



DATE: July 9, 2012

TO: Chairperson and Members of the Planning Commission

FROM: Development Services Department/Planning Division

SUBJECT: **CONSIDERATION OF A REGULAR COASTAL PERMIT (RC12-00006) TO ALLOW THE DEMOLITION OF A SECONDARY DWELLING UNIT AND REMODEL OF AN EXISTING SINGLE-FAMILY RESIDENCE TO INCLUDE A FOUR-CAR GARAGE, SECOND STORY ADDITION, AND ROOF TOP DECK. THE REMODEL WILL PROVIDE A SINGLE-FAMILY RESIDENCE THAT IS 2,635 SQUARE-FEET IN SIZE AND LOCATED AT 1920 S. PACIFIC STREET – BRUSSO RESIDENCE REMODEL – APPLICANT: JIM BRUSSO**

RECOMMENDATION

Staff recommends that the Planning Commission by motion:

- (1) Confirm issuance of a Class 3 Categorical Exemption for New Construction or Conversion of Small Structures, pursuant to Section 15303(a) of the California Environmental Quality Act (CEQA); and,
- (2) Approve Regular Coastal Permit (RC12-00006) by adopting Planning Commission Resolution No. 2012-P32 with findings and conditions of approval attached herein.

PROJECT DESCRIPTION AND BACKGROUND

Background: The subject property is a 6,040-square foot interior lot situated within an established single-family neighborhood on the east side of South Pacific Street in an area referred to as Pacific Terrace. The area derives that name based upon the grade separation that is approximately 30 feet above the grade of South Pacific Street. The subject property is considered a double frontage/through lot due to its location upslope between South Pacific Street and Pacific Terrace Street. While Pacific Terrace Street has the appearance and functionality of an alley, it is a designated public street. The surrounding neighborhood was originally developed in the late 1940's and early 1950's and contains an eclectic mix of single-family residences on lots that average 75 feet in

width and 155 feet in depth. Homes in the immediate area range in size from 1,200-square foot single-story cottages to 3,000-square foot two-story dwellings of more contemporary design. Also noted, is the development of secondary and multi-family dwelling units scattered throughout the neighborhood. The subject parcel is located within the appeal jurisdiction of the Local Coastal Program and any new development or significant remodel on the site requires issuance of a Regular Coastal Permit.

Site Review: The project site is zoned R-1 (Single-Family Residential), has a land use designation of Single-Family Detached Residential (SFD), and is located within the South Oceanside Neighborhood. Surrounding land uses include: Medium Density Residential (R-3) to the East, and Single-Family Residential (R-1) to the North, South, and West across Pacific Street.

The site is essentially flat with a slight 2 percent slope to the east and located upslope from Pacific Street in an area referred to as Pacific Terrace within the South Oceanside Neighborhood. The subject property is presently developed with two single story residential dwelling units totaling approximately 3,011 square feet in size. The existing single-family residence to be remodeled to include a second story addition and rooftop deck exist with a simplistic rectangular shaped design similar to the secondary dwelling unit located on the eastern portion of the property and slated for demolition as part of this projects approval. Constructed in 1950, the existing home has a reduced front yard setback of approximately 13'-10 ³/₄" , where 20 feet is required.

Project Description: The project application is comprised of the following entitlement:

Regular Coastal Permit (RC12-00006) represents a request for the following:

The partial demolition of the existing single-family residence located on the west portion of the property and complete demolition of the secondary dwelling unit located on the east portion of the property. The overall architectural design of the remodeled single-family residence will reduce the overall square footage of the residential floor area for the site from 3,011 square feet, down to approximately 2,635 square feet, including the addition of second floor roof deck facing west to Pacific Street. The proposed front yard setback on the western first floor building face upslope from Pacific Street will maintain the existing setback and implementation of the second story addition that is cantilevered approximately three feet to the west would not encroach into the established setback area that was developed utilizing Planning Commission Policy No. 1-2012, a front yard string-line setback. The overall design of the residential remodel will incorporate a more modern architectural design and provide for significant variation in finish materials and roof treatments that is in keeping with the surrounding neighborhood trends to upgrade and modernize the dwelling units from the typical craftsman styles of the 1950's.

The project site is located within the appeal jurisdiction of the Local Coastal Program pursuant to Section III.D.1 of the Coastal Permit Handbook adopted May 8, 1985, and no on-street public parking spaces will be lost as a result of this project.

The project is subject to the following Ordinances and City policies:

1. General Plan Land Use Element
2. Zoning Ordinance
3. Local Coastal Program
4. California Environmental Quality Act (CEQA)

ANALYSIS

KEY PLANNING ISSUES

1. General Plan Compliance

Goal 1.23: Architecture

Objective: The architectural quality of all proposed projects shall enhance neighborhood and community values and City image.

Policy A: Architectural form, treatments, and materials shall serve to significantly improve on the visual image of the surrounding neighborhood.

The proposed project, located on a level lot with a 2 percent grade (no hillside conditions), proposes to demolish the accessory dwelling unit located on the east side of the site and extensively remodel the west facing circa 1950's craftsman style single story residential structure. The proposed remodel of the single-family residence to accommodate a two-story element and implement a French/Italian architectural design is consistent and in conformance with the General Plan to enhance and improve the surrounding neighborhood through incorporation of richness in materials and design. Furthermore, the proposed architectural style that draws elements from the St. Malo community will assist in subtly transitioning the neighborhood character as one travels to the north.

Goal 1.32: Coastal Zone

Objective: To provide for the conservation of the City's coastal resources and fulfill the requirements of the California Coastal Act of 1976.

Policy A: The City shall utilize the certified Local Coastal Plan for review of all proposed projects within the Coastal Zone. Specifically, the goals and policies of the Local Coastal Program Land Use Plan are the guiding policy review document.

The proposed project has been reviewed by staff for compliance with the policies of the Local Coastal Program (LCP). Staff finds that the application complies with applicable policies of the LCP, as follows:

The City shall ensure that all new development is compatible in height, scale, color and form with the surrounding neighborhood.

The proposed residential demolition and remodel would be consistent with existing single-family development located immediately to the north, south, east, and west of the subject property, in terms of both architecture and site design. The height and overall scale of the proposed residence would be consistent with the pattern of development throughout the south Oceanside coastal neighborhood. Exterior wall treatments, fenestration, and other finish materials would draw design elements from the St. Malo community to the south and would be consistent with recent development projects in the vicinity.

2. Zoning Ordinance Compliance

The proposed project complies with the land use and development standards established for the R-1 zone district within the 1986 Oceanside Zoning Ordinance, and as illustrated in Table 1. The newly remodeled residence would apply the string-line front yard setback formula consistent with Planning Commission Policy No. 2012-P29, and would exceed the prescribed minimum established by said formula by approximately three feet. A non-conforming setback of 3'-1 3/4" on the north side yard setback would be maintained through the existing wall of the single-family residence being maintained as part of the overall remodel. While the proposed remodel and addition would increase the residence's maximum height by adding a second story element, the residence would establish an overall total height of 26'-0", significantly less than the 35-foot height limit established for R-1 properties in the 1986 Oceanside Zoning Ordinance. As for lot coverage, demolition of the secondary dwelling unit and remodel of the existing single-family residence would reduce the overall lot coverage from 49.9 percent to 39.8 percent, thus allowing for additional landscaping and hardscape site enhancements.

**Table 1
Conformance to Development Standards**

Development Standard	Requirement	Proposal
Minimum Front Yard Setback	20' **	13' Min.
Minimum Side Yard Setback	5'	3' Min.
Minimum Rear Yard Setback	5'	15' Min.
Maximum Lot Coverage	40%	39.8%
Maximum Height	35'	26'-0"

**** May be modified in accordance with Article 17 Section 1716 and Planning Commission Policy No. 1-2012 established within PC Resolution 2012-P29**

3. Local Coastal Program Compliance

The subject property lies within the Appeal Jurisdiction of the City's Coastal Zone and is thus governed by the City's Local Coastal Program (LCP). The LCP establishes polices and guidelines for enhancing public access to coastal resources, expanding visitor-serving amenities, enhancing the visual character of the built environment, and preserving environmentally sensitive areas (including Buena Vista Lagoon). LCP policies and guidelines relevant to the proposed project include those pertaining to the supply of public parking, the health of Buena Vista Lagoon, and the visual character of existing neighborhoods. With respect to public parking, the proposed project conforms to the on-site parking requirements by providing a total of 4 off-street parking spaces within a garage, thus resulting in no adverse impacts to on-street parking resources in the vicinity. With respect to the health of Buena Vista Lagoon, the proposed project conforms to storm water mitigation requirements established by the San Diego Regional Water Quality Control Board and thus will not contribute to sedimentation, eutrophication or other harmful effects on this sensitive water body. With respect to the visual character of the surrounding neighborhood, the proposed project maintains appropriate building scale and avoids adverse massing impacts on adjacent properties by not decreasing the residence's front yard setback established through the string-line setback formula, by maintaining the massing of the existing residence where the side yard setback is non-conforming, and increasing the setbacks well in excess of the required 5'-0" rear yard setback along the east property line. Consequently, staff has determined that the proposed remodel conforms with and is compatible to the surrounding south Oceanside neighborhood, and supports the proposal as submitted.

DISCUSSION

Issue: Visual Compatibility with the Surrounding Built Environment

Will the proposed addition be visually consistent with the existing development pattern in the surrounding neighborhood and compatible in form and scale to nearby homes?

Recommendation: By implementing greater setbacks than required by the front yard string-line setback formula, minimizing overall lot coverage and overall building height, and providing a transitional architectural style that incorporates design elements found throughout St. Malo, the proposed addition has been determined by staff to provide superior design that is respectful to the quaint and eclectic character of the surrounding neighborhood. The proposed remodel that provides a new second story element addition would not create an overwhelming presence as viewed from the street or adjacent private properties.

It is staff's position that the proposed demolition and remodel would visually enhance the surrounding neighborhood, thereby contributing positively to property values and the neighborhood's long-term viability.

ENVIRONMENTAL DETERMINATION

Planning Division staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA), 1970. Based upon that review, staff finds that the proposed project constitutes "New Construction or Conversion of Small Structures", and the project is categorically exempt, Class 3, Section 15303(a).

PUBLIC NOTIFICATION

Legal notice was published in the North County Times and notices were sent to property owners and residents within a 300-foot radius of the subject property, individuals and/or organizations requesting notification, the applicant and other interested parties.

SUMMARY

The proposed project is consistent with the policies and guidelines of the City's Local Coastal Program, as well as the standards of the City's Zoning Ordinance. Staff thus recommends that the Planning Commission:

- Confirm issuance of a Class 3 categorical exemption for "New Construction or Conversion of Small Structures"; and,
- Move to approve Regular Coastal Permit (RC12-00006) by adopting Planning Commission Resolution No. 2012-P32 with findings and conditions of approval as attached herein.

