

# AGENDA NO. 7

**PLANNING COMMISSION**



**STAFF REPORT**

DATE: June 11, 2012

TO: Chairperson and Members of the Planning Commission

FROM: Development Services Department/Planning Division

SUBJECT: **CONSIDERATION OF A DEVELOPMENT PLAN (D12-00008) TO ALLOW A CHANGE TO THE ARCHITECTURAL PRODUCT OF 113 LOTS OUT OF THE 123 APPROVED RESIDENTIAL DEVELOPMENT PLAN KNOWN AS ARROWOOD VILLAGE K "FAIRWAYS" – SAYBROOK @ ARROWOOD – APPLICANT: D.R. HORTON**

## **RECOMMENDATION**

Staff recommends that the Planning Commission by motion:

Adopt Planning Commission Resolution No. 2012-P27 approving Development Plan (D11-00008) with findings and conditions of approval attached herein.

## **PROJECT DESCRIPTION AND BACKGROUND**

**Background:** On January 10, 2011, a Development Plan (D11-00007) was approved by the Planning Commission to allow the development of 123 residential homes on a 36.73-acre site known as Village K of the Arrowood Development by Toll Brothers Builders. Toll Brothers constructed 10 homes and have sold the remaining 113 lots to D.R. Horton, who is seeking approval of revised architectural plans for these lots.

**Site Review:** The project site is located within the eastern portion of the Morro Hills Master Planned Community, and is situated directly west and adjacent to the Arrowood Golf Course's fairways.

The property is zoned RE-B-MP-1 (Residential Estate - B - Master -Plan-1) on the City of Oceanside Zoning Map, and is designated EB-R-MP-1-96 (Estate-B-Residential Master Plan-1-96) on the General Plan Land Use Map. The site is relatively flat with a gradual down slope from north to south. Elevations of the proposed pads range from a high of approximately 283 feet above mean sea level (MSL) on the northern portion of the site to a low of 237 feet MSL on the southern portion of the site.

Morro Hills Village K site is surrounded by other single-family residential units in all directions. Morro Hills Village "H and I" exist to the north, Morro Hills Village "J" exist to the west, Morro Hills Village "M" exist to the south, and the Morro Hills Golf Course exist to the east.

**Project Description:** The project application is comprised of the following component; a Development Plan (D12-00008) as follows:

Development Plan (D12-00008) is a request for the following:

To change the architecture of the remaining 113 vacant residential lots within Arrowood Village K. The applicant for this Development Plan, D.R. Horton purchased the remaining 113 finished lots from Toll Brothers. The remaining 10 improved lots (5, 6, 18-23, 104, 105) are to be built to the approved architecture layout and designs as approved under the original Development Plan (D11-00007). The remaining 113 residential lots purchased by D.R. Horton will consist of smaller homes than the approved Development Plan that allowed two-story developments ranging in square footage from (2,717 to 3,407 sq. ft.). The D.R. Horton's proposed changes would consist of 26 homes developed as a single-story product with a square footage of 2,351, and the remaining 87 lots of the 113 will be a two-story product with home sizes ranging from (2,695 to 3,110 sq. ft.).

The original product types consisted of a three-car tandem or swing car garage configuration. The proposed Saybrook development for the remaining 113 lots will be developed with a horizontal three-car or tandem garage configuration. The proposed Saybrook development has been designed with a contemporary and California craftsman design that is consistent with the surrounding neighborhood's architectural styles. The enhancements to the project would consist of a single-story design, which is designed with a highly articulated front elevation. Other enhancements to the proposed Saybrook homes would include pre-plotted decks with brick and stone, rear pop-outs for added articulation, window shutters, and pot shelves below some windows. Every building façade that faces a street or the golf course will be enhanced with additional elements, such as, building façade articulation, stone veneer and additional complimentary building elements.

The project is subject to the following Ordinances and City policies:

1. Zoning Ordinance
2. General Plan Land Use Element
3. California Environmental Quality Act (CEQA)

## **ANALYSIS**

### **KEY PLANNING ISSUES**

#### **1. Zoning Compliance**

This project is located in the Residential Estate-B (RE-B) district. The development meets all the provision of the Zoning Ordinance in parking requirements, landscaping, setbacks and all development regulations.

The following table summarizes proposed and applicable development standards for the Residential Districts and the project site:

	ZONING REQUIREMENTS	PROPOSED
MINIMUM LOT SIZE	6,000 square feet	Approximately 6,000 + (Existing)
OFF-STREET PARKING	3-car garage	(3)- car garage (Horizontal and Tandem configurations)
FRONT YARD	25 feet	25+ feet
SIDE YARD	5 feet	5+ feet
CORNERSIDE YARD	15 feet	15-feet
REAR YARD	20 feet	20- feet
HEIGHT	30 feet (max)	19.4 feet (single story) & 27 (two story)
MINIMUM LANDSCAPING	15%	15 %

The proposed project meets the applicable requirements of the zoning ordinance.

#### **2. General Plan conformance**

The General Plan Land Use Map designation on the subject property is EB-R-MP-1-96 (Estate-B-Residential Master Plan-1-96). The proposed project is consistent with this designation and the goals and objectives of the City's General Plan as follows:

**A. Land Use Element**

**Goal 1.23: Architecture**

**Objective:** The architectural quality of all proposed projects shall enhance neighborhood and community values and City image.

**Policy: B:** Structures shall work in harmony with landscaping and adjacent urban and/or topographic form to create an attractive line, dimension, scale, and/or pattern.

The proposed home designs would be consistent with the craftsman, Colonial and Tuscan architecture themes that were previously approved in the neighboring area and exist within the older developments surrounding the project site. The proposed architecture style includes stucco walls with vinyl siding, stone veneer wall finishes, wood window shutters, mansard roofs, wrought iron details for balconies and gates, and architectural building pop out details.

Staff has analyzed the design of the new single-story residential model type and the new proposed two-story model types and found the architecture to be consistent with the approved developments within the Morro Hills Master plan community. The architecture will compliment the existing developments in the neighborhood. The single-story model type will provide a architectural interest for the subdivision.

**3. Land Use Compatibility with surrounding developments**

LOCATION	GENERAL PLAN	ZONING	LAND USE
Subject Property:	Morro Hills Master Plan (MP-1-96)	Residential Estate B (RE-B-MP-1)	Vacant residential pre-grade pads
North of Subject Property	Morro Hills Master Plan (MP-1-96)	Residential Estate B (RE-B-MP-1)	Vacant property
East of Subject Property:	Morro Hills Master Plan (MP-1-96)	Open Space (OS-MP-1)	Golf Course
South of Subject Property:	Morro Hills Master Plan (MP-1-96)	Residential Single Family (RS-MP-1)	Single Family homes
West of Subject Property:	Morro Hills Master Plan (MP-1-96)	Residential Estate B (RE-B-MP-1)	Single Family homes and vacant land

The proposed revisions to the previously approved development plan are consistent with the General Plan Master Plan and Zoning Ordinance designation applicable to the project site.

## **DISCUSSION**

Staff believes that the proposed revision to the previously approved development plan to revise the residential plan types for 113 of the remaining 123 residential development plan is in conformance with the Morro Hills Master Plan and will generally conform to the architectural style of the neighborhood and existing surrounding developments. The proposed architectural enhancements on street facing frontages and the golf course will provide architectural interest to the project from public areas.

## **ENVIRONMENTAL DETERMINATION**

An Addendum to the Supplemental Environmental Impact Report (SEIR) was prepared and certified for the Morro Hills Master Planned Developments Initial Tentative Map (T-3-98). The proposed project to establish single-family residential final architectural design plans to be constructed on the previously approved 123 lot Village "K" and make minor grade changes are consistent with the extent of the initial CEQA review; therefore, further environmental review is not required at this time.

## **PUBLIC NOTIFICATION**

Pursuant to Article 41 of the Oceanside Zoning Ordinance, a Legal notice was published in the North County Times and notices were sent to property owners of record within a 300-foot radius of the subject property, individuals and/or organizations requesting notification, applicant and other interested parties. Copies of this agenda item have been mailed to the applicant and their representatives.

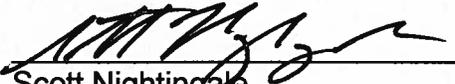
## **SUMMARY**

Staff finds that the proposed architectural revisions will complement existing and proposed architecture within the neighborhood, and would be in compliance with applicable Zoning Ordinance development standards.

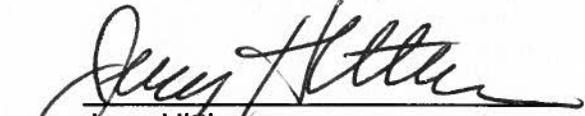
Staff believes that the necessary findings in support of the Development Plan can be met. Therefore, staff recommends that the Planning Commission approve the project. The Planning Commission's action should be:

- Adopt Planning Commission Resolution No. 2012-P27 approving the Development Plan (D12-00008) with findings and conditions of approval attached herein.

PREPARED BY:

  
\_\_\_\_\_  
Scott Nightingale  
Planner II

SUBMITTED BY:

  
\_\_\_\_\_  
Jerry Hittleman  
City Planner

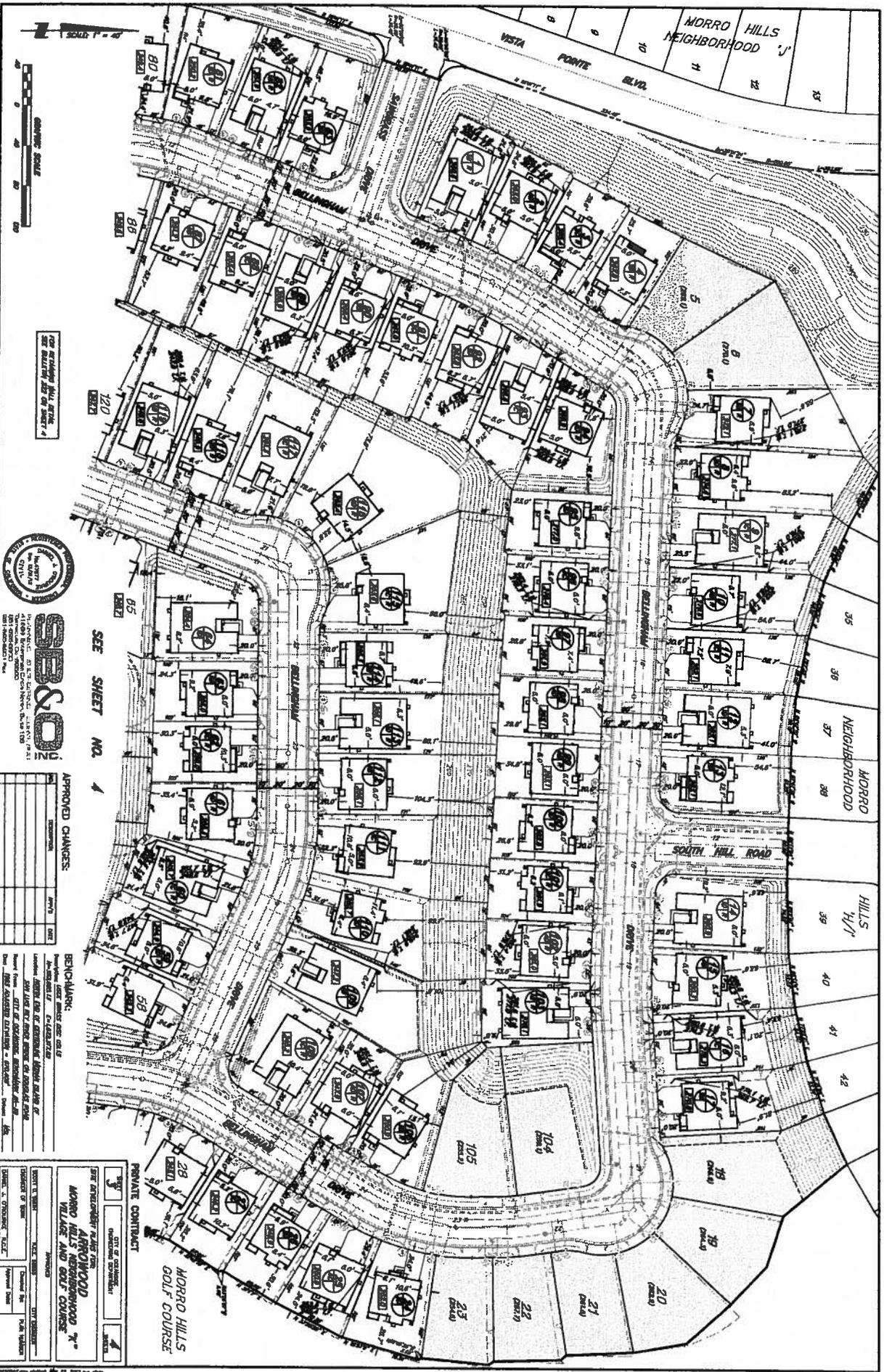
JH/SN/fil

Attachments:

1. Site plan, floor plan and elevations
2. Planning Commission Resolution No. 2012-P27
3. Planning Commission Resolution No. 2011-P01







FOR REVISIONS AND NOTES  
SEE SHEET NO. 4 OF SHEET 4



APPROVED CHANGES:

NO.	DATE	DESCRIPTION

**BENCHMARK:**  
 ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD.  
 ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD.  
 ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD.  
 ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD.  
 ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD.

**PRIVATE CONTRACT**

THIS AGREEMENT IS MADE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, between \_\_\_\_\_ and \_\_\_\_\_, for the purpose of \_\_\_\_\_.

WITNESSES: \_\_\_\_\_

DATE: \_\_\_\_\_

MORRO HILLS  
 GOLF COURSE

MORRO HILLS  
 NEIGHBORHOOD

MORRO  
 NEIGHBORHOOD

HILLS  
 1/1/1

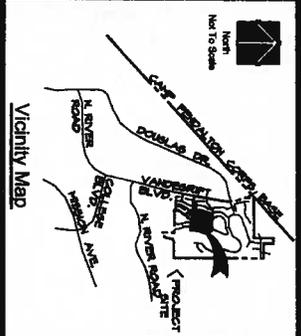
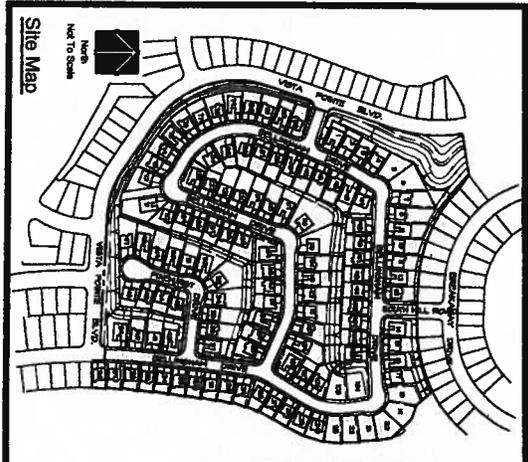




# LANDSCAPE ARCHITECTURAL LANDSCAPE PLANS FOR Arrowood Village K Typical Front Yard Landscaping Oceanside, CA

### General Notes

1. THE CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION FROM DAMAGE AND SHALL REPAIR AT HIS COST ANY DAMAGE RESULTING FROM HIS OPERATIONS. CONTRACTORS ON THE JOB SHALL CARRY THE COMPREHENSIVE GENERAL LIABILITY AND (B) PROPERTY DAMAGE, IN AN EXCESSIVE THEATRE, THE LIFE SAFETY OR ADJACENT WORK, THE CONTRACTOR IS REQUESTED TO ACT AT HIS DISCRETION TO THE FOLLOWING MINIMUM LIABILITY COVERAGE DURING THE CONTRACT PERIOD:
  - A. PROPERTY DAMAGE: \$500,000 PER INDIVIDUAL PER OCCURRENCE
  - B. BODILY INJURY: \$500,000 PER INDIVIDUAL PER OCCURRENCE
  - C. AUTOMOBILE LIABILITY: \$500,000 PER OCCURRENCE
  - D. POLLUTION: \$500,000 PER OCCURRENCE
2. THE CONTRACTOR SHALL OBTAIN AND REVIEW A SET OF THE APPLICABLE REGULATIONS, ELECTRICAL AND CIVIL ENGINEERING PLANS PRIOR TO THE COMMENCEMENT OF WORK. THESE PLANS SHALL BE OBTAINED BY THE CONTRACTOR FROM THE CITY OF OCEANSIDE, CALIFORNIA, 650 MARINE AVENUE, OCEANSIDE, CALIFORNIA 92054. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF OCEANSIDE, CALIFORNIA, 650 MARINE AVENUE, OCEANSIDE, CALIFORNIA 92054.
3. ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS SHALL BE OBSERVED AND ENFORCED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF OCEANSIDE, CALIFORNIA, 650 MARINE AVENUE, OCEANSIDE, CALIFORNIA 92054.
4. THE CONTRACTOR SHALL OBTAIN AND REVIEW A SET OF THE APPLICABLE REGULATIONS, ELECTRICAL AND CIVIL ENGINEERING PLANS PRIOR TO THE COMMENCEMENT OF WORK. THESE PLANS SHALL BE OBTAINED BY THE CONTRACTOR FROM THE CITY OF OCEANSIDE, CALIFORNIA, 650 MARINE AVENUE, OCEANSIDE, CALIFORNIA 92054.
5. THE CONTRACTOR SHALL OBTAIN AND REVIEW A SET OF THE APPLICABLE REGULATIONS, ELECTRICAL AND CIVIL ENGINEERING PLANS PRIOR TO THE COMMENCEMENT OF WORK. THESE PLANS SHALL BE OBTAINED BY THE CONTRACTOR FROM THE CITY OF OCEANSIDE, CALIFORNIA, 650 MARINE AVENUE, OCEANSIDE, CALIFORNIA 92054.
6. THE CONTRACTOR SHALL OBTAIN AND REVIEW A SET OF THE APPLICABLE REGULATIONS, ELECTRICAL AND CIVIL ENGINEERING PLANS PRIOR TO THE COMMENCEMENT OF WORK. THESE PLANS SHALL BE OBTAINED BY THE CONTRACTOR FROM THE CITY OF OCEANSIDE, CALIFORNIA, 650 MARINE AVENUE, OCEANSIDE, CALIFORNIA 92054.
7. PERMITS FOR ALL WORK INDICATED IN THESE PLANS SHALL BE OBTAINED BY THE CONTRACTOR FROM THE CITY OF OCEANSIDE, CALIFORNIA, 650 MARINE AVENUE, OCEANSIDE, CALIFORNIA 92054.
8. THE CONTRACTOR SHALL OBTAIN AND REVIEW A SET OF THE APPLICABLE REGULATIONS, ELECTRICAL AND CIVIL ENGINEERING PLANS PRIOR TO THE COMMENCEMENT OF WORK. THESE PLANS SHALL BE OBTAINED BY THE CONTRACTOR FROM THE CITY OF OCEANSIDE, CALIFORNIA, 650 MARINE AVENUE, OCEANSIDE, CALIFORNIA 92054.
9. NO MATERIALS, SUBSTITUTIONS OF ANY KIND WILL BE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
10. THE CONTRACTOR SHALL OBTAIN AND REVIEW A SET OF THE APPLICABLE REGULATIONS, ELECTRICAL AND CIVIL ENGINEERING PLANS PRIOR TO THE COMMENCEMENT OF WORK. THESE PLANS SHALL BE OBTAINED BY THE CONTRACTOR FROM THE CITY OF OCEANSIDE, CALIFORNIA, 650 MARINE AVENUE, OCEANSIDE, CALIFORNIA 92054.
11. THE CONTRACTOR SHALL OBTAIN AND REVIEW A SET OF THE APPLICABLE REGULATIONS, ELECTRICAL AND CIVIL ENGINEERING PLANS PRIOR TO THE COMMENCEMENT OF WORK. THESE PLANS SHALL BE OBTAINED BY THE CONTRACTOR FROM THE CITY OF OCEANSIDE, CALIFORNIA, 650 MARINE AVENUE, OCEANSIDE, CALIFORNIA 92054.
12. THE CONTRACTOR SHALL OBTAIN AND REVIEW A SET OF THE APPLICABLE REGULATIONS, ELECTRICAL AND CIVIL ENGINEERING PLANS PRIOR TO THE COMMENCEMENT OF WORK. THESE PLANS SHALL BE OBTAINED BY THE CONTRACTOR FROM THE CITY OF OCEANSIDE, CALIFORNIA, 650 MARINE AVENUE, OCEANSIDE, CALIFORNIA 92054.
13. THE CONTRACTOR SHALL OBTAIN AND REVIEW A SET OF THE APPLICABLE REGULATIONS, ELECTRICAL AND CIVIL ENGINEERING PLANS PRIOR TO THE COMMENCEMENT OF WORK. THESE PLANS SHALL BE OBTAINED BY THE CONTRACTOR FROM THE CITY OF OCEANSIDE, CALIFORNIA, 650 MARINE AVENUE, OCEANSIDE, CALIFORNIA 92054.
14. THE CONTRACTOR SHALL OBTAIN AND REVIEW A SET OF THE APPLICABLE REGULATIONS, ELECTRICAL AND CIVIL ENGINEERING PLANS PRIOR TO THE COMMENCEMENT OF WORK. THESE PLANS SHALL BE OBTAINED BY THE CONTRACTOR FROM THE CITY OF OCEANSIDE, CALIFORNIA, 650 MARINE AVENUE, OCEANSIDE, CALIFORNIA 92054.
15. THE CONTRACTOR SHALL OBTAIN AND REVIEW A SET OF THE APPLICABLE REGULATIONS, ELECTRICAL AND CIVIL ENGINEERING PLANS PRIOR TO THE COMMENCEMENT OF WORK. THESE PLANS SHALL BE OBTAINED BY THE CONTRACTOR FROM THE CITY OF OCEANSIDE, CALIFORNIA, 650 MARINE AVENUE, OCEANSIDE, CALIFORNIA 92054.
16. THE CONTRACTOR SHALL OBTAIN AND REVIEW A SET OF THE APPLICABLE REGULATIONS, ELECTRICAL AND CIVIL ENGINEERING PLANS PRIOR TO THE COMMENCEMENT OF WORK. THESE PLANS SHALL BE OBTAINED BY THE CONTRACTOR FROM THE CITY OF OCEANSIDE, CALIFORNIA, 650 MARINE AVENUE, OCEANSIDE, CALIFORNIA 92054.
17. THE CONTRACTOR SHALL OBTAIN AND REVIEW A SET OF THE APPLICABLE REGULATIONS, ELECTRICAL AND CIVIL ENGINEERING PLANS PRIOR TO THE COMMENCEMENT OF WORK. THESE PLANS SHALL BE OBTAINED BY THE CONTRACTOR FROM THE CITY OF OCEANSIDE, CALIFORNIA, 650 MARINE AVENUE, OCEANSIDE, CALIFORNIA 92054.



