



DATE: November 5, 2012

TO: Chairperson and Members of the Planning Commission

FROM: Development Services Department/Planning Division

SUBJECT: **CONSIDERATION OF A DEVELOPMENT PLAN (D12-00016) AND CONDITIONAL USE PERMIT (CUP12-00016) TO ALLOW FOR THE CONSTRUCTION OF TWO OUTPATIENT MEDICAL OFFICE BUILDINGS. THE PROJECT SITE IS ZONED PD-1 (RANCHO DEL ORO PLANNED DEVELOPMENT LIGHT INDUSTRIAL) AND IS SITUATED WITHIN THE IVEY RANCH/RANCHO DEL ORO NEIGHBORHOOD – KAISER OUTPATIENT MEDICAL – APPLICANT: KAISER FOUNDATION HEALTH PLAN, INC.**

**RECOMMENDATION**

Staff recommends that the Planning Commission by motion:

- (1) Approve Development Plan (D12-00016) and Conditional Use Permit (CUP12-00016) by adopting Planning Commission Resolution No. 2012-P51 with findings and conditions of approval attached herein.

**PROJECT DESCRIPTION AND BACKGROUND**

**Background:** The subject site is within the Pacific Coast Business Park that was previously approved by the Planning Commission on August 22, 2005. Planning Commission Resolution No. 2005-P45 and Resolution No. 2005-P46 approved a Parcel Map (P-8-04), Development Plan (D-17-04) and an Environmental Impact Report for subdividing a 127-acre parcel into 30 industrial lots. The original Tentative Parcel Map and Development Plan established the original pad area and determined the criteria for each future phase and/or lot proposed development, which is regulated by the Pacific Coast Business Park Industrial Master Development Plan and the Oceanside Zoning Ordinance for Light Industrial (LI). The Zoning Ordinance and/or the General Plan regulations would apply where the adopted Master Development Plan is silent. As designed, this project either meets or exceeds the established development regulations.

In 2008, the Planning Commission approved a Tentative Parcel Map (P-3-08), Development Plan (D-4-08), and Conditional Use Permit (C-8-08) for the development of 11-single story and one two-story medical office buildings totaling 80,284 square feet. The subject 7.88-acre site was graded as a part of the larger grading and the approved 11-single medical office buildings that have not been development on-site.

**Site Review:** The project site is located at the southwest corner of Old Grove Road and Trestles Street within the Ivey Ranch Rancho Del Oro Neighborhood. The property is comprised of a vacant 7.88-acre site. The site is relatively flat and has been pre-graded under the Pacific Coast Business Park grading plan No. 2597.

The subject site is Zoned PD-1 (Rancho Del Oro Planned Development Industrial) and the General Plan Land Use Designation is S-1-84 (Rancho Del Oro Industrial). An office use with associated commercial banking is permitted within the (Rancho Del Oro Planned Development Industrial) district with an approval of a Development Plan.

Surrounding land uses adjacent to the site include undeveloped portions of the Pacific Coast Business Park Master Industrial Plan area to the north, south, and west and a single-family planned unit development exist to the east.

The Development pad consists of three lots, parcel 27, 28, and 29 of the Pacific Coast Business Park. The site is relatively flat and proposes a conceptual finish grade to be approximately five to 10 feet lower than the elevation of Old Grove Road. This development of the medical office use is one of the many uses anticipated with the Pacific Coast Business Park Master Industrial Plan.

**Project Description:** The application consists of the following component a Development Plan (D12-00016) and a Conditional Use Permit (CUP12-00016), as follows:

Development Plan (D12-00016) represents a request for the following:

- (a) To construct one (1) one- story and (one) three-story outpatient medical office buildings totaling 80,000 square feet.

Kaiser Permanente has proposed to revise the existing Development Plan and Conditional Use permit approvals, to enable a new site plan and building configuration for the medical development. The proposed project will be comparable to the prior approval in terms of total square footage, parking and landscaping. The new proposal would include construction of two outpatient medical office buildings totaling 80,000 square feet. The construction will commence in three phases consisting of:

Phase One:

Development of the first Outpatient Medical Office Building: 21,531 sq. ft. (Single Story)

Parking provided: 112 spaces

ADA: Six spaces

Phase Two: Addition to the existing Outpatient Medical Office Building: 14,491 sq. ft. (Single Story)  
Parking provided: 73 spaces  
ADA: 3 spaces

Phase Three:  
Development of the second Outpatient Medical Office Building: 43,978 sq. ft. (Three-Story)  
Parking provided: 224 spaces  
ADA: 11 spaces

The proposed landscaping will encompass 31.7 percent of the site and will be planted at the perimeter and throughout the parking area. The landscaping plan incorporated drought tolerant and attractive species and is developed to help elevate stormwater flow.

The development will commence within lots 27, 28 and 29 of the Pacific Coast Business Park map. The existing property lines will be modified and merged via a lot line merger and boundary adjustment prior to development. The building pad and all of the necessary infrastructure has been constructed with the previously approved parcel map. The finish grade of the building will be at grade with the abutting streets, College Boulevard and Old Grove Road elevation of 405 feet above mean sea level. There would be minimal grading associated with the development.

The proposed building design is of a contemporary architecture style associated with Class A office buildings and the project would be architecturally compatible in scale, materials, and colors with some of the neighboring industrial buildings and with the designs specified in the Pacific Coast Business Park Development Plan. The proposed buildings will be similar to many of the proposed buildings that are currently being developed with the Pacific Coast Business Park. The buildings will consist of a mixture of stone veneer wall coverings to provide articulations in design and allow for relief from the massing of stucco wall coverings, concrete stucco with metal and aluminum recessed finishes for articulation and clear anodized aluminum and glass windows. All the accessory structures would be designed to match the colors, materials, and details of the building. A total of 409 parking spaces with 20 spaces designed for disabled parking would be provided on-site.

The anticipated hours-of-operation will be Monday through Saturday from 7:00 a.m. to 7:00 p.m., for outpatient and office use.

Conditional Use Permit (CUP12-00016) represents a request for the following:

To permit and revise the existing Conditional Use Permit to allow the outpatient medical office use within the Pacific Coast Business Park (PCBP) Master Plan. Medical office uses are permitted with the Limited Industrial zone of the PCBP with the approval of a

CUP. The Kaiser Permanente outpatient medical office use would provide the needed medical uses; such as but not limited to, physician services, a pharmacy available to the public, pediatric care, OBGYN services, and radiology.

The project is subject to the following Ordinances and City policies:

1. General Plan
2. Zoning Ordinance
3. Land Use Compatibility
4. California Environmental Quality Act (CEQA)

## **ANALYSIS**

### **KEY PLANNING ISSUES**

#### **1. General Plan conformance**

The General Plan Land Use Map designation on the subject property is Rancho del Oro Specific Plan (S-1-84). The proposed project is consistent with this designation and the goals and objectives of the City's General Plan as follows:

##### **A. Land Use Element I**

###### **Goal 1.11    Balanced Land Use**

**Objective:** To develop and use lands for the long-term provision of a balanced, self-sufficient, and efficient community.

**Policy A:** The City shall establish and enforce a balanced distribution of land uses to organize the City in a hierarchy of activity centers and land use so as to foster a sense of neighborhood, community, and regional identity.

**Policy B:** The City shall analyze proposed land uses for assurance that the land use will contribute to the proper balance of land uses within the community or provide a significant benefit to the community.

The proposed outpatient medical office development is anticipated within the Pacific Coast Business Park Master Plan and is consistent with the previously approved Development Plan and Conditional Use Permit. The use would not only provide for the medical needs within the community, but the use will help provide additional employment for the community. The use shall help foster economic activity within the area and provide the anticipated use for the subject parcel.

Policy C: The City shall continuously monitor the impact and intensity of land use and land use distribution to ensure that the City's circulation system is not overburdened beyond design capacity.

The proposed project has been reviewed for impacts to the City's circulation system. It has been determined through a submitted Traffic amended that no significant impacts to traffic would result from the revision to the outpatient medical office development and the operation of the proposed facilities.

Traffic impacts have been considered as part of the larger Pacific Coast Business Park Industrial Master Development Plan area traffic and parking allocation models. As designed, and based upon the number of average daily trips being assigned to the medical office center by the Pacific Coast Business Park property owners, the City's Transportation and Engineering Department has determined that this project can be accommodated with the understanding that the use has been analyzed with the previous Development Plan and the other surrounding undeveloped parcels within the larger Pacific Coast Business Park will be limited in the overall intensity of development.

#### Goal 1.2: Site Design

Objective: To provide high-quality site design, all proposed land development projects shall take advantage of natural or manmade environments to maximize energy conservation, natural air circulation, public safety, visual aesthetics, private and common open spaces, privacy, and land use compatibility.

Policy: C. New development or land uses shall provide coordinated site design wherever possible with existing or proposed adjacent land uses to provide complimentary site design, unified circulation access, and joint use of ancillary facilities.

The site is physically suitable for the type of uses proposed, in that the entire Pacific Coast Business Park Industrial Master Development Plan area was originally designed to accommodate small to medium light industrial type tenants, and the proposal to develop Lots 27, 28 and 29 with small medical office type units is consistent with the overall Master Plan envisioned for the area. Each building is currently designed for multiple tenant occupancy with tilt-up concrete shell construction.

In all, the project will make available medical office type facilities that will be available to small to medium size medical professionals and/or ancillary services supporting larger medical companies

## **2. Zoning Compliance**

This project is located within the Pacific Coast Business Park Industrial Master Development Plan area and as designed, complies with the requirements of the Master Plan. The following table summarizes proposed and applicable development standards for the project site:

	MINIMUM REQUIRED Section 4 PCBP Industrial Master Development Plan	PROPOSED
LOT SIZE	20,000 sq ft	63,464 – 162,252 sq ft
LOT COVERAGE	75% (max)	18.3 %
SETBACKS Front Corner Side Rear	15-feet (Old Grove & Ave. Del Oro) 10-feet (Other Streets) 10 feet	15 feet 15 feet 15 feet
PARKING	Total required: <u>400 spaces</u>	Total provided: <u>409 spaces</u>
BUILDING HEIGHT	80-feet (max)	26-feet 1-story 52.5-feet 3-story

The proposed project meets all applicable requirements of the Pacific Coast Business Park Industrial Master Development Plan as denoted above, and will exceed the required number of parking spaces required. No variances or modifications to the Master Development Plan are required as part of the proposed project.

### 3. Land Use Compatibility with surrounding developments

LOCATION	GENERAL PLAN	ZONING	LAND USE
Subject Property:	S-1-84 (Rancho Del Oro Specific Plan)	PD-1 PCBP Master Development Plan	Medical Office Park
North of Subject Property	S-1-84 (Rancho Del Oro Specific Plan)	PD-1 RDO	Undeveloped Multi-Family Residential
East of Subject Property:	S-1-84 (Rancho Del Oro Specific Plan)	PD-1 PCBP Master Development Plan	Undeveloped Light Industrial
South of Subject Property:	S-1-84 (Rancho Del Oro Specific Plan)	PD-1 PCBP Master Development Plan	Undeveloped Light Industrial
West of Subject Property:	S-1-84 (Rancho Del Oro Specific Plan)	PD-1 PCBP Master Development Plan	Developed Light Industrial

The proposed project has been determined to be acceptable with the surrounding undeveloped area and Master Plan vision for the area; as well as, with their respective General Plan and Zoning Ordinance designations. Staff has concluded that the design

of medical offices and the type of improvements proposed will not result in any serious public safety or health issues due to the proximity of the site and the types of uses immediately adjacent to the site.

## **DISCUSSION**

*Issue: Project Compatibility with the Existing Developed and Undeveloped Areas:* The proposed medical offices would be consistent with, and compatible to, the Light industrial type developments in the surrounding area and would provide for medical office type uses which are important to the City's future economic base and diversity of job opportunities close to residential developments. Access is available to the site, and site design has incorporated adjacent environmental sensitivities as part of each lot and the larger project layout.

*Recommendation:* Staff finds that the overall design of the project is consistent with the existing developed and undeveloped areas, and no known opposition to the project has been noted. Staff supports the project as submitted by the applicant, subject to conditions of approval contained within the draft resolution.

## **ENVIRONMENTAL DETERMINATION**

Pursuant to the California Environmental Quality Act of 1970 (CEQA), and State Guidelines thereto; an Environmental Impact Report (EIR) was prepared for the Pacific Coast Business Park Master Developments Plan with the Initial Tentative Parcel Map (P-8-04) and Development Plan (D-17-04) that created the Pacific Coast Business, and in accordance with CEQA guidelines section 15162 the proposed project to construct medical office buildings with an associated improvements on lot 27, 28, 29 of Pacific Coast Business Park will not result in substantial changes in the original project, will not involve substantial changes to the circumstances for which the project was originally undertaken, and major changes to the intent for original medical office development or new information of substantial importance not known at the time of the initial CEQA review has been identified; therefore, the City serving as the lead agency has determined that further environmental review is not required at this time.

## **PUBLIC NOTIFICATION**

Pursuant to Article 41 of the Oceanside Zoning Ordinance, a Legal notice was published in the North County Times and notices were sent to property owners of record within a 300-foot radius of the subject property, individuals and or organizations requesting notification, applicant and other interested parties. Copies of this agenda item have been mailed to the applicant and their representatives.