PREPARED BY:



Richard Greenbauer
Senior Planner

SUBMITTED BY:



Jerry Hittleman
City Planner

JH/RG/fil

Attachments:

1. Planning Commission Resolution No. 2012-P32
2. Proposed Plans
3. Site Photos

1 PLANNING COMMISSION
2 RESOLUTION NO. 2012-P32

3 A RESOLUTION OF THE PLANNING COMMISSION OF THE
4 CITY OF OCEANSIDE, CALIFORNIA APPROVING A
5 REGULAR COASTAL PERMIT ON CERTAIN REAL
PROPERTY IN THE CITY OF OCEANSIDE

6 APPLICATION NO: RC12-00006
7 APPLICANT: Brusso Residence
8 LOCATION: 1920 S. Pacific Street

9 THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES
10 RESOLVE AS FOLLOWS:

11 WHEREAS, there was filed with this Commission a verified petition on the forms
12 prescribed by the Commission requesting a Regular Coastal Permit (RC12-00006) under the
13 provisions of the City of Oceanside Local Coastal Program to permit the following:

14 the demolition of a secondary dwelling unit and remodel of an existing single-family
15 residence to include a four-car garage, second story addition, and roof top deck that
creates a single-family residence that is 2,635 square feet in size;

16 on certain real property located at 1920 Pacific Street (APN 153-251-25);

17 WHEREAS, the Planning Commission, after giving the required notice, did on the 9th day
18 of July, 2012 conduct a duly advertised public hearing as prescribed by law to consider said
19 application;

20 WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State
21 Guidelines thereto; this project has been found to be categorically exempt from environmental
22 review per Article 19, Class 3, 15303 (a) "New Construction or Conversion of Small Structures";

23 WHEREAS, there is hereby imposed on the subject development project certain fees,
24 dedications, reservations and other exactions pursuant to state law and city ordinance;

25 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the
26 project is subject to certain fees, dedications, reservations and other exactions as provided below:

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1	Description	Authority for Imposition	Current Estimate Fee or Calculation Formula
2			
3	Parkland Dedication/Fee	Ordinance No. 91-10 Resolution No. 06-R0334-1	\$3,503 per unit
4			
5	Drainage Fee	Ordinance No. 85-23 Resolution No. 06-R0334-1	Depends on area (range is \$2,843-\$15,964 per acre)
6			
7	Public Facility Fee	Ordinance No. 91-09 Resolution No. 06-R0334-1	\$.713 per square foot or \$713 per thousand square feet for non-residential uses and \$2,072 per unit for residential
8			
9			
10	School Facilities Mitigation Fee	Ordinance No. 91-34	\$.47 per square foot non-residential for Oceanside (\$.42 for Vista and Fallbrook) \$2.97 per square foot residential (\$2.63 for Vista; \$2.63 for Fallbrook)
11			
12			
13			
14			
15	Thoroughfare Fee (For commercial and industrial please note the 75 percent discount)	Ordinance No. 83-01 Resolution No. 06-R0334-1	\$255 per vehicle trip (based on SANDAG trip generation table available from staff and from SANDAG)
16			
17			
18	Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 09-OR 0093-1	Fee based on water meter size. Residential is typically \$4,597 per unit; Non-residential is \$36,775 for a 2" meter.
19			
20			
21			
22	Wastewater System Buy-in fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 09-OR 0092-1	Based on capacity or water meter size. Residential is typically \$6,313 per unit; Non-residential is \$50,501 for a 2" meter.
23			
24			
25	San Diego County Water Authority Capacity Fees	SDCWA Ordinance No. 2005-03	Based on meter size. Residential is typically \$4,326 per unit; Non-residential is \$22,495 for a 2" meter.
26			
27			
28			
29			

1 WHEREAS, the current fees referenced above are merely fee amount estimates of the
2 impact fees that would be required if due and payable under currently applicable ordinances and
3 resolutions, presume the accuracy of relevant project information provided by the applicant, and
4 are not necessarily the fee amount that will be owing when such fee becomes due and payable;

5 WHEREAS, unless otherwise provided by this resolution, all impact fees shall be
6 calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside
7 City Code and the City expressly reserves the right to amend the fees and fee calculations
8 consistent with applicable law;

9 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,
10 dedication, reservation or other exaction to the extent permitted and as authorized by law;

11 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that
12 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction
13 described in this resolution begins on the effective date of this resolution and any such protest must
14 be in a manner that complies with Section 66020;

15 WHEREAS, action on this resolution becomes final 10 days after its adoption, unless
16 appealed to the City Council, and shall become effective after the 10 working-day appeal period to
17 the Coastal Commission has expired; and

18 WHEREAS, studies and investigations made by this Commission and in its behalf reveal
19 the following facts:

20 FINDINGS:

21 For the Regular Coastal Permit:

- 22 1. The proposed demolition of a secondary dwelling unit and remodel of an existing single-
23 family residence to include a four-car garage, second story addition, and roof top deck
24 that creates a single-family residence that is 2,635 square feet in size as conditioned, is
25 consistent with the land use policies of the Local Coastal Program as implemented
26 through the Zoning Ordinance. Specifically, the project will not substantially alter or
27 impact existing public views of the coastal zone area or from adjoining properties and
28 the physical aspects of the project are consistent with existing development on
29 neighboring sites.

1 2. The proposed remodel will not obstruct any existing, planned, or required public beach
2 access; therefore, the project is in conformance with the policies of Chapter 3 of the
3 Coastal Act.

4 3. The project will not result in the loss of any on-street public parking spaces, as the
5 remodel modifications will not trigger additional parking or take away from the existing
6 parking fronting the project site.

7 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby
8 approve Regular Coastal Permit (RC12-00006) subject to the following conditions:

9 **Building:**

- 10 1. Construction shall comply with the latest edition of the California Codes.
11 2. Construction hours shall be limited to 7:00 a.m. to 6:00 p.m. Monday through Friday.

12 **Fire:**

- 13 3. Fire Department requirements shall be placed on plans in the notes section of the
14 construction drawings.
15 4. Hardwired, interconnected smoke alarms are required. Smoke alarm locations must
16 be indicated on the plans. Hardwired, interconnected CO alarms required and
17 locations must be indicated on the construction drawings.
18 5. In accordance with the Oceanside Fire Code, approved address numbers for
19 residential occupancies shall be placed on the structure in such a position as to be
20 plainly visible and legible from the street or roadway fronting the property. Numbers
21 shall be contrasting with their background and meet the current City of Oceanside
22 size and design standard.

23 **Planning:**

- 24 6. This Regular Coastal Permit shall expire on July 9, 2014, unless implemented per the
25 Zoning Ordinance or unless the Planning Commission grants a time extension.
26 7. This Regular Coastal Permit, as conditioned, approves a demolition of a secondary
27 dwelling unit and remodel of an existing single-family residence to include a four-car
28 garage, second story addition, and roof top deck that creates a single-family residence
29 that is 2,635 square feet in size, as shown on the development plans dated June 20, 2012.
No deviation from these approved plans and exhibits shall occur without Planning Division

1 approval. Substantial deviations shall require a revision to the Regular Coastal Permit or a
2 new Regular Coastal Permit.

3 8. The applicant, permittee or any successor-in-interest shall defend, indemnify and hold
4 harmless the City of Oceanside, its agents, officers or employees from any claim, action or
5 proceeding against the City, its agents, officers, or employees to attack, set aside, void or
6 annul an approval of the City, concerning Regular Coastal Permit (RC12-00006). The City
7 will promptly notify the applicant of any such claim, action or proceeding against the
8 City and will cooperate fully in the defense. If the City fails to promptly notify the
9 applicant of any such claim action or proceeding or fails to cooperate fully in the
10 defense, the applicant shall not, thereafter, be responsible to defend, indemnify or hold
11 harmless the City.

12 9. All mechanical rooftop and ground equipment shall be screened from public view as
13 required by the Zoning Ordinance that is, on all four sides and top. The roof jacks,
14 mechanical equipment, screen and vents shall be painted with non-reflective paint to match
15 the roof. This information shall be shown on the building plans.

16 10. Prior to the issuance of building permits, compliance with the applicable provisions of the
17 City's anti-graffiti ordinance (Ordinance No. 93-19/Section 20.25 of the City Code) shall be
18 reviewed and approved by the Planning Division. These requirements, including the
19 obligation to remove or cover with matching paint all graffiti within 24 hours, shall be
20 noted on the Architectural Site Plan and shall be recorded in the form of a covenant
21 affecting the subject property. A covenant or other recordable document approved by the
22 City Attorney shall be prepared by the applicant and recorded prior to the issuance of
23 building permits. The covenant shall provide that the property is subject to this
24 resolution, and shall generally list the conditions of approval.

25 11. Prior to the transfer of ownership and/or operation of the site the owner shall provide a
26 written copy of the applications, staff report and resolutions for the project to the new
27 owner and or operator. This notification's provision shall run with the life of the project
28 and shall be recorded as a covenant on the property.

29 12. Failure to meet any conditions of approval for this development shall constitute a violation
of the Regular Coastal Permit.

- 1 13. Unless expressly waived, all current zoning standards and City ordinances and policies
2 in effect at the time building permits are issued are required to be met by this project.
3 The approval of this project constitutes the applicant's agreement with all statements in
4 the Description and Justification and other materials and information submitted with this
5 application, unless specifically waived by an adopted condition of approval.
- 6 14. Elevations, exterior wall materials, colors, roofing materials and floor plans shall be
7 substantially the same as those approved by the Planning Commission. These shall be
8 shown on plans submitted to the Building Division and Planning Division.
- 9 15. Prior to issuance of a building permit, the applicant and landowner shall execute and
10 record a covenant, in a form and content acceptable to the City Attorney, providing that
11 the property is subject to this resolution and all conditions of approval.

12 **Engineering:**

- 13 16. Landscape, specifically planting and irrigation, shall meet the criteria of the City of
14 Oceanside Landscape Guidelines and Specifications for Landscape Development (latest
15 revision), Water Conservation Ordinance No. 91-15, Water Efficient Landscape
16 Ordinance 10-OR0412-1, Engineering criteria, City code and ordinances, including the
17 maintenance of such landscaping. The following landscaping requirements shall be
18 required prior to certificate of occupancy:
- 19 a) Landscape contractor shall be aware of all utility, sewer, storm drain easement
20 and place planting locations accordingly to meet City of Oceanside requirements.
 - 21 b) All required landscape areas shall be maintained by owner. The landscape areas
22 shall be maintained per City of Oceanside requirements.
 - 23 c) Proposed landscape species shall be native or naturalized to fit the site and meet
24 climate changes indicative to their planting location. The selection of plant
25 material shall also be based on cultural, aesthetic, and maintenance
26 considerations. In addition proposed landscape species shall be low water users
27 as well as meet all Fire Department requirements.
 - 28 d) All planting areas shall be prepared with appropriate soil amendments, fertilizers,
29 and appropriate supplements to enhance existing soil conditions to promote plant
growth.

- 1 e) Ground covers or bark mulch shall fill in between the shrubs to shield the soil
2 from the sun, evapotranspiration and run-off. All the flower and shrub beds
3 shall be mulched to a 3" depth to help conserve water, lower the soil temperature
4 and reduce weed growth.
- 5 f) The shrubs shall be allowed to grow in their natural forms. All landscape
6 improvements shall follow the City of Oceanside Guidelines.
- 7 g) Root barriers shall be installed adjacent to all paving surfaces, where a paving
8 surface is located within six feet of a trees trunk on-site (private) and within 10
9 feet of a trees trunk in the right-of-way (public). Root barriers shall extend 5 feet
10 in each direction from the centerline of the trunk, for a total distance of 10 feet.
11 Root barriers shall be 24 inches in depth. Installing a root barrier around the
12 tree's root ball is unacceptable.
- 13 h) The installation of any invasive plant species is unacceptable.
- 14 i) All fences, gates, walls, stone walls, retaining walls, and plantable walls shall
15 obtain planning department approval for these items in the conditions or
16 application stage prior to 1st submittal of working drawings.
- 17 j) For the planting and placement of trees and their distances from hardscape and
18 other utilities/ structures the landscape plans shall follow the City of Oceanside's
19 (current) Tree Planting Distances and Spacing Standards.
- 20 k) An automatic irrigation system or a modification/ retro-fit of the existing system
21 shall be installed to provide coverage for all planting areas. Low volume
22 equipment shall provide sufficient water for plant growth with a minimum water
23 loss due to water run-off.
- 24 l) Irrigation systems shall use high quality, automatic control valves, controllers
25 and other necessary irrigation equipment. All components shall be of non-
26 corrosive material. All drip systems shall be adequately filtered and regulated
27 per the manufacturer's recommended design parameters.
- 28 m) All irrigation improvements shall follow the City of Oceanside Guidelines and
29 Water Conservation Ordinance.
- n) Existing landscaping on and adjacent to the site shall be protected in place and
supplemented or replaced to meet the satisfaction of the City Engineer.