**DECLARATION OF BUSINESS OR WORK**

I HEREBY DECLARE THAT THE DESIGN OF THE IMPROVEMENTS AS SHOWN ON THESE PLANS IS THE DESIGN OF THE ARCHITECT AND NOT THE DESIGN OF ANY OTHER PERSON OR FIRM. I AM NOT PROVIDING ANY DESIGN SERVICES TO ANY OTHER PERSON OR FIRM. I AM NOT PROVIDING ANY DESIGN SERVICES TO ANY OTHER PERSON OR FIRM. I AM NOT PROVIDING ANY DESIGN SERVICES TO ANY OTHER PERSON OR FIRM.

NO.	DESCRIPTION	APPROVED CHANGES	APPROVED BY	DATE

CITY APPROVALS	
CITY PLANNER	DATE
CITY LANDSCAPE ARCHITECT	DATE
FIRE MARSHALL	DATE

**Contact Information**

PLANS PREPARED FOR:  
DR Horton  
1827 Park Court  
San Marcos, CA 92078

PLANS PREPARED BY:  
Howard Associates, Inc.  
5333 Mission Center Road, Ste. 300  
San Diego, CA 92161  
Phone: (619) 718-9660

SHEET	SHEET TITLE
1	Title Sheet
2-8	Construction Plans
9	Construction Notes, Legend, and Details
10-16	Irrigation Plans
17-18	Irrigation Notes, Legend, and Details
19-25	Planting Plans
26	Planting Notes and Legend
27	Planting Details

Scale: 1" = 10'

SHEET 1 LANDSCAPE ARCHITECTURAL PLANS FOR ARROWOOD VILLAGE K TYPICAL FRONT YARD LANDSCAPING OCEANSIDE, CALIFORNIA	SHEET 4 CITY OF OCEANSIDE DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING
---	---



**DEVELOPMENT SERVICES DEPARTMENT**  
**Planning Division**

**DATE:** February 25, 2011  
**TO:** All Interested Parties and Development Services Department Personnel  
**FROM:** Jerry Hittleman, City Planner  
**SUBJECT:** Amateur Radio Antenna and Support Structure Guidelines

---

The purpose of these amateur radio facilities guidelines is to ensure proper implementation of Article 39A Amateur Radio Antenna and Support Structure Standards (attached). The first guideline relates to certain lightweight antenna systems that will not require a building permit. Specifically, building permits will be required for all standalone antennas and support structures regardless of height except for the following type of antenna system:

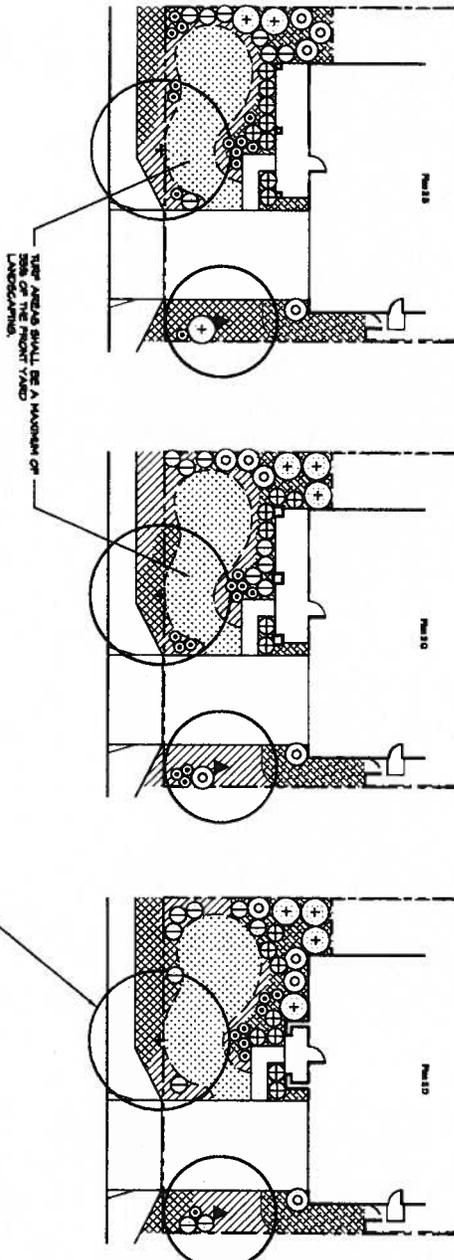
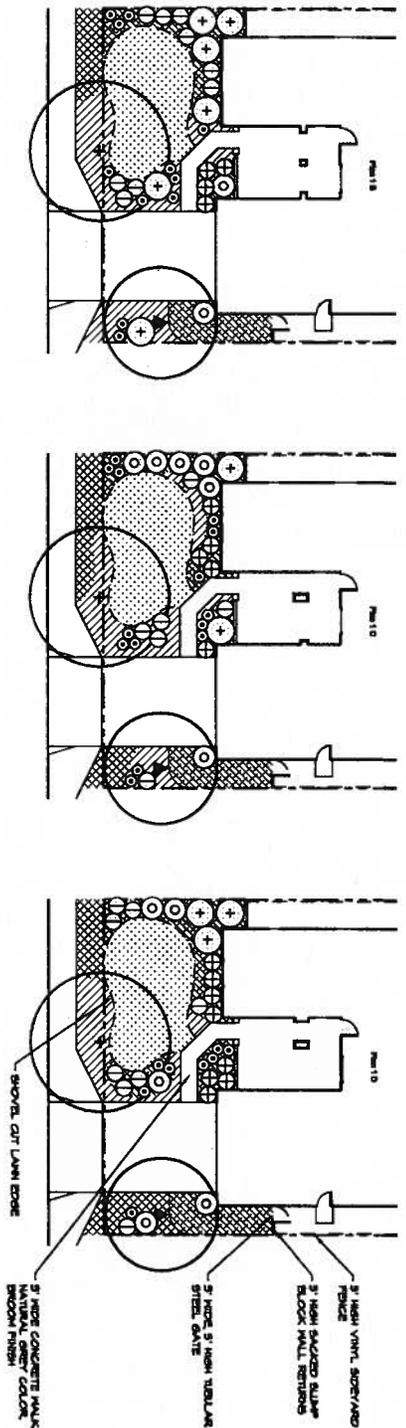
**No building permit shall be required for a wire antenna supported on poles made of hollow fiberglass or a similar, non-conductive lightweight material, provided that the support pole diameter does not exceed 2-1/2 inches; the antenna is wholly situated in the Amateur Radio Operator's back yard; and the highest point of the antenna does not exceed thirty (30) feet above existing grade.**

For those structures that are above 51 feet for ground mounted antennas or greater than 10 feet above the roof for roof-mounted antennas and require approval of an Administrative Conditional Use Permit (ACUP) the following guidelines shall apply:

**In accordance with revised City Council Policy No. 300-14 (Enhanced Public Notification Program) Administrative Conditional Use Permits for Amateur Radio Facilities will only need to provide notification to owners and residents within a 300 foot radius of the parcel on which the amateur radio facility is located.**

**A reduced application fee of \$500.00 will apply to amateur radio facility ACUPs excluding public notification mailing charges.**

# Plans 1 and 2



**IRRIGATION NOTE**  
 ALL FRONT YARD PLANTING AREAS SHALL RECEIVE AN AUTOMATIC IRRIGATION SYSTEM FROM THE MAIN IRRIGATION AND LOW-FLOW IRRIGATION ZONES, WITH A SEPARATE SHARED HOUSING DETAILING AUTOMATIC SHUNT CONTROLLER.

**PLANTING NOTES**  
 1. SEE APPROVED SLOPE AND STREET TREE PLANT (CITY OF OCEANSIDE LIO-0007) FOR STREET TREE VARIETY AND LOCATION.  
 2. PLANT ONE (1) 5' GALLON YARD TREE PER LOT TYPICAL. TWO (2) 5' GALLON YARD TREES SHALL BE PLANTED ON EACH CORNER LOT.

SEE SHEETS 4 FOR PLANTING NOTES AND LEGEND



DATE	2/15/2023
DRAWN BY	DB
CHECKED BY	AS
PROJECT NAME	ARROWOOD VILLAGE K
PROJECT ADDRESS	OCEANSIDE, CALIFORNIA
CLIENT	ARROWOOD VILLAGE K
ARCHITECT	ARROWOOD VILLAGE K
DATE	2/15/2023
DRAWN BY	DB
CHECKED BY	AS
PROJECT NAME	ARROWOOD VILLAGE K
PROJECT ADDRESS	OCEANSIDE, CALIFORNIA
CLIENT	ARROWOOD VILLAGE K
ARCHITECT	ARROWOOD VILLAGE K



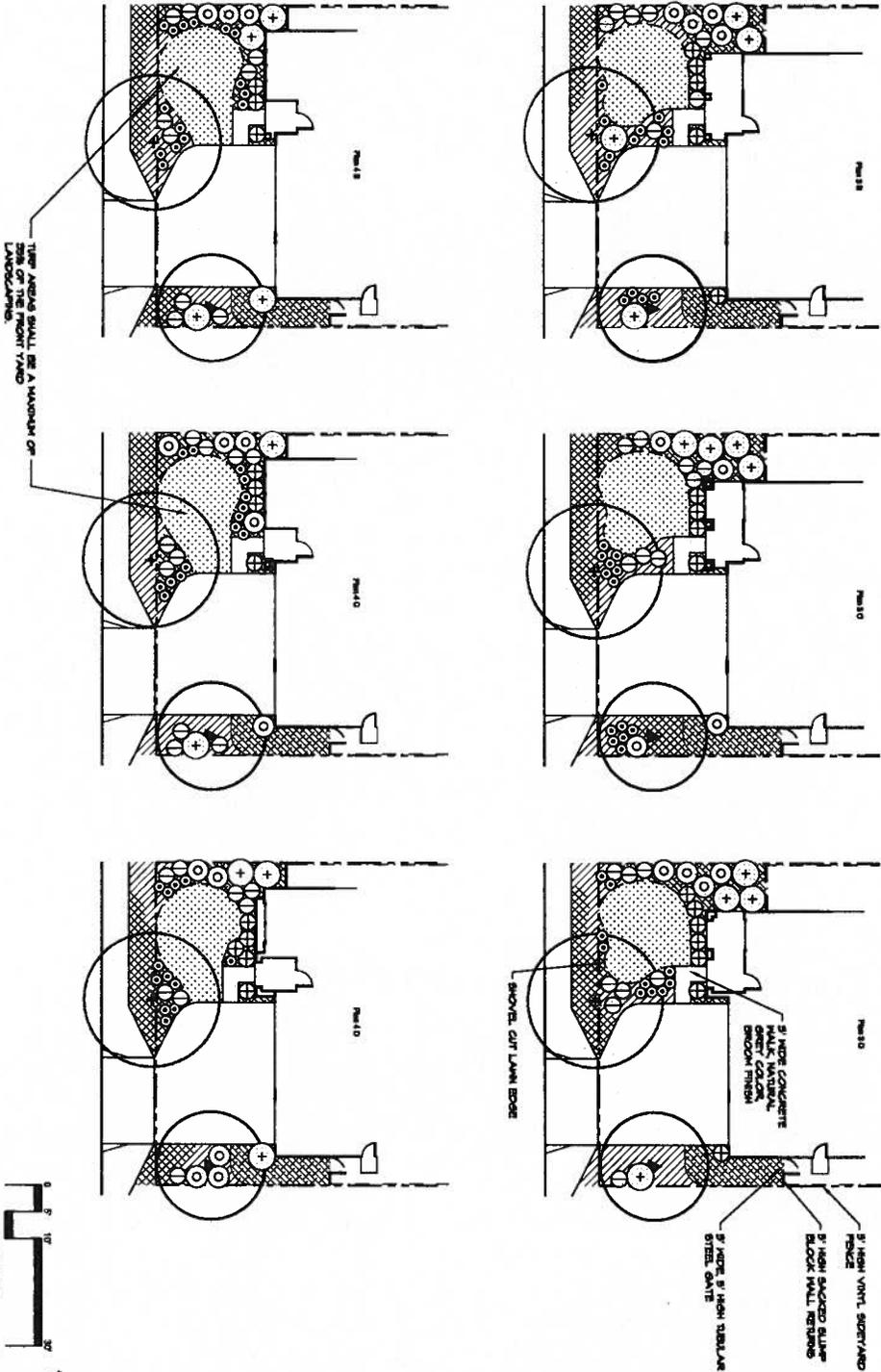
OF 4 SHEETS

PROJECT NAME  
**Arrowood Village K**  
 Typical Front Yard  
 Landscaping  
 D.R. Horton

SHEET TITLE  
**PLANTING PLAN -  
 TYPICAL PLANS 1 AND 2**

**HOWARD ASSOCIATES**  
 landscape architecture  
 3333 mission center rd suite 390  
 san diego ca 92108 619 718 9660

# Plans 3 and 4



SEE SHEETS 4 FOR PLANTING NOTES AND LEGEND



SHEET 3 OF 4  
 CITY OF OAKLAND  
 SUPERVISOR DISTRICT 11  
 LANDSCAPE ARCHITECTURAL PLANS FOR  
**ARROWOOD VILLAGE K**  
 TYPICAL FRONT YARD LANDSCAPING  
 OCEANVIEW CALIFORNIA  
 Approved: \_\_\_\_\_  
 Checked By: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 1000 BROADWAY, SUITE 1000  
 SAN DIEGO, CALIFORNIA 92108



3 OF 4 SHEETS

PROJECT NAME  
**Arrowood Village K**  
 Typical Front Yard  
 Landscaping  
 D.R. Horton

SHEET TITLE  
**PLANTING PLAN -  
 TYPICAL PLANS 3 AND 4**

100 r14 24931  
**HOWARD ASSOCIATES**  
 landscape architecture  
 5323 Mission Center Rd Suite 390  
 San Diego CA 92108 619 718 9660

STANDARDS FOR TREE SELECTION  
THE FOLLOWING CRITERIA SHALL BE USED FOR TREE SELECTION.

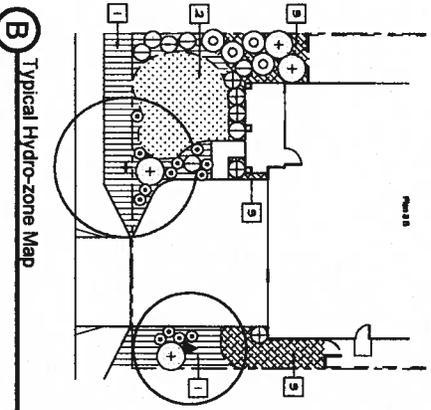
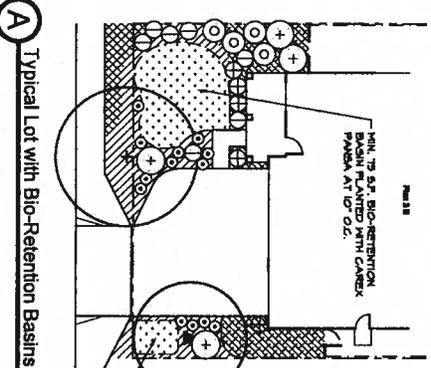
1. TREES SHALL HAVE A STRAIGHT TRUNK WITH SYMMETRICAL CROWN.
2. TREES SHALL HAVE A SINGLE GOOD CENTRAL LEADER.
3. TREE BARK SHALL NOT BE DISCOLORED, SUNKEN OR SHOULDER. CUTS OR SCARS THAT HEALING & THE TREE CIRCUMFERENCE WILL NOT BE ACCEPTED.
4. TREES SHOWING SPLITTING, SIGN SCALD, OR ROOT ROT WILL NOT BE ACCEPTED.
5. THE CALIPER OF THE TREE SHALL BE IN PROPORTION TO THE ROOTBALL.
6. THE ROOTBALL SHALL EXTEND BEYOND THE TRUNK AT A MINIMUM OF 48 INCHES VERTICALLY.
7. NO TREES WITH SIGNIFICANT ROOTS RELEVANT AROUND THE TRUNK WILL BE ACCEPTED.
8. TREES SHALL BE THOSE OF CROSSING BRANCHES AND BRANCHES GROWING TOO CLOSE TOGETHER.
9. TREES SHALL BE THOSE OF PROPER FORM AND GROWTH HABITS.
10. ALL 24" BOX TREES SHALL HAVE MIN. 7" CALIPER.
11. ALL 36" BOX TREES SHALL HAVE MIN. 1" CALIPER.

**MINIMUM TREE SEPARATION DISTANCE:**  
Improvement/Minimum Distance to Street Tree  
Minimum separation (strip edge) - 25' feet  
Minimum separation (strip edge) - 10' feet  
Minimum separation (strip edge) - 6' feet  
Minimum separation (strip edge) - 10' feet  
Minimum separation (strip edge) - 10' feet  
Minimum separation (strip edge) - 10' feet

PLANTING LEGEND

SIZE	SPACING	SCHEME B (COLONIAL)	SCHEME C (CRAFTSMAN)	SCHEME D (TUSCAN)
15 GALLON VARD TREES	3' O.C.	4. ABBOTTS MARIANA (M)	4. CALIFORNIA LEPIDOTRIS (M)	4. BAHAMA GOLD BIRD TREE
5 GALLON	3' O.C.	1. ROSEBUD FLAX (M)	1. NEW ZEALAND FLAX (M)	1. BLUE HYDRANGEA
5 GALLON	4' O.C.	2. PELDIA CALLEBONIA (M)	2. PINEAPPLE SHAWA (M)	2. YELLOW BELLS
1 GALLON	3' O.C.	3. LITTLE JOHN (M)	3. SPYGLASS (M)	3. BUSH OF SEVEN
1 GALLON	3' O.C.	4. MYRTLE (M)	4. MYRTLE (M)	4. TEARDROP TREE
1 GALLON	3' O.C.	5. ANGIOZANTOS BARK BED (M)	5. SCARABO (M)	5. LILY-OF-THE-VALLEY
GRANDCOVER				
FLATS	12' O.C.	1. LANTANA MONTEVERDE (M)	1. TRAILING LANTANA (M)	1. SAVANNA
3' LANTER		2. BARK MELCH (M)	2. BARK MELCH (M)	2. SAVANNA
3' O.D.		3. TIPE (M)	3. TIPE (M)	3. HAWAIIAN III
FLATS	12' O.C.	4. HYDRANGEA PINK (L)	4. HYDRANGEA PINK (L)	4. HYDRANGEA PINK (L)

NOTE:  
1) EACH HOUSE SHALL RECEIVE A DIFFERENT PLANNING SCHEME MATCHED TO THE HOUSE ELEVATION (E.G. ALL ELEVATION B' HOUSES SHALL HAVE PLANNING SCHEME C', ETC.)  
2) WATER USE: (L) - LOW (M) - MODERATE (H) - HIGH PER WICODA ZONE 3



HYDRO-ZONE NOTE
1. HYDRO-ZONE 1 - APPROX. 48% COVERED BY ALL SHRUBS & GRANDCOVER. PLANT TYPE IS LOW TO MODERATE WATER USE. PLANTING SHALL BE DONE WITH DIRT TUBING AND/OR ROTATION NOZZLES.
2. HYDRO-ZONE 2 - APPROX. 28% COVERED BY ALL SHRUBS & GRANDCOVER. PLANT TYPE IS HIGH WATER USE & IRRIGATION IS BY ROTATION NOZZLES.
3. HYDRO-ZONE 3 - APPROX. 10% COVERED BY ALL SHRUBS & GRANDCOVER. PLANT TYPE IS HIGH WATER USE & IRRIGATION IS BY ROTATION NOZZLES.
4. HYDRO-ZONE 4 - APPROX. 14% COVERED BY ALL SHRUBS & GRANDCOVER. PLANT TYPE IS HIGH WATER USE & IRRIGATION IS BY ROTATION NOZZLES.

**HYDRO-ZONE NOTE**

1. HYDRO-ZONE 1 - APPROX. 48% COVERED BY ALL SHRUBS & GRANDCOVER. PLANT TYPE IS LOW TO MODERATE WATER USE. PLANTING SHALL BE DONE WITH DIRT TUBING AND/OR ROTATION NOZZLES.

2. HYDRO-ZONE 2 - APPROX. 28% COVERED BY ALL SHRUBS & GRANDCOVER. PLANT TYPE IS HIGH WATER USE & IRRIGATION IS BY ROTATION NOZZLES.

3. HYDRO-ZONE 3 - APPROX. 10% COVERED BY ALL SHRUBS & GRANDCOVER. PLANT TYPE IS HIGH WATER USE & IRRIGATION IS BY ROTATION NOZZLES.

4. HYDRO-ZONE 4 - APPROX. 14% COVERED BY ALL SHRUBS & GRANDCOVER. PLANT TYPE IS HIGH WATER USE & IRRIGATION IS BY ROTATION NOZZLES.

