS.

PLANS PREPARED BY:  
**SPEAR & ASSOCIATES, INC.**  
 2003 S. TREMONT STREET, SAN JUAN, CA 95076  
 TEL: (408) 486-1888  
 FAX: (408) 486-1889

**APPROVED CHANGES:**

NO.	DESCRIPTION	DATE

**BENCHMARK:**  
 CHANGING (1) SQUARE ON TOP OF CURB  
 ELEVATION: 10.00  
 DATE: 10/18/03  
 BY: J. B. SPEAR



**TREMONT III - DAKMIN, INC.**  
 2003 S. TREMONT ST.

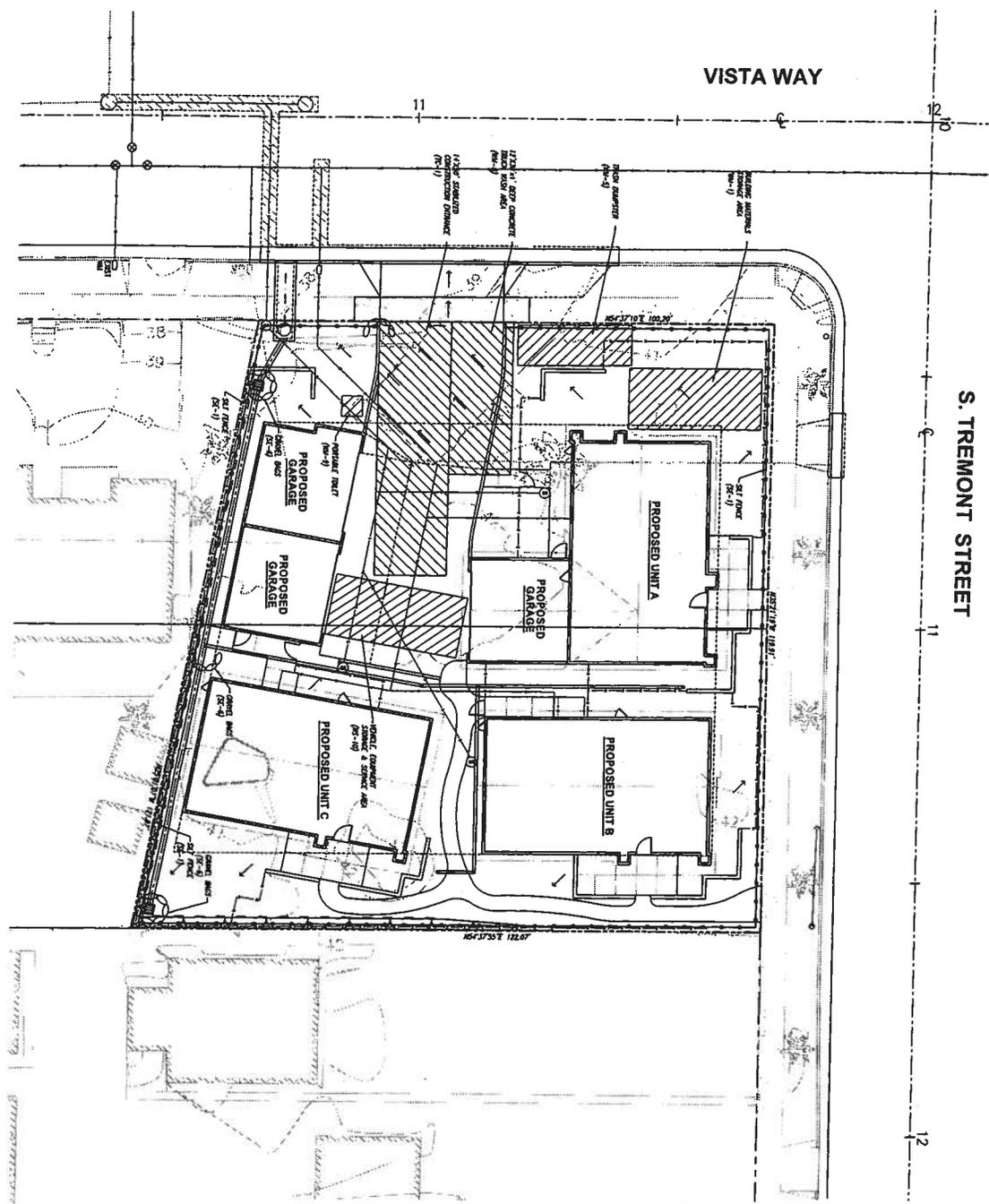
PROJECT APPROVED PLANS FOR:  
 CITY OF SAN JUAN  
 PROJECT NO. 03-001  
 SHEET NO. 3