- 1 17. All landscaping, fences, walls, etc. on the site, in medians within the public right-of-way
2 and within any adjoining public parkways shall be permanently maintained by the
3 owner, his assigns or any successors-in-interest in the property. The maintenance
4 program shall include: a) normal care and irrigation of the landscaping b) repair and
5 replacement of plant materials c) irrigation systems as necessary d) general cleanup of
6 the landscaped and open areas e) parking lots and walkways, walls, fences, etc. Failure
7 to maintain landscaping shall result in the City taking all appropriate enforcement
8 actions including but not limited to citations.
- 9 18. For the demolition of any existing structure or surface improvements; grading plans
10 shall be submitted and erosion control plans be approved by the City Engineer prior to
11 the issuance of a demolition permit. No demolition shall be permitted without an
12 approved erosion control plan.
- 13 19. All right-of-way alignments, street dedications, exact geometrics and widths shall be
14 dedicated and constructed or replaced as required by the City Engineer.
- 15 20. Design and construction of all improvements shall be in accordance with the City of
16 Oceanside Engineers Design and Processing Manual, City Ordinances, and standard
17 engineering and specifications of the City of Oceanside and subject to approval by the
18 City Engineer.
- 19 21. The owner/developer shall provide public street dedication if required to serve the property.
- 20 22. A Declaration of Covenants, Conditions and Restrictions (DCC&R) is required (prior to the
21 grading permit), and will be reviewed and approved by the City Attorney. The Declaration
22 of Covenants, Conditions and Restrictions (DCC&R) shall be recorded attesting to these
23 improvement conditions prior to issuance of any grading permit.
- 24 23. A precise grading and private improvement plan (alley, if required) shall be prepared,
25 reviewed, secured and approved prior to the issuance of any building permits. The plan
26 shall reflect all pavement, flatwork, landscaped areas, special surfaces, curbs, gutters, alley
27 cross gutter, footprints of all structures, walls, drainage devices and utility services.
- 28 24. Prior to the issuance of grading permit, an erosion control plan, designed for all proposed
29 stages of construction, shall be reviewed, secured by the owner/developer with cash
securities and approved by the City Engineer.

1 25. Prior to the issuance of a grading permit, the owner/developer shall notify and host a
2 neighborhood meeting with all of the area residents located within 300 feet of the project
3 site, to inform them of the grading and construction schedule, and to answer questions.

4 26. The owner/developer shall monitor, supervise and control all construction and
5 construction-supportive activities, so as to prevent these activities from causing a public
6 nuisance, including but not limited to, insuring strict adherence to the following:

7 a) Dirt, debris and other construction material shall not be deposited on any public
8 street or within the City's stormwater conveyance system.

9 b) All grading and related site preparation and construction activities shall be
10 limited to the hours of 7:00 a.m. to 6:00 p.m., Monday through Friday. No
11 engineering related construction activities shall be conducted on Saturdays,
12 Sundays or legal holidays unless written permission is granted by the City Engineer
13 with specific limitations to the working hours and types of permitted
14 operations. All on-site construction staging areas shall be as far as possible
15 (minimum 100 feet) from any existing residential development. Because
16 construction noise may still be intrusive in the evening or on holidays, the City of
17 Oceanside Noise Ordinance also prohibits "any disturbing excessive or offensive
18 noise which causes discomfort or annoyance to reasonable persons of normal
19 sensitivity."

20 c) The construction site shall accommodate the parking of all motor vehicles used by
21 persons working at or providing deliveries to the site. An alternate parking site can
22 be considered by the City Engineer in the event that the lot size is too small and
23 cannot accommodate parking of all motor vehicles.

24 d) The owner/developer shall complete a haul route permit application (if required
25 for import/export of dirt) and submit to the City of Oceanside Engineering
26 Department 48 hours in advance of beginning of work. Hauling operations (if
27 required) shall be 8:00 a.m. to 3:30 p.m. unless approved otherwise.

28 27. It is the responsibility of the owner/developer to evaluate and determine that all soil
29 imported as part of this development is free of hazardous and/or contaminated material
as defined by the City and the County of San Diego Department of Environmental

1 Health. Exported or imported soils shall be properly screened, tested, and documented
2 regarding hazardous contamination.

3 28. Prior to any grading of any part of the project, a comprehensive soils and geologic
4 investigation shall be conducted of the soils, slopes, and formations in the project. All
5 necessary measures shall be taken and implemented to assure slope stability, erosion
6 control, and soil integrity. No grading shall occur until a detailed grading plan, to be
7 prepared in accordance with the Grading Ordinance and Zoning Ordinance is approved by
8 the City Engineer.

9 29. A traffic control plan shall be prepared according to the City traffic control guidelines
10 and approved to the satisfaction of the City Engineer prior to the start of work within the
11 public right-of-way and the existing alley. Traffic control during construction of streets
12 that have been opened to public traffic shall be in accordance with construction signing,
13 marking and other protection as required by the Caltrans Traffic Manual and City Traffic
14 Control Guidelines. Traffic control plans shall be in effect from 8:00 a.m. to 3:30 p.m.
15 unless approved otherwise.

16 30. Sight distance requirements at the project driveway and the existing alley shall conform to
17 the corner sight distance criteria as provided by SDRSD DS-20A and or DS-20B.

18 31. Pavement sections for the alley, driveways shall be based upon approved soil tests and
19 traffic indices. The pavement design is to be prepared by the owner/developer's soil
20 engineer and must be in compliance with the City of Oceanside Engineers Design and
21 Processing Manual and be approved by the City Engineer, prior to paving.

22 32. Prior to approval of the grading plans, the owner/developer shall contract with a
23 geotechnical engineering firm to perform a field investigation of the existing pavement on
24 the alley adjacent to the project boundary. Should the existing AC thickness be determined
25 to be less than the current minimum standard for AC and Class II Base as set forth in the
26 table for City of Oceanside Pavement Design Guidelines in the City of Oceanside
27 Engineers Manual, the Owner/developer shall remove and reconstruct the alley pavement
28 section as determined by the pavement analysis to the satisfaction of the City Engineer.

29 33. The approval of this project shall not mean that proposed grading or improvements on
adjacent properties (including any City properties/right-of-way or easements) is granted
or guaranteed to the owner/developer. The owner/developer is responsible for obtaining

1 permission to grade to construct on adjacent properties. Should such permission be
2 denied, this project shall be subject to going back to the public hearing or subject to a
3 substantial conformity review.

4 34. Any existing public or private pavement, concrete curb, gutter, driveways, pedestrian
5 ramps, sidewalk within the project, or the alley adjacent to the project boundary that are
6 damaged during construction of the project, shall be repaired or replaced as directed by the
7 City Engineer.

8 35. Full width alley construction/replacement including the installation of a longitudinal
9 concrete alley gutter might be required based on the pavement analysis in accordance with
10 the City of Oceanside Engineers Design and Processing Manual, the City Standards plans
11 and specifications as approved by the City Engineer.

12 36. The drainage design shown on the site plan or preliminary grading plan, and the drainage
13 report for this project is conceptual only. The final drainage report and drainage design
14 shall be based upon a hydrologic/hydraulic study that is in compliance with the latest San
15 Diego County Hydrology and Drainage Manual to be approved by the City Engineer
during final engineering.

16 37. Drainage facilities shall be designed and installed to adequately accommodates the local
17 stormwater runoff and shall be in accordance with the San Diego County Hydrology and
18 Design Manual and in compliance with the City of Oceanside Engineers Design and
19 Processing Manual to the satisfaction of the City Engineer.

20 38. The owner/developer shall place a note on the title sheet of the grading plan agreeing to
21 the following: "The present or future owner/developer shall indemnify and save the City
22 of Oceanside, its officers, agents, and employees harmless from any and all liabilities,
23 claims arising from any flooding that occurs on this site."

24 39. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and disposed
25 of in accordance with all state and federal requirements, prior to stormwater discharge
either off-site or into the City drainage system.

26 40. The Standard Development Project Storm Water Mitigation Plan (SDP-SWMP) is
27 conceptual only. Prior to approval of a grading plan and issuance of any grading permit
28 the owner/developer shall submit a final SDP-SWMP study that will be in compliance
29 with RWQCB Order No. R9-2007-0001.

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- 41. The owner/developer shall comply with all the provisions of the City's cable television ordinances including those relating to notification as required by the City Engineer.
- 42. Approval of this development project is conditioned upon payment of all applicable impact fees and connection fees in the manner provided in chapter 32B of the Oceanside City Code. All traffic signal fees and contributions, highway thoroughfare fees, park fees, reimbursements, and other applicable charges, fees and deposits shall be paid prior to the issuance of any building permits, in accordance with City Ordinances and policies. The owner/developer shall also be required to join into, contribute, or participate in any improvement, lighting, or other special district affecting or affected by this project.
- 43. The owner/developer shall obtain any necessary permits and clearances from all public agencies having jurisdiction over the project due to its type, size, or location, including but not limited to the U. S. Army Corps of Engineers, California Coastal Commission, California Department of Fish & Game, U. S. Fish and Wildlife Service and/or San Diego Regional Water Quality Control Board (including NPDES), San Diego County Health Department, prior to the issuance of grading permits.
- 44. Upon acceptance of any fee waiver or reduction by the owner/developer, the entire project will be subject to prevailing wage requirements as specified by Labor Code section 1720(b) (4). The owner/developer shall agree to execute a form acknowledging the prevailing wage requirements prior to the granting of any fee reductions or waivers.
- 45. A digital file of the as-built grading plan, and as-built improvement plan (for alley, if required based on pavement evaluation) in a format consistent with the City's requirements for digital submittals, detailed in the Engineers Design and Processing Manual shall be submitted to the City of Oceanside prior to occupancy permit.

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1 46. In the event that the conceptual plan does not match the conditions of approval, the
2 resolution of approval shall govern.

3 PASSED AND ADOPTED Resolution No. 2012-P32 on July 9, 2012 by the following
4 vote, to wit:

5 AYES:

6 NAYS:

7 ABSENT:

8 ABSTAIN:

9 _____
10 Tom Rosales, Chairperson
11 Oceanside Planning Commission

12 ATTEST:

13 _____
14 Jerry Hittleman, Secretary

15 I, JERRY HITTLEMAN, Secretary of the Oceanside Planning Commission, hereby certify that
16 this is a true and correct copy of Resolution No. 2012-P32.

17 Dated: July 9, 2012

18
19 Applicant accepts and agrees with all conditions of approval and acknowledges impact fees may
20 be required as stated herein:

21 _____
22 Applicant/Representative

_____ Date

RECEIVED

MAY 02 2012

CITY OF OCEANSIDE
DEVELOPMENT SERVICES

BRUSSO RENOVATION

1920 SOUTH PACIFIC STREET
OCEANSIDE, CA 92054

A.P.N. 153-251-25

SHEET INDEX

- 1 A1.1 TITLE SHEET
- 2 A0.1 SITE PLAN (EXISTING / DEMO)
- 3 A0.2 SITE PLAN (PROPOSED)
- 4 A0.3 SITE SECTIONS
- 5 A0.4 EXTERIOR ELEVATIONS - DEMOLITION
- 6 A2.1 FIRST FLOOR PLAN - NEW CONSTRUCTION
- 7 A2.2 SECOND FLOOR PLAN - NEW CONSTRUCTION
- 8 A3.1 ROOF PLAN
- 9 A4.1 EXTERIOR ELEVATIONS
- 10 C1 SWAMP BMP PLAN
- 11 C2 PRELIMINARY GRADING PLAN

SCOPE OF WORK

WHOLEHOUSE RENOVATION
PARTIAL DEMOLITION
NEW INTERIOR
NEW EXTERIOR

PROJECT DATA

open 153-251-25
 type residential
 occupancy: R3
 construction type: type v - non-rated
 building code: 2010 California code, 2010 California mechanical code, California energy code
 zoning: R
 setbacks: front yard - 20'-07" (existing), side yard - 5'-0" (new 4'-0")
 height: 1st fl - 8' 6" (existing), 2nd fl - 8' 6" (existing)
 owner of construction: oceanwide
 These plans are of work that comply with the California Building Department Code found in State of California Title 24, CCR as amended and adopted by the County of San Diego.