Scale: 1" = 1'-0"

North Arrow

DATE: 08/11/11  
DRAWN BY: JLB  
JOB NUMBER: 111111  
FILE: 111111  
REVISIONS:

PROJECT NAME: Arrowood Village K  
Typical Front Yard Landscaping  
D.R. Horton

SHEET TITLE: PLANTING NOTES AND LEGEND





Plan 4-3110 'B' Colonial

Plan 3-2971 'B' Tuscan

Plan 1-2351 'B' Colonial

Plan 2-2695 'C' Craftsman



Plan 4-3110 'B' Tuscan

Plan 3-2971 'B' Colonial

Plan 2-2695 'B' Tuscan

Plan 1-2351 'C' Craftsman

**Development Plan Submittal**  
**May 23, 2012**

**Saybrook at Arrowood**

Oceanville, VA

**PARSONS**  
*Architecture & Interiors*



**WILLIAM HENQUANICH**  
 ARCHITECT  
 280 CENTRAL AVENUE, SUITE 200, SAYBROOK, VA 22449-0200  
 540-226-0200 www.williamhenquanich.com





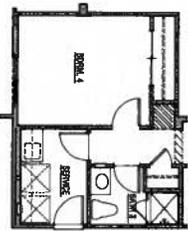


**SAYBROOK AT ARROWOOD**  
 ENHANCED BUILDING ELEVATIONS

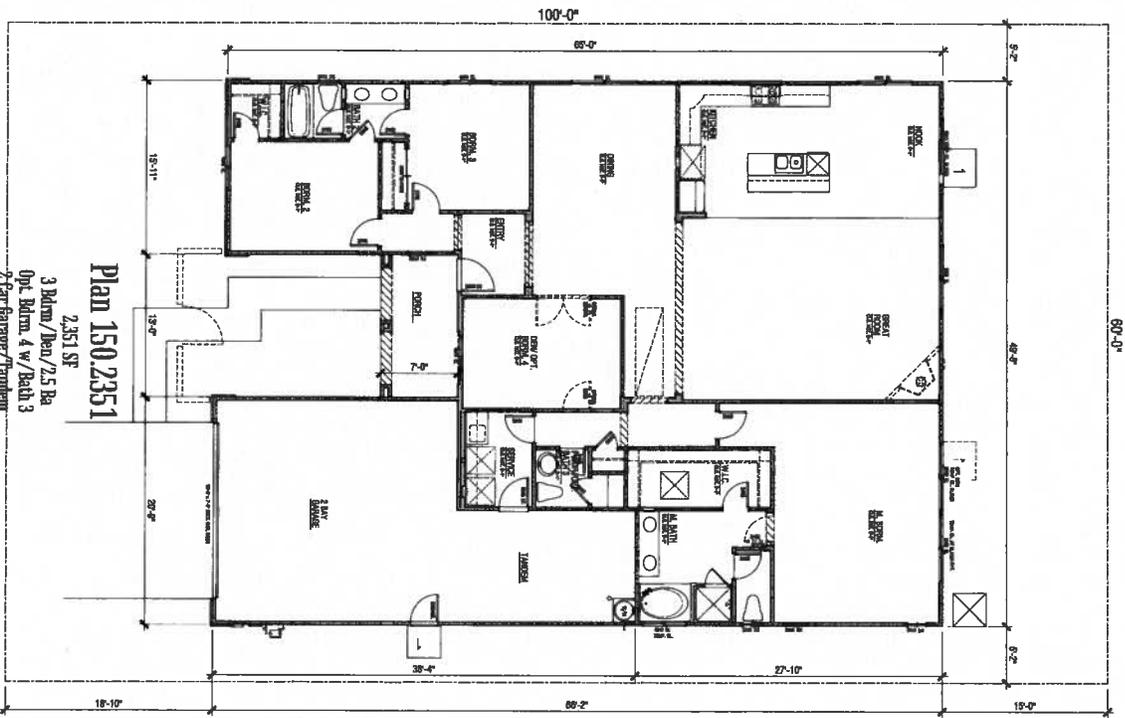
- LEGEND**
- ENHANCED EXTERIOR ELEVATION
  - PRE-PILOTED DECKS AT REAR ELEVATION
  - PRE-PILOTED POP-OUT AT REAR ELEVATION

**SETBACKS:**  
 FRONT: 20'  
 REAR: 15'  
 SIDE: 5'





Opt. Bdrm. 4 w/ Bath 3



Plan 150 2351

2,351 SF  
 3 Bdrm./Bath/2.5 Ba.  
 Opt. Bdrm. 4 w/ Bath 3  
 2 Car Garage/Terrace  
 9' Plote

Saybrook at Arrowood

Oceanstate, NJ



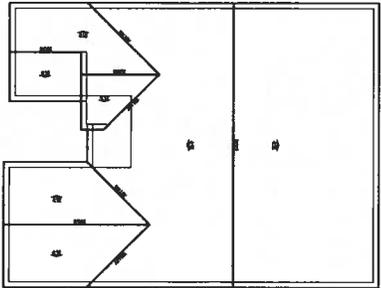
DRAGONAR ARCHITECTS  
 Architects & Interiors



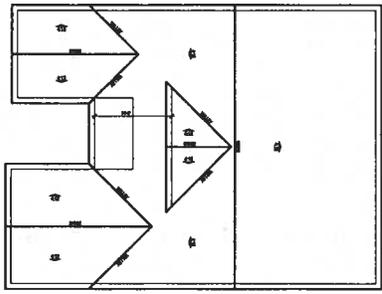
May 13, 2013  
 2012039



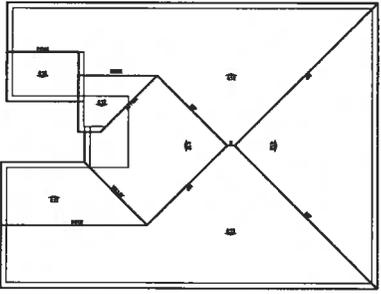
WILLIAM HERZANACH  
 ARCHITECTS  
 200 CENTRAL AVENUE SUITE 201 SUITE 201 SUITE 201  
 08502  
 609 231 1507 www.williamherzanch.com Tel: 609 231 1509



Elevation 'C'



Elevation 'B'



Elevation 'D'

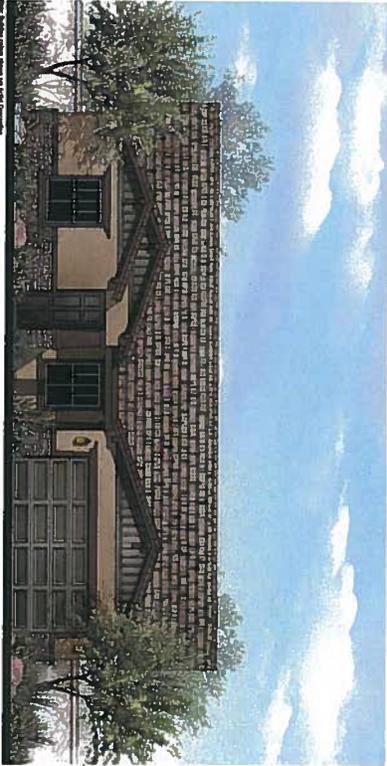
Plan 150.2351

Saybrook at Arrowood  
 OceanSide, CA  
 PERKINS+WILL  
 Architecture | Interiors

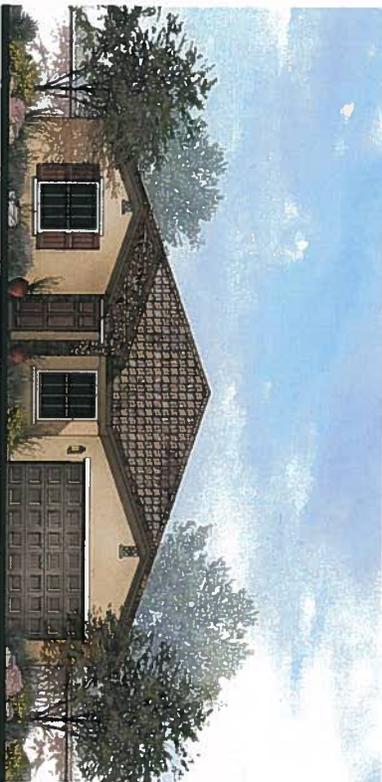
WILLIAM HERZLICH  
 ARCHITECT  
 2000 AVENUE STATE ST. SUITE 400  
 SAN FRANCISCO, CA 94102  
 TEL: 415.774.8500  
 WWW.WILLIAMHERZLICH.COM



Elevation 'B' - Colonial



Elevation 'C' - Craftsman



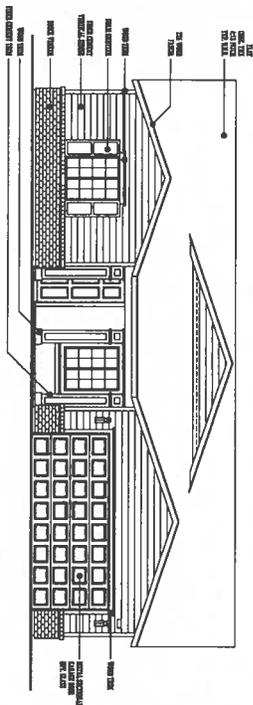
Elevation 'D' - Tuscan

Plan 150.2351

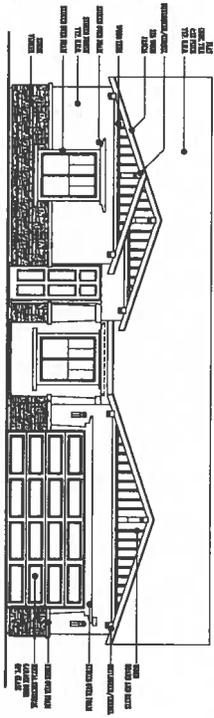
Saybrook at Arrowood  
Oceanside, CA

PARSONS  
ARCHITECTURAL GROUP

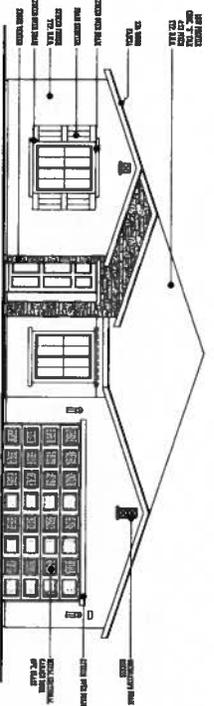




Elevation 'B' - Colonial



Elevation 'C' - Craftsman



Elevation 'D' - Tuscan

Plan 150.2351



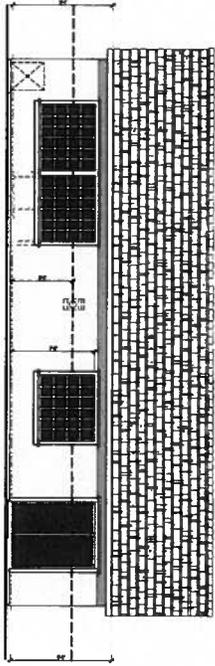
NOV 12, 2012  
2012351

Saybrook at Arrowwood  
Oceanville, VA

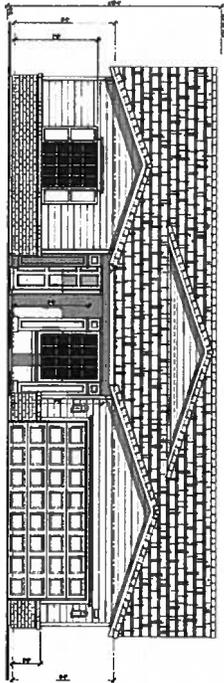


WILLIAM HERZLACH  
ARCHITECTS  
200 CENTRAL AVENUE, SUITE 200, SALEM, VA 24150  
940.250.0007 www.williamherzlach.com

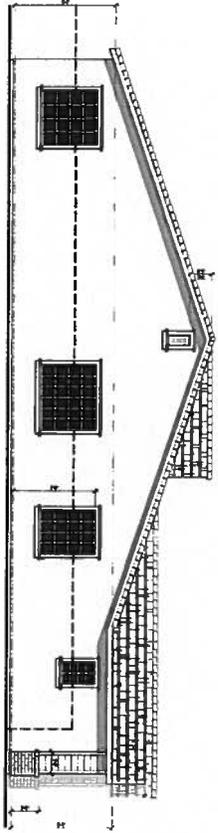




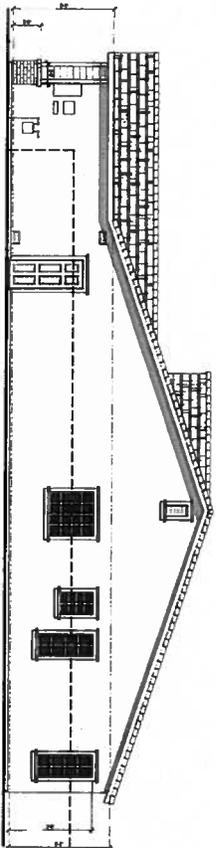
Rear Elevation 'B'



Front Elevation 'B'



Left Elevation 'B'



Right Elevation 'B'

Plan 150.2351

Saybrook at Attwood

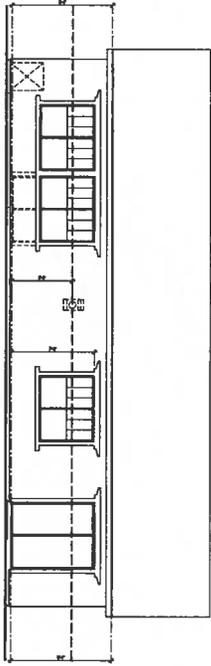
Oceanville, VA

PHILIPPOFF & ASSOCIATES  
Architectural Services

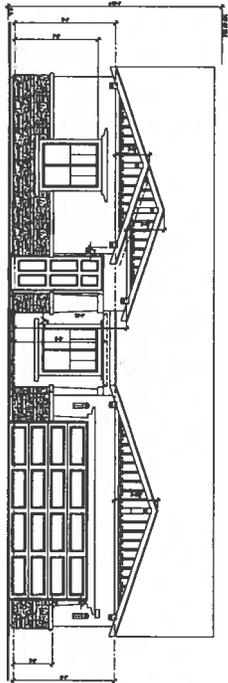


May 12, 2010  
201009

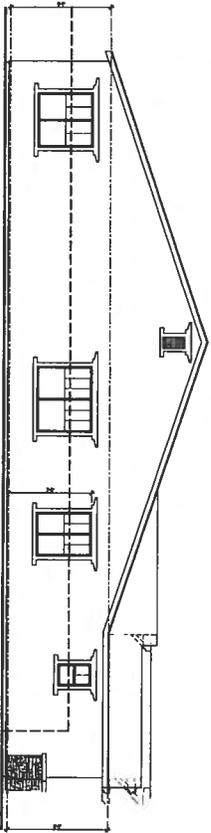




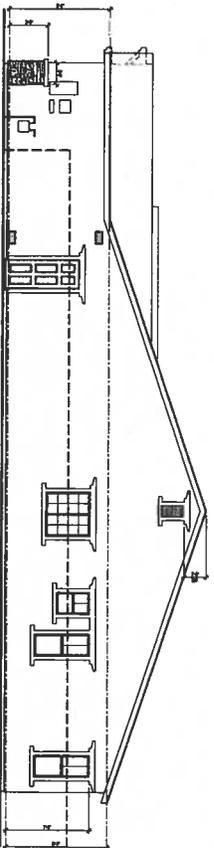
Rear Elevation 'C'



Front Elevation 'C'



Left Elevation 'C'



Right Elevation 'C'

Plan 150.2351

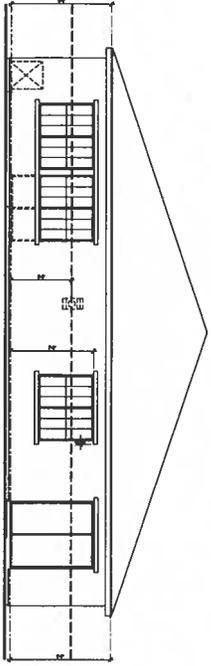


May 12, 2012  
2012030

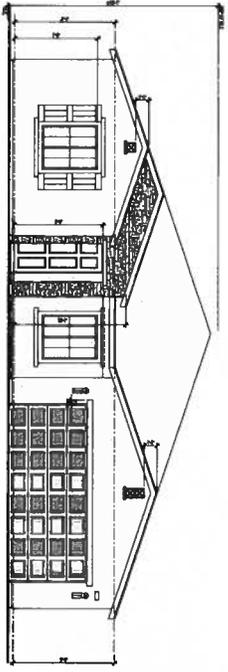
Saybrook at Attwood  
Oceanville, VA



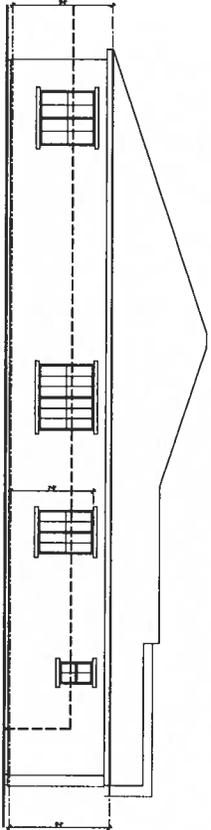
WILLIAM HENVAL HAUGH  
ARCHITECTS  
200 CENTRAL AVENUE, SUITE 200, SAUNDERSVILLE, VA 22986  
940.250.0077 www.williamhenvalhaugh.com



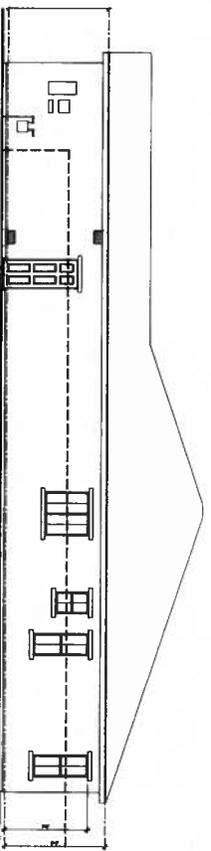
Rear Elevation 'D'



Front Elevation 'D'



Left Elevation 'D'



Right Elevation 'D'

Plan 150.2351

Saybrook at Attwood  
Oceanside, CA

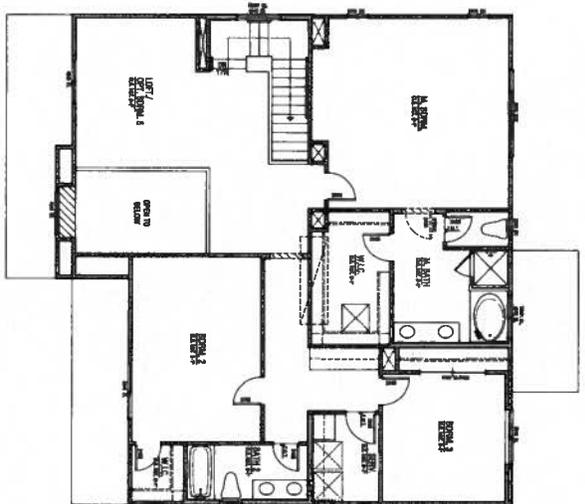
BRANDT  
Architectural Services



Map 150.2351  
201209



WILLIAM HERZOG ARCHITECTS  
A PROFESSIONAL CORPORATION  
200 CENTRAL AVENUE SUITE 200 SANTA MONICA, CA 90401  
805.251.0800 www.williamherzog.com



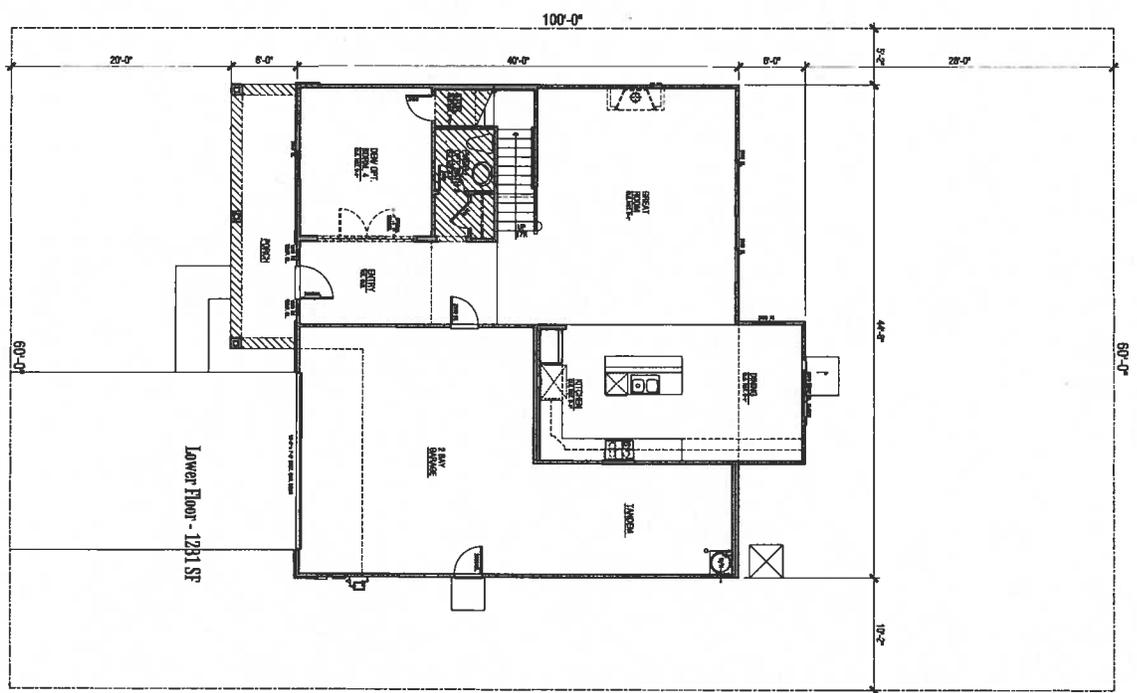
Upper Floor - 1,468 SF

**Plan 245,2695**

2,695 SF  
 3 Bdrm / Den / 2.5 Ba  
 Opt. Bdrm 4 w / Bath 3 / Opt. Bdrm 5  
 2 Car Garage / Tandem  
 8 / 9' Plates

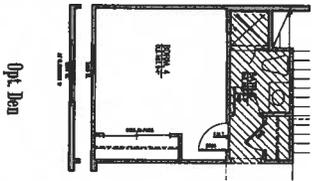
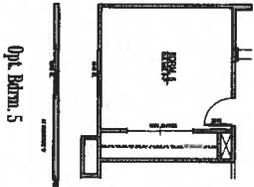
**Saybrook at Arrowood**