DATE: 10/18/03  
 BY: J. B. SPEAR

- CONSTRUCTION NOTES:**
1. EXISTING UTILITIES TO BE REMOVED & REINSTALLED AT EXISTING DEPTHS.
  2. INSTALL 12" WATER SERVICE PIPING 8'-4" (TYP).
  3. INSTALL 12" WATER MAIN AND MAIN 8'-4" (TYP).
  4. INSTALL 12" WATER MAIN AND MAIN 8'-4" (TYP).
  5. INSTALL 12" WATER MAIN AND MAIN 8'-4" (TYP).
  6. INSTALL 12" WATER MAIN AND MAIN 8'-4" (TYP).
  7. EXISTING 12" WATER MAIN AND MAIN 8'-4" (TYP).
  8. EXISTING 12" WATER MAIN AND MAIN 8'-4" (TYP).
  9. EXISTING 12" WATER MAIN AND MAIN 8'-4" (TYP).
  10. EXISTING 12" WATER MAIN AND MAIN 8'-4" (TYP).
  11. EXISTING 12" WATER MAIN AND MAIN 8'-4" (TYP).
  12. EXISTING 12" WATER MAIN AND MAIN 8'-4" (TYP).
  13. EXISTING 12" WATER MAIN AND MAIN 8'-4" (TYP).
  14. EXISTING 12" WATER MAIN AND MAIN 8'-4" (TYP).
  15. EXISTING 12" WATER MAIN AND MAIN 8'-4" (TYP).
  16. EXISTING 12" WATER MAIN AND MAIN 8'-4" (TYP).
  17. EXISTING 12" WATER MAIN AND MAIN 8'-4" (TYP).
  18. EXISTING 12" WATER MAIN AND MAIN 8'-4" (TYP).
  19. EXISTING 12" WATER MAIN AND MAIN 8'-4" (TYP).
  20. EXISTING 12" WATER MAIN AND MAIN 8'-4" (TYP).



PLANS PREPARED BY:  
**SPEAR & ASSOCIATES, INC.**  
 412 PRODUCTION STREET, SAN MARCOS, CA 92076  
 PHONE (760) 736-2040 FAX (760) 736-4668



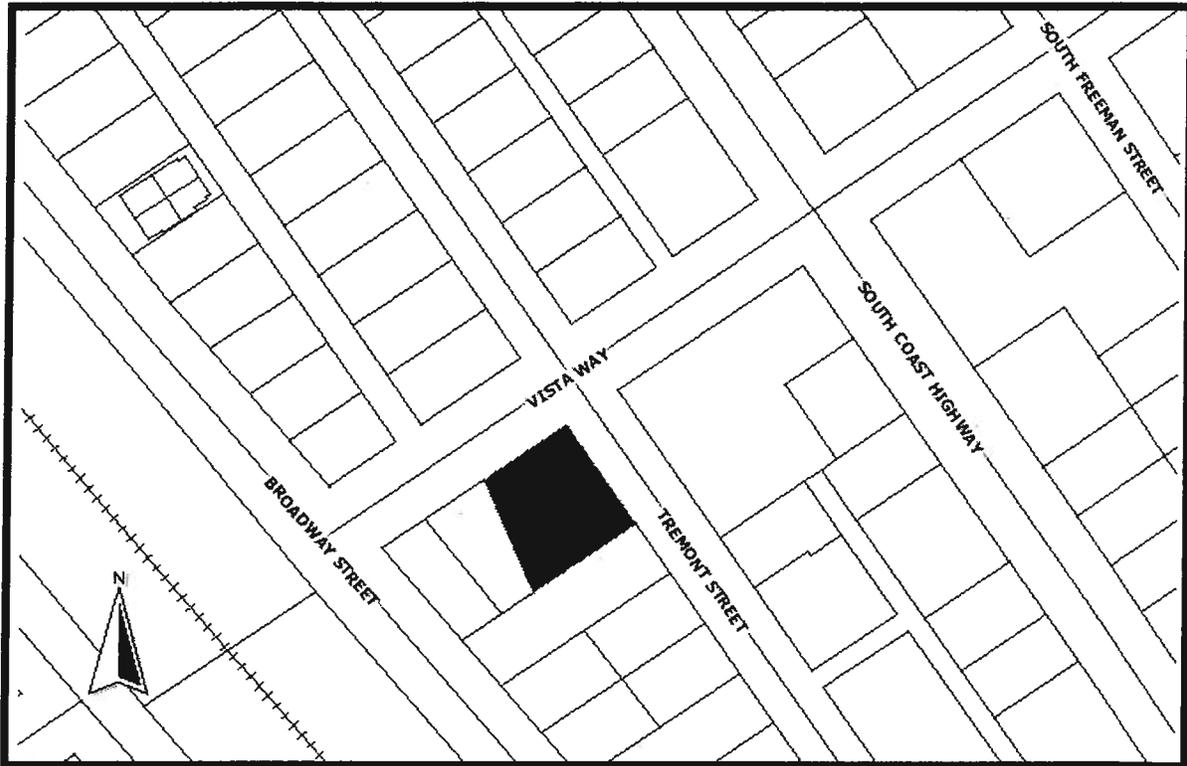
APPROVED CHANGES:

NO.	DESCRIPTION	APPROV.	DATE

**BENCHMARK:**  
 CORNER OF S. TREMONT ST. & VISTA WAY  
 1.000000 0.000000 11.000000 12.000000  
 1.000000 0.000000 11.000000 12.000000  
 1.000000 0.000000 11.000000 12.000000



2	CITY OF CALIFORNIA	2
ENGINEERING PLAN FOR <b>TREMONT III - DAKMIN, INC.</b> 2003 S. TREMONT ST.		
DATE: 12/15/11 DRAWN BY: [Name] CHECKED BY: [Name]	SCALE: 1" = 10' SHEET NO. 12 OF 12	PROJECT NO. 11-12-11



**File Numbers: RC11-00005**

**Applicant: DAKMIN INC.**

**Description:**

REGULAR COASTAL PERMIT (RC11-00005) to permit the demolition of an existing single-family residence to allow the construction of three residential units located at 2003 South Tremont Street. Situated within the South Oceanside Neighborhood Planning Area and the Coastal Zone, the subject properties bear a land use designation of Urban High-Density Residential (UHD-R) and a zoning designation of Medium Density Residential (R3). – **DAKMIN SFD**

**Environmental Determination:**

The project is exempt from the California Environmental Quality Act.

City of Oceanside, Planning Division  
300 N. Coast Highway  
Oceanside, CA 92054 - (760) 435-3520



### Application for Public Hearing

Community Development Department / Planning Division  
(760) 435-3520  
Oceanside Civic Center 300 North Coast Highway  
Oceanside, California 92054-2885

#### STAFF USE ONLY

ACCEPTED

BY

4/27/11

SN.

Please Print or Type All Information

HEARING

#### PART I - APPLICANT INFORMATION

GPA

1. APPLICANT

2. STATUS

DAKMIN INV.

MASTER/SP.PLAN

ZONE CH.

3. ADDRESS

4. PHONE/FAX/E-mail

3380 BAYSIDE WALK SD 92109 (760) 500 1830

TENT. MAP

PAR. MAP

5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing)  
L. DAVID MATHEW

DEV. PL.

C.U.P.

6. ADDRESS

7. PHONE/FAX/E-mail

1029 1/2 S. TREMONT OCEANSIDE, CA 92054 (760) 500-1830

VARIANCE

COASTAL

RC11-00005

O.H.P.A.C.

#### PART II - PROPERTY DESCRIPTION

8. LOCATION

9. SIZE

2003 S. TREMONT @ VISTA WAY

13,333 SF (0.306 AC)

10. GENERAL PLAN

11. ZONING

12. LAND USE

13. ASSESSOR'S PARCEL NUMBER

MF RES.

R3 (R.M.-C)

SF DWELLING

155-0377-03

#### PART III - PROJECT DESCRIPTION

14. GENERAL PROJECT DESCRIPTION

CONSTRUCTION / REPAIRMENT OF (3) MANUFACTURED HOMES (ONE W/ ATTACHED 2 CAR GARAGE) SEPARATE (4) CAR GARAGE AND SITE IMPROVEMENTS

15. PROPOSED GENERAL PLAN

16. PROPOSED ZONING

17. PROPOSED LAND USE

18. NO. UNITS

19. DENSITY

MF RES

R3

RESIDENTIAL

3

9.8 UNITS/AC

20. BUILDING SIZE

21. PARKING SPACES

22. % LANDSCAPE

23. % LOT COVERAGE or FAR

9,806 SF

(6) COVERED

50

30%

#### PART IV - ATTACHMENTS

24. DESCRIPTION/JUSTIFICATION

25. LEGAL DESCRIPTION

26. TITLE REPORT

27. NOTIFICATION MAP & LABELS

28. ENVIRONMENTAL INFO FORM

29. PLOT PLANS

30. FLOOR PLANS AND ELEVATIONS

31. CERTIFICATION OF POSTING

32. OTHER (See attachment for required reports)

#### PART V - SIGNATURES

33. APPLICANT OR REPRESENTATIVE (Print):

34. DATE

SIGNATURES OF ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).