**SUMMARY**

The proposed Development Plan (D12-00016) and Conditional Use Permit (CUP12-00016), as designed and conditioned, is consistent with the requirements of the Zoning Ordinance, the Rancho del Oro Specific Plan, and the land use policies of the General Plan. The project has been designed and conditioned to meet or exceed all applicable development standards. As such, staff recommends that the Planning Commission approve the project based on the findings and subject to the conditions contained in the attached Resolution. Staff recommends that the Planning Commission:

- Adopt Planning Commission Resolution No. 2012-P51 approving Development Plan (D12-00016) and Conditional Use Permit (CUP12-00016) with findings and conditions of approval attached herein.

PREPARED BY:

  
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Scott Nightingale  
Planner II

SUBMITTED BY:

  
\_\_\_\_\_  
John Helmer  
Interim City Planner

JH/SS/fil

Attachments:

1. Site Plan and Elevations
2. Planning Commission Resolution No. 2012-P51





**STORAGE**

- 1. STORAGE CABINETS SHALL BE PROVIDED FOR BOOKS AND FILES. BOOKS SHALL BE STORED IN A MANNER THAT WILL PROTECT THEM FROM DAMAGE AND LOSS. FILES SHALL BE STORED IN A MANNER THAT WILL PROTECT THEM FROM DAMAGE AND LOSS.
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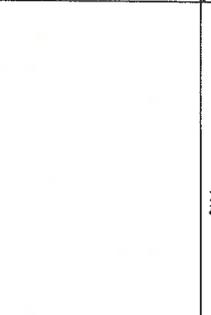
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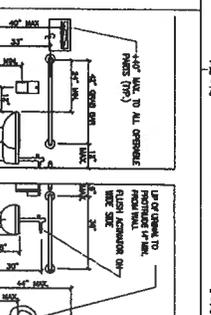
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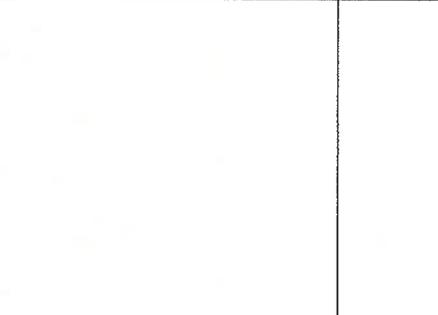
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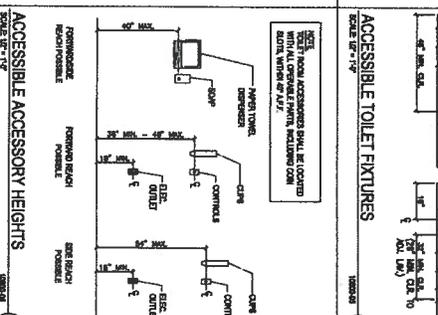
3. ACCESSIBLE ACCESSORY HEIGHTS



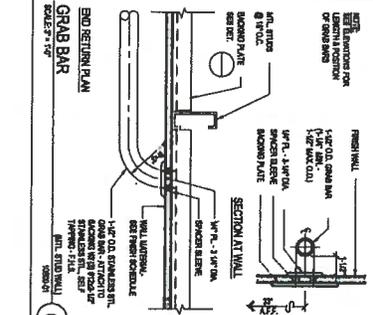
4. ACCESSIBLE TOILET FIXTURES



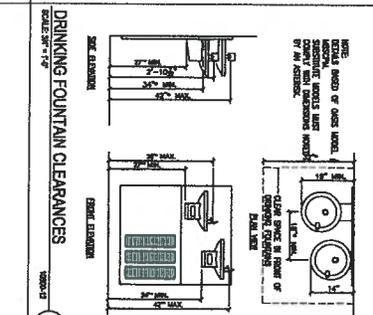
5. ACCESSIBLE LAVATORY FIXTURES



6. GRAB BAR



7. DRINKING FOUNTAIN CLEARANCES



8. ACCESSIBLE REACH LIMITS

- 1. ACCESSIBILITY REQUIREMENTS SHALL BE PROVIDED FOR THE USE OF THE PERSONNEL. ACCESSIBILITY REQUIREMENTS SHALL BE PROVIDED FOR THE USE OF THE PERSONNEL.
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 Fax: 714-888-0703

**KASPER PERMANENTE**  
 National Facilities Services  
 Post Office Box 90004  
 Oakland, California 94604

**CALIFORNIA ACCESSIBILITY REQUIREMENTS & NOTES**

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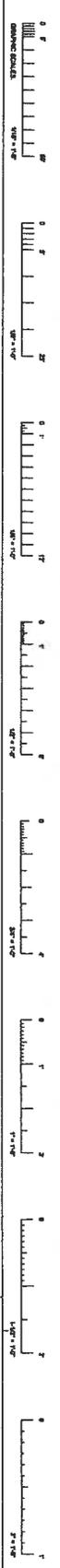








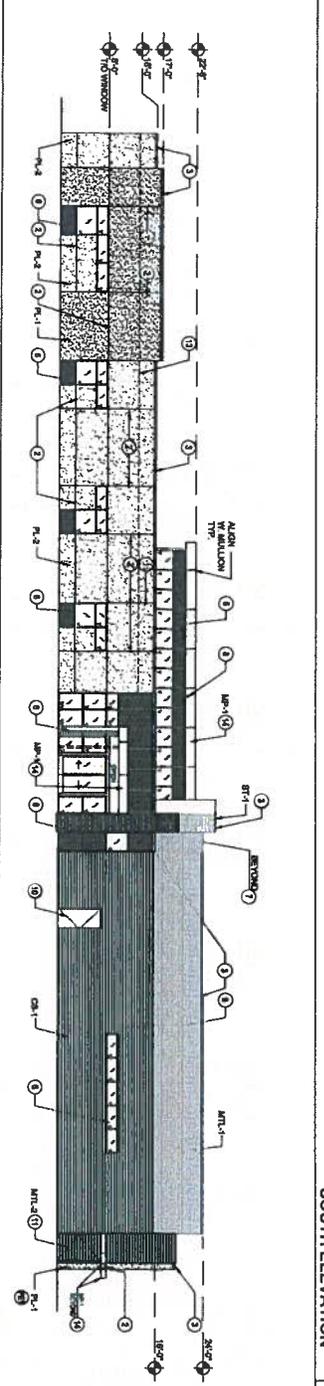




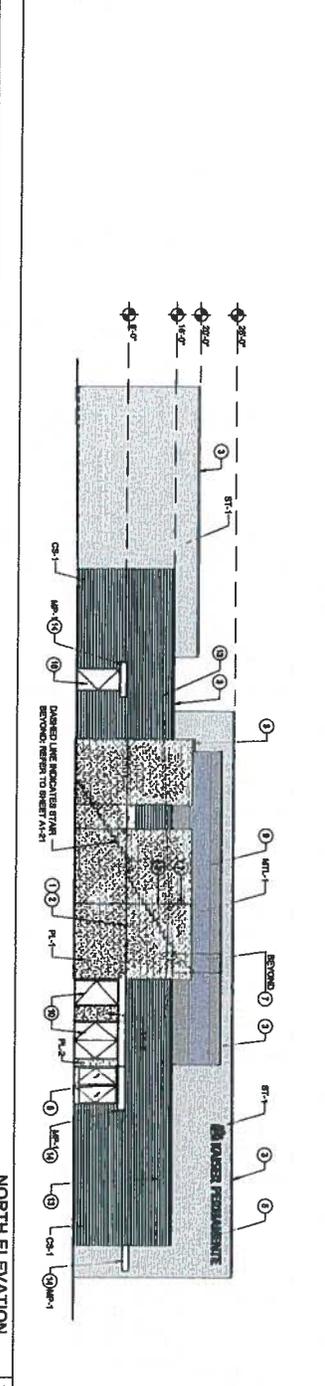
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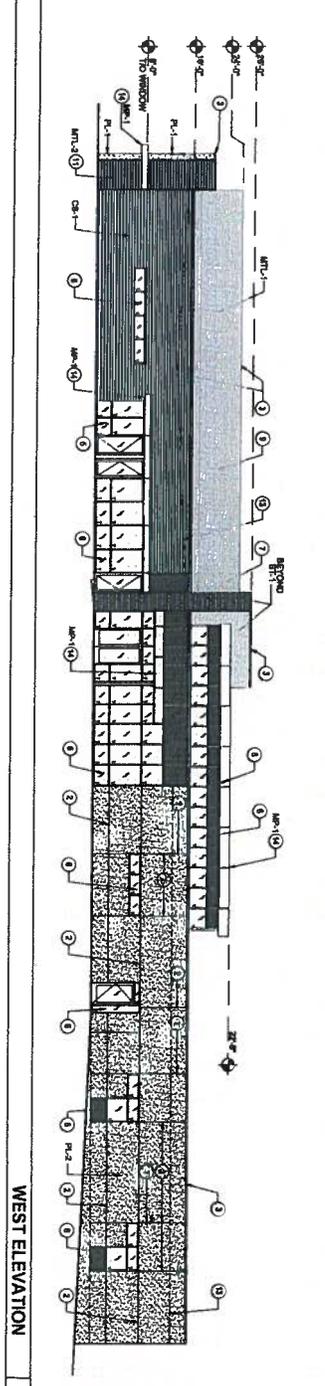
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Project: **Chapelwood Medical Office Building**  
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Architect: **FRANK R. WEBB ARCHITECTS**  
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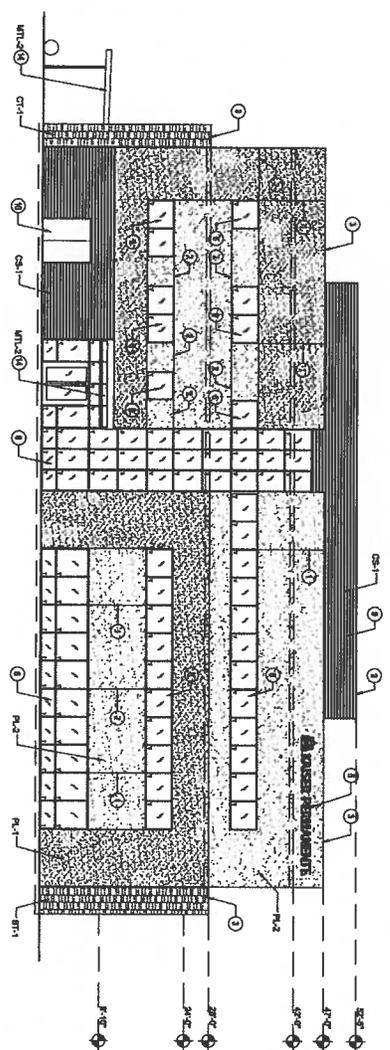
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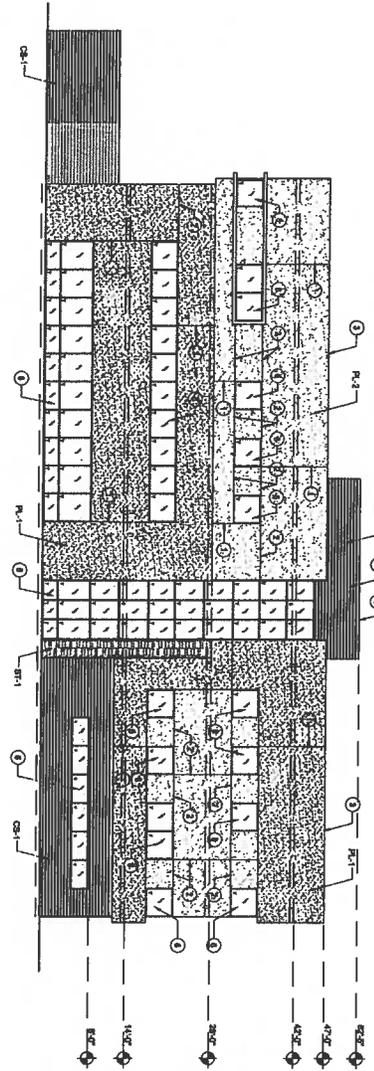
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NORTH ELEVATION 2



WEST ELEVATION 1

LEGEND

- 1. INSULATED WINDOW GLAZING CLEAR GLASS CONTROL LONE
- 2. UNPAINTED BRANDED CLEAR GLASS CONTROL LONE
- 3. INSULATED WINDOW THERMO-BRANDED CLEAR GLASS CONTROL LONE

NOTE: R-12 CONTROL PANEL AND CONTROL PANELS BY R-12 CONTROL PANEL, PANEL COLOR AND FINISH TO BE BY ARCHITECT'S SELECTED COLOR. COLOR SHALL BE IDENTIFIED BY ARCHITECT.

NOTE: R-13 CONTROL PANEL AND CONTROL PANELS BY R-13 CONTROL PANEL, PANEL COLOR AND FINISH TO BE BY ARCHITECT'S SELECTED COLOR. COLOR SHALL BE IDENTIFIED BY ARCHITECT.

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NOTE: R-32 CONTROL PANEL AND CONTROL PANELS BY R-32 CONTROL PANEL, PANEL COLOR AND FINISH TO BE BY ARCHITECT'S SELECTED COLOR. COLOR SHALL BE IDENTIFIED BY ARCHITECT.

NOTE: R-33 CONTROL PANEL AND CONTROL PANELS BY R-33 CONTROL PANEL, PANEL COLOR AND FINISH TO BE BY ARCHITECT'S SELECTED COLOR. COLOR SHALL BE IDENTIFIED BY ARCHITECT.