OceanSide, FL  
 DBB-BROOKWOOD  
 Arrowood Builders



Lower Floor - 1281 SF

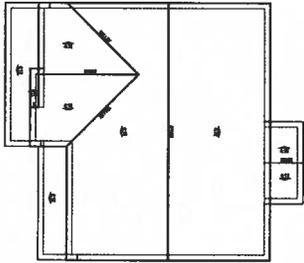
0 4 8 12  
 1/8" = 1'-0"  
 May 1, 2012  
 201208



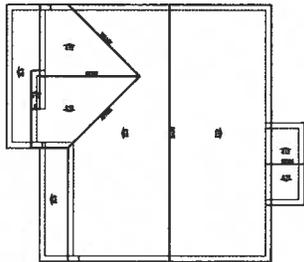
**Plan 245.2695**  
 Opt. Floor Plans

**Saybrook at Arrowood**  
 Oceanville, VA  
 BRIDGEMAN  
 American Builders

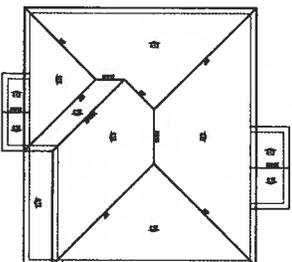
**WILLIAM HENZLAJACH**  
 ARCHITECT  
 200 COLLEGE AVENUE SUITE 200 JAYCO, VA 22078  
 804.251.2007 www.williamhenzajach.com 804.251.2029



Elevation 'C'



Elevation 'B'



Elevation 'D'

Plan 245.2695

**Saybrook at Arrowood**  
 OceanSide, CA  
 BREIDENBACH  
 Architects & Planners

**WILLIAM HENZLAUNCH**  
 ARCHITECT  
 200 CENTRAL AVENUE, SUITE 200, SAN FRANCISCO, CA 94102  
 415.774.0077 www.williamhenzlaunch.com



**Elevation 'B' - Colonial**



**Elevation 'C' - Craftsman**



**Elevation 'D' - Tuscan**

**Plan 245.2695**

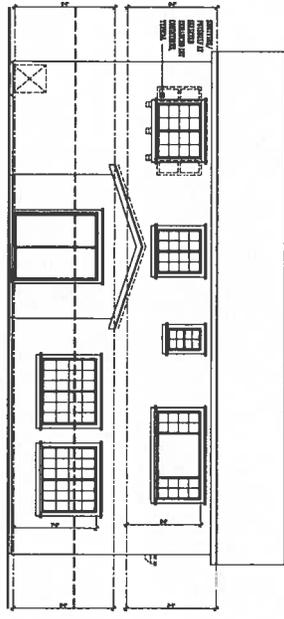


July 1, 2013  
201303

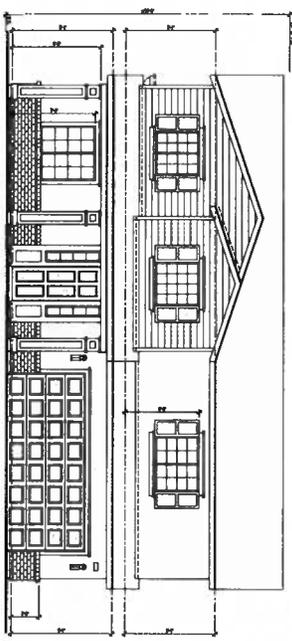
**Saybrook at Arrowood**  
Oceanside, VA  
**PARSONS**  
*Architecture & Interiors*

**WILLIAM HENZLAHALCH**  
ARCHITECT  
2000 W. WILSON AVENUE, SUITE 200  
ANN ARBOR, MI 48106  
734.769.8200  
www.williamhenzla.com

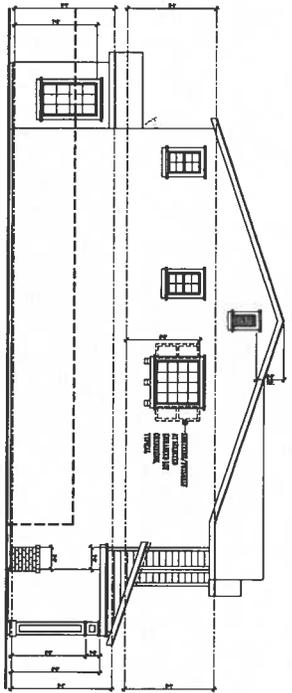




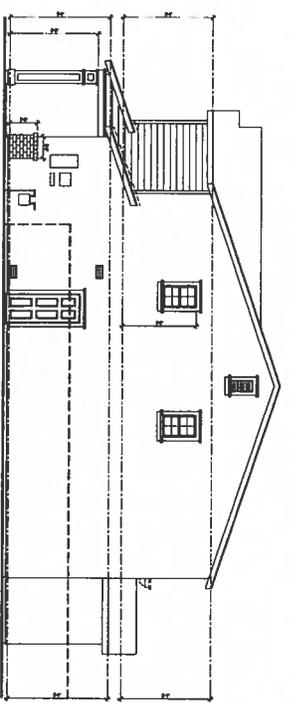
Rear Elevation 'B'



Front Elevation 'B'



Left Elevation 'B'



Right Elevation 'B'

Plan 245.2695

Saybrook at Arrowood  
Oceanside, CA

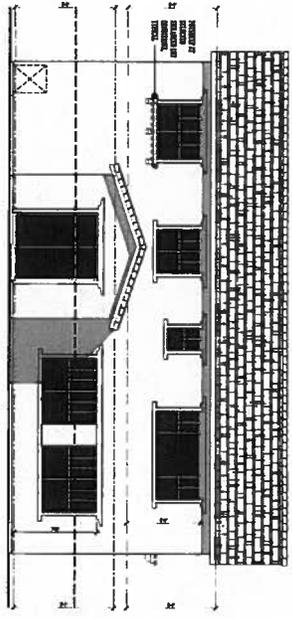
DRAYTON  
Architectural Services



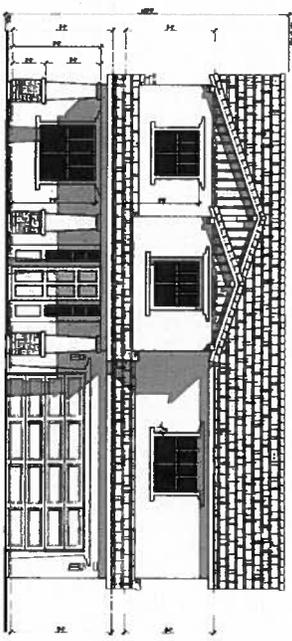
WILLIAM HERZALUNCH  
ARCHITECTS  
2005 COLLETT AVENUE, SUITE 200, SAN MARINO, CA 91766  
909.252.0207 www.williamherzalunch.com



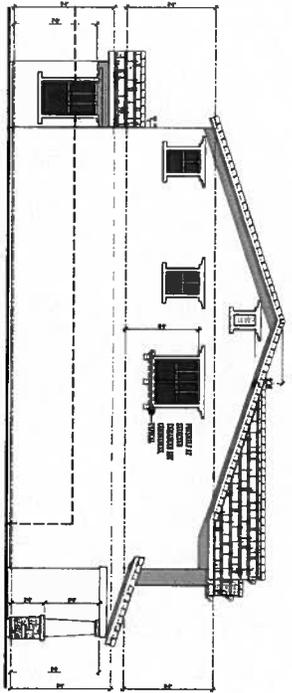
May 1, 2012  
2012030



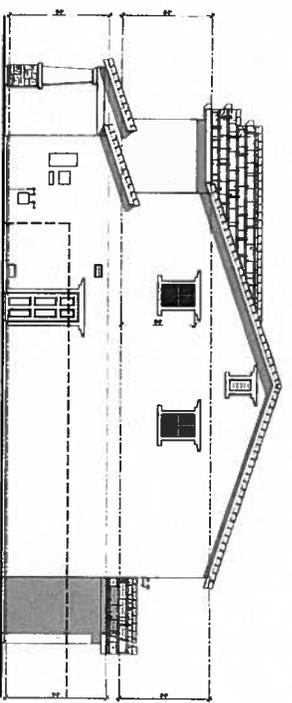
Rear Elevation 'C'



Front Elevation 'C'



Left Elevation 'C'



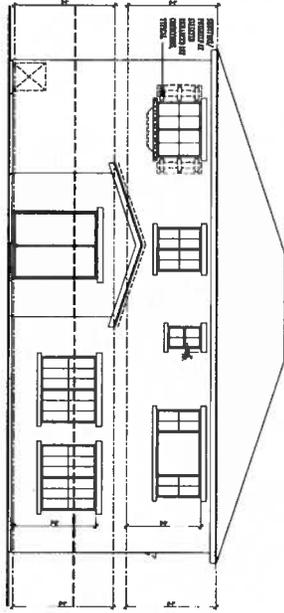
Right Elevation 'C'

Plan 245.2695

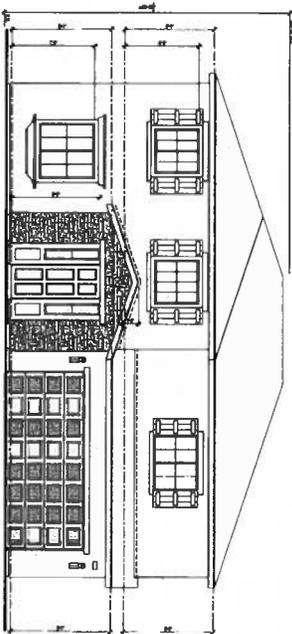


**Saybrook at Arrowood**  
 Oceanside, VA  
 PARADISE  
 Architects & Builders

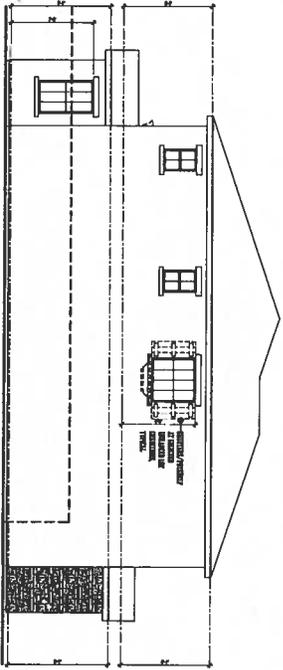
**WILLIAM HEZVALACH**  
 ARCHITECT  
 26000 AMERLE ESTATES DRIVE, SUITE 100  
 OCEAN SPRING, VA 22650  
 703.233.1800  
 www.hezvalach.com



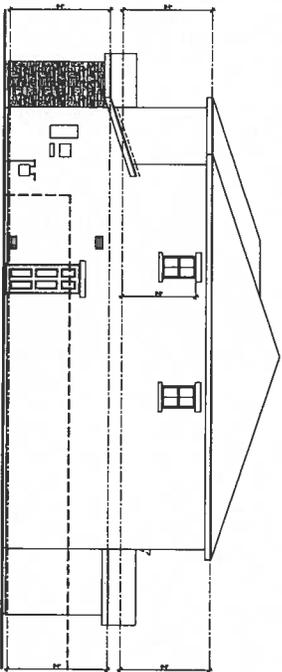
Rear Elevation 'D'



Front Elevation 'D'



Left Elevation 'D'



Right Elevation 'D'

Plan 245.2695



0 4 8 12  
 Feet  
 0 1 2 3 4 5 6 7 8 9 10 11 12  
 Feet  
 0 1 2 3 4 5 6 7 8 9 10 11 12  
 Feet

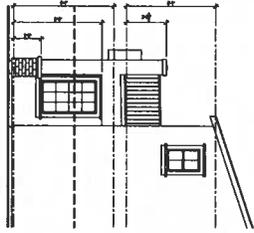
Saybrook at Arrowood  
 Oceanville, VA



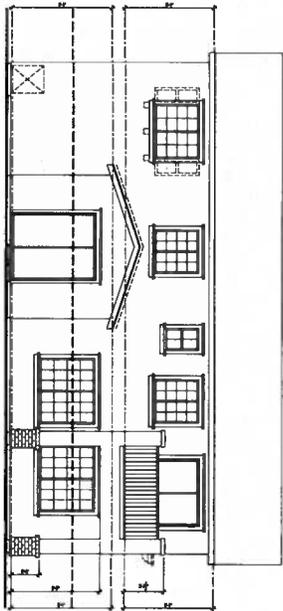
PARADISE HOMES & INTERIORS  
 Homeowners' Selection



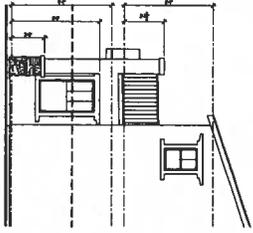
WILLIAM HERZLACH  
 ARCHITECTS  
 200 KENTWOOD DRIVE, SUITE 200, SALEM, VA 24151  
 800.259.0077 www.williamherzlach.com Tel: 540.329.1253



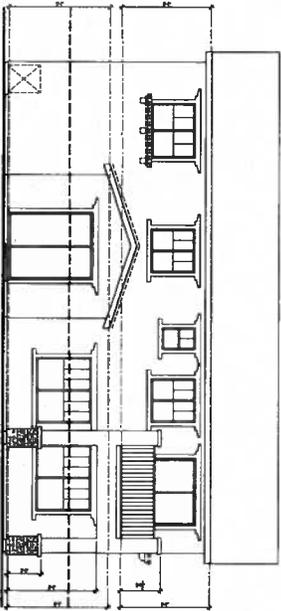
Partial Left Elevation 'B' - Opt. Deck



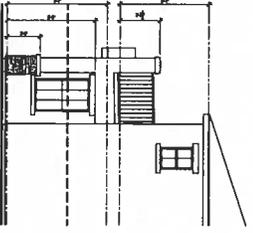
Rear Elevation 'B' - Opt. Deck



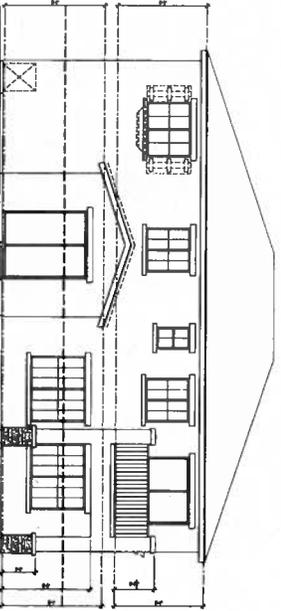
Partial Left Elevation 'C' - Opt. Deck



Rear Elevation 'C' - Opt. Deck

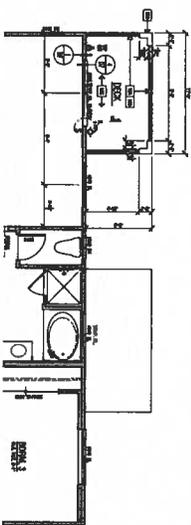


Partial Left Elevation 'D' - Opt. Deck

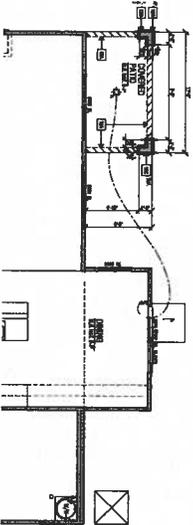


Rear Elevation 'D' - Opt. Deck

Plan 245.2695



Partial Second Floor Plan - Opt. Deck



Partial First Floor Plan - Opt. Deck



May 1, 2013  
201303

Saybrook at Arrowwood  
Oceanside, CA



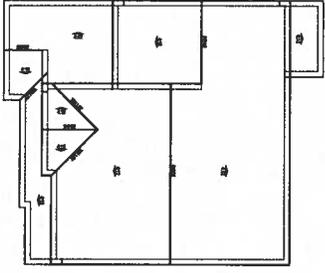
WILLIAM HERMALTAICH  
ARCHITECTS, INC.  
200 2ND STREET  
OCEANSIDE, CALIFORNIA 92054  
Tel: 949.202.1120



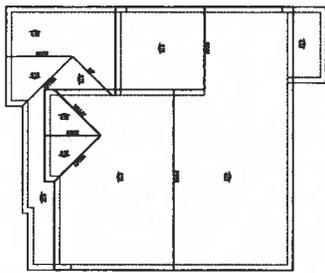




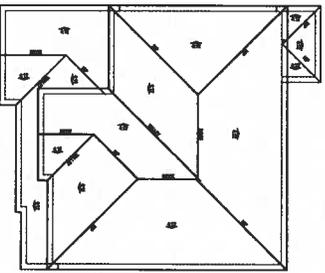




Elevation 'C'



Elevation 'B'



Elevation 'D'

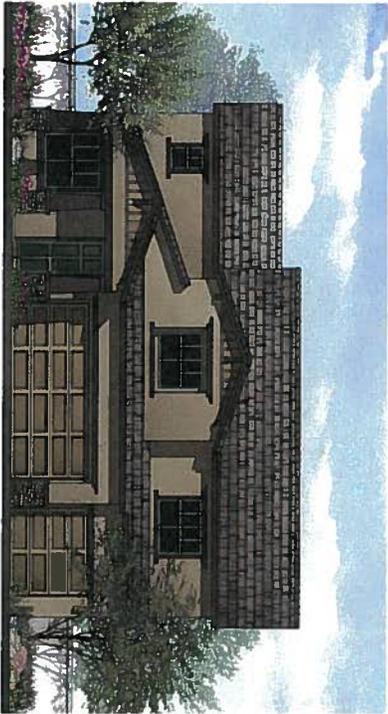
Plan 245.2971

**Saybrook at Arrowood**  
 OceanSide, VA  
 PERKINS+WILL  
 Architects & Engineers

**WILLIAM HERZLICH**  
 ARCHITECTS  
 2000 WILSON AVENUE, SUITE 200, WASHINGTON, DC 20007  
 TEL: 202.527.1200 FAX: 202.527.1201  
 WWW.WILLIAMHERZLICH.COM



**Elevation 'B' - Colonial**



**Elevation 'C' - Craftsman**



**Elevation 'D' - Tuscan**

**Plan 245.2971**

241200\_Saybrook at Arrowood



May 1, 2012  
201200

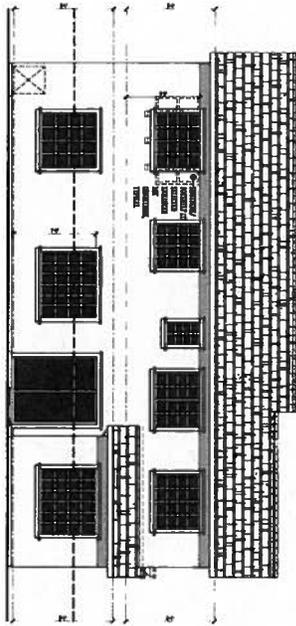
**Saybrook at Arrowood**  
Oceanside, FL

*BRAND*  
**Architectural Group**

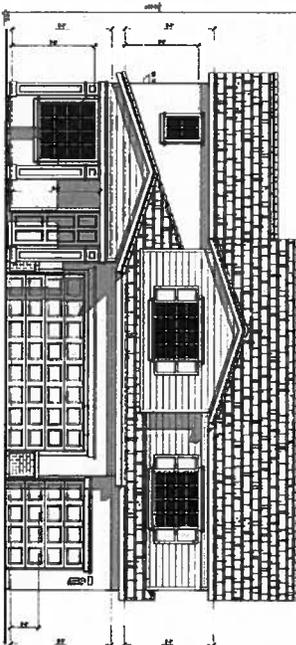


**WILLIAM HERZLARCH**  
ARCHITECTS  
200 CENTRAL AVENUE, SUITE 200, OCEANSIDE, FL 32955  
407.239.0287  
www.williamherzlarch.com

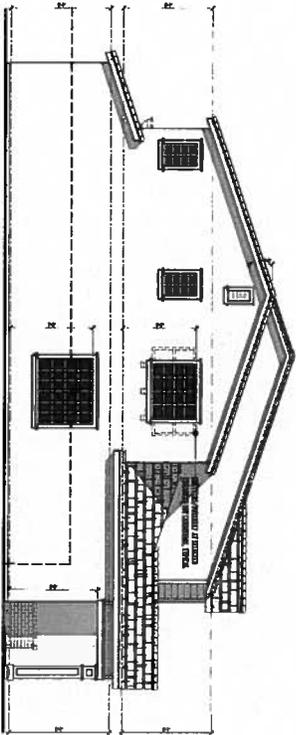




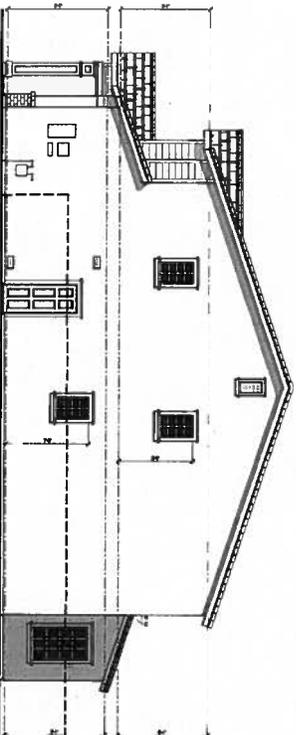
Rear Elevation 'B'



Front Elevation 'B'



Left Elevation 'B'



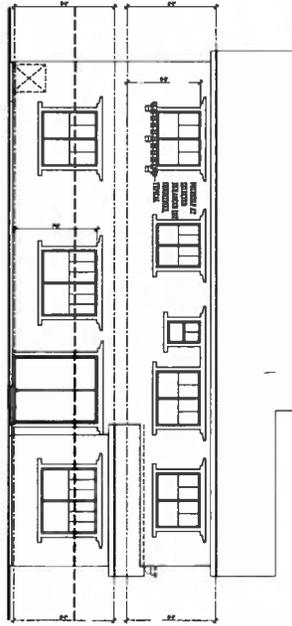
Right Elevation 'B'