FLOOR AREA INFO

BUILDING AREA INFORMATION
 existing conditioned area: 1,285 sf
 new conditioned area: 202 sf
 total conditioned area: 1,487 sf
 existing roof area: 914 sf
 new roof area: 1,184 sf
 total roof area: 2,098 sf
 total existing conditioned area: 1,285 sf
 total existing roof area: 1,285 sf
 total conditioned area: 1,487 sf
 existing conditioned area: 1,285 sf
 new conditioned area: 202 sf
 total conditioned area: 1,487 sf

BUILDING COVERAGE INFORMATION

Lot Area: 4,600 sq ft
 Maximum Lot Coverage: 36% (3,156 sq ft)
 Building Lot Coverage: 30% (1,380 sq ft)

PROJECT TEAM

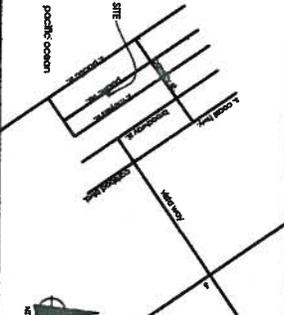
CLIENT
 JANE & MARK, SR. & AMELIA BRUSSO CONTACT: JANE & MARK BRUSSO

ARCHITECT
 TOTA ARCHITECTURE INC.
 300 Coronado Village Drive
 Suite 100B-358
 Oceanside, CA 92058
 CONTACT: ALIANT TOTA
 Phone: 760.286.9700
 Fax: 760.286.9187
 email: tota@totaarch.com

CIVIL
 GAC Engineering
 792 Old Town Road
 Oceanside, CA 92058
 CONTACT: GARY CUMMINS
 Phone: 760.984-4889
 email: gary@gsacivil.com

SOILS
 GAC Engineering
 792 Old Town Road
 Oceanside, CA 92058
 CONTACT: TINA RICHARDS
 Phone: 760.984-4889
 email: tina@gsacivil.com

VICINITY MAP



BRUSSO RESIDENCE

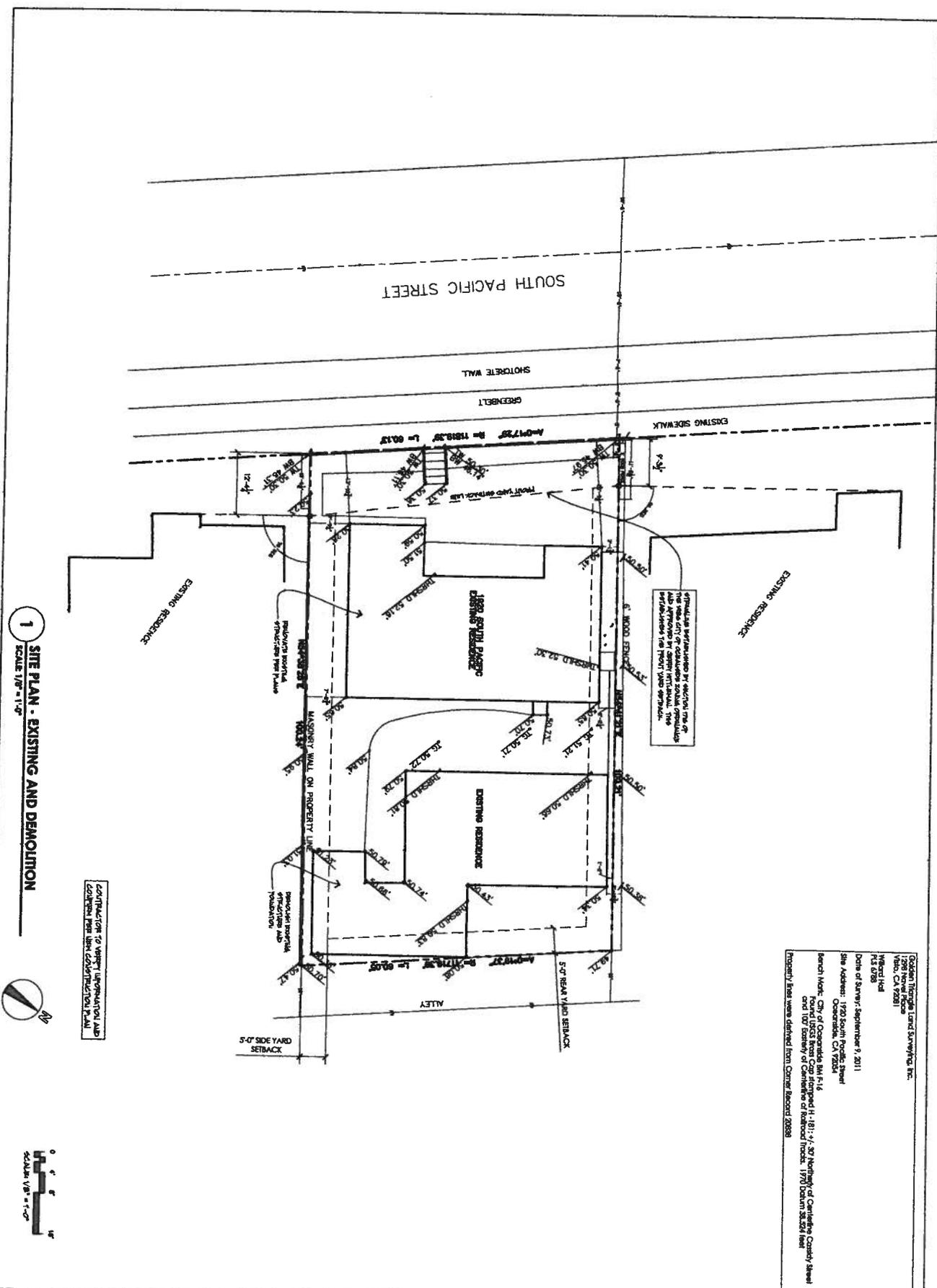
OCEANSIDE, CALIFORNIA

COASTAL PERMIT SUBMITTA



tota
architecture inc
 300 Coronado Village Dr. • 909A-326 Coronado CA 92058
 tel: 760.286.9000 fax: 760.286.9187 www.totaarch.com

AT.1



1 SITE PLAN - EXISTING AND DEMOLITION
SCALE 1/8" = 1'-0"



CONSTRUCTION TO VERIFY INFORMATION AND
EXAMINE FOR ANY CONSTRUCTION PLAN

INDICATE INFORMATION BY SECTION LINE OR
THE AREA OF DEMOLITION SHALL BE
APPROVED BY CITY ENGINEER. THIS
APPLICABLE FOR MOST VAPD APPROVAL.

Golden Triangle Land Surveying Inc.
1500 S. Coast
Vista, CA 92081
Tel: 760 595 6758
Date of Survey: September 9, 2011
Site Address: 1920 South Pacific Street
Oceanside, CA 92054
Bench Mark: City of Oceanside BM #16
and 10' Elevation of Bench Mark
Property lines were derived from Corner Record 20888

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OCEANSIDE, CALIFORNIA

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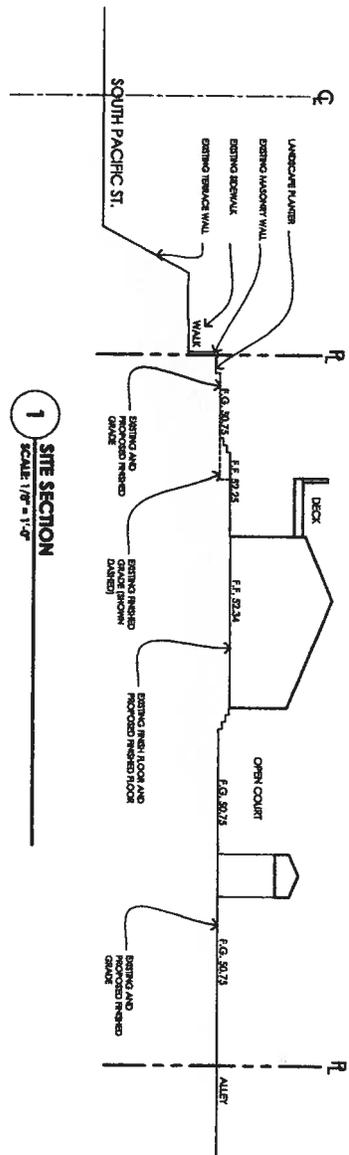
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architecture inc

800 Carlsbad Village Dr. • 92044-5306 Carlsbad CA 92008
tel: 760 286 9060 fax: 760 286 9167 www.tetaarchitecture.com

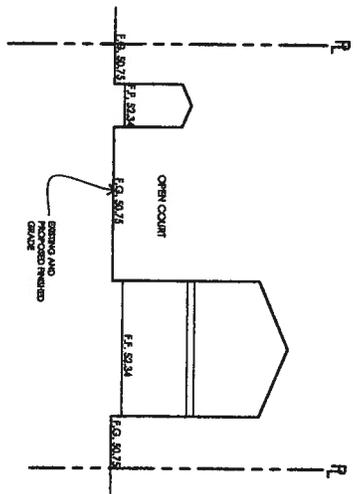
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DOCUMENT CODE: [A]1194
SHEET NUMBER: [A]1194
SHEET TITLE: [A]1194
DATE: [A]1194

DOCUMENT TITLE: [A]1194
SHEET PLAN: EXISTING & DEMOLITION
SCALE: 1/8" = 1'-0"