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Fax: 714-888-0905

NOTES

1. APPROVED ALUMINUM EXPANSION JOINT
2. APPROVED ALUMINUM FINISH, CONTROL ALUMI CONTROL
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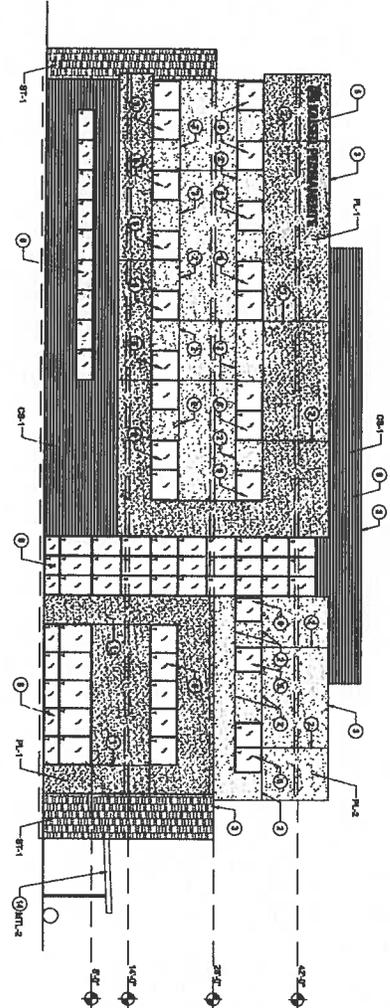
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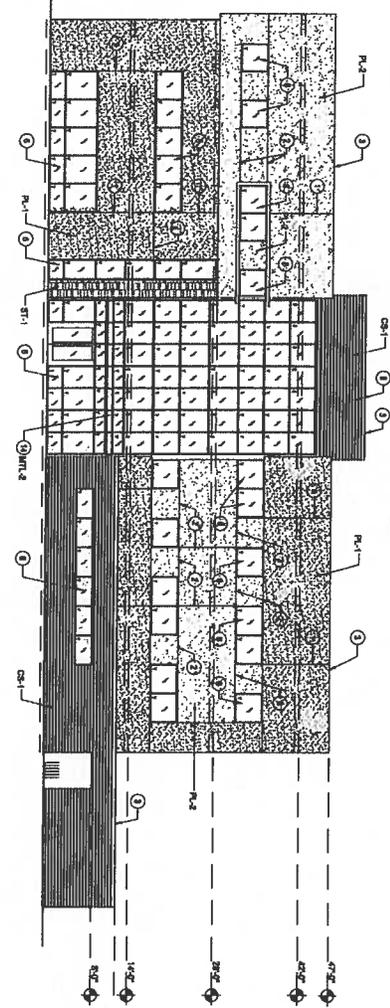


**LEGEND**

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- 2. 1/4" = 1'-0" SCALE
- 3. 1/2" = 1'-0" SCALE
- 4. 3/4" = 1'-0" SCALE



**SOUTH ELEVATION**



**EAST ELEVATION**

- NOTES:**
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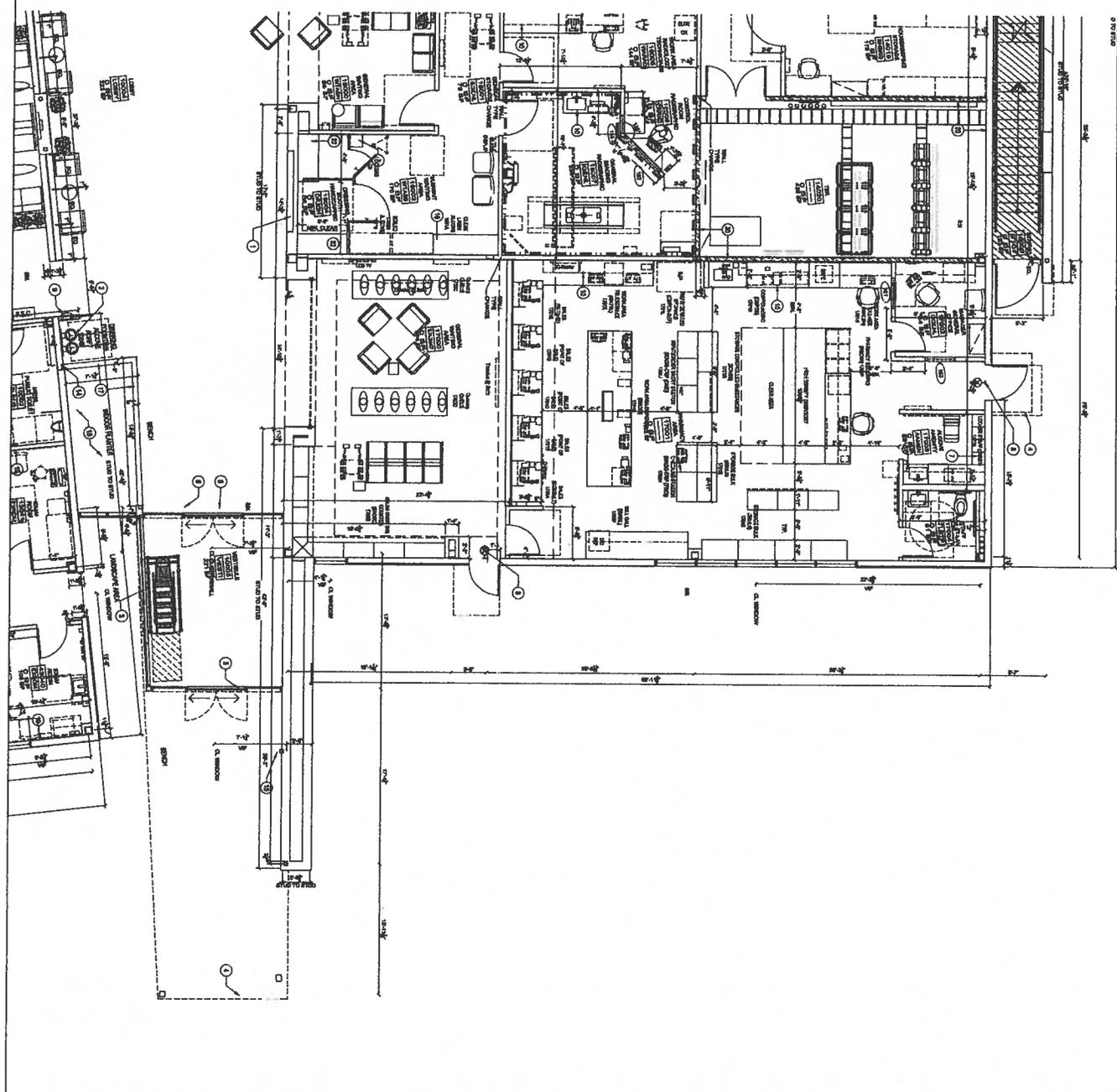
**KAISER PERMANENTE**  
 Kaiser Permanente, Land Use and Endowments  
 833 Colorado Blvd., Suite No. 222  
 Los Angeles, CA 90011  
 (213) 259-1515

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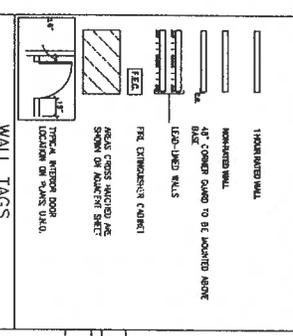
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**LEGEND**



**WALL TAGS**



- NOTES:**
1. ALL WALLS WITH OPENINGS SHALL BE FINISHED WITH AN ADA COMPLIANT FINISH AS NOTED.
  2. REFER TO ELECTRICAL DRAWINGS & MECHANICAL DRAWINGS FOR OPENING & DOOR FINISHES.
  3. ALL OPERATIONAL LOCKED HYDRANT CABINETS SHALL BE FINISHED WITH A FINISH IDENTICAL TO THE WALL.
  4. CONTRIBUTE TO PROVIDE AROUND FOR LIGHTING SYSTEMS AS REQUIRED FROM MANUFACTURER'S RECOMMENDATION.
  5. USE 1/2\"/>
  - 6. PROVIDE ONE (1) WALL MOUNTED TELEPHONE JACK FOR EACH ROOM.
  - 7. PROVIDE LAMINATED HANDLE ON BOTH SIDES OF HORIZONTAL PULLING DOOR.
  - 8. FOR ACoustical WALL FINISH TRANSMITTED INTO NON-ACoustical WALL FOR SOUNDING TRANSMISSION.
  - 9. ALL OPENINGS ARE TO HAVE OF 2\"/>
  - 10. EQUIPMENT FROM BUILT-IN EQUIPMENT (EQUIPMENT UNIT).
  - 11. ARCHITECTURE SHALL PROVIDE EQUIPMENT.
  - 12. OUTLETS IN LEAD TO ACoustical WALL.
  - 13. FREE CABLE MOUNTING FACE OF ALL EXTERIOR RENOVATIONS.
  - 14. ALL EXTERIOR WALLS ARE TO BE FIELD CUT AND COMPARTMENT WITH WOODS.
  - 15. FOR ALL PENETRATIONS, ORIGINAL IS TO BE CUT RELATIVELY TIGHT TO PREVENT FIRE COLLECT AND BE TYPED CLEAN AND BEHOLD. IT IS EXTENDED ON IN CONNECTION TO THE RANGE AND ORIGINAL. REFER TO THE DRAWING FOR THE FINISHES TO BE SUBMITTED FOR THE PROJECT.
  - 16. FINISHES TO BE SUBMITTED FOR THE PROJECT.
  - 17. FINISHES TO BE SUBMITTED FOR THE PROJECT.
  - 18. FINISHES TO BE SUBMITTED FOR THE PROJECT.
  - 19. FINISHES TO BE SUBMITTED FOR THE PROJECT.
  - 20. FINISHES TO BE SUBMITTED FOR THE PROJECT.

**KEYNOTES**

1. WALL FINISH
2. DRAWING CONTRACT TO BE CENTERED IN ALONG
3. CENTER STATIONMENT SYSTEM ON GRID LINE 12 (V1)
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**PLAN ENLARGED**  
NORTH-EAST  
QUADRANT

Scale: 1/8" = 1'-0"

Sheet No: A4.12











OLD GROVE ROAD

ROCKY POINT DRIVE

APN 161-512-39

APN 161-512-38

APN 161-512-37

PHASE 3

PHASE 2

PHASE 1

PHASE 2

PHASE 4



**BHA Inc.**  
 225 FORTY-NINTH AVENUE, SUITE 200  
 OCEANSIDE, CALIFORNIA 92054  
 TEL: 760.431.1100  
 FAX: 760.431.1101  
 WWW.BHA.COM

**OCEANSIDE M.O.B.**  
 OCEANSIDE, CA 92054

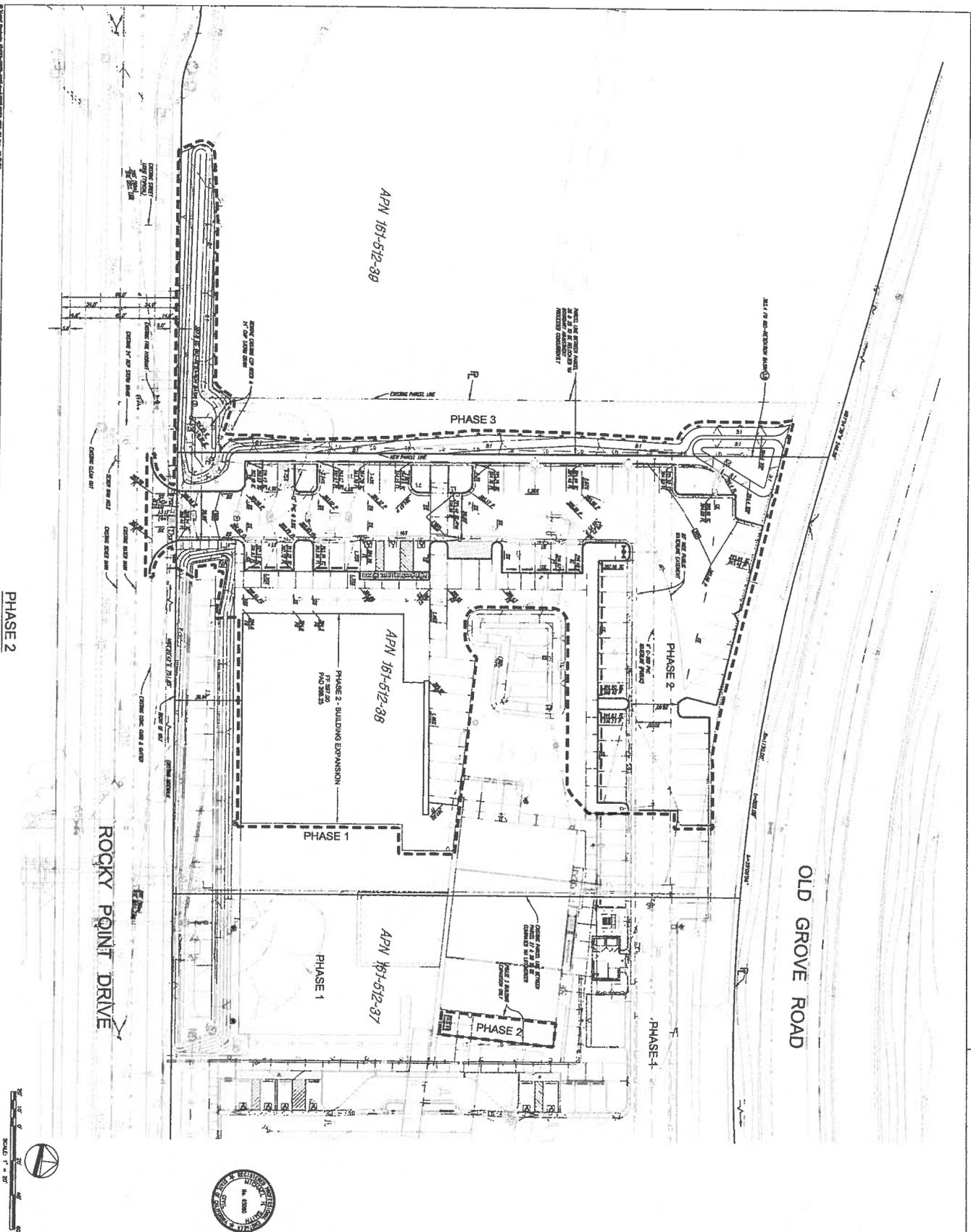
**OCEANSIDE MEDICAL OFFICE BUILDING**  
 SITE DEVELOPMENT PLAN  
 PHASE 2 PLAN VIEW