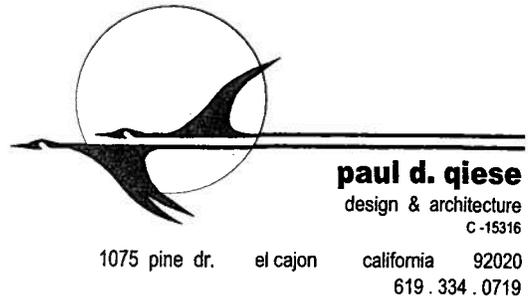
Sign:

35. OWNER (Print)

36. DATE

I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

Sign:



April 14, 2011

**Project:** 2003 S. Tremont St., Oceanside  
Assessor's Parcel No. 155-33-03

### **Project description**

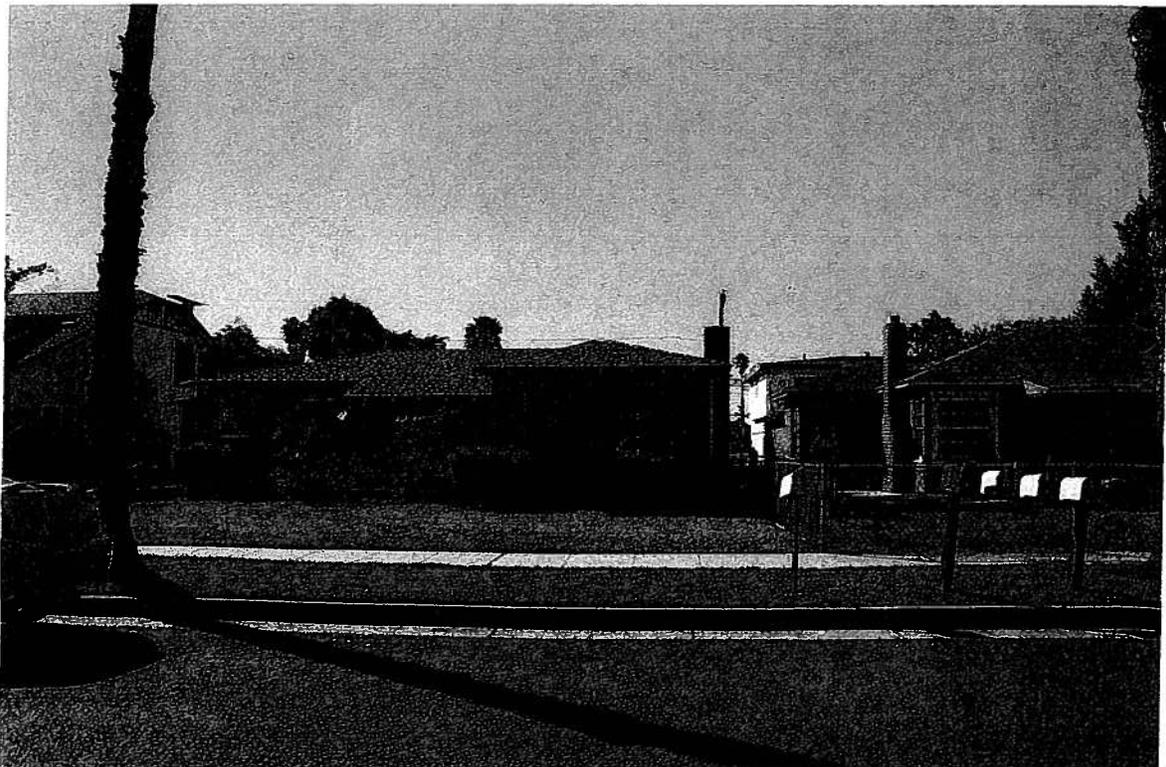
DAKMIN, Inc are owners of the existing 1,022 sf single family dwelling (rental) unit located at 2003 S. Tremont St., including a separate 285 sf garage. The residence, built in the late 1940's has experienced constant maintenance and performance issues, the least of which will require the replacement of the sewer lateral serving the lot. Single glazed windows, lack of insulation, an inefficient heating system and an outdated electrical system are additional issues leading the owners to determine that replacement of the unit is the fiscally responsible thing to do.

DAKMIN, Inc. is proposing to demolish the existing residence / garage and replace it with three 1,188 sf single family homes, one with an attached two car garage and a separate 835 sf four car garage. Each garage contains two of the required 9' x 20' parking spaces for a total of six, or two covered parking spaces per unit. The new units are proposed to be pre-manufactured homes delivered to the site and anchored on permanent concrete foundations. Architectural enhancements such as porches and 'pop-outs' will be constructed on to the units once they are placed. The units will meet all current code requirements including fire sprinklers. The attached two car garage and the separate four car garage