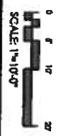
A0.1



1 SITE SECTION
SCALE: 1/8" = 1'-0"



2 SITE SECTION
SCALE: 1/8" = 1'-0"



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OCEANSIDE, CALIFORNIA

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architecture inc

300 Carlsbad Village Dr. • OSA-338 Carlsbad CA 92008
 phone 760 296 0080 fax 760 296 0167 www.tetaarchitecture.com

A0.3

PROJECT NUMBER

SITE SECTIONS

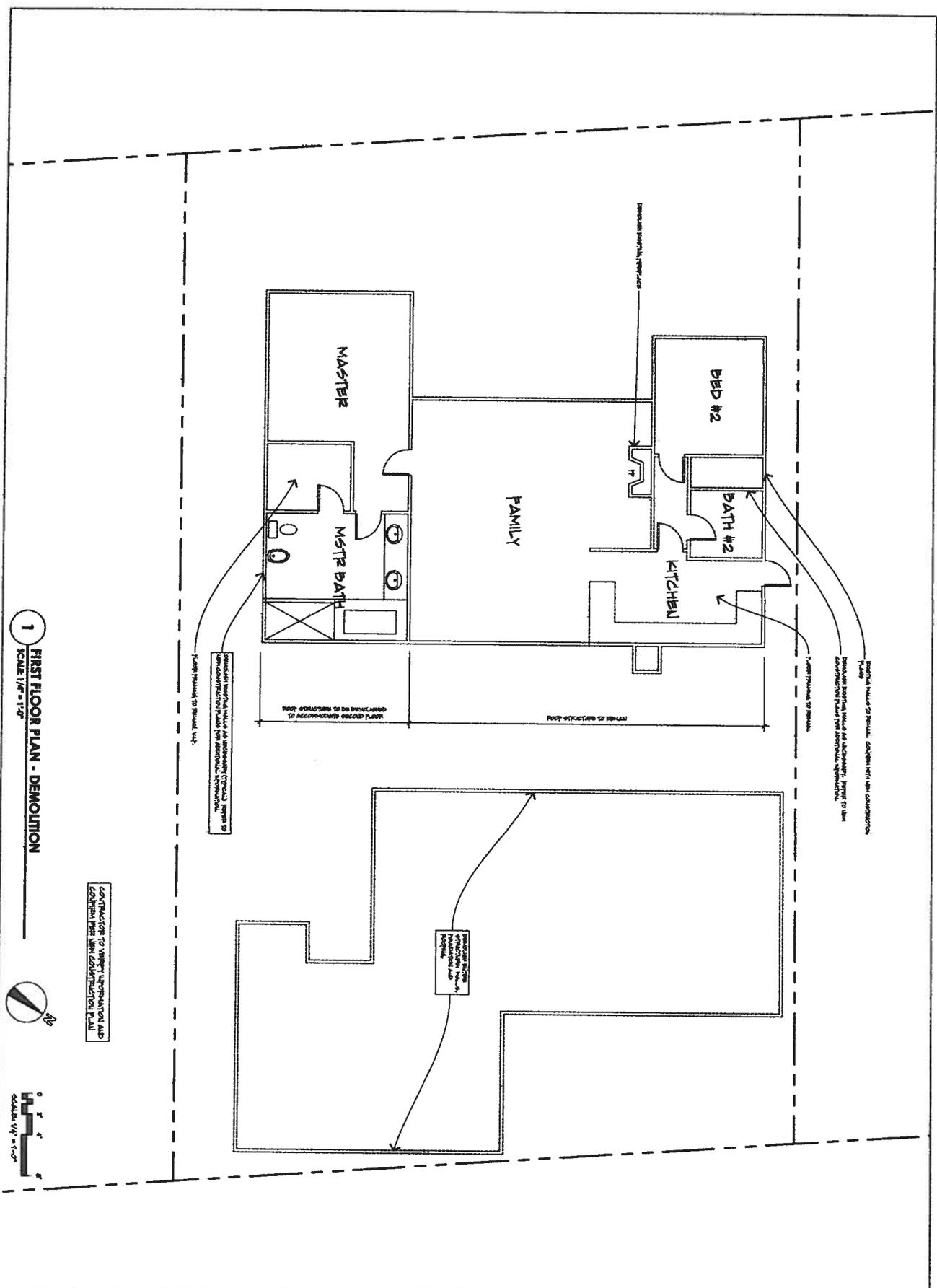
DATE

SCALE

PROJECT NUMBER

DATE

SCALE



1 FIRST FLOOR PLAN - DEMOLITION
SCALE 1/8" = 1'-0"



0' 2' 4' 6'
SCALE 1/8" = 1'-0"

CONTRACTORS TO VERIFY DIMENSIONS AND
CONTENTS PER THE CONSTRUCTION PLAN

REMOVE EXISTING WALLS AND RECONSTRUCT TO MATCH EXISTING WALLS TO REMAIN

REMOVE EXISTING WALLS AND RECONSTRUCT TO MATCH EXISTING WALLS TO REMAIN

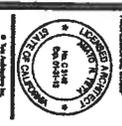
REMOVE EXISTING WALLS AND RECONSTRUCT TO MATCH EXISTING WALLS TO REMAIN

REMOVE EXISTING WALLS AND RECONSTRUCT TO MATCH EXISTING WALLS TO REMAIN

BRUSSO RESIDENCE

OCEANSIDE, CALIFORNIA

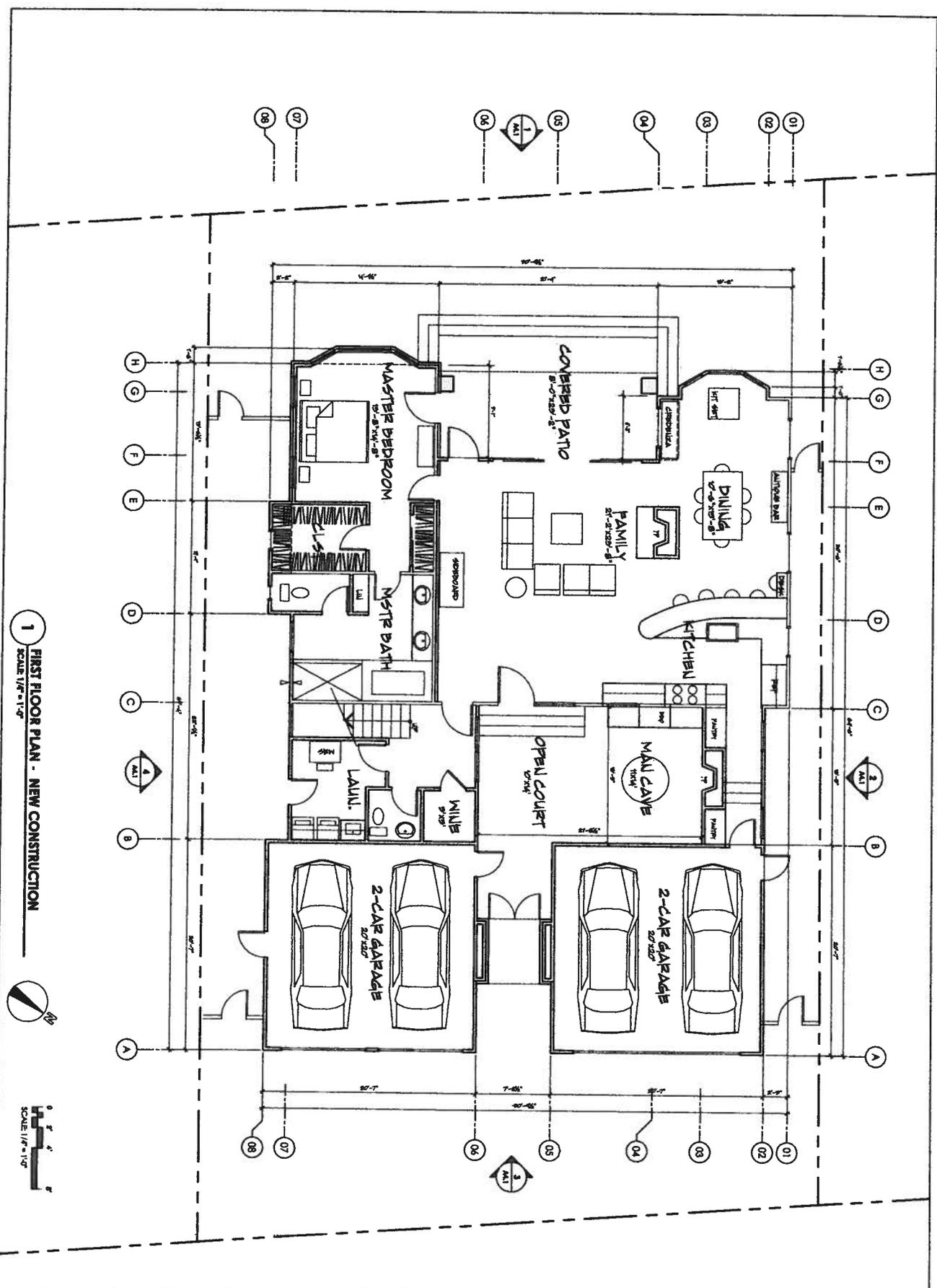
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800 Carlsbad Village Dr. • 760-438-328 Carlsbad CA 92008
• 760-299-9090 • 760-299-9157 www.tetaarchitecture.com

A1.1
FIRST FLOOR PLAN -
DEMOLITION
DOCUMENT NUMBER



1 FIRST FLOOR PLAN - NEW CONSTRUCTION
SCALE: 1/8" = 1'-0"



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OCEANSIDE, CALIFORNIA

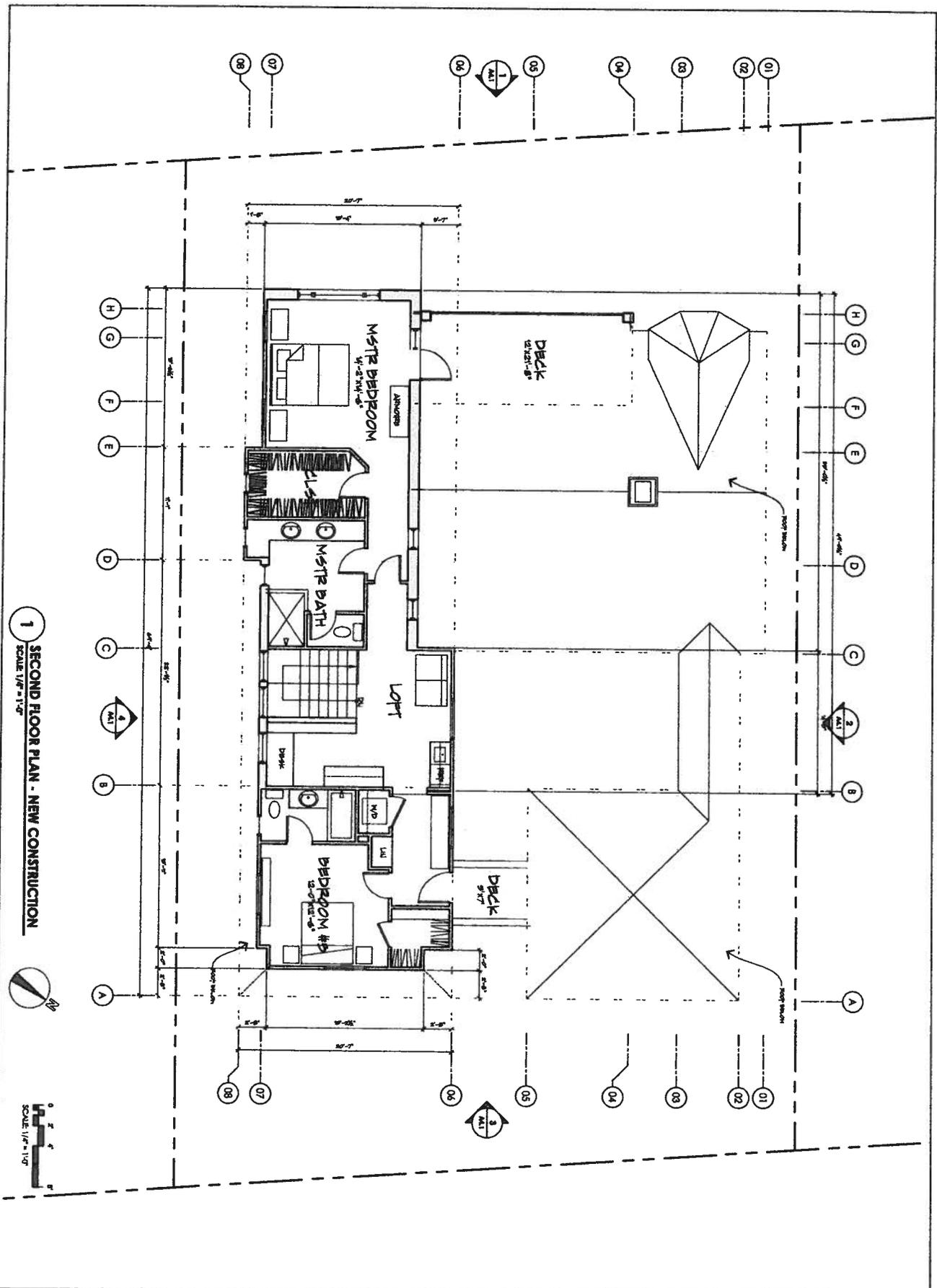
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architecture ^{INC.}

300 Carlsbad Village Dr. • (760) 438-3328 Carlsbad, CA 92008
 (760) 298-6300 (760) 298-6167 www.tetaarchitecture.com

A2.1
FIRST FLOOR PLAN - NEW CONSTRUCTION
DATE: 11/11/10
DRAWN BY: TAV/10



1 SECOND FLOOR PLAN - NEW CONSTRUCTION
SCALE 1/4" = 1'-0"



A2.2

SECOND FLOOR PLAN - NEW CONSTRUCTION
PROJECT NUMBER: 1A1104
DATE: 08/11/04
SCALE: 1/4" = 1'-0"