Scale: 1" = 20'  
 Date: 01-31  
 of 9 Sheets

**KAISER PERMANENTE.**  
 National Facilities Services  
 Post Office Box 12916  
 Oakland, California 94604

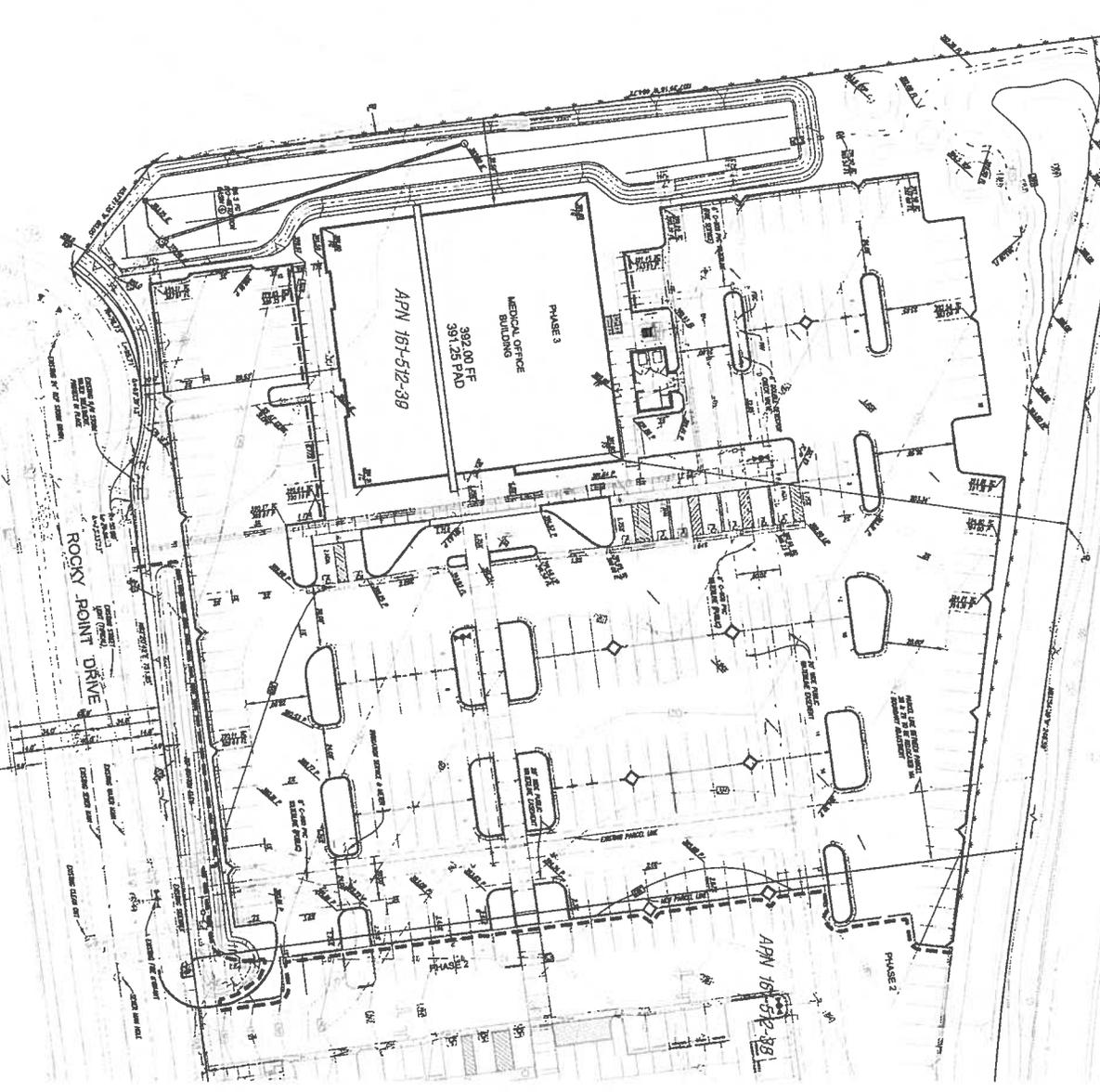
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Sheet No.	01-31
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Date	01-31-12
Drawn By	CH & AV
Checked By	MS
Issue Date	XX-XX-XX

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OLD GROVE ROAD



PHASE 3

**KAISER PERMANENTE.**

National Facilities Services  
 Post Office Box 12818  
 Oakland, California 94604



**blairinc**  
 ARCHITECTURE  
 1111 AVENUE OF THE STARS  
 SUITE 1000  
 OCEANSIDE, CA 92081-4471  
 TEL: 760-433-7777  
 FAX: 760-433-7778

OCEANSIDE M.O.B.  
 OCEANSIDE, CA 92084

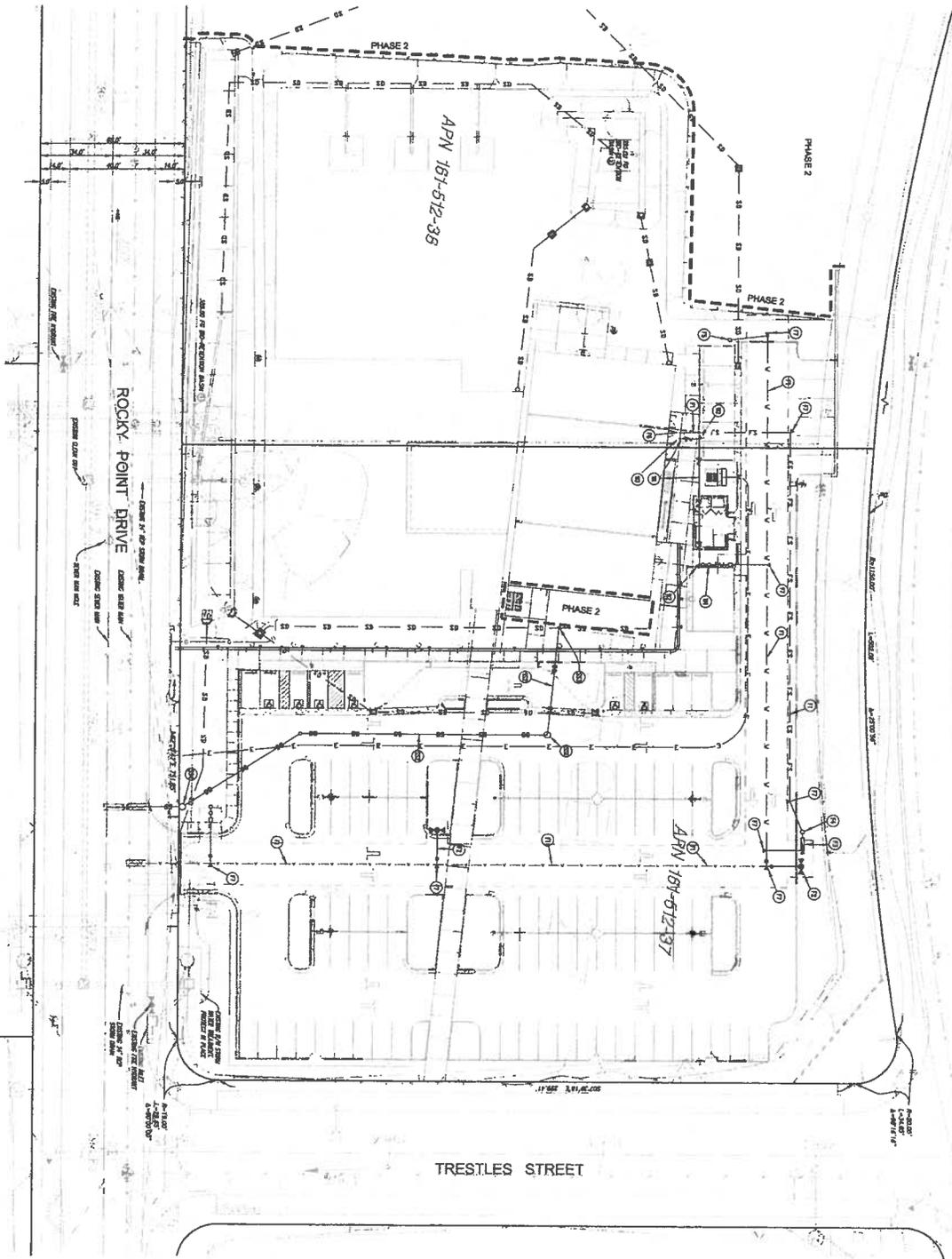
OCEANSIDE  
 MEDICAL OFFICE  
 BUILDING

SITE DEVELOPMENT PLAN  
 PHASE 3 PLAN VIEW

Drawn By	CH 24V
Checked By	LAS
Date	11/11/04
Scale	1/8" = 1'-0"
Sheet No.	C1-32
Of B Sheets	11



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PHASE 1



1:100 Scale (1/4" = 1'-0")  
 A UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN FEET AND INCHES.  
**KAISER PERMANENTE**  
 National Facilities Services  
 Post Office Box 12816  
 Oakland, California 94604

**PHASE 1**  
 UTILITY PLAN  
 PHASE 1 PLAN VIEW

**BHARGAVA**  
 BHARGAVA ARCHITECTS, INC.  
 1111 AVENUE 108  
 SUITE 100  
 OCEANSIDE, CA 92054-4377  
 (760) 431-5000  
 bhargava@bhargava.com  
 bhargava.com

DATE: 12-15-11

OCEANSIDE M.O.B.  
 OCEANSIDE, CA 92064

OCEANSIDE  
 MEDICAL OFFICE  
 BUILDING

Scale: 1" = 20'

Project: OCEANSIDE M.O.B. MEDICAL OFFICE BUILDING

Sheet No: UTILITY PLAN PHASE 1 PLAN VIEW

Author: CHS/AV

Checked: MS

Scale: 1" = 20'

Sheet: C1-40

Of 8 Sheets

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Author/Engineer: CHS/AV

Scale: 1" = 20'

Project: OCEANSIDE M.O.B. MEDICAL OFFICE BUILDING

Sheet No: UTILITY PLAN PHASE 1 PLAN VIEW

Author: CHS/AV

Checked: MS

Scale: 1" = 20'

Sheet: C1-40

Of 8 Sheets



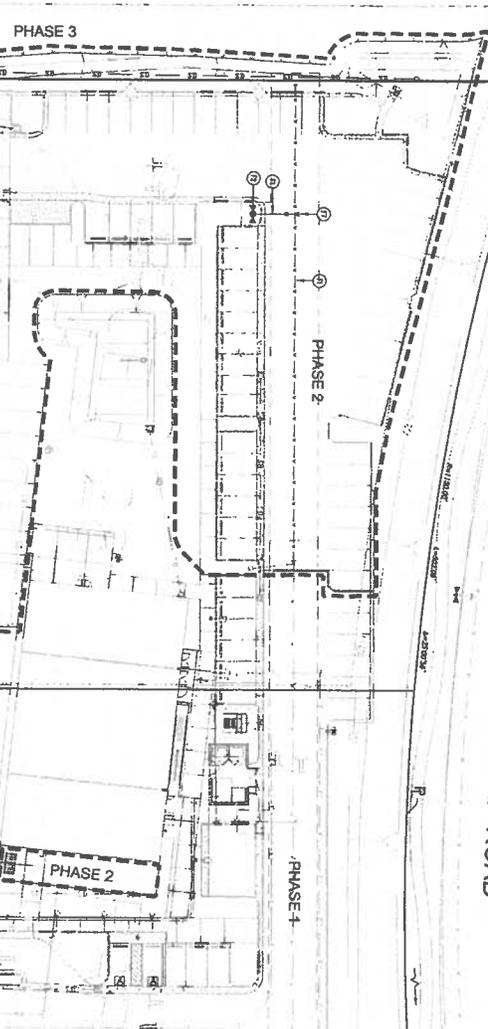
OLD GROVE ROAD

ROCKY POINT DRIVE

APN 161-512-39

APN 161-512-38

APN 161-512-37



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**KAISER PERMANENTE.**

National Facilities Services  
Post Office Box 12010  
Oakland, California 94624

**bha inc.**  
1500 CENTRAL EXP. WAREHOUSE, SUITE 200  
SANTA ANA, CA 92705-4377  
(714) 231-0100  
KIMBERLY N. SEXTON  
DATE: 03-11-11