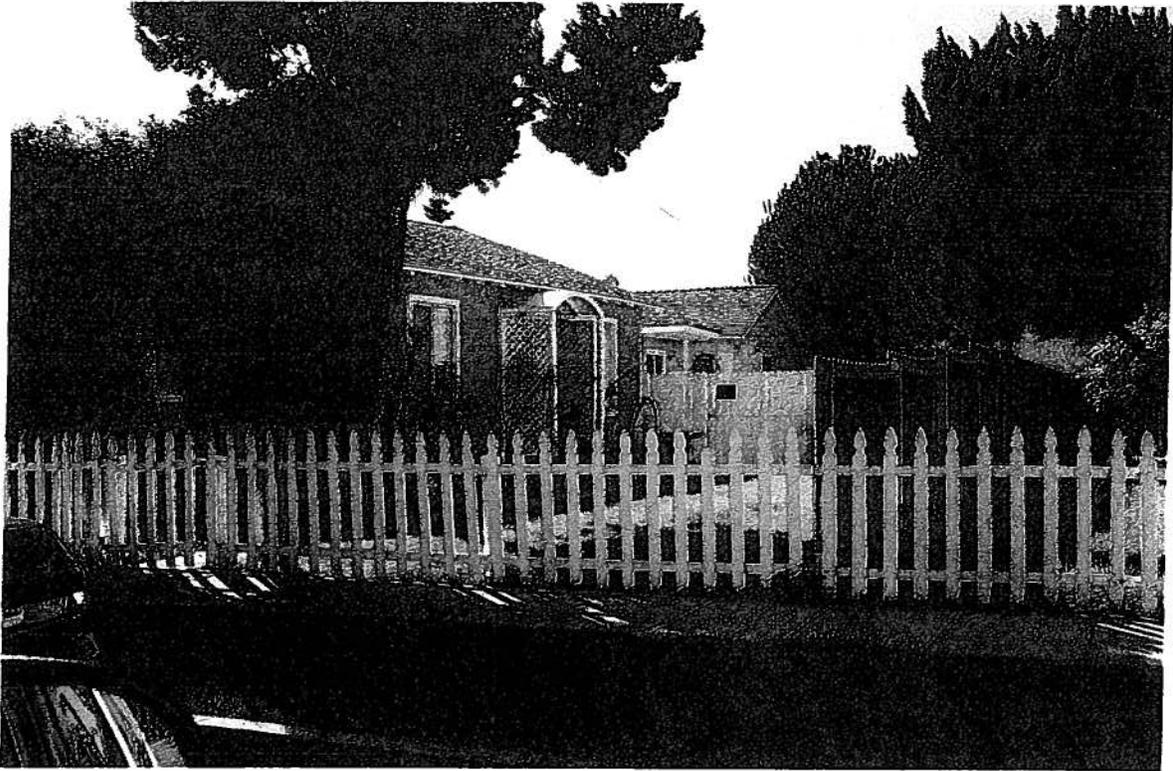
will be site framed and finished to match the manufactured homes. All exteriors elevations are designed to blend into the existing neighborhood utilizing ship lap siding as the prominent wall treatment, wood trim, stone veneer accents and roofs to be finished with three-tab comp shingles having a heavy shadow look. All three units will remain rental properties.

To accommodate the added improvements to the property, upgrades of the existing public sewer and water services to will be needed. A proposed 60' extension of the sewer main in Vista Way will allow for a new 4" lateral to the site while a new public fire hydrant and 1" water service will accommodate fire protection, irrigation and potable water needs.

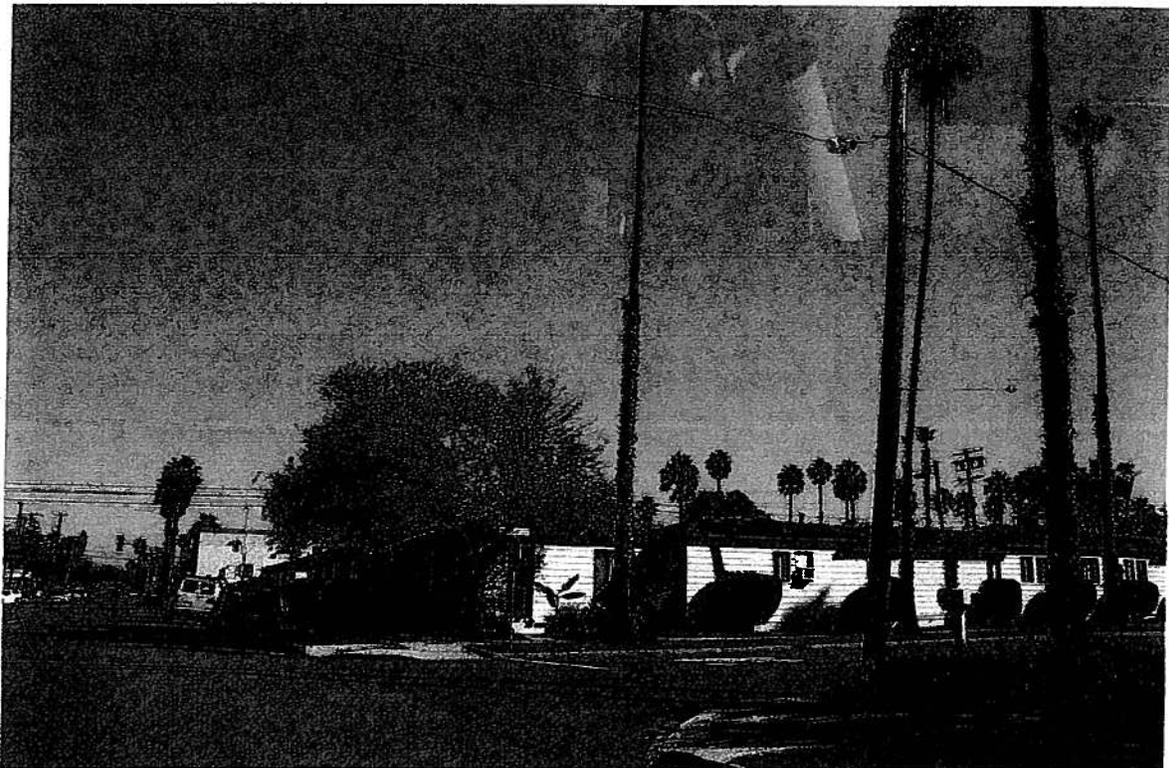
Site improvements will include a new driveway and interlocking pavers to provide circulation to the private garages. Low stone covered site walls and picket fencing will define private yards and help tie the project to the neighborhood.