BRUSSO RESIDENCE
OCEANSIDE, CALIFORNIA

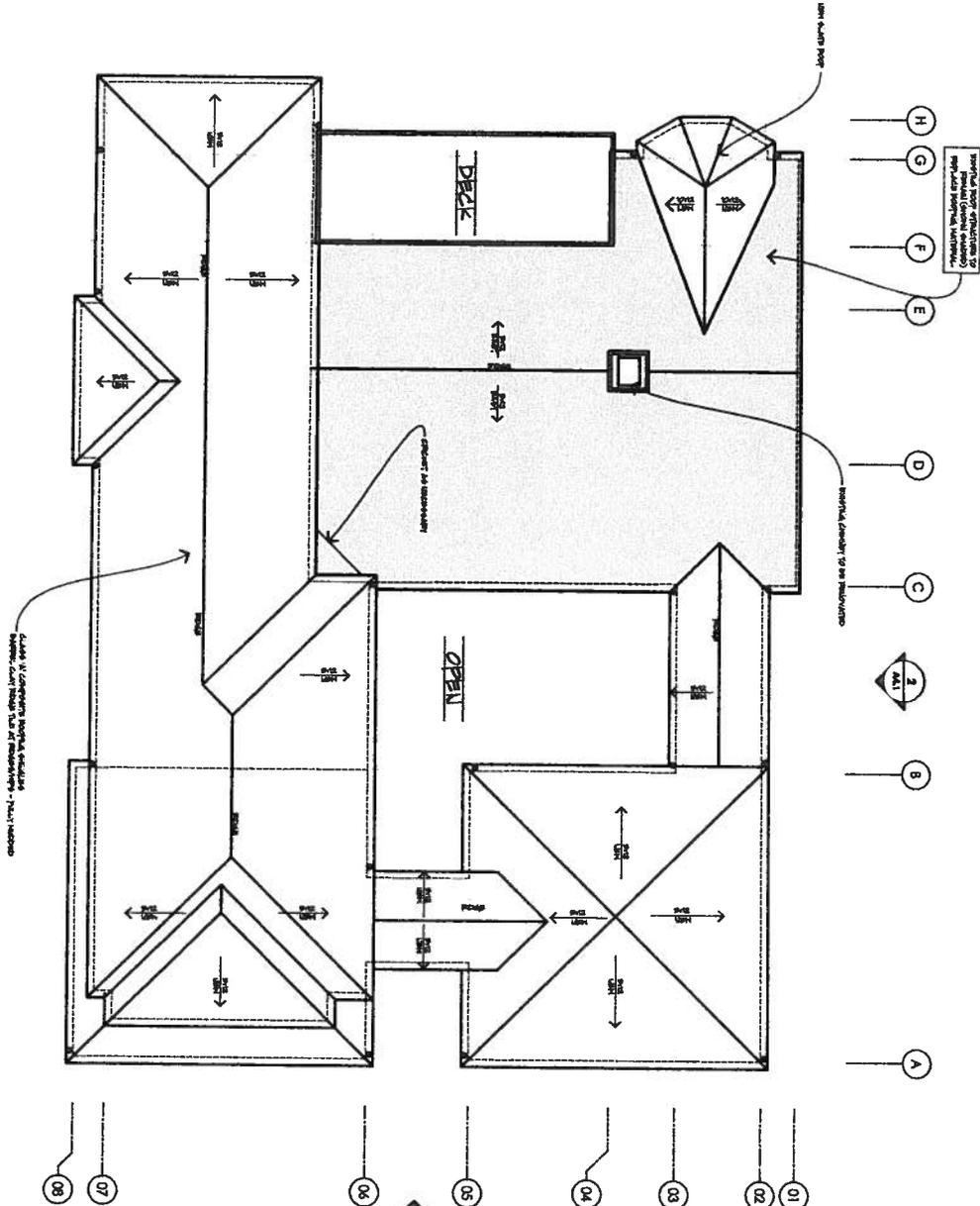
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LEEDS CERTIFIED
GREEN BUILDING
CONSTRUCTION
WELL-BEING
ENERGY EFFICIENT
WATER EFFICIENT
MATERIALS
INDUSTRY PARTNERSHIP
OPERATIONAL EXCELLENCE

teta architecture inc
300 Carlsbad Village Dr. • 108A-338 Carlsbad CA 92008
tel: 760 298 6000 fax: 760 298 6167 www.tetaarchitecture.com

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1 ROOF PLAN
SCALE: 1/8" = 1'-0"



BRUSSO RESIDENCE

OCEANSIDE, CALIFORNIA

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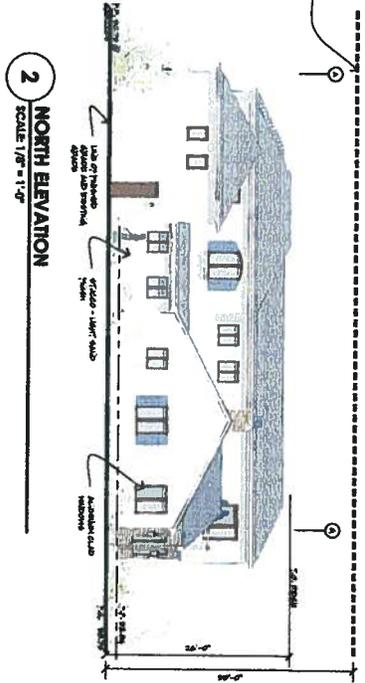
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architecture inc

300 Carlsbad Village Dr. • 109A-338 Carlsbad CA 92008
 Phone: 760 298 9080 Fax: 760 298 9157 www.tetaarchitecture.com

A3.1

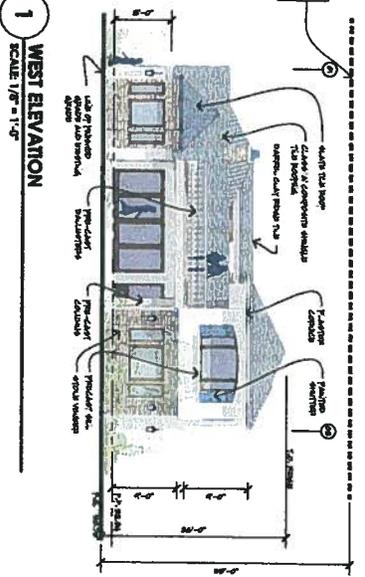
PROJECT NUMBER: 141004
 ARCHITECT OF RECORD: TETA ARCHITECTURE INC.
 DATE: 08/11/10

See Project details sheet for window type, sill or decorative mullion details.



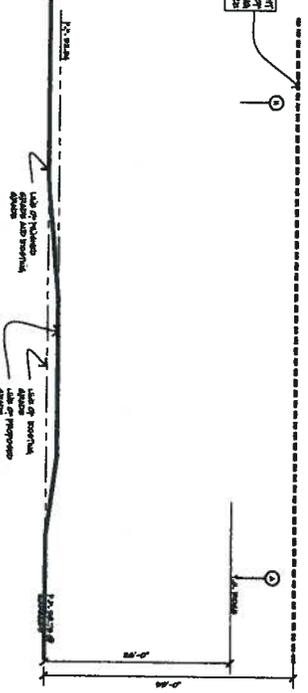
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NORTH ELEVATION
SCALE: 1/8" = 1'-0"

See Project details sheet for window type, sill or decorative mullion details.



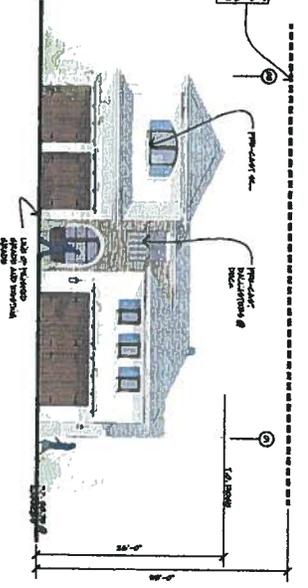
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WEST ELEVATION
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See Project details sheet for window type, sill or decorative mullion details.

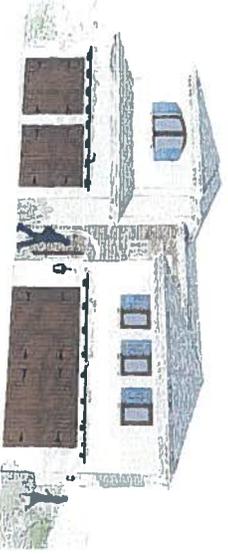


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SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

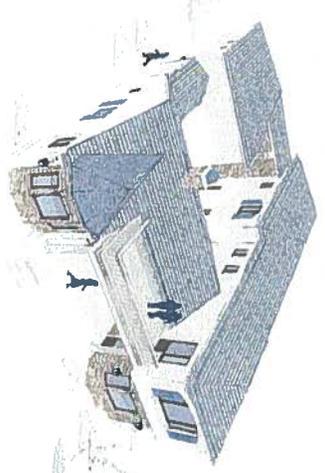
See Project details sheet for window type, sill or decorative mullion details.



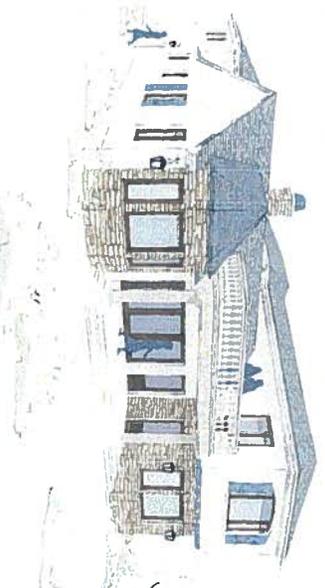
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EAST ELEVATION
SCALE: 1/8" = 1'-0"



PERSPECTIVE
SCALE N.T.S.



PERSPECTIVE
SCALE N.T.S.



PERSPECTIVE
SCALE N.T.S.