OCEANSIDE MOB. MEDICAL OFFICE BUILDING  
OCEANSIDE, CA 92054

UTILITY PLAN  
PHASE 2 PLAN VIEW

Scale: 1" = 30'

PROJECT NO. 11-11-11-001

DATE: 03-11-11

PROJECT: OCEANSIDE MOB. MEDICAL OFFICE BUILDING

PHASE: PHASE 2 PLAN VIEW

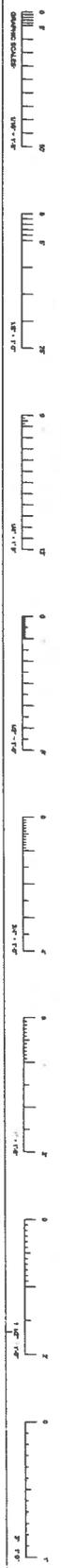
DESIGNED BY: CH & M V

CHECKED BY: MBS

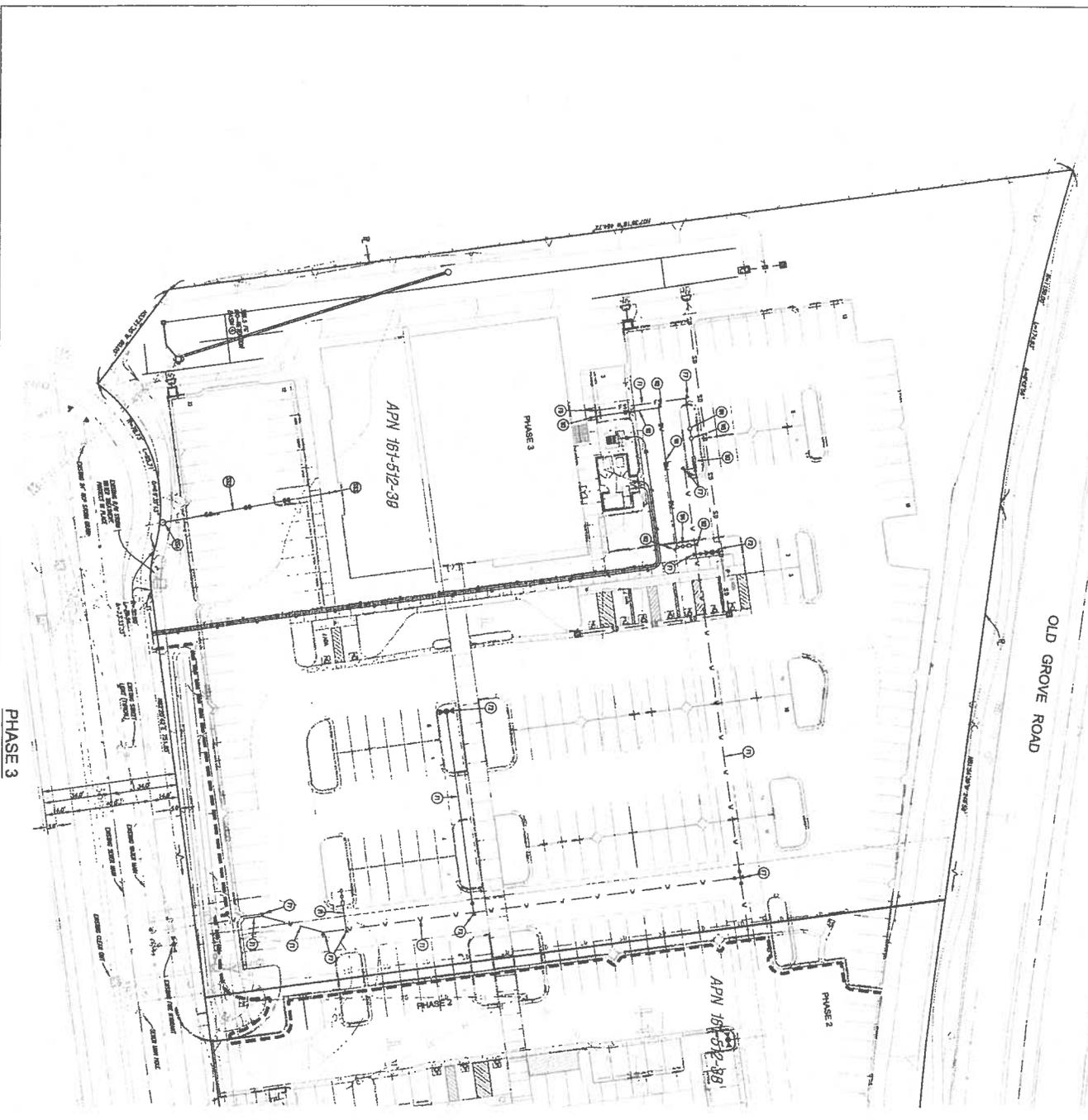
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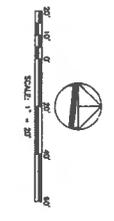
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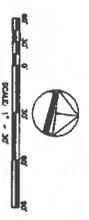
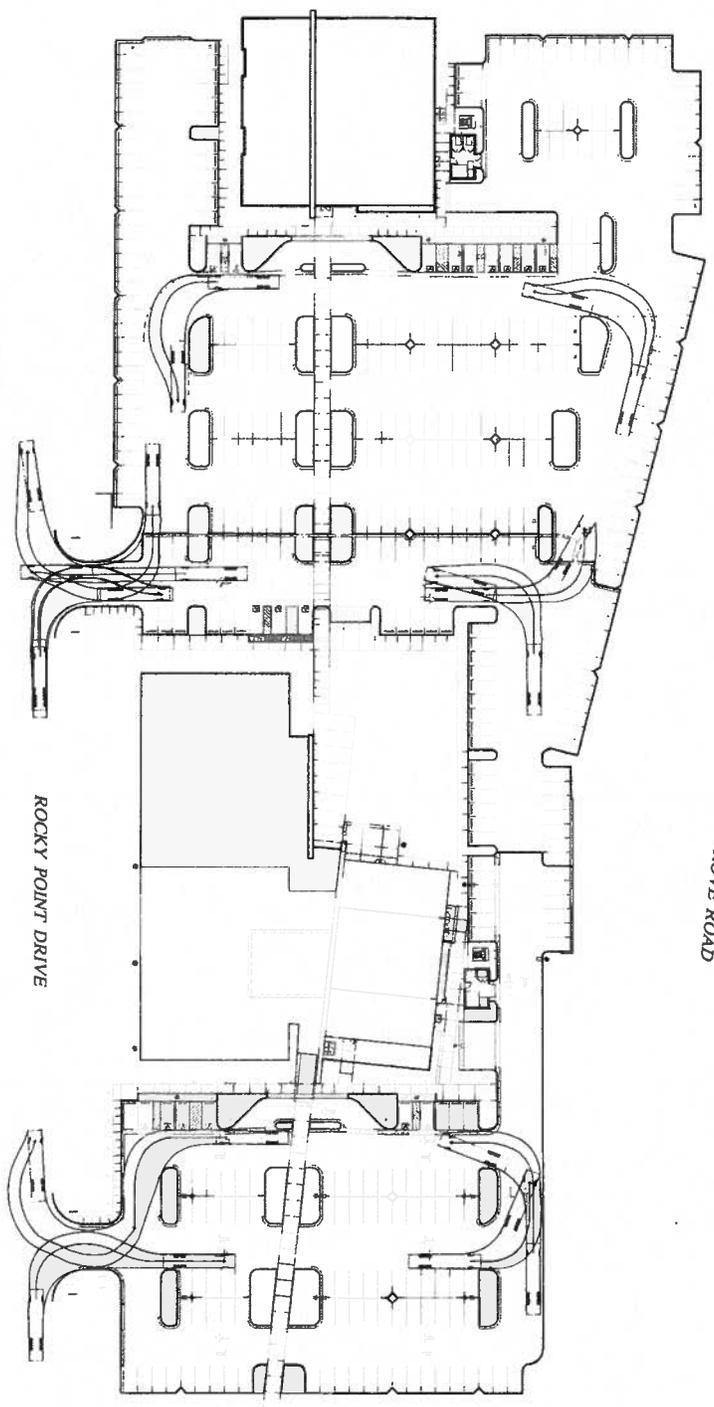
OLD GROVE ROAD



- UTILITY NOTES**
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  - 20. 12" DIA. PVC - 12" DEEP 10' RISE



<p><b>KAISER PERMANENTE.</b></p> <p>National Facilities Services          Post Office Box 129114          Oakland, California 94604</p>	<p><b>blainc</b></p> <p>BLAINC CONSULTANTS          5115 AVENUE DOWNS          OCEANSIDE, CA 92064-4347          (760) 431-1111          www.blainc.com</p>	<p>OCEANSIDE M.O.B.          OCEANSIDE, CA 92064</p> <p>OCEANSIDE          MEDICAL OFFICE          BUILDING</p> <p>UTILITY PLAN          PHASE 3 PLAN VIEW</p>	<p>DATE: 10-13-13</p> <p>SCALE: 1" = 20'</p> <p>C142</p> <p>NO. 8 SHEETS</p>	<p>1/8" BUBBLE 1/8" DIA. 1/8" DIA.</p> <p>ANNULATED PERMANENT RECORD COPY</p>
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AS NOTED & SHOWN ON THIS  
 ASSUMPTIONS SHALL GOVERN

**KAISER PERMANENTE**

National Facilities Services  
 Post Office Box 12910  
 Oakland, California 94604

NO.	REVISION	BY	DATE

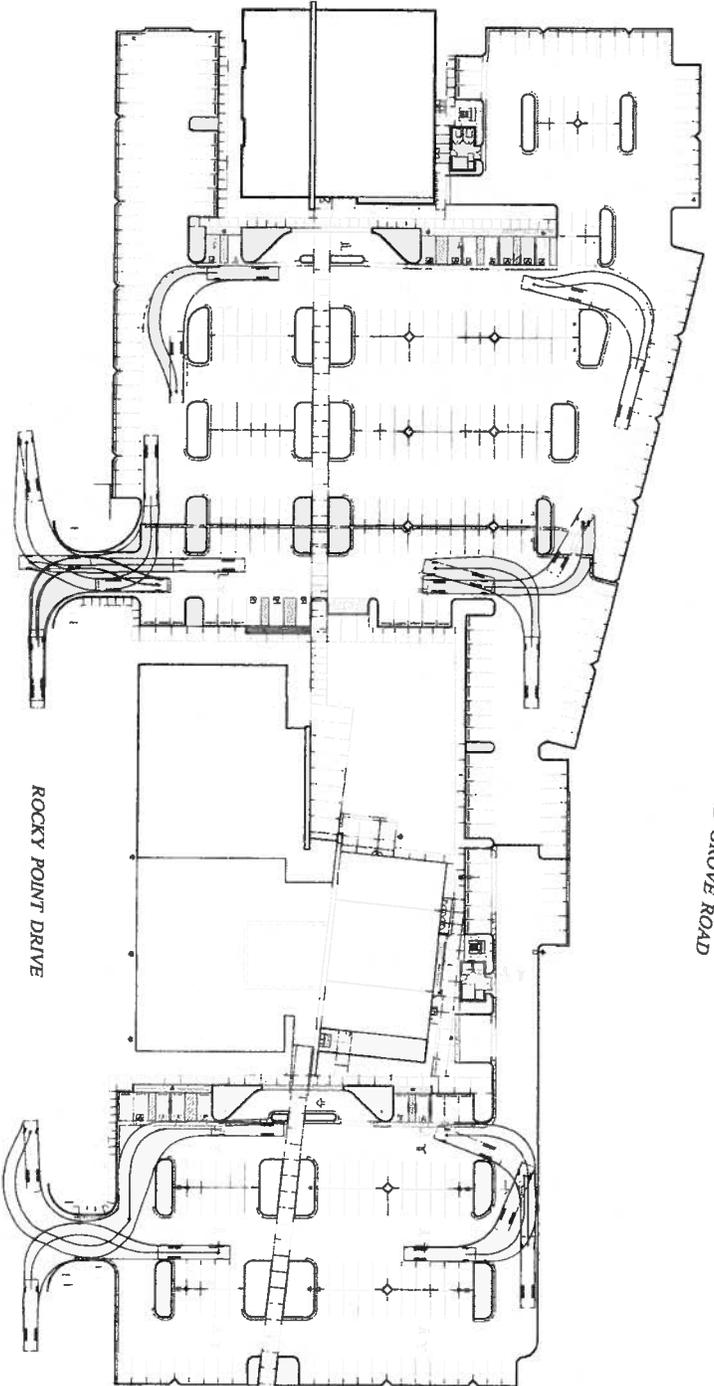
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 Project: **Medical Office**



**blair inc**  
 3115 AVENUE 200, SUITE 200  
 OAKLAND, CA 94612-1487  
 (916) 831-1000  
 FAX: (916) 831-1001  
 www.blairinc.com