Similar neighboring single family residences.



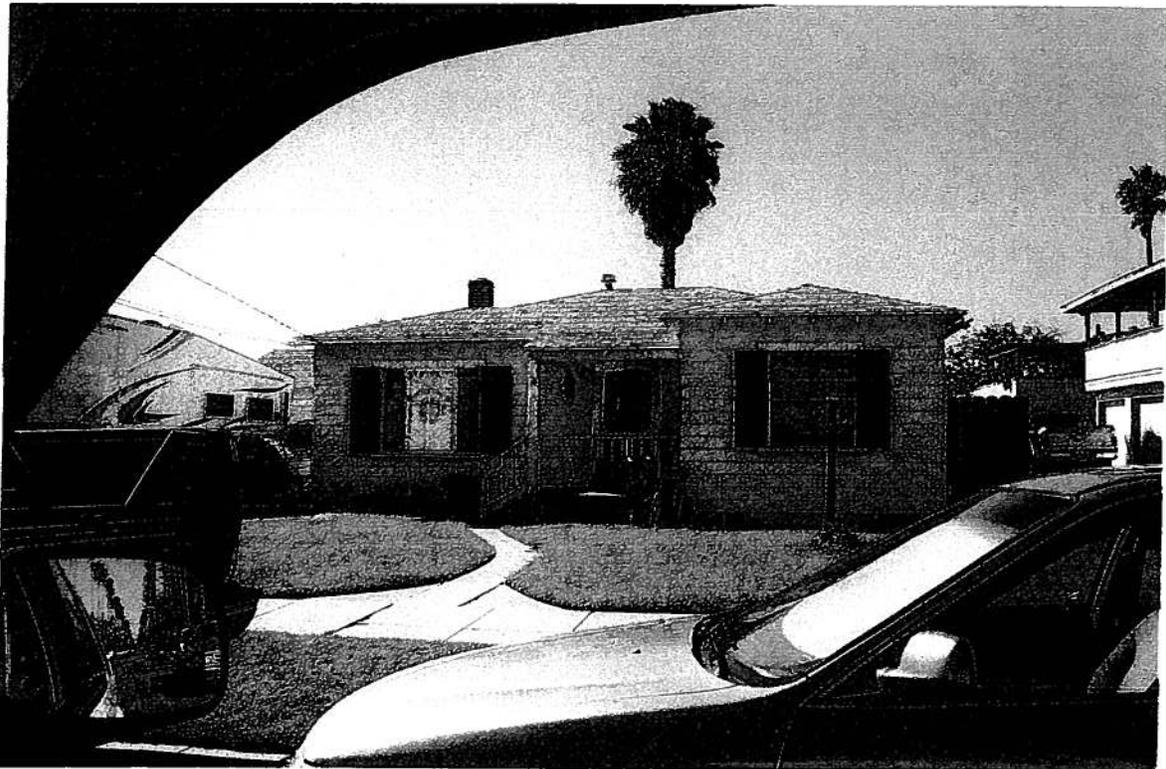
Similar neighboring single family residences.



Adjacent multi-family residences east of the project site.



Adjacent multi-family residences.



Similar neighboring single family residence.



Project site looking south across Vista Way.