BRUSSO RESIDENCE

OCEANSIDE, CALIFORNIA

COASTAL PERMIT SUBMITTAL

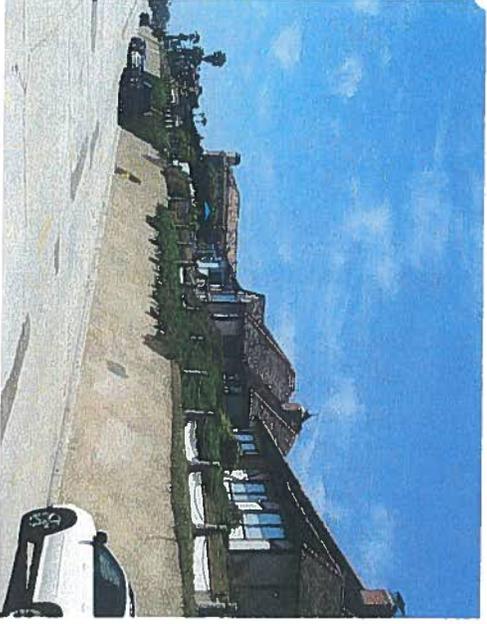
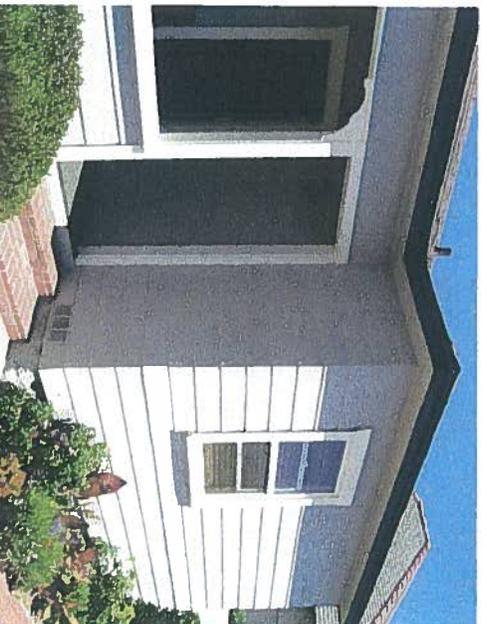
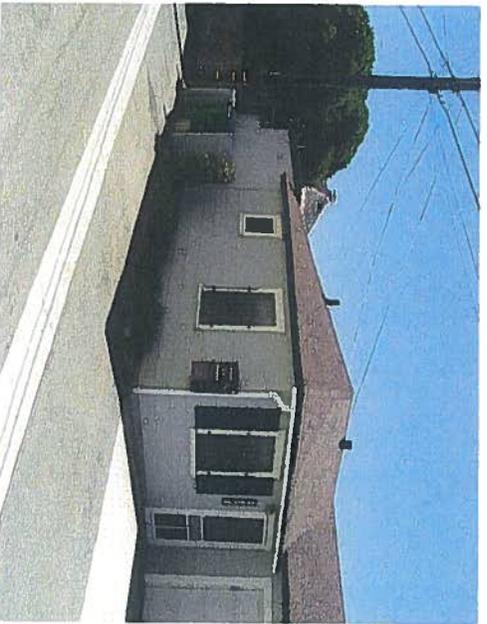
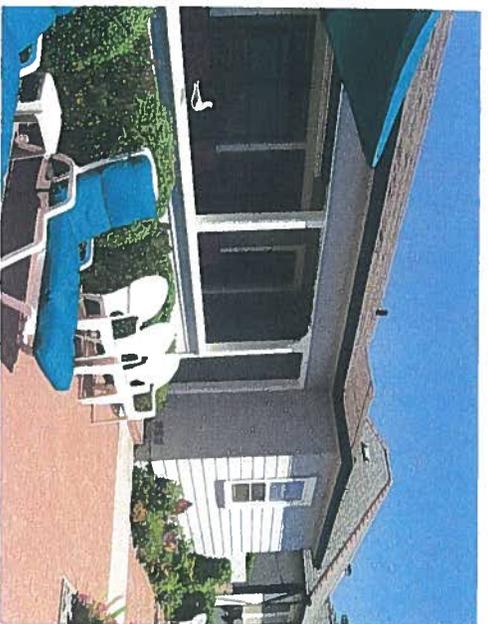


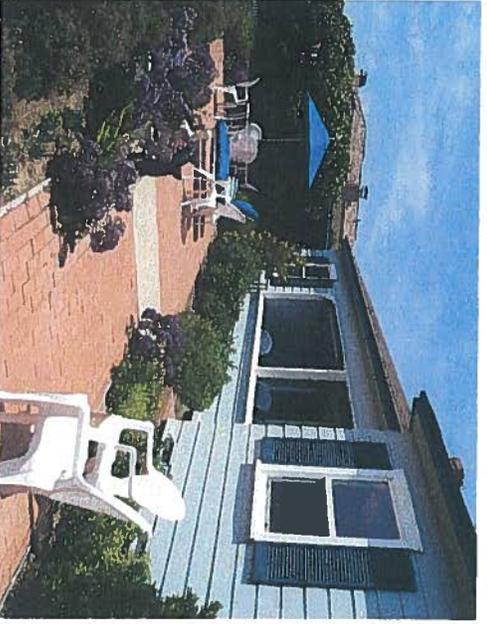
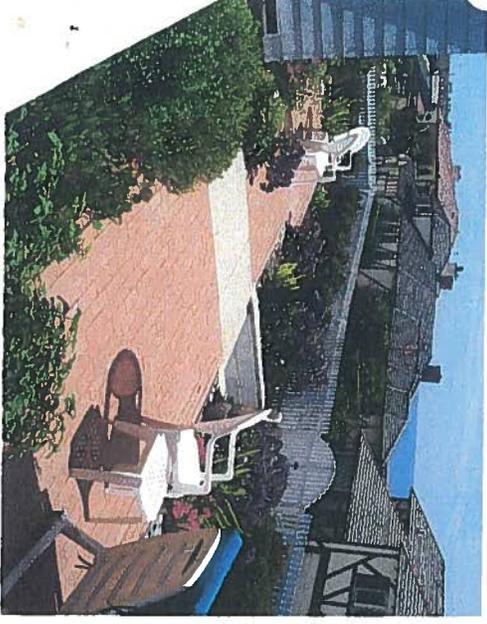
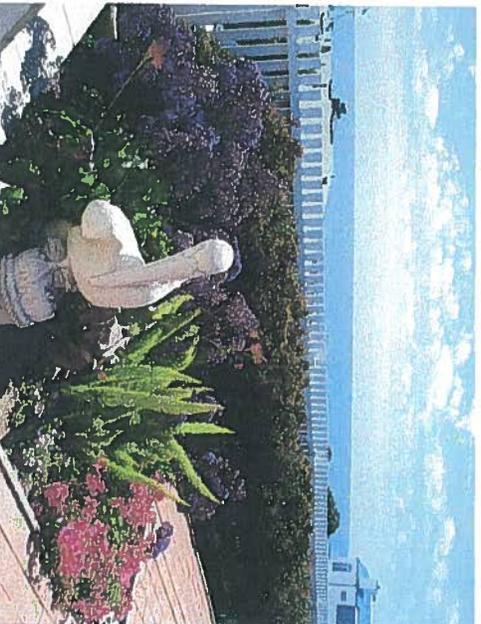
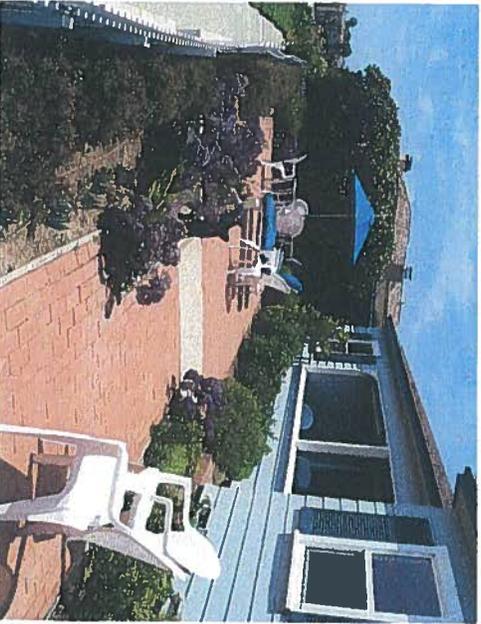
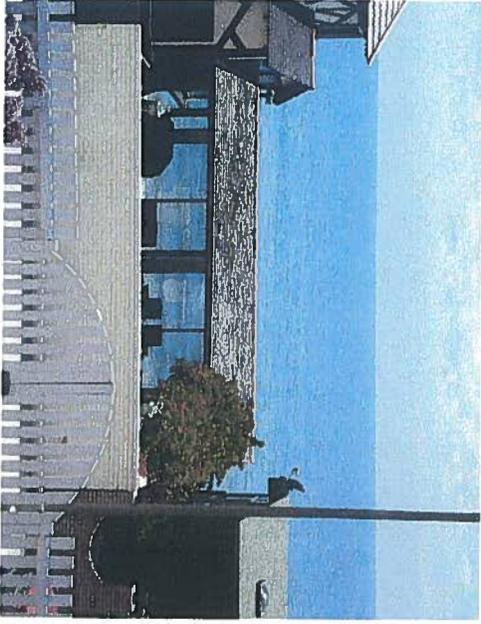
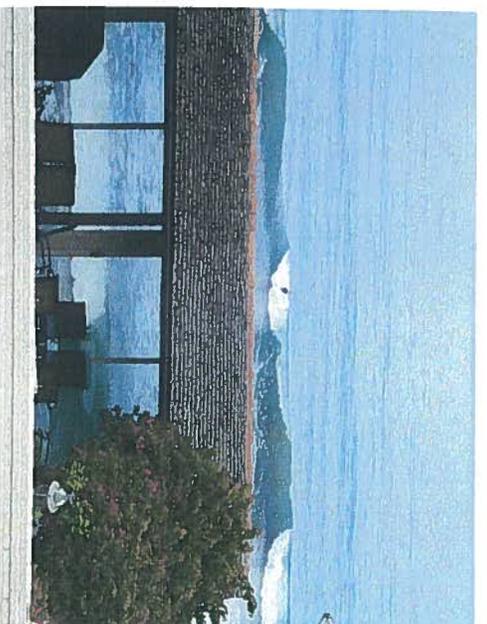
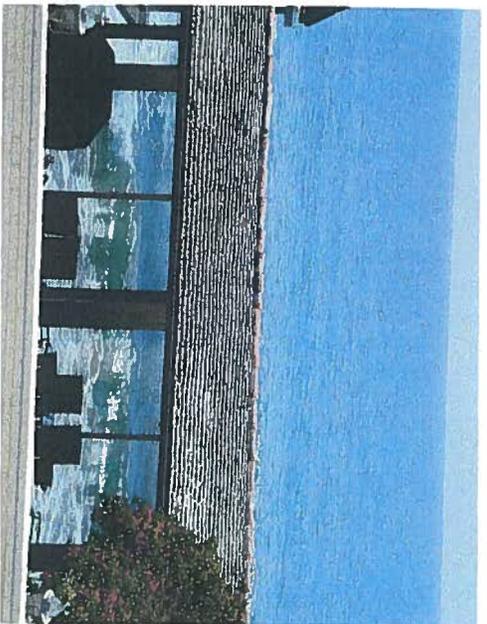
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architecture inc
300 Carlsbad Village Dr. • 1084-339 Carlsbad CA 92008
teta 760 288 9080 teta 760 288 9187 www.tetaarchitecture.com

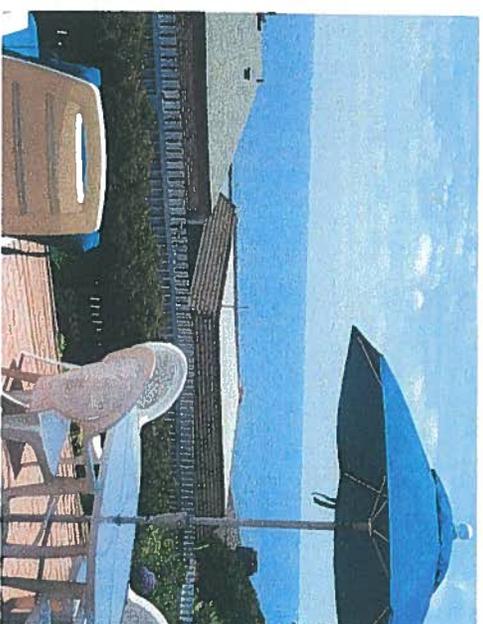
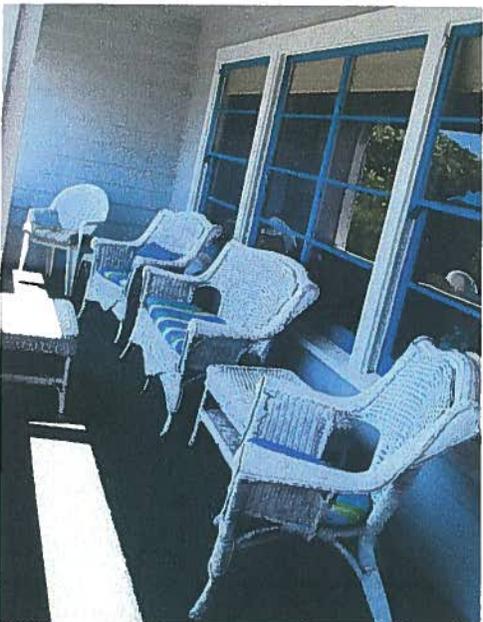
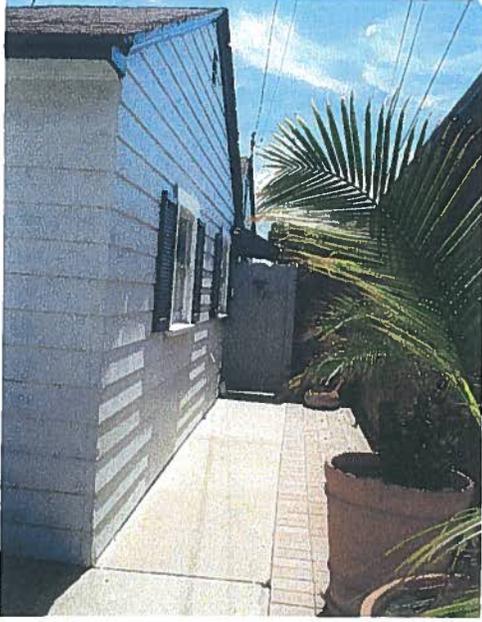
A4.1