Project: **OCEANSIDE MEDICAL OFFICE BUILDING**  
 Client: **OCEANSIDE M.O.B.**  
 Address: **OCEANSIDE, CA 92064**

Project Title: **SITE DEVELOPMENT PLAN TURNING TEMPLATE**  
 Date: **02-24-11**  
 Scale: **AS SHOWN**  
 Drawing No: **CS-00**  
 Revision: **1-24-2011**



OLD GROVE ROAD

ROCKY POINT DRIVE

TRESTLES STREET



  
**KAISER PERMANENTE**  
 National Facilities Services  
 Post Office Box 129116  
 Oakland, California 94604

Prepared by	Checked by	Drawn by	Date

This document is the property of Kaiser Permanente. It is loaned to you for your use only. It is not to be distributed outside your organization. Project: **TURNING TEMPLATE**  
 Author/Designer: **CH**  
**blawinc.**  
 1000 JEFFERSON ST. SUITE 200  
 OAKLAND, CA 94612-4177  
 (916) 865-1100  
 www.blawinc.com  
 PROJECT NO. **10000**  
 DATE **08-13-13**  
 SCALE **AS SHOWN**

Project: **OCEANSIDE M.O.B. OCEANSIDE CA 92064**  
 Medical Office Building  
 SITE DEVELOPMENT PLAN  
 TURNING TEMPLATE

Drawing No. **C5-00**  
 Date **7-26-2012**  
 of 9 sheets









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PLANNING COMMISSION  
RESOLUTION NO. 2012-P51

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA APPROVING A DEVELOPMENT PLAN AND CONDITIONAL USE PERMIT ON CERTAIN REAL PROPERTY IN THE CITY OF OCEANSIDE

---

APPLICATION NO: D12-00016 and CUP12-00016  
APPLICANT: Kaiser Foundation Health Plan Inc.  
LOCATION: South east corner of Old Grove Road and Trestles Street

---

THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES RESOLVE AS FOLLOWS:

WHEREAS, there was filed with this Commission a verified petition on the forms prescribed by the Commission requesting a Development Plan and Conditional Use Permit under the provisions of Articles 13, 41, and 43 of the Zoning Ordinance of the City of Oceanside to permit the following:

construction of two medical office outpatient buildings with associated parking and landscaping;  
on certain real property described in the project description.

WHEREAS, the Planning Commission, after giving the required notice, did on the 5<sup>th</sup> day of November, 2012 conduct a duly advertised public hearing as prescribed by law to consider said application.

WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State Guidelines thereto; an Environmental Impact Report (EIR) was prepared for the Pacific Coast Business Park Initial Tentative Parcel Map and Development Plan that created the Pacific Coast Business Park Master Development Plan, and the proposed project to construct a two medical office buildings consisting of no more than 80,000 square feet is consistent with the extent of the initial CEQA review; therefore, further environmental review is not required at this time.

WHEREAS, there is hereby imposed on the subject development project certain fees, dedications, reservations and other exactions pursuant to state law and city ordinance;

WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the project is subject to certain fees, dedications, reservations and other exactions as provided below:

<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
Drainage Fee	Ordinance No. 85-23 Resolution No. 06-R0334-1	Depends on area (range is \$2,843-\$15,964 per acre)
Public Facility Fee	Ordinance No. 91-09 Resolution No. 06-R0334-1	\$0.713 per square foot or \$713 per thousand square feet for non-residential uses
School Facilities Mitigation Fee	Ordinance No. 91-34	\$.42 per square foot non-residential for Oceanside
Traffic Signal Fee	Ordinance No. 87-19 Resolution No. 06-R0334-1	\$15.71 per vehicle trip
Thoroughfare Fee (For commercial and industrial please note the 75 percent discount)	Ordinance No. 83-01 Resolution No. 06-R0334-1	\$255 per vehicle trip (based on SANDAG trip generation table available from staff and from SANDAG)
Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 05-OR 0611-1	Fee based on water meter size. Non-residential is \$37,205 for a 2" meter.
Wastewater System Buy-in Fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 05-OR 0610-1	Based on capacity or water meter size. Non-residential is \$50,501 for a 2" meter.
San Diego County Water Authority Capacity Fees	SDCWA Ordinance No. 2005-03	Based on meter size. Non-residential is \$23,358 for a 2" meter.

WHEREAS, the current fees referenced above are merely fee amount estimates of the impact fees that would be required if due and payable under currently applicable ordinances and resolutions, presume the accuracy of relevant project information provided by the applicant, and are not necessarily the fee amount that will be owing when such fee becomes due and payable;

WHEREAS, unless otherwise provided by this resolution, all impact fees shall be calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside City Code and the City expressly reserves the right to amend the fees and fee calculations consistent with applicable law;

1 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,  
2 dedication, reservation or other exaction to the extent permitted and as authorized by law;

3 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that  
4 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction  
5 described in this resolution begins on the effective date of this resolution and any such protest must  
6 be in a manner that complies with Section 66020;

7 WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes  
8 effective 10 days from its adoption in the absence of the filing of an appeal or call for review;

9 WHEREAS, studies and investigations made by this Commission and in its behalf reveal  
10 the following facts:

11 FINDINGS:

12 For the Development Plan:

- 13 1. The site plan and physical design of the project is consistent with the Zoning Ordinance  
14 and the underlying Rancho Del Oro Planned Development (PD-1 – light industrial) zone  
15 because the project, as designed, meets or exceeds the development standards  
16 established in the Rancho Del Oro Industrial Master Development Plan.
- 17 2. The Development Plan is consistent with the General Plan of the City because the entire  
18 Rancho Del Oro Industrial Master Development Plan was originally designed to  
19 accommodate office and industrial tenants. The proposal to revise the previously  
20 approved development plan from 10 single tenant industrial medical office buildings  
21 totaling 80,284 square feet for the development of two medical office buildings totaling  
22 to no more than 80,000 square feet is consistent with the overall Master Plan envisioned  
23 for the area and the Pacific Coast Business and Rancho Del Oro Industrial master plan  
24 park specifically.
- 25 3. The project site can be adequately served by existing public facilities, services and  
26 utilities since the original Rancho Del Oro Industrial Master Development Plan created  
27 the necessary infrastructure and only extensions on site would be required.
- 28 4. The project, as proposed, is compatible with the existing and potential development on  
29 adjoining properties and in the surrounding neighborhood because suitable buffer areas  
exist between properties. In addition, the property is located within the built environment

1 of an office and industrial business park, which will ensure compatibility with similar  
2 type uses in the area.

- 3 5. The site plan and parameters for the architecture and physical design of the project is  
4 consistent with the policies contained within Sections 1.2 of the Land Use Element of the  
5 General Plan, because the overall design incorporates two medical office buildings that  
6 have been designed to work in harmony with the adjacent urbanized area and that  
7 provides for an enhancement to the surrounding neighborhood.

8 For the Conditional Use Permit:

- 9 1. That the proposed location of the use is in accord with the objectives of the Zoning  
10 Ordinance and the purposes of the district in which the site is located, because subject to  
11 a Conditional Use Permit, medical office type uses are permitted within a Limited  
12 Industrial zoned district, and the intensity of the site upon which the facility will be  
13 located has been designed consistent with the objectives of the guidelines established for  
14 the Industrial zoned parcel and the purpose of the Master Development Plan for Pacific  
15 Coast Business Park.
- 16 2. That the proposed location of the conditional use and the proposed conditions under  
17 which it would be operated or maintained will be consistent with the General Plan; will  
18 not be detrimental to the public health, safety or welfare of persons residing or working  
19 in or adjacent to the neighborhood of such use; and will not be detrimental to properties  
20 or improvements in the vicinity or to the general welfare of the City, because as  
21 designed the project meets all goals and objectives of the RDO Specific Plan and  
22 Industrial Master Plan for Pacific Coast Business Park, and provides for a balanced  
23 distribution of land uses for the surrounding community to benefit from.
- 24 3. That the proposed conditional use will comply with the provisions of the Zoning  
25 Ordinance, including any specific condition required for the proposed conditional use in  
26 the district in which it would be located. Furthermore; the subject medical office type  
27 use has been designed to conform to the development standards of the Oceanside Zoning  
28 Ordinance and the larger Industrial Master Development Plan for Pacific Coast Business  
29 Park.

1 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby  
2 approve Development Plan (D12-00016) and Conditional Use Permit (CUP12-00016), subject to  
3 the following conditions:

4 **Building:**

- 5 1. Applicable Building Codes and Ordinances shall be based on the date of submittal for  
6 Building Division plan check.
- 7 2. Comply with the current requirements of the California Building Codes.
- 8 3. Construction hours are limited to Monday through Saturday 7am to 6pm.
- 9 4. State on the cover sheet what type of emergency power supply system is being installed.  
10 State the Class, Type and Level of the emergency power supply system in accordance  
11 with the 2010 California Electrical Code, sections 700, 701 or 702.
- 12 5. **Separately Derived System** and is defined by NEC 702.10(A). In this type of  
13 installation, the generator must comply with the normal grounding electrode(s)  
14 requirements outlined in NEC 250.30. Show electrodes and type. Size the grounding  
15 electrode conductors. Do not state size per NEC
- 16 6. This project shall be designed to The 2010 California Green Building Standards Code  
17 (CALGreen Code) This Part is known as the California Green Building Standards Code,  
18 and it is intended that it shall also be known as the CALGreen Code.
- 19 7. The light pollution policy for lighting must be maintained.
- 20 8. Submit cut sheets for outside lighting. Show full cut off for all outside lights and  
21 compliance with the ordinance.
- 22 9. Project must be designed to meet current Accessibility requirements.

23 **Engineering:**

- 24 10. Design and construction of all improvements shall be in accordance with standard plans,  
25 specifications of the City of Oceanside and subject to approval by the City Engineer.
- 26 11. For the demolition of any existing structure or surface improvements; grading plans  
27 shall be submitted and erosion control plans be approved by the City Engineer prior to  
28 the issuance of a demolition permit. No demolition shall be permitted without an  
29 approved erosion control plan.
12. All right-of-way alignments, street dedications, exact geometrics and widths shall be  
dedicated and constructed or replaced as required by the City Engineer.

- 1 13. Design and construction of all improvements shall be in accordance with the City of  
2 Oceanside Engineers Design and Processing Manual, City Ordinances, and standard  
3 engineering and specifications of the City of Oceanside and subject to approval by the  
4 City Engineer.
- 5 14. Prior to approval of grading plan and issuance of grading permit, or any other permits, a  
6 lot merger shall be completed and approved by the City Engineer and recorded by the  
7 San Diego County Recorder's Office." A copy of the recorded lot merger shall be  
8 submitted to the Engineering Division, Planning Division and Building Division prior to  
9 approval and issuance of any permit.
- 10 15. Prior to approval of grading plan and issuance of a grading permit, all improvement  
11 requirements shall be covered by a development agreement and secured with sufficient  
12 improvement securities or bonds guaranteeing performance and payment for labor and  
13 materials, setting of monuments, and warranty against defective materials and  
14 workmanship.
- 15 16. Prior to issuance of a building permit a phasing plan (if desired by developer) for the  
16 construction of public and private improvements including landscaping, shall be  
17 approved by the City Engineer.
- 18 17. The owner/developer shall provide public street dedication if required to serve the property.
- 19 18. Where proposed off-site improvements, including but not limited to slopes, public utility  
20 facilities, and drainage facilities, are to be constructed, the owner/developer shall, at his  
21 own expense, obtain all necessary easements or other interests in real property and shall  
22 dedicate the same to the City of Oceanside as required. The owner/developer shall provide  
23 documentary proof satisfactory to the City of Oceanside that such easements or other  
24 interest in real property have been obtained prior to the approval of any grading, building or  
25 improvement permit for the development. Additionally, the City of Oceanside, may at its  
26 sole discretion, require that the owner/developer obtain at his sole expense a title policy  
27 insuring the necessary title for the easement or other interest in real property to have vested  
28 with the City of Oceanside or the owner/developer, as applicable.
- 29 19. A Declaration of Covenants, Conditions and Restrictions (DCC&R) is required prior to the  
approval of the grading plan, and will be reviewed and approved by the City Attorney.  
The Declaration of Covenants, Conditions and Restrictions (DCC&R) shall be recorded

1 prior to issuance of grading permit attesting to these improvement conditions prior to  
2 issuance of any grading permit.

3 20. Prior to the issuance of a grading permit, the owner/developer shall notify and host a  
4 neighborhood meeting with all of the area residents located within 300 feet of the project  
5 site, to inform them of the grading and construction schedule, and to answer questions.

6 21. The owner/developer shall monitor, supervise and control all construction and  
7 construction-supportive activities, so as to prevent these activities from causing a public  
8 nuisance, including but not limited to, insuring strict adherence to the following:

9 a.) Dirt, debris and other construction material shall not be deposited on any public  
10 street or within the City's stormwater conveyance system.

11 b.) All grading and related site preparation and construction activities shall be  
12 limited to the hours of 7:00 a.m. to 6:00 p.m., Monday through Friday. No  
13 engineering related construction activities shall be conducted on Saturdays,  
14 Sundays or legal holidays unless written permission is granted by the City Engineer  
15 with specific limitations to the working hours and types of permitted operations.  
16 All on-site construction staging areas shall be as far as possible (minimum 100  
17 feet) from any existing residential development. Because construction noise may  
18 still be intrusive in the evening or on holidays, the City of Oceanside Noise  
19 Ordinance also prohibits "any disturbing excessive or offensive noise which  
20 causes discomfort or annoyance to reasonable persons of normal sensitivity."