Plan 245.2971

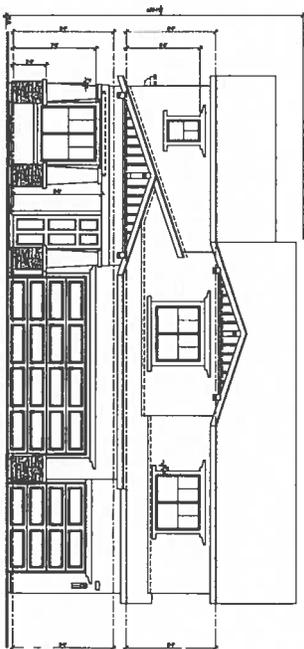


Saybrook at Attowood  
 Oceanside, CA  
 PARADIGM  
 Architects & Builders

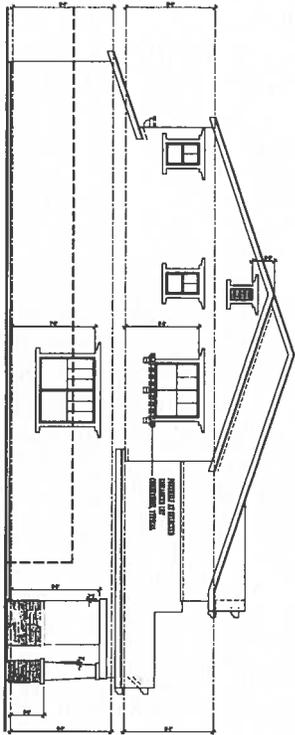
WILLIAM HERZWAHLCH  
 ARCHITECTS, INC.  
 180 2ND STREET  
 OCEANSIDE, CA 92054  
 TEL: 760.752.1234  
 WWW.WHARCHITECTS.COM



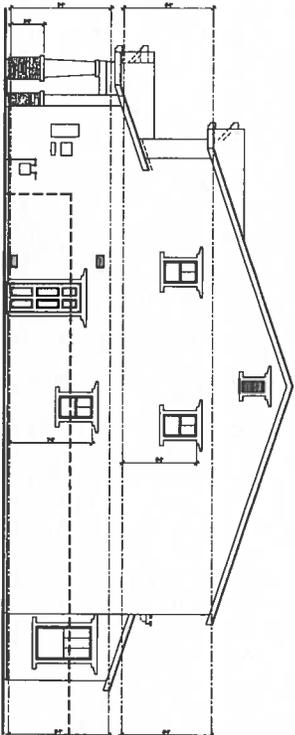
Rear Elevation 'C'



Front Elevation 'C'



Left Elevation 'C'



Right Elevation 'C'

Plan 245.2971

Saybrook at Attowood

Oceanside, FL

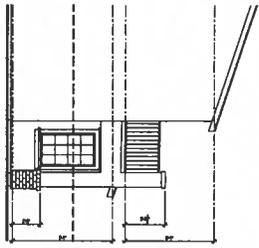


May 1, 2013  
1/16/13

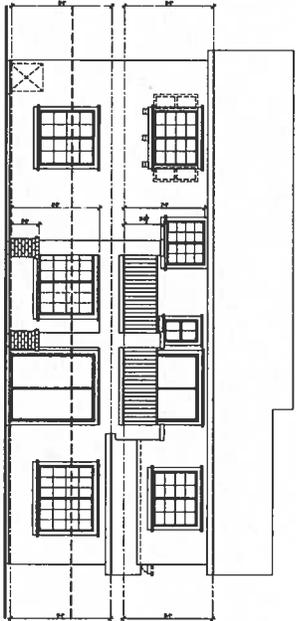


WILLIAM HENRY BLANCH  
ARCHITECTS  
260 CENTRAL AVENUE, SUITE 200, MIAMI, FL 33136  
305.351.0077 www.williamhenryblanch.com

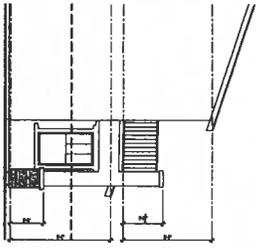




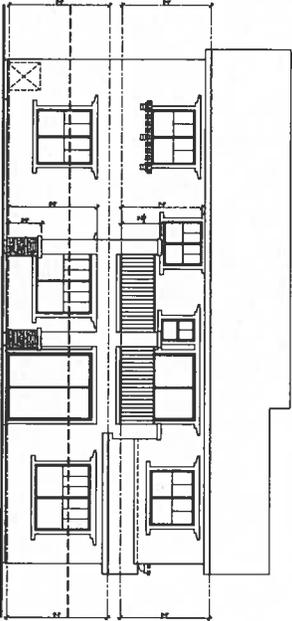
Partial Right Elevation 'B' - Opt. Deck



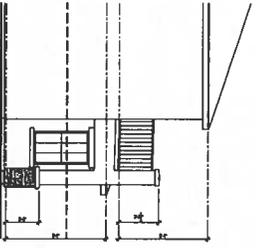
Rear Elevation 'B' - Opt. Deck



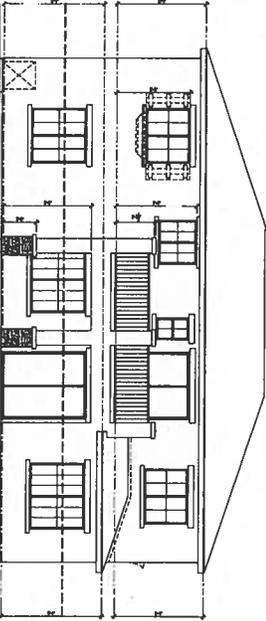
Partial Right Elevation 'C' - Opt. Deck



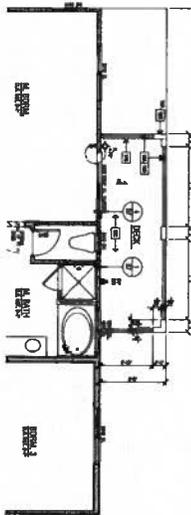
Rear Elevation 'C' - Opt. Deck



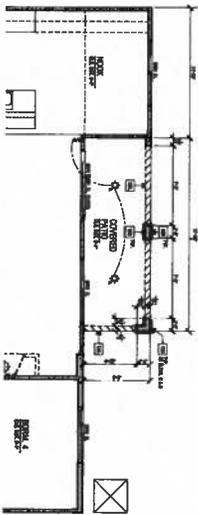
Partial Right Elevation 'D' - Opt. Deck



Rear Elevation 'D' - Opt. Deck



Partial Second Floor Plan - Opt. Deck



Partial First Floor Plan - Opt. Deck

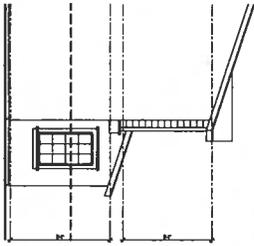


May 13, 2012  
201203

Saybrook at Attwood  
Oceanside, CA



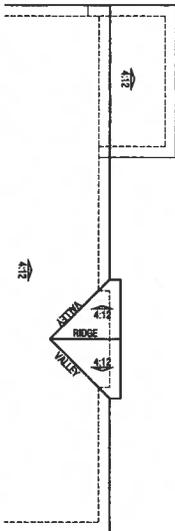
WILLIAM HEZVALHANSKI  
ARCHITECT  
200 FEDERAL AVENUE, SUITE 200, SAN MARINO, CA 91766  
909 252 0207  
www.williamhezvalhanski.com



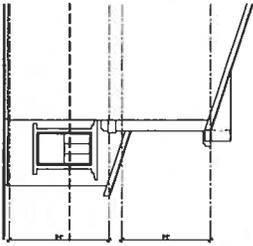
Partial Right Elevation 'B' - Enhancements



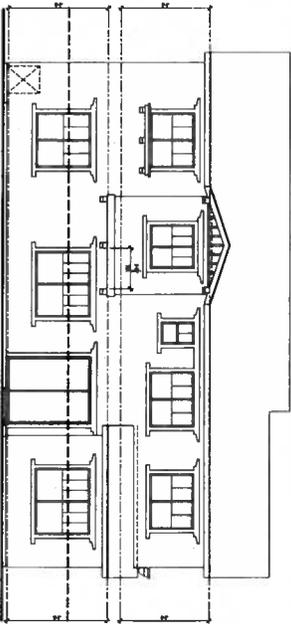
Rear Elevation 'B' - Enhancements



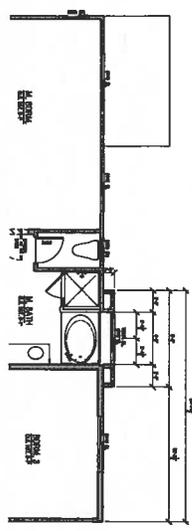
Partial Roof Plan - Enhancements



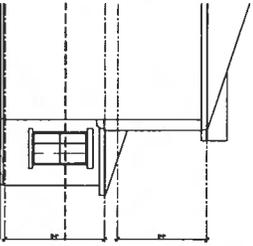
Partial Right Elevation 'C' - Enhancements



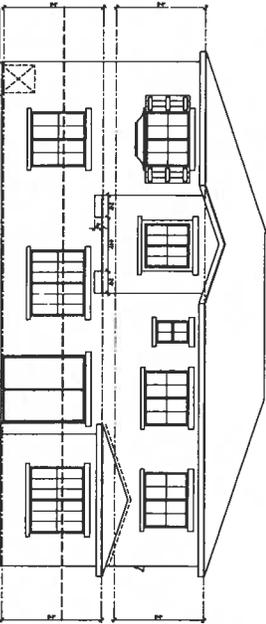
Rear Elevation 'C' - Enhancements



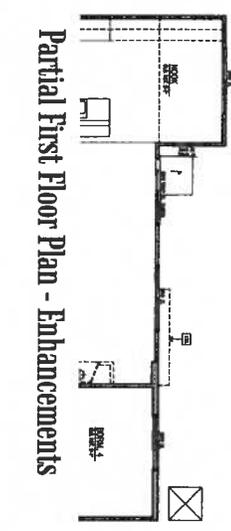
Partial Second Floor Plan - Enhancements



Partial Right Elevation 'D' - Enhancements



Rear Elevation 'D' - Enhancements



Partial First Floor Plan - Enhancements



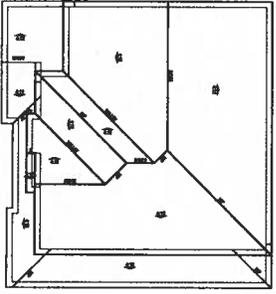
May 7, 2012  
2012039

Saybrook at Arrowood  
Oceanside, CA

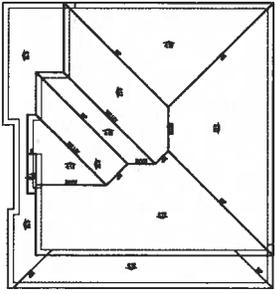


WILLIAM HEZWAHALCH  
ARCHITECTS, INC.  
1000 S. D STREET  
SAN ANTONIO, TEXAS 78207  
TEL: 214.207.1520

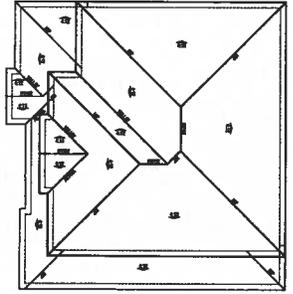




Elevation 'C'



Elevation 'B'



Elevation 'D'

Plan 250.3110

Saybrook at Arrowood

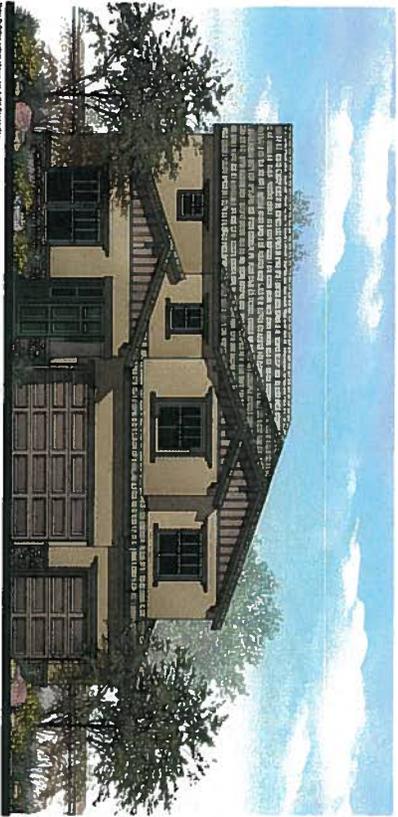
Oceanside, CA

DRAGONFLY  
Architectural Services

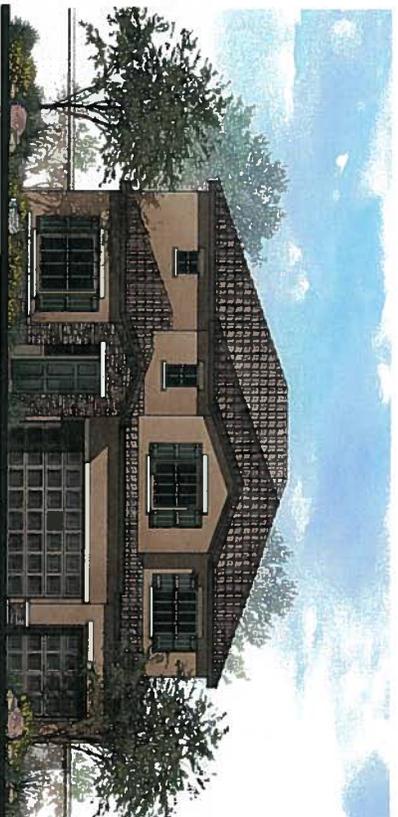




Elevation "B" - Colonial



Elevation "C" - Craftsman



Elevation "D" - Tuscan

Plan 250.3110

Saybrook at Arrowood

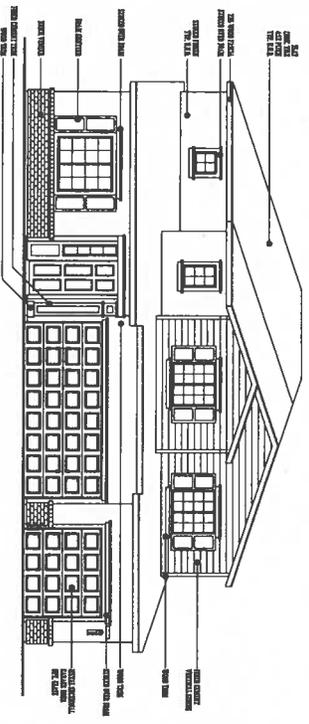
Oceanside, CA



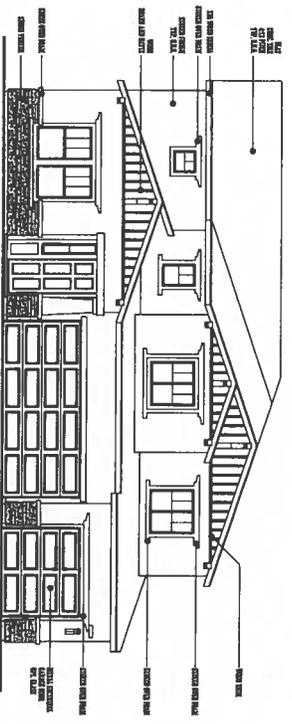
WILLIAM HEZKA/HATCH  
ARCHITECTS, INC.  
200 HERRING AVENUE SUITE 200 SAN ANTONIO, CA 78204  
800.221.0001 www.williamhezkahatch.com



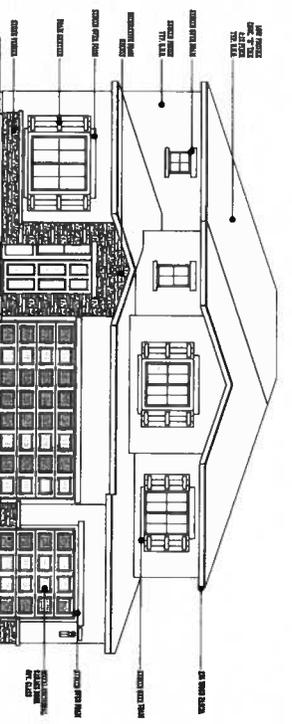
Aug 1, 2012  
2012010



Elevation "B" - Colonial



Elevation 'C' - Craftsman



Elevation 'D' - Tuscan

Plan 250.3110

Saybrook at Arrowood  
Oceanside, CA

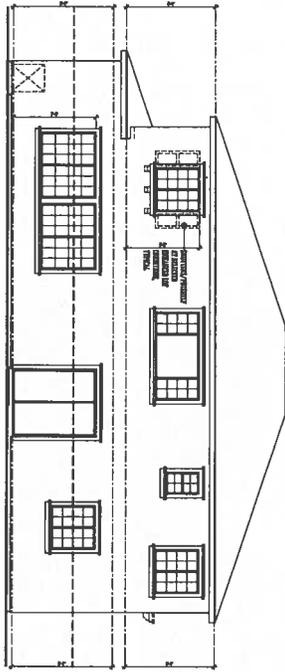
WILLIAM HEZMALHAICH  
ARCHITECTS, INC.  
2000 CENTRAL AVENUE SUITE 200 SAN ANTONIO, CA 78244  
954 251 0027 www.hezmalhaich.com



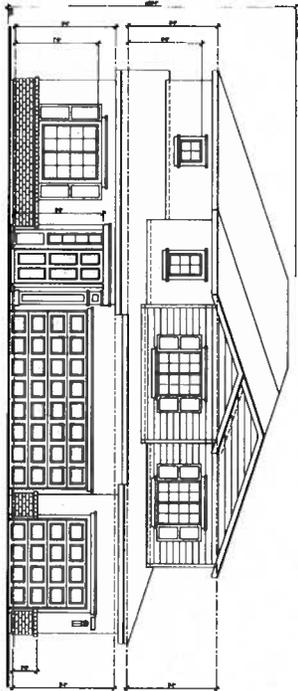
WILLIAM HEZMALHAICH  
ARCHITECTS, INC.  
2000 CENTRAL AVENUE SUITE 200 SAN ANTONIO, CA 78244  
954 251 0027 www.hezmalhaich.com



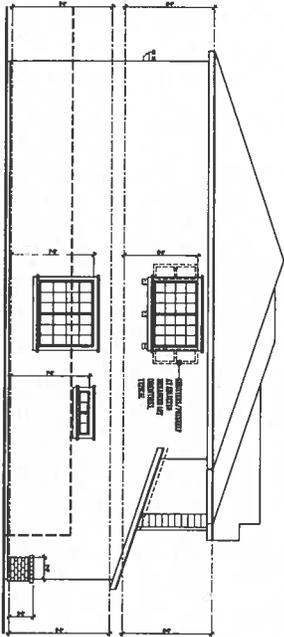
Apr 1, 2012  
20121028



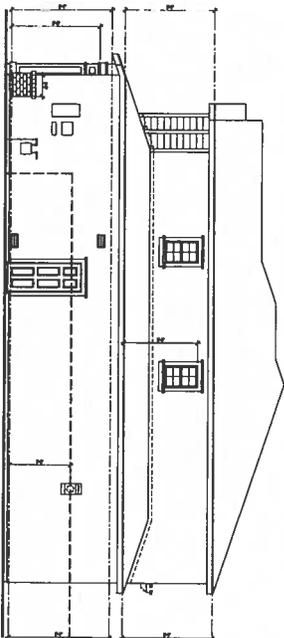
Rear Elevation 'B'



Front Elevation 'B'



Left Elevation 'B'



Right Elevation 'B'

Plan 250.3110

Saybrook at Arrowood

Oceanside, CA

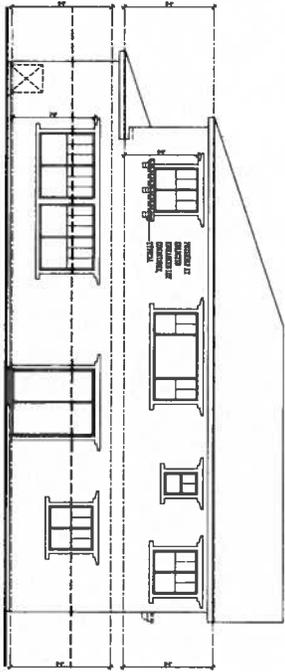
DEBORDON  
ARCHITECTS  
PIONEERS SINCE 1924



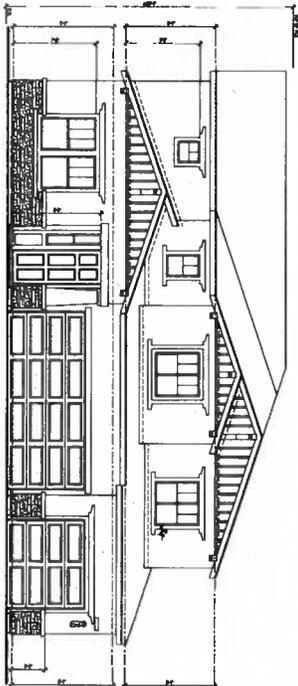
Aug 1, 2013  
031263



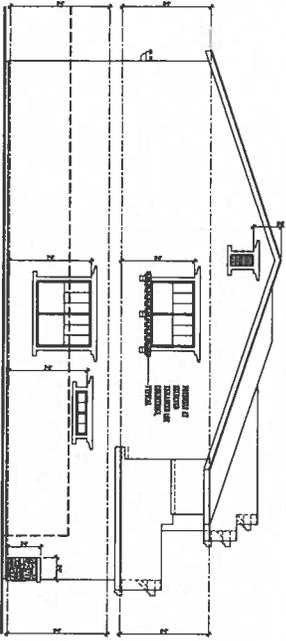
WILLIAM HEZMALHACH  
ARCHITECTS, INC.  
2005 CENTRAL EXPRESS BLVD. SUITE 200, SAN JUAN CA 92063  
949 281 0027 www.hezmalhach.com PH 949 251 1252



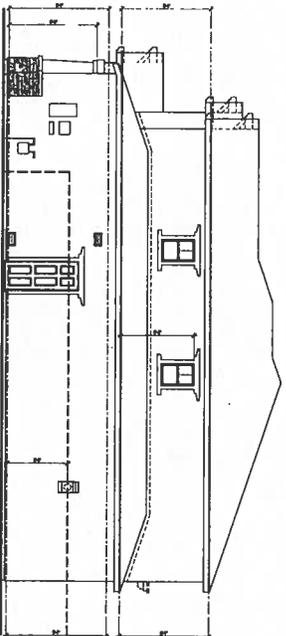
Rear Elevation 'C'



Front Elevation 'C'



Left Elevation 'C'



Right Elevation 'C'

Plan 250.3110

Saybrook at Arrowood

Orangeville, CA

WILLIAM HEZAAHATCH ARCHITECTS, INC.