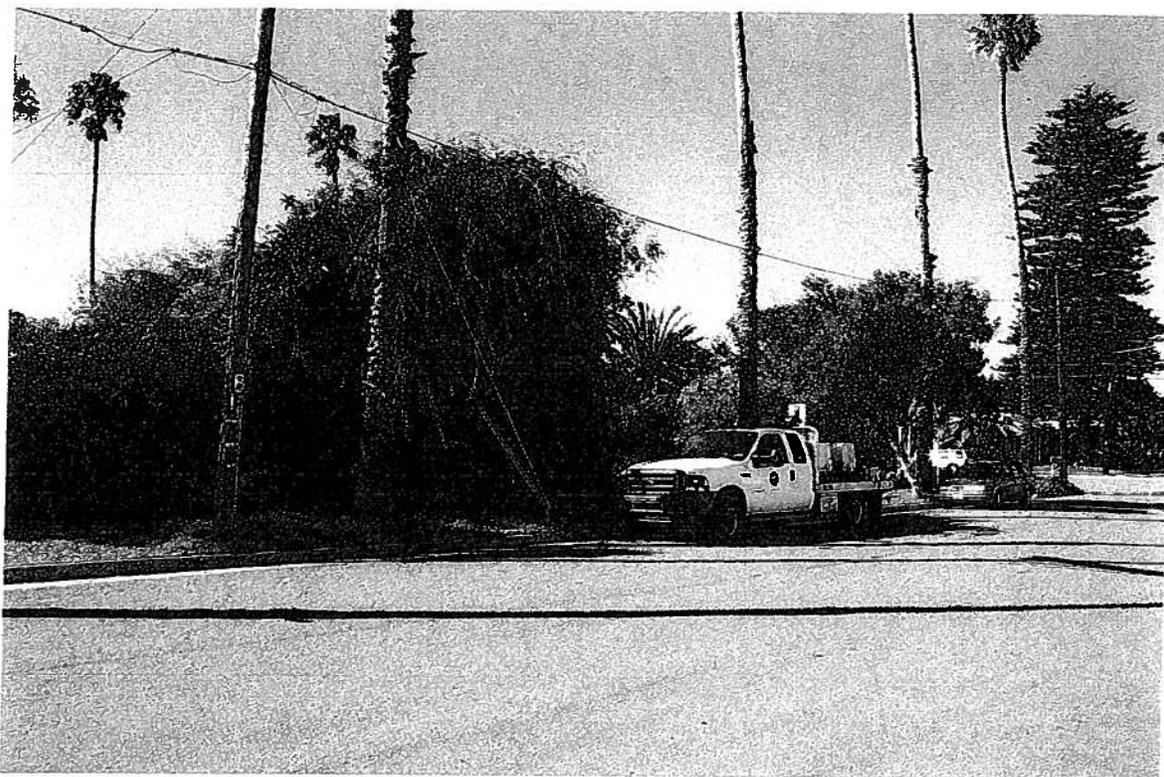
Project site looking west from Vista Way.



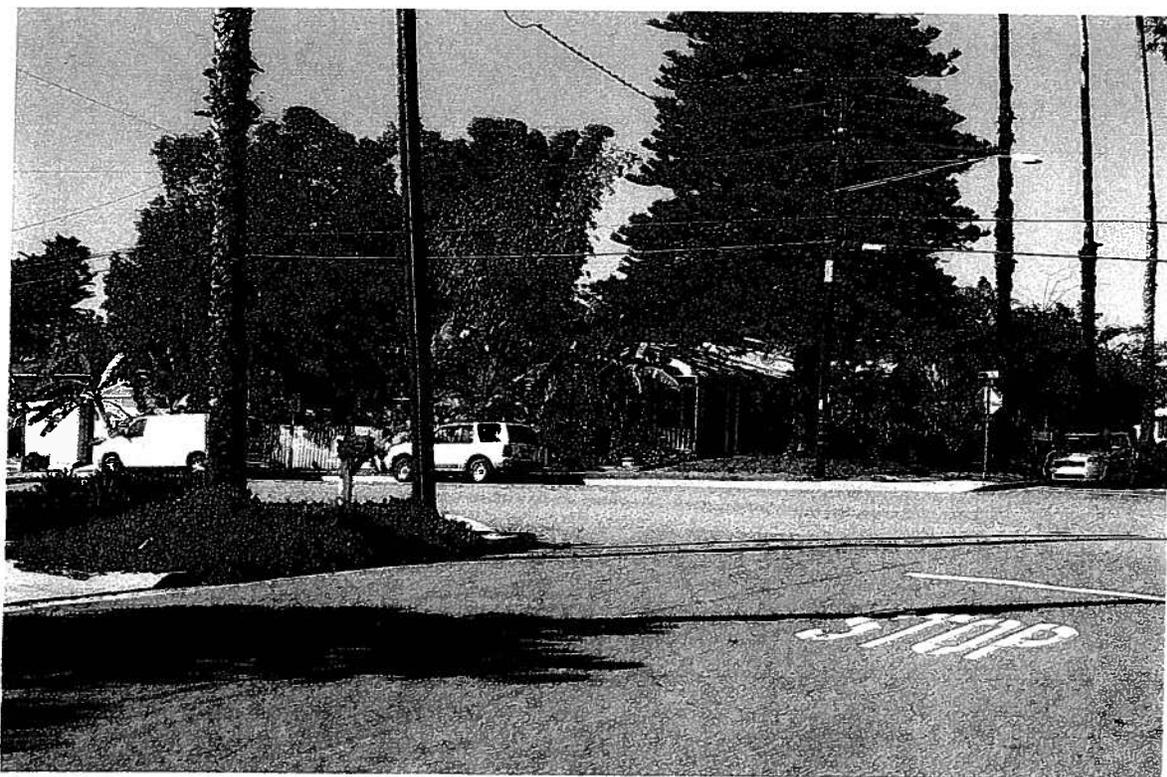
Project site looking across S. Tremont St. from corner of Vista Way.