21 c.) The construction site shall accommodate the parking of all motor vehicles used by  
22 persons working at or providing deliveries to the site. An alternate parking site can  
23 be considered by the City Engineer in the event that the lot size is too small and  
24 cannot accommodate parking of all motor vehicles.

25 d.) The owner/developer shall complete a haul route permit application (if required  
26 for import/export of dirt) and submit to the City of Oceanside Engineering  
27 Department forty eight hours (48) in advance of beginning of work. Hauling  
28 operations (if required) shall be 8:00 a.m. to 3:30 p.m. unless approved  
29 otherwise.

22. It is the responsibility of the owner/developer to evaluate and determine that all soil  
imported as part of this development is free of hazardous and/or contaminated material

1 as defined by the City and the County of San Diego Department of Environmental  
2 Health. Exported or imported soils shall be properly screened, tested, and documented  
3 regarding hazardous contamination.

4 23. A traffic control plan shall be prepared according to the City traffic control guidelines  
5 and approved to the satisfaction of the City Engineer prior to the start of work within the  
6 public right-of-way (Old Grove Road, Rocky Point Drive, and Trestles Street). Traffic  
7 control during construction of streets that have been opened to public traffic shall be in  
8 accordance with construction signing, marking and other protection as required by the  
9 Caltrans Traffic Manual and City Traffic Control Guidelines. Traffic control plans shall  
10 be in effect from 8:00 a.m. to 3:30 p.m. unless approved otherwise.

11 24. The existing sidewalk improvements on Old Grove Road, Rocky Point Drive, Trestles  
12 Street and all on site sidewalks shall comply with ADA requirements. All existing  
13 sidewalk improvements on Old Grove Road, Rocky Point Drive and Trestles Street that are  
14 not ADA compliant shall be reconstructed in accordance with ADA requirements prior to  
15 occupancy.

16 25. Publicly maintained pedestrian ramps that are maintained by the City of Oceanside must be  
17 fully located within public right-of-way. Minimum curb return radius shall comply with  
18 the City of Oceanside Engineers Design and Processing Manual.

19 26. Sight distance requirements at the intersection of project driveways along Rocky Point  
20 Drive for each direction of traffic, shall conform to the corner sight distance criteria as  
21 provided by SDRSD DS-20A and or DS-20B.

22 27. This project's driveways and parking areas shall remain private and shall be maintained  
23 by the owner/developer. The pavement sections, traffic indices shall be based on  
24 approved geotechnical report and in compliance with the City of Oceanside Engineers  
25 Design and Processing Manual. The private project driveway alignments and geometric  
26 layouts shall meet the City of Oceanside Engineers Design and Processing Manual.

27 28. Any existing public or private pavement, concrete curb, gutter, driveways, pedestrian  
28 ramps and sidewalk within the project, or adjacent to the project boundary (on Old Grove  
29 Road, Rocky Point Drive and Trestles Street) that are damaged during construction of the  
project, shall be repaired or replaced as directed by the City Engineer.

- 1 29. All existing overhead utility lines within this development and/or within Old Grove Road,  
2 Rocky Point Drive and Trestles Street right-of-way abutting this new development, and all  
3 new extension services for the development of this project, including but not limited to,  
4 electrical, cable and telephone, shall be placed underground per the City of Oceanside  
5 Section 901.G. of the Subdivision Ordinance (R91-166), and Zoning Ordinance section  
6 3023, as required by the City Engineer and the City Planner, and current City policy.
- 7 30. The approval of this project shall not mean that proposed grading or improvements on  
8 adjacent properties (including any City properties/right-of-way or easements) is granted  
9 or guaranteed to the owner/developer. The owner/developer is responsible for obtaining  
10 permission to grade to construct on adjacent properties. Should such permission be  
11 denied, the project shall be subject to going back to the public hearing or subject to a  
12 substantial conformity review.
- 13 31. Prior to grading of any part of this project, a comprehensive soils and geologic  
14 investigation shall be conducted of the soils, slopes, and formations in the project. All  
15 necessary measures shall be taken and implemented to assure slope stability, erosion  
16 control, and soil integrity. No grading shall occur until a detailed grading plan, to be  
17 prepared in accordance with the Grading Ordinance and Zoning Ordinance is approved by  
18 the City Engineer.
- 19 32. This project shall provide year-round erosion control including measures for the site  
20 required for the phasing of grading. Prior to the issuance of grading permit, an erosion  
21 control plan, designed for all proposed stages of construction, shall be reviewed, secured by  
22 the owner/developer with cash securities and approved by the City Engineer.
- 23 33. A precise grading and private improvement plan shall be prepared, reviewed, secured and  
24 approved for each phase of grading prior to the issuance of any building permits. The plan  
25 shall reflect all pavement, flatwork, landscaped areas, special surfaces, curbs, gutters,  
26 medians, striping, and signage, footprints of all structures, walls, drainage devices and  
27 utility services. Parking lot striping shall be shown on all precise grading and private  
28 improvement plans.
- 29 34. Landscape and irrigation plans for disturbed areas shall be submitted to the City Engineer  
prior to the issuance of a preliminary grading permit and approved by the City Engineer  
prior to the issuance of occupancy permits. Frontage and median landscaping shall be

1 installed prior to the issuance of any certificates of occupancy. Any project fences, sound  
2 or privacy walls and monument entry walls/signs shall be shown on, bonded for and built  
3 from the landscape plans. These features shall also be shown on the precise grading plans  
4 for purposes of location only. Plantable, segmental walls shall be designed, reviewed and  
5 constructed by the grading plans and landscaped/irrigated through project landscape plans.  
6 All plans must be approved by the City Engineer and a pre-construction meeting held,  
7 prior to the start of any improvements.

8 35. The drainage design shown on the site plan or preliminary grading plan, and the drainage  
9 report for this development plan is conceptual only. The final drainage report and drainage  
10 design shall be based upon a hydrologic/hydraulic study that is in compliance with the  
11 latest San Diego County Hydrology and Drainage Manual to be approved by the City  
12 Engineer during final engineering. All drainage picked up in an underground system shall  
13 remain underground until it is discharged into an approved channel, or as otherwise  
14 approved by the City Engineer. All public storm drains shall be shown on City standard  
15 plan and profile sheets. All storm drain easements shall be dedicated where required. The  
16 owner/developer shall be responsible for obtaining any off-site easements for storm  
17 drainage facilities.

18 36. Drainage facilities shall be designed and installed to adequately accommodates the local  
19 stormwater runoff and shall be in accordance with the San Diego County Hydrology and  
20 Design Manual and in compliance with the City of Oceanside Engineers Design and  
21 Processing Manual to the satisfaction of the City Engineer.

22 37. The owner/developer shall place a covenant on the title sheet of the grading plan  
23 agreeing to the following: "The present or future owner/developer shall indemnify and  
24 save the City of Oceanside, its officers, agents, and employees harmless from any and all  
25 liabilities, claims arising from any flooding that occurs on this site."

26 38. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and disposed  
27 of in accordance with all state and federal requirements, prior to stormwater discharge  
28 either off-site or into the City drainage system.

29 39. The owner/developer shall comply with the provisions of National Pollution Discharge  
Elimination System (NPDES) General Permit for Storm Water Discharges Associated  
with Construction Activity (General Permit) Water Quality Order 2009-0009-DWQ.

1 The General Permit continues in force and effect until a new General Permit is issued or  
2 the SWRCB rescinds this General Permit. Only those owner/developers authorized to  
3 discharge under the expiring General Permit are covered by the continued General  
4 Permit. Construction activity subject to the General Permit includes clearing, grading,  
5 and disturbances to the ground such as stockpiling, or excavation that results in land  
6 disturbances of equal to or greater than one acre. The owner/developer shall obtain  
7 coverage under the General Permit by submitting a Notice of Intent (NOI) and obtaining  
8 a Waste Discharge Identification Number (WDID#) from the State Water Resources  
9 Control Board (SWRCB). In addition, coverage under the General Permit shall not  
10 occur until an adequate SWPPP is developed for the project as outlined in Section A of  
11 the General Permit. The site specific SWPPP shall be maintained on the project site at  
12 all times. The SWPPP shall be provided, upon request, to the United States  
13 Environmental Protection Agency (USEPA), SWRCB, Regional Water Quality Control  
14 Board (RWQCB), City of Oceanside, and other applicable governing regulatory  
15 agencies. The SWPPP is considered a report that shall be available to the public by the  
16 RWQCB under section 308(b) of the Clean Water Act. The provisions of the General  
17 Permit and the site specific SWPPP shall be continuously implemented and enforced  
18 until the owner/developer obtains a Notice of Termination (NOT) for the SWRCB. The  
19 owner/developer is required to retain records of all monitoring information, copies of all  
20 reports required by this General Permit, and records of all data used to complete the NOI  
21 for all construction activities to be covered by the General Permit for a period of at least  
22 three years from the date generated. This period may be extended by request of the  
23 SWRCB and/or RWQCB.

24 40. Following the deemed complete of the Storm Water Mitigation Plan (SWMP) by the  
25 City Engineer and prior to issuance of grading permits, the owner/developer shall submit  
26 an Operation & Maintenance (O&M) Plan, prepared to the satisfaction of the City  
27 Engineer. The O&M Plan shall include an approved and executed Maintenance  
28 Mechanism pursuant to Section 5 of the Standard Urban Storm Water Mitigation Plan  
29 (SUSMP). The O&M shall satisfy the minimum Maintenance Requirements pursuant to  
Section 5 of the SUSMP. At a minimum the O&M Plan shall include the designated  
responsible party to manage the storm water BMP(s), employee training program and

1 duties, operating schedule, maintenance frequency, routine service schedule, specific  
2 maintenance activities, copies of resource agency permits, cost estimate for  
3 implementation of the O&M Plan, a non-refundable cash security to provide  
4 maintenance funding in the event of noncompliance to the O&M Plan, and any other  
5 necessary elements. The owner/developer shall provide the City with access to site for  
6 the purpose of BMP inspection and maintenance by entering into an Access Rights  
7 Agreement with the City. The owner/developer shall complete and maintain O&M  
8 forms to document all operation, inspection, and maintenance activities. The  
9 owner/developer shall retain records for a minimum of 5 years. The records shall be  
10 made available to the City upon request.

11 41. The owner/developer shall enter into a City-Standard Stormwater Facilities Maintenance  
12 Agreement (SWFMA) with the City obliging the owner/developer to maintain, repair  
13 and replace the Storm Water Best Management Practices (BMPs) identified in the  
14 project's approved SWMP, as detailed in the O&M Plan into perpetuity. The  
15 Agreement shall be approved by the City Attorney prior to issuance of any precise  
16 grading permit and shall be recorded at the County Recorder's Office prior to issuance  
17 of any building permit. A non-refundable Security in the form of cash shall be required  
18 prior to issuance of a precise grading permit. The amount of the non-refundable security  
19 shall be equal to 10 years of maintenance costs, as identified by the O&M Plan, but not  
20 to exceed a total of \$25,000. The owner/developer's civil engineer shall prepare the  
21 O&M cost estimate.

22 42. At a minimum, maintenance agreements shall require the staff training, inspection and  
23 maintenance of all BMPs on an annual basis. The owner/developer shall complete and  
24 maintain O&M forms to document all maintenance activities. Parties responsible for the  
25 O&M plan shall retain records at the subject property for at least 5 years. These  
26 documents shall be made available to the City for inspection upon request at any time.

27 43. The Agreement shall include a copy of executed on-site and off-site access easement and  
28 or access rights necessary for the operation and maintenance of BMPs that shall be  
29 binding on the land throughout the life of the project to the benefit of the party  
responsible for the O&M of BMPs, satisfactory to the City Engineer. The agreement  
shall also include a copy of the O&M Plan approved by the City Engineer.

- 1 44. The BMPs described in the project's approved SWMP shall not be altered in any way,  
2 unless reviewed and approved to the satisfaction of the City Engineer. The  
3 determination of whatever action is required for changes to a project's approved SWMP  
4 shall be made by the City Engineer.
- 5 45. The owner/developer shall provide a copy of the title/cover page of the deemed  
6 complete SWMP with the first engineering submittal package. If the project triggers the  
7 City's Stormwater requirements but no approved Stormwater document (SWMP) exists,  
8 the appropriate document shall be submitted for review and approval by the City  
9 Engineer. The SWMP shall be prepared by the owner/developer's Civil Engineer. All  
10 Stormwater documents shall be in compliance with the latest edition of submission  
11 requirements.
- 12 46. The owner/developer shall comply with all the provisions of the City's cable television  
13 ordinances including those relating to notification as required by the City Engineer.
- 14 47. Approval of this development project is conditioned upon payment of all applicable impact  
15 fees and connection fees in the manner provided in chapter 32B of the Oceanside City  
16 Code. All traffic signal fees and contributions, highway thoroughfare fees, park fees,  
17 reimbursements, and other applicable charges, fees and deposits shall be paid prior to  
18 issuance of any building permits, in accordance with City Ordinances and policies. The  
19 owner/developer shall also be required to join into, contribute, or participate in any  
20 improvement, lighting, or other special district affecting or affected by this project.  
21 Approval of this project shall constitute the owner/developer's approval of such payments,  
22 and his agreement to pay for any other similar assessments or charges in effect when any  
23 increment is submitted for final map or building permit approval, and to join, contribute,  
24 and/or participate in such districts.
- 25 48. The owner/developer shall obtain any necessary permits and clearances from all public  
26 agencies having jurisdiction over the project due to its type, size, or location, including but  
27 not limited to the U. S. Army Corps of Engineers, California Department of Fish & Game,  
28 U. S. Fish and Wildlife Service and/or San Diego Regional Water Quality Control Board  
29 (including NPDES), San Diego County Health Department, prior to the issuance of grading  
permits.