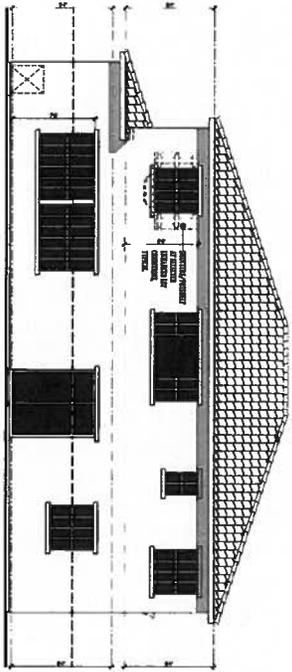
2009 NORTON AVENUE SUITE 200 SANTA ANA, CA 92704

949 251 8887 www.williamhezaahatch.com

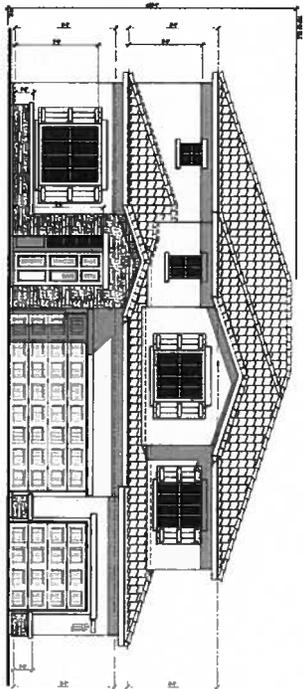


WILLIAM HEZAAHATCH ARCHITECTS, INC.  
2009 NORTON AVENUE SUITE 200 SANTA ANA, CA 92704  
949 251 8887 www.williamhezaahatch.com

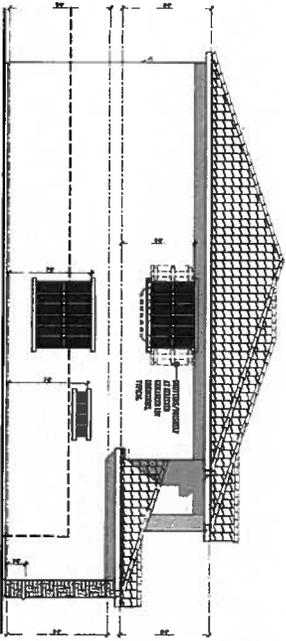




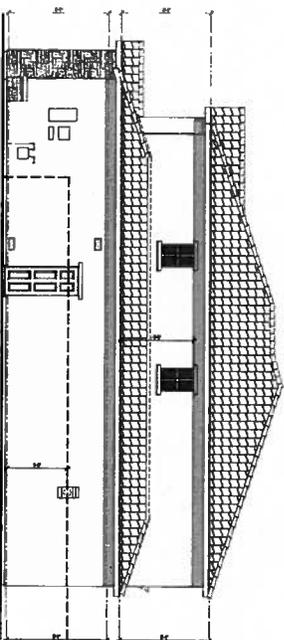
Rear Elevation 'D'



Front Elevation 'D'



Left Elevation 'D'



Right Elevation 'D'

Plan 250.3110

Saybrook at Arrowood

Oceanside, CA

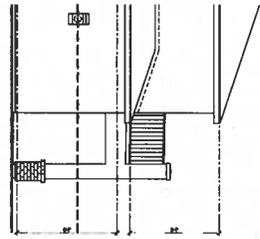
DRIBBERG 200  
Architectural Group



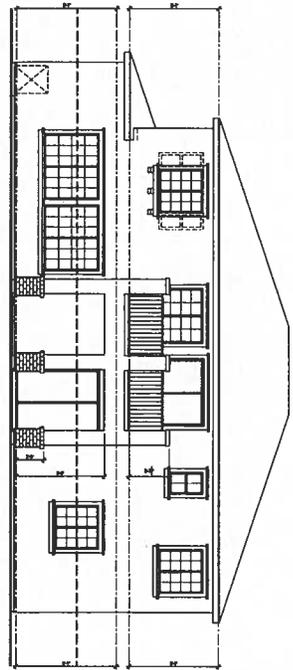
WILLIAM HENZAVHATCH  
ARCHITECTS, INC.  
200 HENZAVHATCH BLVD. SUITE 200 SAN ANTONIO, TX 78204  
949.291.5200 www.williamhenzavhatch.com



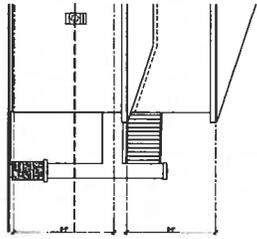
Aug 1, 2012  
201203



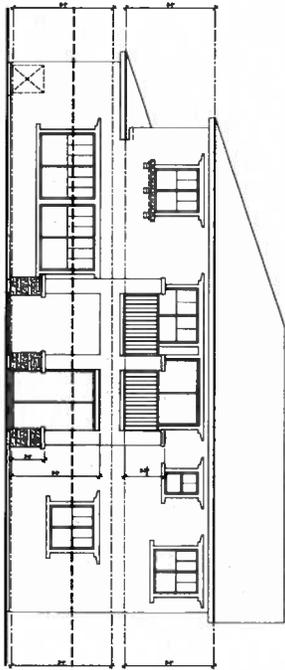
Partial Right Elevation 'B' - Opt. Deck



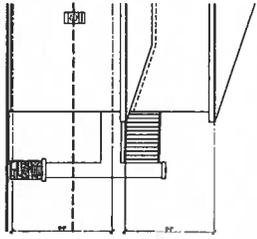
Rear Elevation 'B' - Opt. Deck



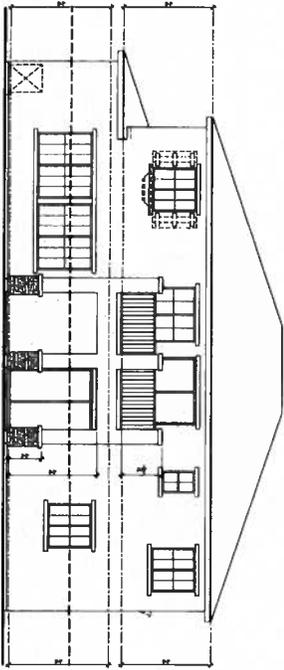
Partial Right Elevation 'C' - Opt. Deck



Rear Elevation 'C' - Opt. Deck

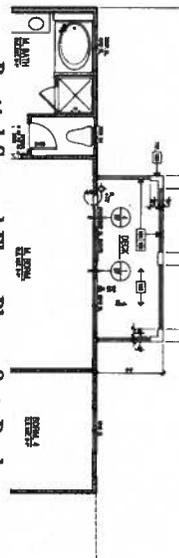


Partial Right Elevation 'D' - Opt. Deck

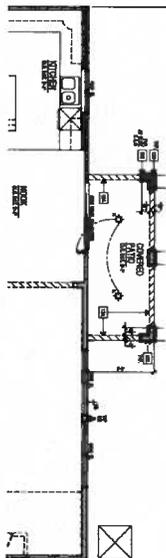


Rear Elevation 'D' - Opt. Deck

Plan 250.3110



Partial Second Floor Plan - Opt. Deck



Partial First Floor Plan - Opt. Deck

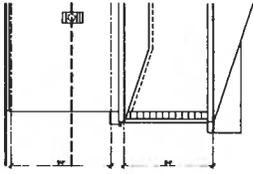


Aug 1, 2012  
201208

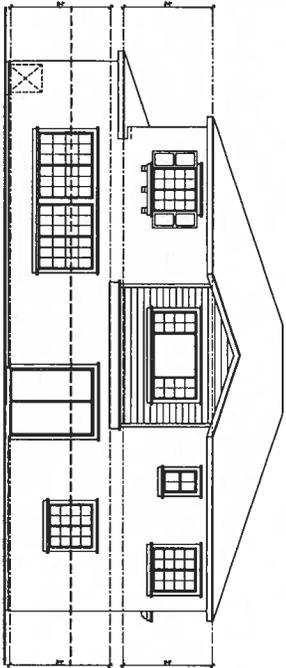
Saybrook at Arrowood  
Oceanside, CA



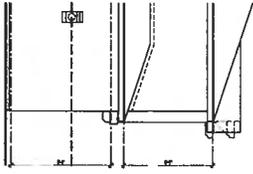
WILLIAM HERZL ARCHITECTS, INC.  
2080 REYNOLDS AVENUE SUITE 200 SANTA ANA, CA 92705-4600  
949 252 0007 www.williamherzl.com 925 848 225 0323



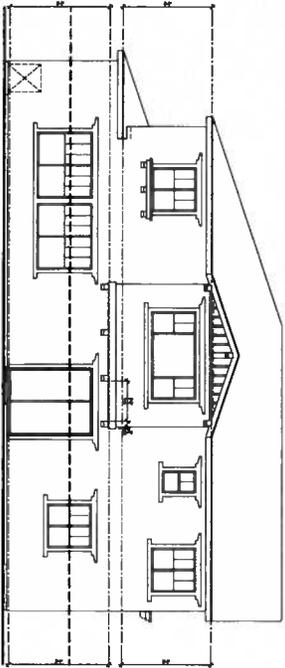
Partial Right Elevation 'B' - Enhancements



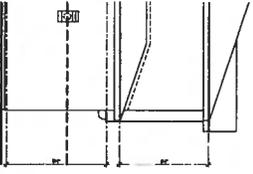
Rear Elevation 'B' - Enhancements



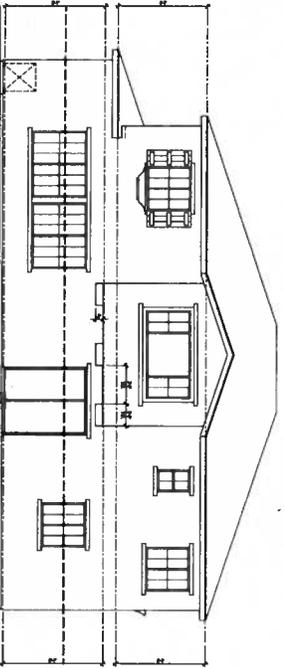
Partial Right Elevation 'C' - Enhancements



Rear Elevation 'C' - Enhancements



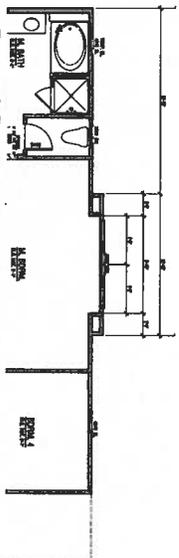
Partial Right Elevation 'J' - Enhancements



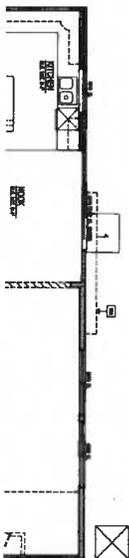
Rear Elevation 'J' - Enhancements



Partial Roof Plan - Enhancements



Partial Second Floor Plan - Enhancements



Partial First Floor Plan - Enhancements



Mr. J. M. J. 2/1/2008

Saybrook at Arrowood

Oceanside, CA

DR. HENNINGSEN ARCHITECTS, INC.

WILLIAM HENNINGSEN ARCHITECTS, INC. 200 REYNOLDS AVENUE SUITE 200 SAN ANTONIO, TEXAS 78204 210.349.8800 www.henningesen.com 210.349.8800



1  
2  
3  
4  
5  
6  
7  
8  
9  
10  
11  
12  
13  
14  
15  
16  
17  
18  
19  
20  
21  
22  
23  
24  
25  
26  
27  
28  
29

PLANNING COMMISSION  
RESOLUTION NO. 2012-P27

A RESOLUTION OF THE PLANNING COMMISSION OF THE  
CITY OF OCEANSIDE, CALIFORNIA APPROVING A  
DEVELOPMENT PLAN ON CERTAIN REAL PROPERTY IN  
THE CITY OF OCEANSIDE

---

APPLICATION NO: D12-00008  
APPLICANT: D.R. HORTON  
LOCATION: Vista Pointe Boulevard. & Bellingham Drive

---

THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES  
RESOLVE AS FOLLOWS:

WHEREAS, there was filed with this Commission a verified petition on the forms prescribed by the Commission requesting a Development Plan under the provisions of Articles 10, 30, 40, and 43 of the Zoning Ordinance of the City of Oceanside to permit the following:

to change the architecture product of the remaining 113 approved residential lots within an approved Development Plan for the development of 123 single-family homes known as Arrowood Village K;

on certain real property described in the project description;

WHEREAS, the Planning Commission, after giving the required notice, did on the 11<sup>th</sup> day of June, 2012 conduct a duly advertised public hearing as prescribed by law to consider said application.

WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State Guidelines thereto; this project has no substantial changes or evidence that would impact the approved Final Supplemental Environmental Impact Report (FSEIR) for the site and the Morro Hills Village and Golf Course as per Article 11, Section 15162, Subsequent EIRs and Negative Declarations;

WHEREAS, there is hereby imposed on the subject development project certain fees, dedications, reservations and other exactions pursuant to state law and city ordinance;

WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the project is subject to certain fees, dedications, reservations and other exactions as provided below:

Description	Authority for Imposition	Current Estimate Fee or Calculation Formula
Drainage Fee	Ordinance No. 85-23 Resolution No. 06-R0334-1	Depends on area (range is \$2,843-\$15,964 per acre)
Public Facility Fee	Ordinance No. 91-09 Resolution No. 06-R0334-1	\$0.713 per square foot or \$713 per thousand square feet for non-residential uses
School Facilities Mitigation Fee	Ordinance No. 91-34	\$.42 per square foot non-residential for Oceanside
Traffic Signal Fee	Ordinance No. 87-19 Resolution No. 06-R0334-1	\$15.71 per vehicle trip
Thoroughfare Fee (For commercial and industrial please note the 75 percent discount)	Ordinance No. 83-01 Resolution No. 06-R0334-1	\$255 per vehicle trip (based on SANDAG trip generation table available from staff and from SANDAG)
Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 05-OR 0611-1	Fee based on water meter size. Non-residential is \$37,205 for a 2" meter.
Wastewater System Buy-in Fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 05-OR 0610-1	Based on capacity or water meter size. Non-residential is \$50,501 for a 2" meter.
San Diego County Water Authority Capacity Fees	SDCWA Ordinance No. 2005-03	Based on meter size. Non-residential is \$23,358 for a 2" meter.

WHEREAS, the current fees referenced above are merely fee amount estimates of the impact fees that would be required if due and payable under currently applicable ordinances and resolutions, presume the accuracy of relevant project information provided by the applicant, and are not necessarily the fee amount that will be owing when such fee becomes due and payable;

WHEREAS, unless otherwise provided by this resolution, all impact fees shall be calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside City Code and the City expressly reserves the right to amend the fees and fee calculations consistent with applicable law;

1 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,  
2 dedication, reservation or other exaction to the extent permitted and as authorized by law;

3 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that  
4 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction  
5 described in this resolution begins on the effective date of this resolution and any such protest must  
6 be in a manner that complies with Section 66020;

7 WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes  
8 effective 10 days from its adoption in the absence of the filing of an appeal or call for review;

9 WHEREAS, studies and investigations made by this Commission and in its behalf reveal  
10 the following facts:

11 FINDINGS:

12 For the Development Plan:

- 13 1. The site plan and physical design of the project are consistent with the Zoning  
14 Ordinance because the project, as designed, meets or exceeds the development standards  
15 established in the Zoning Ordinance and the Morro Hills Village Master Plan.
- 16 2. The Development Plan is consistent with the General Plan of the City because the use is  
17 permitted by the General Plan, it is consistent with the intent of the designated land use,  
18 and it is compatible with the surrounding existing land uses.
- 19 3. The project site can be adequately served by existing public facilities, services and  
20 utilities because the site has been previously developed and the necessary infrastructure  
21 to serve the use is already in place.
- 22 4. The project, as proposed, is compatible with the existing and potential development on  
23 adjoining properties and in the surrounding neighborhood because the use and the intent  
24 is permitted in the Zone. The residential Development plan would meet all development  
25 standards and would be consistent in terms of bulk and scale as many of the surrounding  
26 developments.
- 27 5. The site plan and physical design of the project is consistent with section 1.24 and 1.25 of  
28 the Land Use Element of the General Plan because the project site is currently developed  
29 and contains no natural topographic features; and will not lead to slope instability,  
flooding, or erosion hazards to life or property because those threats have been designed  
out of the project; there are no significant natural resources on site to preserve; there are

1 no natural hazards in proximity to the site and the project meets all setback requirements;  
2 the project is not subject to the Development Guidelines for Hillside or Section 3039 of  
3 the Ordinance because the site contains no qualifying slopes.

4 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby  
5 approve Development Plan (D12-00008), subject to the following conditions:

6 **Building:**

- 7 1. Applicable Building Codes and Ordinances shall be based on the date of submittal for  
8 Building Division plan check (As of January 1, 2008 the 2007 California Building Code,  
9 and 2007 California Electrical Code).
- 10 2. The granting of approval under this action shall in no way relieve the applicant/project  
11 from compliance with all State and Local building codes.
- 12 3. All electrical, communication, CATV, etc. service lines, within the exterior lines of the  
13 property shall be underground (City Code Sec. 6.30)
- 14 4. The developer shall monitor, supervise and control all building construction and supportive  
15 activities so as to prevent these activities from causing a public nuisance, including, but not  
16 limited to, strict adherence to the following:
  - 17 a) Building construction work hours shall be limited to between 7:00 a.m. and 6:00  
18 p.m. Monday through Friday. No work shall be permitted on Sundays and Federal  
19 Holidays (New Year's Day, Memorial Day, July 4<sup>th</sup>, Labor Day, Thanksgiving  
20 Day, and Christmas Day) except as allowed for emergency work under the  
21 provisions of the Oceanside City Code Chapter 38 (Noise Ordinance).
  - 22 b) The construction site shall be kept reasonably free of construction debris as  
23 specified in Section 13.17 of the Oceanside City Code. Storage of debris in  
24 approved solid waste containers shall be considered compliance with this  
25 requirement. Small Amounts of construction debris may be stored on site in a  
26 neat, safe manner for short periods of time pending disposal.
- 27 5. This development is subject to all conditions of approval listed in Resolution No. 2000-  
28 P40 and No. 2002-P23.

27 **Engineering:**

- 28 6. This development plan is subject to all conditions of approval listed in Resolution  
29 numbers 2000-P40 and 2002-P23.

1 **Fire:**

- 2 7. Submit a copy of as-built plans on a CD for all projects on the job site. A site plan  
3 indicating the fire access and hydrant locations must also be submitted on CD Rom.
- 4 8. Fire Department requirements shall be placed on plans in the notes section.
- 5 9. The size of fire hydrant outlets shall be 2 ½ "X 4
- 6 10. The fire hydrants shall be installed and tested prior to placing any combustible materials  
7 on the job site.
- 8 11. The developer shall supply the Fire Department with updated map and hydrant locations  
9 in a digital format compatible with the Fire Department's mapping program upon  
10 approval of final improvements plans.
- 11 12. Blue hydrant identification markers shall be placed as per Oceanside's Engineers Design  
12 and Processing Manual Standard Drawing No. M-13.
- 13 13. All weather access roads shall be installed and made serviceable prior to and maintained  
14 during time of construction.
- 15 14. Buildings shall meet Oceanside sprinkler ordinance in effect at the time of building  
16 permit application.
- 17 15. In accordance with the Oceanside Fire Code Section 505, approved addresses for  
18 commercial, industrial, and residential occupancies shall be placed on the structure in  
19 such a position as to be plainly visible and legible from the street or roadway fronting  
20 the property. Numbers shall be contrasting with their background and meet the current  
21 City of Oceanside size and design standard.
- 22 16. Single-family dwellings require 4-inch address numbers.
- 23 17. Plans shall be submitted to the Fire Prevention Bureau for plan check review and  
24 approval prior to the issuance of building permits.
- 25 18. Buildings shall meet Oceanside Fire Department's current codes at the time of building  
26 permit application.
- 27 19. Fire apparatus access roads shall be designed and maintained to support the imposed  
28 loads of fire apparatus not less than 75,000 lbs and shall be provided with an approved  
29 paved surface to provide all-weather driving capabilities.
20. The gradient for a fire apparatus access roadway shall not exceed 12 percent. Note  
gradient on all streets.

- 1 21. Any new development that necessitates updating of emergency response maps by virtue  
2 of new structures, hydrants, roadways or similar features, shall be required to provide  
3 map updates in a format (PDF, GIS and/or CAD) as approved by the FAHJ or  
4 compatible with current department mapping services. The Fire Department is  
5 authorized to charge a reasonable fee for updating all response maps.
- 6 22. All water mains which support fire hydrants shall be looped as required by City of  
7 Oceanside Engineer's Manual.
- 8 23. When a cul-de-sac exceeds 500 feet, all buildings beyond 500 feet from the intersection  
9 will be equipped with automatic fire sprinklers. Pinehurst Drive cul-de-sac total length  
10 is 560 feet. Residential units at lots 46, 47 and 48 must be fire sprinkled.