EXTERIOR ELEVATIONS
SCHEDULED SHEET

PROJECT: BRUSSO RESIDENCE, (VA) (04)
SCHEDULED SHEET
DATE: 02/03/2014 (REVISED)









Application for Discretionary Permit

Development Services Department / Planning Division
(760) 435-3520
Oceanside Civic Center 300 North Coast Highway
Oceanside, California 92054-2885

STAFF USE ONLY

ACCEPTED
RECEIVED
MAR 15 2012
CITY OF OCEANSIDE
DEVELOPMENT SERVICES

BY

Please Print or Type All Information

HEARING

PART I - APPLICANT INFORMATION

1. APPLICANT JIM BRUSSO	2. STATUS OWNER
3. ADDRESS 1920 S. PACIFIC	4. PHONE/FAX/E-mail
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing) ALLAN TETA - TETA ARCHITECTURE	
6. ADDRESS 300 CARLEBAD VILLAGE DR, #108A-334	7. PHONE/FAX/E-mail 760-248-9090

GPA
MASTER/SP.PLAN
ZONE CH.
TENT. MAP
PAR. MAP
DEV. PL.
C.U.P.
VARIANCE
COASTAL RC12-00006
O.H.P.A.C.

PART II - PROPERTY DESCRIPTION

8. LOCATION OCEANSIDE, SOUTH PACIFIC.	9. SIZE
10. GENERAL PLAN RS	11. ZONING RS
12. LAND USE RESIDENTIAL	13. ASSESSOR'S PARCEL NUMBER 153-251-25
14. LATITUDE	15. LONGITUDE

PART III - PROJECT DESCRIPTION

16. GENERAL PROJECT DESCRIPTION
WHOLEHOUSE RENOVATION, PARTIAL DEMOLITION, NEW 4 CAR GARAGES, NEW DECK, 2-STORY ADDITION

17. PROPOSED GENERAL PLAN RS R1	18. PROPOSED ZONING RS	19. PROPOSED LAND USE RESIDENTIAL	20. NO. UNITS 1	21. DENSITY
22. BUILDING SIZE 2,1635 SF	23. PARKING SPACES 4	24. % LANDSCAPE 60%	25. % LOT COVERAGE or FAR 39.8%	

PART IV - ATTACHMENTS

<input checked="" type="checkbox"/> 26. DESCRIPTION/JUSTIFICATION	<input checked="" type="checkbox"/> 27. LEGAL DESCRIPTION	<input checked="" type="checkbox"/> 28. TITLE REPORT TO ENG.
<input checked="" type="checkbox"/> 29. NOTIFICATION MAP & LABELS	<input checked="" type="checkbox"/> 30. ENVIRONMENTAL INFO FORM	<input checked="" type="checkbox"/> 31. PLOT PLANS
<input checked="" type="checkbox"/> 32. FLOOR PLANS AND ELEVATIONS	<input checked="" type="checkbox"/> 33. CERTIFICATION OF POSTING	<input checked="" type="checkbox"/> 34. OTHER (See attachment for required reports) HISTORICAL PHOTO DOC'S.

PART V - SIGNATURES

SIGNATURES FROM ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).

35. APPLICANT OR REPRESENTATIVE (Print): ALLAN TETA	36. DATE 3/8/12	37. OWNER (Print): JAMES F. BRUSSO	38. DATE 2/28/12
Sign:		Sign:	

I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. FURTHER, I UNDERSTANDING THAT SUBMITTING FALSE STATEMENTS OR INFORMATION IN THIS APPLICATION MAY CONSTITUTE FRAUD, PUNISHABLE IN CIVIL AND CRIMINAL PROCEEDINGS.
I HAVE READ AND AGREE TO ABIDE BY THE CITY OF OCEANSIDE DEVELOPMENT SERVICES DEPARTMENT AND ECONOMIC AND COMMUNITY DEVELOPMENT DEPARTMENT POLICY NO. 2011-01/POLICY AND PROCEDURE FOR DEVELOPMENT DEPOSIT ACCOUNT ADMINISTRATION.

- CD .XLS LABELS
- ENVIRONMENTAL FORM

Brusso Renovation

Coastal Permit

RECEIVED
JUN 20 2012
CITY OF OCEANSIDE
DEVELOPMENT SERVICES

Description and Justification

Revised June 2012

This application is for the Coastal Permit for the renovation of one single family residence. The subject property consists of 60.00 feet along South Pacific Drive, south of Cassidy (APN 153-251-25). The parcel currently has a General Plan land use designation of Residential (R1), and a zoning designation of R1. Located near the St. Malo community, the parcel is bordered by single family residences to the north, south and east.

The site plan and physical design of the project as proposed is consistent with the purposes of the Zoning Ordinance and conforms to the General Plan of the City. All planned public services, utilities and public facilities can reasonably serve the proposed area.

The proposed project will consist of a minor building expansion, interior revision, and exterior deck addition, second story addition. At the first floor, a portion of the existing shall be demolished and rebuilt to accommodate a 4-car garage. At the first floor, the building shall extend to the west minimally 2 feet from the existing footprint. On the south side of the property, a second story addition shall stack atop the existing master bedroom and extend to the east over the garages. All materials, colors, and details of the renovation will follow a French/Italian aesthetic and fit quite well amongst the St. Malo style home adjacent.

The proposed interior revisions include the renovation of the first floor living area. Interior finishes, flooring and lighting will be replaced with materials and details in keeping with the style of the proposed elements.

Parking

The proposal will remove the existing 2-car garage and rebuilt an enclosed 4-car garage. The garage to the North has elevated ceilings in order to accommodate a car lift for the storage of vintage cars.

Project Data

The building coverage of the proposed design is 2,406 sf, a reduction from the existing 3,011sf lot coverage. The proposed design adds 1,350sf bringing the new habitable square footage to 2,635sf. The required setbacks are as follows: 20ft- front, 5ft-side and 5ft – rear/alley. However, the front yard

setback has been adjusted as outlined below. The maximum height of the structure is 35'-0". The proposed height of the structure is well below the maximum, at 26'-0".

Front Yard Setback Modification

Pursuant to Article 17 of the 1986 Oceanside Zoning Ordinance, section 1716 and Planning Commission Resolution No. 2012-P29, the front yard setback has been modified allowing for a reduced setback less than the required 20'-0".

In compliance with the Planning Commission Policy No. 1-2012, modification of the front yard depth on 1920 South Pacific has been accomplished according to the procedure set forth in Section 1716 of the Zoning Ordinance. This modification is detailed on the Architectural Site Plan.

The majority of adjacent homes on South Pacific, between Kelly Street and Vista Way average a 13 foot front yard setback. Our request is appropriate and in keeping with the adjacent neighbors.

Architecture

The Brusso Residence project architecture is a good example of French Italian architecture. All elements of the renovation will be in keeping with this style. The project has broken down a two-story element with use of offset and material change.

Coastal Development Permit

The project conforms to the Local Coastal Plan including the policies of the Plan and all development conforms to the public access and recreation policies of Chapter 3 of the Coastal Act.

Conclusion

In adherence to the Local Coastal plan and the 1986 City of Oceanside Zoning Ordinance, the Brusso Renovation has been designed to best utilize the existing home and site. The project offers appropriate architectural style that not only provides interest, but is also very appropriate for its location near St. Malo. The site now takes full advantage of the outdoors and provides more useful outdoor space. The project allows for expansion while maintaining the architectural intent distinctive of the St. Malo community and surrounding homes.

Brusso Renovation
Coastal Permit and Development Plan

RECEIVED
MAR 15 2012
CITY OF OCEANSIDE
DEVELOPMENT SERVICES

Legal Description

Legal

Real property in the City of Oceanside, County of San Diego, State of California, described as follows:

PARCEL A:

LOT "P" IN BLOCK 6 OF SOUTH OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 622, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, FEBRUARY 7, 1890.

PARCEL B:

AN EASEMENT FOR THE CONTINUED MAINTENANCE OF CONCRETE WALKWAYS, WOODEN FENCING, GATES, PIPELINES, UTILITY SERVICES, CONTINUED MAINTENANCE OF A CONCRETE BLOCK RETAINING WALL AT THE WESTERLY BOUNDARY OF SUCH PARCEL, AN EIGHT AND ONE-HALF FOOT LONG AND TWO FOOT TALL WOODEN FENCE COMMENCING AT THE NORTHWEST CORNER OF SUCH PARCEL AND PROCEEDING NORTHEASTERLY ALONG THE NORTHWESTERLY BORDER, AND FOR THE MAINTENANCE OF LANDSCAPING, SHRUBS, TREES AND IRRIGATION IN THE REMAINDER OF SUCH PARCEL OVER ALONG AND ACROSS THE SOUTHEASTERLY STRIP OF LAND, TAPERING IN WIDTH FROM 1.95 FEET ON ITS NORTHEAST SIDE TO 1.35 FEET ON ITS SOUTHWEST SIDE OF LOT "O" IN BLOCK 6 OF SOUTH OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 622, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, FEBRUARY 7, 1890

The Assessor's Parcel Number (APN) is 153-251-25.

Vicinity

The project area is located in an unsectioned portion of Township 11 South, Range 5 West, on the USGS 7.5' San Luis Rey quadrangle. The property is situated on the east side of S. Pacific Street, west of Interstate 5, between Vista Way to the north, Eaton Street to the south, the Pacific Ocean to the west, and Broadway to the east.



NOTICE OF EXEMPTION

City of Oceanside, California

Post Date:
Removal:
(180 days)

1. **APPLICANT:** Jim Brusso
2. **ADDRESS:** 1920 S. Pacific Street
3. **PHONE NUMBER:** Allan Teta; (760) 268-9090
4. **LEAD AGENCY:** City of Oceanside
5. **PROJECT PLANNER:** Richard Greenbauer, Senior Planner
6. **PROJECT TITLE:** RC12-00006 (Brusso Residence Remodel)
7. **DESCRIPTION:** The proposed project involves the demolition of a secondary dwelling unit and remodel of an existing single family residence to include a four car garage, second story addition, and roof top deck. The remodel will provide a single family residence that is 2,635 square-feet in size and located at 1920 s. Pacific Street. Situated within the South Oceanside Neighborhood Planning Area and the Coastal Zone, the subject property bears a zoning designation of Single Family Residential (R-1).

ADMINISTRATIVE DETERMINATION: Planning Division staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA), 1970. Based on this review, the Environmental Coordinator has determined that further environmental evaluation is not required because:

- The project qualifies for a Class 3 categorical exemption under Section 15303(a) "New Construction or Conversion of Small Structures;"
- "The activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA" (Section 15061(b)(3)); or,
- The project is statutorily exempt, Section, _____ (Sections 15260-15277); or,
- The project does not constitute a "project" as defined by CEQA (Section 15378).

Date: July 9, 2012

Richard Greenbauer, Senior Planner

cc: Project file Counter file Library Posting: County Clerk \$50.00 Admin. Fee