Existing single car garage, sidewalk and driveway.



Existing site looking north along S. Tremont St.



Adjacent property looking north across Vista Way.

**SCHEDULE A**  
(Continued)

1. Name of insured:

Susan Louise Garfin, a married woman as her sole and separate property

2. Your interest in the land covered by this policy is:

A fee as to Parcel(s) 1, an easement as to Parcel(s) 1-A.

3. The land referred to in this policy is described as follows:

Real property in the City of Oceanside, County of San Diego, State of California, described as follows:

**PARCEL 1:**

THOSE PORTIONS OF LOTS "A" AND "B" IN BLOCK 9 OF SOUTH OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 301, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 14, 1887, LYING NORTHEASTERLY OF A LINE DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST WESTERLY CORNER OF SAID LOT "A" THENCE ALONG THE NORTHWESTERLY LINE OF SAID LOT "A" NORTH 58°48'00" EAST 116.05 FEET TO THE TRUE POINT OF BEGINNING OF THE HEREIN DESCRIBED LINE; THENCE SOUTH 20°50'17" EAST 121.62 FEET TO THE SOUTHEASTERLY LINE OF SAID LOT "B".

**PARCEL 1-A**

AN EASEMENT AND RIGHT OF WAY FOR INGRESS AND EGRESS FOR SEWER LINE PURPOSES LYING WITHIN THOSE PORTIONS OF LOT "A" AND "B" IN BLOCK 9 OF SOUTH OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 301, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 14, 1887 LYING SOUTHWESTERLY OF THE SOUTHWESTERLY LINE OF PARCEL 1 HEREINABOVE DESCRIBED, AS SAID LINE EXISTED ON AUGUST 8, 1947 AND RESERVED IN DEED TO LEE E. FISHER, ET UX, RECORDED SEPTEMBER 12, 1947 AS INSTRUMENT NO. 94580 OF OFFICIAL RECORDS; AND AS SAID LINE EXISTED ON SEPTEMBER 29, 1947 AND RESERVED IN DEED TO LEE E. FISHER, ET UX, RECORDED NOVEMBER 4, 1947 AS INSTRUMENT NO. 114820 OF OFFICIAL RECORDS.

APN: 155-033-03-00



**NOTICE OF EXEMPTION**  
City of Oceanside, California

Post Date:  
Removal:  
(180 days)

1. **APPLICANT:** DAKMIN INC.
2. **ADDRESS:** 1629 S. Tremont Street  
Oceanside, CA. 92054
3. **PHONE NUMBER:** (760) 500-1830
4. **LEAD AGENCY:** City of Oceanside
5. **PROJECT MGR.:** Scott Nightingale
6. **PROJECT TITLE:** RC11-00005 (DAKMIN SFD @ 2003 S. Tremont Street)
7. **DESCRIPTION:** To allow the demolition of an existing 1,022-square foot single family residence to permit the construction of three detached 1,118-square foot single family units with three two-car garages on an existing 0.34-acre site and is situated within the Townsite Neighborhood and the Coastal Zone.

**ADMINISTRATIVE DETERMINATION:** Planning Division staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA), 1970. Based on this review, the Environmental Coordinator has determined that further environmental evaluation is not required because:

- The project is categorically exempt, Class 3, for New Construction or Construction of small structures, Section 15303 (b); or,
- "The activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA" (Section 15061(b)(3)); or,
- The project is statutorily exempt, Section , <name> ( Sections 15260-15277); or,
- The project does not constitute a "project" as defined by CEQA (Section 15378).

  
\_\_\_\_\_  
Scott Nightingale, Associate Planner

Date: 11/14/2011

cc:  Project file  Counter file  Library Posting:  County Clerk  
\$50.00 Admin. Fee