11 **Landscaping:**

- 12 24. Landscape plans, shall meet the criteria of the City of Oceanside Landscape Guidelines  
13 and Specifications for Landscape Development (latest revision), Water Conservation  
14 Ordinance No. 91-15, Engineering criteria, City code and ordinances, including the  
15 maintenance of such landscaping, shall be reviewed and approved by the City Engineer  
16 prior to the issuance of building permits. Landscaping shall not be installed until bonds  
17 have been posted, fees paid, and plans signed for final approval. Prior to the installation  
18 of landscape and irrigation improvements the landscape architect of record, general  
19 contractor, landscape contractor and city public works inspector shall conduct a pre-  
20 construction meeting at the project site. The following landscaping requirements shall be  
21 met prior to plan approval and certificate of occupancy:
- 22 a) Landscape plans (including model and typical front yards) shall comply with the  
23 *Morro Hills Village and Golf Course -Master Landscape Plan* (dated May 2000)  
24 and *The City of Oceanside Guidelines and Specifications for Landscape*  
25 *Developments* (most current edition).
  - 26 b) Final landscape plans shall accurately show the placement of all plant material  
27 such as but not limited to trees, shrubs, and groundcovers.
  - 28 c) Street trees shall be planted from a minimum of a 24-inch box container and  
29 shall comply with the *City of Oceanside Street Tree Standard Detail 211A*.

- 1 d) Landscape Architect shall be aware of all utilities, sewer, water, gas, storm drain  
2 lines and utility easements and place planting locations accordingly to meet City  
3 of Oceanside requirements.
- 4 e) All required landscape areas shall be maintained by owner (including public  
5 rights-of-way). The landscape areas shall be maintained per City of Oceanside  
6 requirements.
- 7 f) Proposed landscape species shall be native or naturalized to fit the site and meet  
8 climate changes indicative to their planting location. The selection of plant  
9 material shall also be based on cultural, aesthetic, and maintenance  
10 considerations. In addition proposed landscape species shall be low water users  
11 as well as meet all fire department requirements.
- 12 g) All planting areas shall be prepared with appropriate soil amendments, fertilizers,  
13 and appropriate supplements based upon a soils report from an agricultural  
14 suitability soil sample taken from the site.
- 15 h) Ground covers or bark mulch shall fill in between the shrubs to shield the soil  
16 from the sun, evapotranspiration and run-off. All the flower and shrub beds  
17 shall be mulched to a 3" depth to help conserve water, lower the soil temperature  
18 and reduce weed growth.
- 19 i) The shrubs shall be allowed to grow in their natural forms. All landscape  
20 improvements shall follow the City of Oceanside Guidelines.
- 21 j) Root barriers shall be installed adjacent to all paving surfaces, where a paving  
22 surface is located within 6 feet of a trees trunk on site (private) and within 10 feet  
23 of a trees trunk in the right-of-way (public). Root barriers shall extend 5 feet in  
24 each direction from the centerline of the trunk, for a total distance of 10 feet.  
25 Root barriers shall be 24 inches in depth. Installing a root barrier around the  
26 tree's root ball is unacceptable.
- 27 k) Where applicable, side yard retaining walls measuring 4-foot vertical height and  
28 higher shall be plantable walls. The landscape plans shall show such plantable  
29 walls to be planted and irrigated. All retaining walls shorter than 4-foot vertical  
height shall be of a decorative finish such as slump stone, split-face, or stucco-  
coated and painted to match the architecture of building.

- 1 l) Where applicable, combination of a side yard retaining wall and side yard  
2 privacy fence shall not exceed a 6-foot vertical height unless off-set by 12-inches  
3 horizontally to allow for planting and irrigation. In such cases, the landscape  
4 plan shall show landscape and irrigation within the off-set area between the side  
5 yard fence and retaining wall.
- 6 m) All fences, gates, walls, stone walls, retaining walls, and plantable walls shall  
7 obtain planning department approval for these items in the conditions or  
8 application stage prior to 1<sup>st</sup> submittal of working drawings.
- 9 n) For the planting and placement of trees and their distances from hardscape and  
10 other utilities/ structures the landscape plans shall follow the City of Oceanside's  
11 (current) Tree Planting Distances and Spacing Standards.
- 12 o) An automatic irrigation system shall be installed to provide coverage for all  
13 planting areas shown on the plan. Low precipitation equipment shall provide  
14 sufficient water for plant growth with a minimum water loss due to water run-  
15 off.
- 16 p) Irrigation systems shall use high quality, automatic control valves, controllers  
17 and other necessary irrigation equipment. All components shall be of non-  
18 corrosive material. All drip systems shall be adequately filtered and regulated  
19 per the manufacturer's recommended design parameters.
- 20 q) All irrigation improvements shall follow the City of Oceanside Guidelines and  
21 Water Conservation Ordinance.
- 22 r) The landscape plans shall match all plans affiliated with the project.
- 23 s) Landscape plans shall comply with Biological and/or Geotechnical reports, as  
24 required, shall match the grading and improvement plans, comply with SWMP  
25 Best Management Practices and meet the satisfaction of the City Engineer.
- 26 t) Existing landscaping on and adjacent to the site shall be protected in place and  
27 supplemented or replaced to meet the satisfaction of the City Engineer.
- 28 25. All landscaping, fences, walls, etc. on the site, in medians within the public right-of-way  
29 and within any adjoining public parkways shall be permanently maintained by the  
owner, his assigns or any successors-in-interest in the property. The maintenance  
program shall include: a) normal care and irrigation of the landscaping b) repair and

1 replacement of plant materials (including trees) c) irrigation systems as necessary d)  
2 general cleanup of the landscaped and open areas e) parking lots and walkways, walls,  
3 fences, etc. f) pruning standards for street trees shall comply with the International  
4 Society of Arboriculture (ISA) *Standard Practices for Tree Care Operations – ANSI*  
5 *A300, Appendix G: Safety Standards, ANSI Z133; Appendix H; and Tree Pruning*  
6 *Guidelines, Appendix F* (most current edition). Failure to maintain landscaping shall  
7 result in the City taking all appropriate enforcement actions including but not limited to  
8 citations. This maintenance program condition shall be recorded with a covenant as  
9 required by this resolution.

10 26. In the event that the conceptual landscape plan (CLP) does not match the conditions of  
11 approval, the resolution of approval shall govern.

12 **Planning:**

13 27. The Development Plan shall expire on June 11, 2014, unless implemented in accordance  
14 with the City of Oceanside Zoning Ordinance or unless a time extension is granted by the  
15 Planning Commission.

16 28. This development plan is subject to all conditions of approval listed in Resolution Nos. 2000-  
17 P40 and 2002-P23, unless modified by this resolution.

18 29. This Development Plan (D12-00008) only approves the change of the architecture product  
19 of the remaining 113 approved residential lots within an approved Development Plan for  
20 the development of 123 single-family homes known as Arrowood Village K as depicted  
21 on the plans and exhibits presented to the Planning Commission for review and approval.  
22 No deviation from these approved plans and exhibits shall occur without the City Planner  
23 or Planning Commission approval. Substantial deviations shall require a revision to the  
24 Development Plan and Conditional Use Permit, or a new Development Plan and  
25 Conditional Use Permit, as determined by the City Planner.

26 30. The applicant, permittee or any successor-in-interest shall defend, indemnify and hold  
27 harmless the City of Oceanside, its agents, officers or employees from any claim, action or  
28 proceeding against the City, its agents, officers, or employees to attack, set aside, void or  
29 annul an approval of the City, concerning Development Plan (D12-00008). The City will  
promptly notify the applicant of any such claim, action or proceeding against the City  
and will cooperate fully in the defense. If the City fails to promptly notify the applicant  
of any such claim action or proceeding or fails to cooperate fully in the defense, the

1 applicant shall not, thereafter, be responsible to defend, indemnify or hold harmless the  
2 City.

3 31. A covenant or other recordable document approved by the City Attorney shall be prepared  
4 by the developer and recorded prior to issuance of building permits. The covenant shall  
5 provide that the property is subject to this resolution, and shall generally list the conditions  
6 of approval.

7 32. All mechanical rooftop and ground equipment shall be screened from public view as  
8 required by the Zoning Ordinance. That is, on all four sides and top. The roof jacks,  
9 mechanical equipment, screen and vents shall be painted with non-reflective paint to match  
10 the roof. This information shall be shown on the building plans.

11 33. All single-family dwelling unit projects shall dispose of or recycle solid waste in a manner  
12 provided in City Ordinance 13.3.

13 34. A letter of clearance from the affected school district in which the property is located  
14 shall be provided as required by City policy at the time building permits are issued.

15 35. Prior to the issuance of building permits, compliance with the applicable provisions of the  
16 City's anti-graffiti (Ordinance No. 93-19/Section 20.25 of the City Code) shall be reviewed  
17 and approved by the Planning Division. These requirements, including the obligation to  
18 remove or cover with matching paint all graffiti within 24 hours, shall be noted on the  
19 Landscape Plan and shall be recorded in the form of a covenant affecting the subject  
20 property.

21 36. If any aspect of the project fencing and walls is not covered by an approved Development  
22 Plan, the construction of fencing and walls shall conform to the development standards of  
23 the City Zoning Ordinance and/or the Morro Hills Village and Golf Course Master Plan, as  
24 deemed applicable. In no case, shall the construction of fences and walls (including  
25 combinations thereof) exceed the limitations of the zoning code, unless expressly granted  
26 by a Variance or other development approval.

27 37. The floor plan/elevation/ and color scheme, as approved by the Planning Commission, shall  
28 be indicated on plans and maintained in a plotting matrix table, and shall be submitted as a  
29 separate plan sheet with each phase of development. The table shall be submitted to the  
Development Services Department/Planning Division prior to building permit issuance.

- 1 38. Prior to the transfer of ownership and/or operation of the site the owner shall provide a  
2 written copy of the applications, staff report and resolutions for the project to the new  
3 owner and or operator. This notification's provision shall run with the life of the project  
4 and shall be recorded as a covenant on the property.
- 5 39. Failure to meet any conditions of approval for this development shall constitute a violation  
6 of the Development Plan.
- 7 40. Unless expressly waived, all current zoning standards and City ordinances and policies in  
8 effect at the time building permits are issued are required to be met by this project. The  
9 approval of this project constitutes the applicant's agreement with all statements in the  
10 Description and Justification Plan and other materials and information submitted with this  
11 application, unless specifically waived by an adopted condition of approval.
- 12 41. The applicant, tenants, or successors in interest shall comply with the City's business  
13 license requirements as necessary.
- 14 42. Elevations, siding materials, colors, roofing materials and floor plans shall be  
15 substantially the same as those approved by the Planning Commission. These shall be  
16 shown on plans submitted to the Building Division and Planning Division for permit  
17 plan check, and prior to issuance of any building permit.
- 18 43. Plotting shall alternate floor plans/elevations so that no individual elevation is plotted for  
19 more than 60 percent of the total units on any of the five designated segment areas  
20 approved as part of this development plan.
- 21 44. No two units with identical front elevations shall be plotted on adjacent lots on the same  
22 side of the street or immediately across from each other.
- 23 45. If the same plan type is selected adjacent to each other, a different elevation and color  
24 scheme will be required.
- 25 46. There will be a separation of three intervening lots before the same elevation and color  
26 scheme can be repeated for the same plan type.
- 27 47. Twenty-five percent of exterior openings, doors/windows, shall be recessed or projected  
28 a minimum of two inches and shall be vinyl, wood or colored aluminum (no mill  
29 finishes).
48. Garage doors shall be designed to set into walls rather than being flush with exterior  
walls.

- 1 49. Walls and fences over 42 inches in height shall be held behind the front plane of the
- 2 house by a minimum of six feet.
- 3 50. This project is subject to the provisions of Chapter 14C of the City Code regarding
- 4 Inclusionary Housing.
- 5 51. This project shall comply with all provisions of the City's Affirmative Fair Housing
- 6 Marketing Agreement policy. Such agreement shall be submitted to and approved by
- 7 the Housing and Neighborhood Services Director prior to the recordation of a final map
- 8 or the issuance of a building permit for the project, whichever comes first.
- 9 52. This project shall comply with all applicable mitigation measures for the Morro Hills EIR.
- 10 53. Garages shall be kept available and useable for the parking of tenant's automobiles at all
- 11 times.

11 ///////////////  
12 ///////////////  
13 ///////////////  
14 ///////////////  
15 ///////////////  
16 ///////////////  
17 ///////////////  
18 ///////////////  
19 ///////////////  
20 ///////////////  
21 ///////////////  
22 ///////////////  
23 ///////////////  
24 ///////////////  
25 ///////////////  
26 ///////////////  
27 ///////////////  
28 ///////////////  
29 ///////////////

1 **Water Utilities:**

2 54. This development shall have the same conditions of approval as per Resolution 2000-  
3 P40.

4 PASSED AND ADOPTED Resolution No. 2012-P27 on June 4, 2012 by the following  
5 vote, to wit:

6 AYES:

7 NAYS:

8 ABSENT:

9 ABSTAIN:

10 \_\_\_\_\_  
11 Tom Rosales, Chairperson  
Oceanside Planning Commission

12 ATTEST:

13 \_\_\_\_\_  
14 Jerry Hittleman, Secretary

15 I, JERRY HITTLEMAN, Secretary of the Oceanside Planning Commission, hereby certify that  
16 this is a true and correct copy of Resolution No. 2012-P27.

17  
18 Dated: June 4, 2012

19  
20 Applicant accepts and agrees with all conditions of approval and acknowledges impact fees may  
21 be required as stated herein:

22 \_\_\_\_\_  
23 Applicant/Representative Date

24  
25 Applicant accepts and agrees with all conditions of approval and acknowledges impact fees may  
26 be required as stated herein:

27 \_\_\_\_\_  
28 Applicant/Representative Date

1  
2  
3  
4  
5  
6  
7  
8  
9  
10  
11  
12  
13  
14  
15  
16  
17  
18  
19  
20  
21  
22  
23  
24  
25  
26  
27  
28  
29

**PLANNING COMMISSION  
RESOLUTION NO. 2011-P01**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE  
CITY OF OCEANSIDE, CALIFORNIA APPROVING A  
DEVELOPMENT PLAN ON CERTAIN REAL PROPERTY IN  
THE CITY OF OCEANSIDE**

---

**APPLICATION NO: D10-00007**  
**APPLICANT: Toll Land XX Ltd. Partner**  
**LOCATION: Vista Pointe Boulevard. & Bellingham Drive**

---

**THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES  
RESOLVE AS FOLLOWS:**

WHEREAS, there was filed with this Commission a verified petition on the forms prescribed by the Commission requesting a Development Plan under the provisions of Articles 10, 30, 40, and 43 of the Zoning Ordinance of the City of Oceanside to permit the following:

construction of 123 single-family homes within the Morro Hills Master Planned Community known as Village K and modify the pad area finish grade by less than 1'-0"; on certain real property described in the project description;

WHEREAS, the Planning Commission, after giving the required notice, did on the 10<sup>th</sup> day of January, 2011 conduct a duly advertised public hearing as prescribed by law to consider said application.

WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State Guidelines thereto; this project has no substantial changes or evidence that would impact the approved Final Supplemental Environmental Impact Report (FSEIR) for the site and the Morro Hills Village and Golf Course as per Article 11, Section 15162, Subsequent EIRs and Negative Declarations;

WHEREAS, there is hereby imposed on the subject development project certain fees, dedications, reservations and other exactions pursuant to state law and city ordinance;

WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the project is subject to certain fees, dedications, reservations and other exactions as provided below:

////////

////////

1	<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
2			
3	Drainage Fee	Ordinance No. 85-23 Resolution No. 06-R0334-1	Depends on area (range is \$2,843-\$15,964 per acre)
4			
5	Public Facility Fee	Ordinance No. 91-09 Resolution No. 06-R0334-1	\$0.713 per square foot or \$713 per thousand square feet for non-residential uses
6			
7	School Facilities	Ordinance No. 91-34	\$ .42 per square foot non-
8	Mitigation Fee		residential for Oceanside
9	Traffic Signal Fee	Ordinance No. 87-19 Resolution No. 06-R0334-1	\$15.71 per vehicle trip
10			
11	Thoroughfare Fee	Ordinance No. 83-01 Resolution No. 06-R0334-1	\$255 per vehicle trip (based on SANDAG trip generation table available from staff and from SANDAG)
12	(For commercial and industrial please note the		
13	75 percent discount)		
14	Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 05-OR 0611-1	Fee based on water meter size. Non-residential is \$37,205 for a 2" meter.
15			
16			
17	Wastewater System Buy-in	Oceanside City Code §	Based on capacity or water meter
18	Fees	29.11.1 Resolution No. 87-97 Ordinance No. 05-OR 0610-1	size. Non-residential is \$50,501 for a 2" meter.
19			
20	San Diego County Water	SDCWA Ordinance No.	Based on meter size.
21	Authority Capacity Fees	2005-03	Non-residential is \$23,358 for a 2" meter.
22			

23 WHEREAS, the current fees referenced above are merely fee amount estimates of the  
24 impact fees that would be required if due and payable under currently applicable ordinances and  
25 resolutions, presume the accuracy of relevant project information provided by the applicant, and  
26 are not necessarily the fee amount that will be owing when such fee becomes due and payable;

27 WHEREAS, unless otherwise provided by this resolution, all impact fees shall be  
28 calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside  
29 City Code and the City expressly reserves the right to amend the fees and fee calculations  
consistent with applicable law;

1           WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,  
2 dedication, reservation or other exaction to the extent permitted and as authorized by law;

3           WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that  
4 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction  
5 described in this resolution begins on the effective date of this resolution and any such protest must  
6 be in a manner that complies with Section 66020;

7           WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes  
8 effective 10 days from its adoption in the absence of the filing of an appeal or call for review;

9           WHEREAS, studies and investigations made by this Commission and in its behalf reveal  
10 the following facts:

11 FINDINGS:

12 For the Development Plan:

- 13 1. The site plan and physical design of the project are consistent with the Zoning  
14 Ordinance because the project, as designed, meets or exceeds the development standards  
15 established in the Zoning Ordinance and the Morro Hills Village Master Plan.
- 16 2. The Development Plan is consistent with the General Plan of the City because the use is  
17 permitted by the General Plan, it is consistent with the intent of the designated land use,  
18 and it is compatible with the surrounding existing land uses.
- 19 3. The project site can be adequately served by existing public facilities, services and  
20 utilities because the site has been previously developed and the necessary infrastructure  
21 to serve the use is already in place.
- 22 4. The project, as proposed, is compatible with the existing and potential development on  
23 adjoining properties and in the surrounding neighborhood because the use and the intent  
24 is permitted in the Zone. The residential Development plan would meet all development  
25 standards and would be consistent in terms of bulk and scale as many of the surrounding  
26 developments.
- 27 5. The site plan and physical design of the project is consistent with section 1.24 and 1.25 of  
28 the Land Use Element of the General Plan because the project site is currently developed  
29 and contains no natural topographic features; and will not lead to slope instability,  
flooding, or erosion hazards to life or property because those threats have been designed  
out of the project; there are no significant natural resources on site to preserve; there are

1 no natural hazards in proximity to the site and the project meets all setback requirements;  
2 the project is not subject to the Development Guidelines for Hillside or Section 3039 of  
3 the Ordinance because the site contains no qualifying slopes.

4 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby  
5 approve Development Plan (D10-00007), subject to the following conditions:

6 **Building:**

- 7 1. Applicable Building Codes and Ordinances shall be based on the date of submittal for  
8 Building Division plan check (As of January 1, 2008 the 2007 California Building Code,  
9 and 2007 California Electrical Code).
- 10 2. The granting of approval under this action shall in no way relieve the applicant/project  
11 from compliance with all State and Local building codes.
- 12 3. All electrical, communication, CATV, etc. service lines, within the exterior lines of the  
13 property shall be underground (City Code Sec. 6.30)
- 14 4. The developer shall monitor, supervise and control all building construction and supportive  
15 activities so as to prevent these activities from causing a public nuisance, including, but not  
16 limited to, strict adherence to the following:
- 17 a) Building construction work hours shall be limited to between 7:00 a.m. and 6:00  
18 p.m. Monday through Friday. No work shall be permitted on Sundays and Federal  
19 Holidays (New Year's Day, Memorial Day, July 4<sup>th</sup>, Labor Day, Thanksgiving  
20 Day, and Christmas Day) except as allowed for emergency work under the  
21 provisions of the Oceanside City Code Chapter 38 (Noise Ordinance).
- 22 5. This development is subject to all conditions of approval listed in Resolution No. 2000-  
P40 and No. 2002-P23.

23 **Fire:**

- 24 6. Submit a copy of as-built plans on a CD for all projects on the job site. A site plan  
25 indicating the fire access and hydrant locations must also be submitted on CD Rom.
- 26 7. Fire Department requirements shall be placed on plans in the notes section.
- 27 8. The size of fire hydrant outlets shall be 2 ½ "X 4
- 28 9. The fire hydrants shall be installed and tested prior to placing any combustible materials  
29 on the job site.

- 1 10. The developer shall supply the Fire Department with updated map and hydrant locations  
2 in a digital format compatible with the Fire Department's mapping program upon  
3 approval of final improvements plans.
- 4 11. Blue hydrant identification markers shall be placed as per Oceanside's Engineers Design  
5 and Processing Manual Standard Drawing No. M-13.
- 6 12. All weather access roads shall be installed and made serviceable prior to and maintained  
7 during time of construction.
- 8 13. Buildings shall meet Oceanside sprinkler ordinance in effect at the time of building  
9 permit application.
- 10 14. In accordance with the Oceanside Fire Code Section 505, approved addresses for  
11 commercial, industrial, and residential occupancies shall be placed on the structure in  
12 such a position as to be plainly visible and legible from the street or roadway fronting  
13 the property. Numbers shall be contrasting with their background and meet the current  
14 City of Oceanside size and design standard.
- 15 15. Single-family dwellings require 4-inch address numbers.
- 16 16. Plans shall be submitted to the Fire Prevention Bureau for plan check review and  
17 approval prior to the issuance of building permits.
- 18 17. Buildings shall meet Oceanside Fire Department's current codes at the time of building  
19 permit application.
- 20 18. Fire apparatus access road shall be designed and maintained to support the imposed  
21 loads of fire apparatus not less than 75,000 lbs and shall be provided with an approved  
22 paved surface to provide all-weather driving capabilities.
- 23 19. The gradient for a fire apparatus access roadway shall not exceed 12 percent. Note  
24 gradient on all streets.
- 25 20. Any new development that necessitates updating of emergency response maps by virtue  
26 of new structures, hydrants, roadways or similar features, shall be required to provide  
27 map updates in a format (PDF, GIS and/or CAD) as approved by the FAHJ or  
28 compatible with current department mapping services. The Fire Department is  
29 authorized to charge a reasonable fee for updating all response maps.
21. All water mains which support fire hydrants shall be looped as required by City of  
Oceanside Engineer's Manual.

1 22. When a cul-de-sac exceeds 500 feet, all buildings beyond 500 feet from the intersection  
2 will be equipped with automatic fire sprinklers. Pinehurst Drive cul-de-sac total length  
3 is 560 feet. Residential units at lots 46, 47 and 48 must be fire sprinklered.

4 **Planning:**

5 23. The Development Plan shall expire on January 10, 2014, unless implemented in accordance  
6 with the City of Oceanside Zoning Ordinance or unless a time extension is granted by the  
7 Planning Commission.

8 24. This development plan is subject to all conditions of approval listed in Resolution No's.  
9 2000-P40 and 2002-P23, unless modified by this resolution.

10 25. This Development Plan (D10-00007) only approves the construction of 123 single-family  
11 homes within the Morro Hills Master Plan Community K as depicted on the plans and  
12 exhibits presented to the Planning Commission for review and approval. No deviation  
13 from these approved plans and exhibits shall occur without the City Planner or Planning  
14 Commission approval. Substantial deviations shall require a revision to the Development  
15 Plan and Conditional Use Permit, or a new Development Plan and Conditional Use Permit,  
16 as determined by the City Planner.

17 26. The applicant, permittee or any successor-in-interest shall defend, indemnify and hold  
18 harmless the City of Oceanside, its agents, officers or employees from any claim, action or  
19 proceeding against the City, its agents, officers, or employees to attack, set aside, void or  
20 annul an approval of the City, concerning Development Plan (D10-00007). The City will  
21 promptly notify the applicant of any such claim, action or proceeding against the City  
22 and will cooperate fully in the defense. If the City fails to promptly notify the applicant  
23 of any such claim action or proceeding or fails to cooperate fully in the defense, the  
24 applicant shall not, thereafter, be responsible to defend, indemnify or hold harmless the  
25 City.

26 27. A covenant or other recordable document approved by the City Attorney shall be prepared  
27 by the developer and recorded prior to issuance of building permits. The covenant shall  
28 provide that the property is subject to this resolution, and shall generally list the conditions  
29 of approval.

28 28. All mechanical rooftop and ground equipment shall be screened from public view as  
29 required by the Zoning Ordinance. That is, on all four sides and top. The roof jacks,

1 mechanical equipment, screen and vents shall be painted with non-reflective paint to match  
2 the roof. This information shall be shown on the building plans.

3 29. All single-family dwelling unit projects shall dispose of or recycle solid waste in a manner  
4 provided in City Ordinance 13.3.

5 30. A letter of clearance from the affected school district in which the property is located  
6 shall be provided as required by City policy at the time building permits are issued.

7 31. Prior to the issuance of building permits, compliance with the applicable provisions of the  
8 City's anti-graffiti (Ordinance No. 93-19/Section 20.25 of the City Code) shall be reviewed  
9 and approved by the Planning Division. These requirements, including the obligation to  
10 remove or cover with matching paint all graffiti within 24 hours, shall be noted on the  
11 Landscape Plan and shall be recorded in the form of a covenant affecting the subject  
12 property.

13 32. If any aspect of the project fencing and walls is not covered by an approved Development  
14 Plan, the construction of fencing and walls shall conform to the development standards of  
15 the City Zoning Ordinance and/or the Morro Hills Village and Golf Course Master Plan, as  
16 deemed applicable. In no case, shall the construction of fences and walls (including  
17 combinations thereof) exceed the limitations of the zoning code, unless expressly granted  
18 by a Variance or other development approval.

19 33. The floor plan/elevation/ and color scheme, as approved by the Planning Commission, shall  
20 be indicated on plans and maintained in a plotting matrix table, and shall be submitted as a  
21 separate plan sheet with each phase of development. The table shall be submitted to the  
22 Development Services Department/Planning Division prior to building permit issuance.

23 34. Prior to the transfer of ownership and/or operation of the site the owner shall provide a  
24 written copy of the applications, staff report and resolutions for the project to the new  
25 owner and or operator. This notification's provision shall run with the life of the project  
26 and shall be recorded as a covenant on the property.

27 35. Failure to meet any conditions of approval for this development shall constitute a violation  
28 of the Development Plan.

29 36. Unless expressly waived, all current zoning standards and City ordinances and policies in  
effect at the time building permits are issued are required to be met by this project. The  
approval of this project constitutes the applicant's agreement with all statements in the

1 Description and Justification Plan and other materials and information submitted with this  
2 application, unless specifically waived by an adopted condition of approval.

3 37. The applicant, tenants, or successors in interest shall comply with the City's business  
4 license requirements as necessary.

5 38. Elevations, siding materials, colors, roofing materials and floor plans shall be  
6 substantially the same as those approved by the Planning Commission. These shall be  
7 shown on plans submitted to the Building Division and Planning Division for permit  
8 plan check, and prior to issuance of any building permit.

9 39. Plotting shall alternate floor plans/elevations so that no individual elevation is plotted for more  
10 than 60 percent of the total units on any of the five designated segment areas approved as part of  
11 this development plan.

12 40. No two units with identical front elevations shall be plotted on adjacent lots on the same side of  
13 the street or immediately across from each other.

14 41. If the same plan type is selected adjacent to each other, a different elevation and color scheme  
15 will be required.

16 42. There will be a separation of three intervening lots before the same elevation and color scheme  
17 can be repeated for the same plan type.

18 43. Twenty-five percent of exterior openings, doors/windows, shall be recessed or projected a  
19 minimum of two inches and shall be vinyl, wood or colored aluminum (no mill finishes).

20 44. Garage doors shall be designed to set into walls rather than being flush with exterior walls.

21 45. Walls and fences over 42 inches in height shall be held behind the front plane of the house by a  
22 minimum of six feet.

23 46. This project is subject to the provisions of Chapter 14C of the City Code regarding Inclusionary  
24 Housing.

25 47. This project shall comply with all provisions of the City's Affirmative Fair Housing Marketing  
26 Agreement policy. Such agreement shall be submitted to and approved by the Housing and  
27 Neighborhood Services Director prior to the recordation of a final map or the issuance of a  
28 building permit for the project, whichever comes first.

29 48. This project shall comply with all applicable mitigation measures for the Morro Hills EIR.

49. Garages shall be kept available and useable for the parking of tenant's automobiles at all  
times.

///////

1 **Water Utilities:**

2 50. This development shall have the same conditions of approval as per Resolution 2000-  
3 P40.

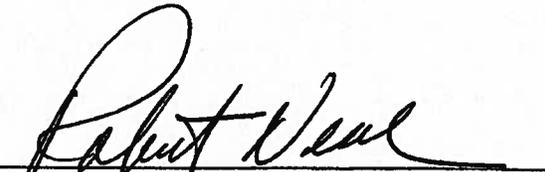
4 PASSED AND ADOPTED Resolution No. 2011-P01 on January 10, 2011 by the  
5 following vote, to wit:

6 AYES: Neal, Rosales, Martinek, Troisi and Balma

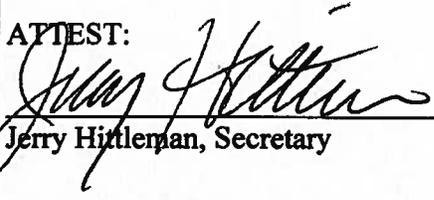
7 NAYS: None

8 ABSENT: Bertheaud, Scrivener

9 ABSTAIN: None

10   
11 Robert Neal, Chairperson  
12 Oceanside Planning Commission

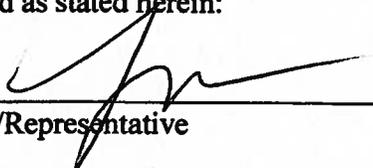
12 ATTEST:

13   
14 Jerry Hittleman, Secretary

15  
16 I, JERRY HITTLEMAN, Secretary of the Oceanside Planning Commission, hereby certify that  
17 this is a true and correct copy of Resolution No. 2011-P01.

18 Dated: January 10, 2011

19  
20 Applicant accepts and agrees with all conditions of approval and acknowledges impact fees may  
21 be required as stated herein:

22   
23 Applicant/Representative

24 Date 1.10.2011

**LEGAL DESCRIPTION**

Real property in the City of Oceanside, County of San Diego, State of California, described as follows:

PARCEL "A" AS SHOWN ON CERTIFICATE OF COMPLIANCE NO. PLA-10-06, AS EVIDENCED BY DOCUMENT RECORDED NOVEMBER 19, 2007 AS INSTRUMENT NO. 2007-0726271 OF OFFICIAL RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT PORTION OF LOT 9, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS SHOWN ON MAP 14562, FILED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER, AND THOSE PORTIONS OF PARCEL "B" OF CERTIFICATE OF COMPLIANCE FOR LOT LINE ADJUSTMENT NO. PLA-2-04, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, RECORDED APRIL 5, 2005 AS INSTRUMENT NO. 2005-0276751, AND THOSE PORTIONS OF PARCEL "A" OF CERTIFICATE OF COMPLIANCE FOR LOT LINE ADJUSTMENT NO. PLA-20-05, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, RECORDED MAY 17, 2006 AS INSTRUMENT NO. 2006-0349972, FILED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF MORRO HILLS VILLAGES "H" AND "I", IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS SHOWN ON MAP NO. 15397, FILED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER, SAID POINT BEING THE WESTERLY TERMINUS OF THAT COURSE SHOWN AS NORTH 80°39'48" EAST 161.92 FEET; THENCE ALONG SAID SOUTHERLY LINE THE FOLLOWING COURSES: NORTH 80°39'48" EAST 161.92 FEET; THENCE SOUTH 52°35'34" EAST 62.28 FEET; THENCE SOUTH 48°48'01" EAST 59.71 FEET; THENCE SOUTH 54°02'49" EAST 60.21 FEET; THENCE SOUTH 61°28'46" EAST 60.06 FEET; THENCE SOUTH 66°25'53" EAST 60.01 FEET; THENCE SOUTH 73°40'57" EAST 58.16 FEET; THENCE SOUTH 79°07'25" EAST 59.02 FEET; THENCE SOUTH 84°47'10" EAST 59.12 FEET; THENCE SOUTH 87°47'32" EAST 61.25 FEET; THENCE SOUTH 88°17'54" EAST 60.00 FEET; THENCE NORTH 89°02'57" EAST 74.62 FEET; THENCE NORTH 83°13'04" EAST 53.33 FEET; THENCE NORTH 77°22'31" EAST 54.30 FEET; THENCE NORTH 71°31'56" EAST 53.34 FEET; THENCE NORTH 65°40'41" EAST 54.52 FEET; THENCE LEAVING SAID SOUTHERLY LINE SOUTH 39°54'57" EAST 81.68 FEET; THENCE SOUTH 72°14'46" EAST 52.58 FEET; THENCE SOUTH 46°49'19" EAST 50.78 FEET; THENCE SOUTH 42°05'04" EAST 57.85 FEET; THENCE SOUTH 09°46'00" EAST 52.99 FEET; THENCE SOUTH 02°43'57" EAST 65.21 FEET; THENCE SOUTH 39°51'08" EAST 7.38 FEET; THENCE SOUTH 01°28'42" EAST 65.12 FEET; THENCE SOUTH 32°41'06" EAST 5.98 FEET; THENCE SOUTH 05°08'26" WEST 65.23 FEET; THENCE SOUTH 19°45'26" EAST 3.60 FEET; THENCE SOUTH 15°57'09" WEST 76.91 FEET; THENCE SOUTH 27°20'20" WEST 72.25 FEET; THENCE SOUTH 31°01'07" WEST 60.00 FEET; THENCE SOUTH 03°06'07" EAST 5.08 FEET; THENCE SOUTH 32°42'18" WEST 57.02 FEET; THENCE SOUTH 20°22'01" WEST 50.45 FEET; THENCE SOUTH 03°41'42" EAST 9.20 FEET; THENCE SOUTH 21°18'01" WEST 47.43 FEET; THENCE SOUTH 25°42'16" EAST 7.40 FEET; THENCE SOUTH 13°05'45" WEST 54.08 FEET; THENCE SOUTH 33°42'37" EAST 6.00 FEET; THENCE SOUTH 10°50'03" WEST 55.58 FEET; THENCE SOUTH 32°59'04" EAST 6.00 FEET; THENCE SOUTH 10°47'19" WEST 55.52 FEET; THENCE SOUTH 32°00'55" EAST 6.00 FEET; THENCE SOUTH 10°43'58" WEST 55.46 FEET; THENCE SOUTH 07°21'34" WEST 60.00 FEET; THENCE SOUTH 29°55'09" EAST 5.99 FEET; THENCE SOUTH 10°04'34" WEST 52.98 FEET; THENCE SOUTH 30°49'41" EAST 7.38 FEET; THENCE SOUTH 08°55'51" WEST 54.77 FEET; THENCE SOUTH 29°08'06" EAST 7.54 FEET; THENCE SOUTH 06°51'47" WEST 53.65 FEET; THENCE SOUTH 35°29'38" EAST 6.13 FEET; THENCE SOUTH 04°45'11" WEST 52.91 FEET TO A POINT ON THE NORTHERLY LINE OF MORRO HILLS VILLAGE "M" IN THE CITY OF OCEANSIDE,

 <p><b>Application for Discretionary Permit</b> Development Services Department / Planning Division (760) 435-3520 Oceanside Civic Center 300 North Coast Highway Oceanside, California 92054-2885</p>		<b>STAFF USE ONLY</b>	
		ACCEPTED	BY
		3/27/12	SN
<b>Please Print or Type All Information</b>		HEARING	
<b>PART I - APPLICANT INFORMATION</b>		GPA	
1. APPLICANT D. R. HORTON		2. STATUS OWNER AS OF APRIL 3, 2012	
3. ADDRESS 1037 PAVO COURT SAN MARCOS CA 92078		4. PHONE/FAX/E-mail 760-270-7033 KIMMOLINA@DHORTON.COM	
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during COM processing) KIM MOLINA		DEV. PL. D12-00008	
6. ADDRESS Same as above		7. PHONE/FAX/E-mail Same as above	
<b>PART II - PROPERTY DESCRIPTION</b>		O.H.P.A.C.	
8. LOCATION MORRO HILLS/ARROWOOD VILLAGE 'K' at intersection of Vista Pointe Blvd and Bellingham Drive		9. SIZE 33.4 acres - 113 single Family Lots	
10. GENERAL PLAN MORRO HILLS MASTER PLAN	11. ZONING RE-B-MP	12. LAND USE RE-B Single Family Detached	13. ASSESSOR'S PARCEL NUMBER 122-610-01 to -04, -07 to -17, -24 to -51, -54 to 66 and 122-611-01 to -57
14. LATITUDE 33.265136	15. LONGITUDE -117.290154		
<b>PART III - PROJECT DESCRIPTION</b>			
16. GENERAL PROJECT DESCRIPTION DR HORTON IS BUYING 113 of the 123 Finished lots at Village 'K'. All improvements are complete. DR HORTON IS SUBMITTING NEW ARCHITECTURE, WHICH IS TRIGGERING A DEVELOPMENT PLAN PERMIT.			
17. PROPOSED GENERAL PLAN No Change	18. PROPOSED ZONING No Change	19. PROPOSED LAND USE No Change	20. NO. UNITS No Change
21. DENSITY No Change	22. BUILDING SIZE 2351sf - 3110sf	23. PARKING SPACES 3 car garage	24. % LANDSCAPE approx 9.73%
25. % LOT COVERAGE or FAR All under 45%			
<b>PART IV - ATTACHMENTS</b>			
<input checked="" type="checkbox"/>	26. DESCRIPTION/JUSTIFICATION	<input checked="" type="checkbox"/>	27. LEGAL DESCRIPTION
<input checked="" type="checkbox"/>	28. TITLE REPORT	<input checked="" type="checkbox"/>	29. NOTIFICATION MAP & LABELS
<input checked="" type="checkbox"/>	30. ENVIRONMENTAL INFO FORM	<input checked="" type="checkbox"/>	31. PLOT PLANS
<input checked="" type="checkbox"/>	32. FLOOR PLANS AND ELEVATIONS	<input checked="" type="checkbox"/>	33. CERTIFICATION OF POSTING
<input checked="" type="checkbox"/>	34. OTHER (See attachment for required reports)		
<b>PART V - SIGNATURES</b>			
SIGNATURES FROM ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).			
35. APPLICANT OR REPRESENTATIVE (Print): KIM MOLINA	36. DATE 3/23/12	37. OWNER (Print): SEE ATTACHED LETTER	38. DATE
Sign: Kim Molina	Sign: SEE ATTACHED LETTER		
<ul style="list-style-type: none"> <li>I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. FURTHER, I UNDERSTANDING THAT SUBMITTING FALSE STATEMENTS OR INFORMATION IN THIS APPLICATION MAY CONSTITUTE FRAUD, PUNISHABLE IN CIVIL AND CRIMINAL PROCEEDINGS.</li> <li>I HAVE READ AND AGREE TO ABIDE BY THE CITY OF OCEANSIDE DEVELOPMENT SERVICES DEPARTMENT AND ECONOMIC AND COMMUNITY DEVELOPMENT DEPARTMENT POLICY NO. 2011-01/POLICY AND PROCEDURE FOR DEVELOPMENT DEPOSIT ACCOUNT ADMINISTRATION.</li> </ul>			



## DESCRIPTION AND JUSTIFICATION

### Arrowood Village "K"

D.R. Horton (as 'Applicant') is under contract to close escrow on April 3, 2012 with Toll Brothers (Owner) for 113 of their 123 single family residential units in Arrowood Village "K" (6,000 square foot lots). Toll will retain ownership of 10 lots already under construction, which includes their already constructed two model lots. D.R. Horton will build out the remainder 113 lots. The tract is in a finished condition (i.e. streets and sidewalks are constructed). Only the internal slope landscaping and internal lot fencing is needed.

Arrowood Village "K" is the last remaining tract within the 1135 unit, 598 acre Morro Hills Master Plan approved in 1998. On January 10, 2011, Toll Brothers received approval on Development Plan D10-00007 via Planning Commission Resolution 2011-P01, which included approval of their architectural product on 123 single family residential lots. Toll subsequently processed and received approval on the final map for Village "K" and all of the project's improvement plans. The site has been fully graded with finished lots. Toll has constructed two models and is in the process of completing construction on ten production lots.

D.R. Horton has submitted a Development Plan that only sets out to change the architectural product that will be built on the remaining 113 lots. All other approved entitlements will remain unchanged. The site plan and physical design of the project as proposed is consistent with the purposes of the zoning code. The Development Plan as proposed conforms to the General Plan of the City. The area covered by the Development Plan can be adequately, reasonably and conveniently served by existing and planned public services, utilities and public facilities. The project as proposed is compatible with existing and potential development on adjoining properties or in the surrounding neighborhood. The site plan and physical design of the project is consistent with the policies contained within Section 1.24 and 1.25 of the Land use Element of the General Plan, the Development Guidelines for Hillside, and Section 3039 of the Zoning Ordinance.

Toll Brothers is known in the building industry for specializing in higher end tract housing. The product spec level and resulting sales prices are a little above what the market has been able to bear in Village "K" for Toll's current product. As a result, D.R. Horton will bridge the gap between the less articulated residential tract



housing that is within the surrounding Arrowood neighborhoods and the over articulated Toll product. The design of Horton's proposed homes will assimilate very well within the larger Arrowood community and compare favorably to the bulk of the existing homes in adjoining planning areas.

D.R. Horton's product ranges in size btwn 2351 square feet and 3110 square feet with base prices ranging from \$449,990 to \$504,990. The view lots that will back up to the golf course are expected to command additional lot premiums between \$30-\$35,000. In addition, there are numerous other oversized lots and lots with territorial views that will also merit somewhat lesser premiums over the base price. D.R. Horton will have a relatively even mix of four floor plans with three different elevations, and nine different color schemes. The floor plans consist of 26 of a one-story plan at 2351 square feet, 26 of a two story plan at 2695sf, 29 of a two story plan at 2971 sf and 32 of a two story plan at 3110 sf. All the plans will have a three car garage, with two of the plans containing tandem garages.

D.R. Horton's product will serve as a perfect transition from the more modest surrounding neighborhood architecture to the architecture of Toll's product. D.R. Horton will include enhanced rear elevations on view lots and lots that are visible from the perimeter roadways and the golf course. Enhancements will include pre-plotted decks with brick or stone on the bottom of the deck posts, rear pop-outs for added articulation, window shutters and pot shelves. Most of these enhancements will also be offered to buyers that do not have these items pre-plotted. All of our homes will come with front articulated planes and paneled doors from the garage to the side of the house, instead of the standard smooth finish doors. The roof planes are dynamic as well, in that all are different on each floor plan. D.R. Horton will also be including block walls on the side yard returns between the houses, which face the street. D.R. Horton's proposed product is very complimentary in style and design quality to the surrounding neighborhoods, but at the same time offering a bit more articulation in planes, than most others.

D.R. Horton anticipates going to City Planning Commission in early May 2012 and will start model construction in June 2012, with completion of the last of their 13 phases in December 2015, depending on market absorption.

**LEGAL DESCRIPTION**

Real property in the City of Oceanside, County of San Diego, State of California, described as follows:

LOTS 1 THROUGH 4, INCLUSIVE, 7 THROUGH 17, INCLUSIVE, 24 THROUGH 103, INCLUSIVE AND 106 THROUGH 123, INCLUSIVE OF MORRO HILLS VILLAGE "K", IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 15823, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON APRIL 22, 2011.

APN: 122-610-01 through 122-610-04, 122-610-07 through 122-610-17, 122-610-24 through 122-610-51, 122-610-54 through 122-610-66 and 122-611-01 through 122-611-57