- 1 49. A digital file of the as-built grading plan, and as-built improvement plan in a format  
2 consistent with the City's requirements for digital submittals, detailed in the Engineers  
3 Design and Processing Manual shall be submitted to the City of Oceanside prior to  
4 occupancy permit.
- 5 50. In the event that the conceptual plan does not match the conditions of approval, the  
6 resolution of approval shall govern.

7 **Fire:**

- 8 51. Submit a copy of as-built plans on a CD for all projects on the job site. A site plan  
9 indicating the fire access and hydrant locations must also be submitted on CD Rom.
- 10 52. Fire Department requirements shall be placed on plans in the notes section.
- 11 53. All weather access roads shall be installed and made serviceable prior to and maintained  
12 during time of construction.
- 13 54. A fire apparatus access road shall be provided within 150 feet of all exterior walls of the  
14 first floor of the building. The route of the fire apparatus access road shall be approved  
15 by the Fire Department. The 150 feet is measured by means of an unobstructed route  
16 around the exterior of the building. As shown, Fire Department access is not provided  
17 within 150 feet of Phase I buildings.
- 18 55. All streets less than 32 feet wide shall be posted "NO PARKING FIRE LANE" per  
19 Vehicle Code Section 22500.1. Any markings, signs and/or fire lane identification shall  
20 be in accordance with the Fire Department Standard Guidelines for Emergency Access.
- 21 56. A "Knox" key storage box shall be provided for all new construction.
- 22 57. All security gates shall have a Knox-box override and as required have strobe activation  
23 capability.
- 24 58. An approved fire sprinkler system must be installed throughout all buildings. The  
25 system shall be designed per NFPA 13. The sprinkler system requires 24-hour  
26 supervision.
- 27 59. When fire sprinklers systems are required in buildings of undetermined use, they shall  
28 have a sprinkler density of .45 GPM/sq. ft. (or as otherwise required by the Oceanside  
29 Fire Marshal), with a minimum design area of 3,000 square feet.

- 1 60. The Fire Department connection shall be located on the address side of the building –  
2 unless otherwise determined by the Fire Department. The hydrant shall be located on  
3 the same side of the street as the Fire Department connection within 40 feet of the FDC.
- 4 61. In accordance with the Oceanside Fire Code Section 505, approved addresses for  
5 commercial, industrial, and residential occupancies shall be placed on the structure in  
6 such a position as to be plainly visible and legible from the street or roadway fronting  
7 the property. Numbers shall be contrasting with their background and meet the current  
8 City of Oceanside size and design standard.
- 9 62. Plans shall be submitted to the Fire Prevention Bureau for plan check review and  
10 approval prior to the issuance of building permits.
- 11 63. All fire sprinkler systems shall be electronically monitored.
- 12 64. Fire apparatus access roads shall be designed and maintained to support the imposed  
13 loads of fire apparatus not less than 78,000 lbs and shall be provided with an approved  
14 paved surface to provide all-weather driving capabilities.
- 15 65. A fire apparatus access road shall be provided within 150 feet of all exterior walls of the  
16 first floor of the building. The route of the fire apparatus access road shall be approved  
17 by the Fire Department. The 150 feet is measured by means of an unobstructed route  
18 around the exterior of the building. As shown, Fire Department access is not provided  
19 within 150 feet of Phase I buildings. Provide a site plan showing approved fire access  
20 roadway turnaround at Phase I. Fire access roadways must be a minimum 28 feet in  
21 width.

21 **Planning:**

- 22 66. The Development Plan shall expire on November 5, 2014, unless implemented in  
23 accordance with the City of Oceanside Zoning Ordinance or unless a time extension is  
24 granted by the Planning Commission.
- 25 67. This Development Plan (D12-00016) and Conditional Use Permit (CUP12-00016)  
26 approves only the construction of two medical outpatient buildings with associated offices,  
27 pharmacy, landscaping and parking as depicted on the plans and exhibits presented to the  
28 Planning Commission for review and approval. No deviation from these approved plans  
29 and exhibits shall occur without City Planner or Planning Commission approval.

1 Substantial deviations shall require a revision to the Development Plan or a new  
2 Development Plan.

3 68. The applicant, permittee or any successor-in-interest shall defend, indemnify and hold  
4 harmless the City of Oceanside, its agents, officers or employees from any claim, action or  
5 proceeding against the City, its agents, officers, or employees to attack, set aside, void or  
6 annul an approval of the City, concerning Development Plan (D12-00016). The City will  
7 promptly notify the applicant of any such claim, action or proceeding against the City  
8 and will cooperate fully in the defense. If the City fails to promptly notify the applicant  
9 of any such claim action or proceeding or fails to cooperate fully in the defense, the  
10 applicant shall not, thereafter, be responsible to defend, indemnify or hold harmless the  
11 City.

12 69. All mechanical rooftop and ground equipment shall be screened from public view as  
13 required by the Zoning Ordinance. The roof jacks, mechanical equipment, screen and  
14 vents shall be painted with non-reflective paint to match the roof. This information shall be  
15 shown on the building plans.

16 70. A letter of clearance from the affected school district in which the property is located  
17 shall be provided as required by City policy at the time building permits are issued.

18 71. Space Allocation: OCC 13.39, the requirement to designate adequate space for the  
19 storage of solid waste and recycling containers on private property to include  
20 appropriate bin enclosures to adequately provide for trash, green waste and other  
21 recycling containers.

22 72. Recycling Services: OCC 13.16(h), the requirement to separate all recyclable material  
23 from solid waste for separate collection.

24 73. Green Waste Services: The separation of all green waste from solid waste using the  
25 approved city collection service and the collection of the material in compliance with  
26 standards as identified in the city code.

27 74. The tote and bale storage area is required to be enclosed on all sides and treated to  
28 substantial match the buildings architecture. It shall provide and designate adequate  
29 space for the storage of totes, cardboard bales, and the general trash bin. At no time  
shall the totes, cardboard bales, or the general trash bin be stored outside of the tote and  
bale storage area.

- 1 75. A covenant or other recordable document approved by the City Attorney shall be prepared  
2 by the developer and recorded prior to issuance of building permits. The covenant shall  
3 provide that the property is subject to this resolution, and shall generally list the conditions  
4 of approval.
- 5 76. Prior to the issuance of building permits, compliance with the applicable provisions of the  
6 City's anti-graffiti (Ordinance No. 93-19/Section 20.25 of the City Code) shall be reviewed  
7 and approved by the Planning Division. These requirements, including the obligation to  
8 remove or cover with matching paint all graffiti within 24 hours, shall be noted on the  
9 Landscape Plan and shall be recorded in the form of a covenant affecting the subject  
10 property.
- 11 77. Prior to the transfer of ownership and/or operation of the site the owner shall provide a  
12 written copy of the applications, staff report and resolutions for the project to the new  
13 owner and or operator. This notification's provision shall run with the life of the project  
14 and shall be recorded as a covenant on the property.
- 15 78. Failure to meet any conditions of approval for this development shall constitute a violation  
16 of the Development Plan and Conditional Use Permit.
- 17 79. Unless expressly waived, all current zoning standards and City ordinances and policies in  
18 effect at the time building permits are issued are required to be met by this project. The  
19 approval of this project constitutes the applicant's agreement with all statements in the  
20 Description and Justification Plan and other materials and information submitted with this  
21 application, unless specifically waived by an adopted condition of approval.
- 22 80. The applicant, tenants, or successors in interest shall comply with the City's business  
23 license requirements as necessary.
- 24 81. Elevations, siding materials, colors, roofing materials and floor plans shall be  
25 substantially the same as those approved by the Planning Commission. These shall be  
26 shown on plans submitted to the Building Division and Planning Division for permit  
27 plan check, and prior to issuance of any building permit.
- 28 82. A ground mounted bicycle rack must be provided in front or near the business. The bicycle  
29 rack shall meet the provisions of Zoning Ordinance Section 3108 for Bicycle Parking.
83. Failure to meet any conditions of approval for this development shall constitute a violation  
of the Development Plan and Conditional Use Permit.

1  
2 **Environmental:**

- 3 84. Prior to issuance of grading permits for previously ungraded areas or undisturbed soils,  
4 the applicant shall confirm to the City of Oceanside that a qualified paleontologist has  
5 been retained to carry out an appropriate mitigation program. (A qualified  
6 paleontologist is defined as an individual with a M.S. or Ph.D. in paleontology or  
7 geology who is familiar with paleontological procedures and techniques). The  
8 paleontologist shall attend pre-grade meetings to consult with grading and excavation  
9 contractors.
- 10 85. A paleontological monitor shall be on-site during grading operations in previously un-  
11 graded areas or undisturbed soils to evaluate the presence of fossils within previously  
12 undisturbed sediments of highly sensitive geologic formations (i.e. Santiago Formation)  
13 and moderately sensitive formations (river terrace deposits) to inspect cuts for  
14 contained fossils (a paleontological monitor is defined as an individual who has  
15 experience in the collection and salvage of fossil materials). The paleontological  
16 monitor shall work under the direction of a qualified paleontologist.
- 17 86. When fossils are discovered the paleontologist (or paleontological monitor) shall  
18 recover them. In most cases, this fossil salvage can be completed in a short period to  
19 time. However, some fossil specimens (such as a complete whale skeleton) may  
20 require an extended salvage time. In these instances, paleontologist (or paleontological  
21 monitor) shall be allowed to temporarily direct, divert, or halt grading to allow recovery  
22 of small fossil remains such as isolated mammal teeth, it may be necessary in certain  
23 instances to set up a screen-washing operation on the site.
- 24 87. Prepared fossils along with copies of all pertinent field notes, photographs and maps  
25 shall be deposited (with the applicant's permission) in a scientific institution with  
26 paleontological collections such as the San Diego Natural History Museum. A final  
27 summary report shall be completed and distributed to the City or other interested  
28 agencies which outlines the results of the mitigation program. This report shall include  
29 discussions of the methods used, stratigraphy exposed, fossils collected and  
significance of recovered fossils.

1 **Water Utilities:**

- 2 88. The developer will be responsible for developing all water and sewer utilities necessary to  
3 develop the property. Any relocation of water and/or sewer utilities is the responsibility of  
4 the developer and shall be done by an approved licensed contractor at the developer's  
5 expense.
- 6 89. The property owner shall maintain private water and wastewater utilities located on private  
7 property.
- 8 90. Water services and sewer laterals constructed in existing right-of-way locations are to be  
9 constructed by approved and licensed contractors at developer's expense.
- 10 91. All Water and Wastewater construction shall conform to the most recent edition of the  
11 Water, Sewer, and Reclaimed Water Design and Construction Manual (Water Design  
12 Manual) or as approved by the Water Utilities Director.
- 13 92. A public 8-inch water main shall be provided on-site for this development and the fire  
14 hydrants located within this development. The public water main shall be constructed per  
15 City of Oceanside requirements are stated in the Water Design Manual
- 16 93. All water services, irrigation services, fire services and sewer laterals that are not being  
17 utilized or have to be relocated for this development must be properly abandoned in  
18 accordance with the guidelines in the Water Design Manual.
- 19 94. If a 6-inch sewer lateral is needed for this development, then this lateral shall be connected  
20 to an existing manhole or a new manhole shall be constructed.
- 21 95. All public water and/or sewer facilities not located within the public right-of-way shall be  
22 provided with easements sized according to the Water Design Manual. Easements shall be  
23 constructed for all weather access.
- 24 96. No trees, structures or building overhang shall be located within any water or wastewater  
25 utility easement.
- 26 97. All lots with a finish pad elevation located below the elevation of the next upstream  
27 manhole cover of the public sewer shall be protected from backflow of sewage by installing  
28 and maintaining an approved type backwater valve, per the Uniform Plumbing Code  
29 (U.P.C.).
98. A separate irrigation meter and approved backflow prevention device is required and shall  
be displayed on the plans.

1 99. An Inspection Manhole, described by the Water Design Manual, shall be installed in each  
2 building sewer lateral and the location shall be called out on the approved Improvement  
3 Plans.

4 100. Water and Wastewater Buy-in fees and the San Diego County Water Authority Fees are to  
5 be paid to the City and collected by the Water Utilities Department at the time of Building  
6 Permit issuance.

7 101. All Water Utilities Fees are due at the time of building permit issuance per City Code  
8 Section 32B.7, unless the developer/applicant applies and is approved for a deferral of all  
9 fees per City of Oceanside Ordinance No. 09-OR0676-1.

10 PASSED AND ADOPTED Resolution No. 2012-P51 on November 5, 2012 by the  
11 following vote, to wit:

12 AYES:

13 NAYS:

14 ABSENT:

15 ABSTAIN:

16 \_\_\_\_\_  
17 Tom Rosales, Chairperson  
18 Oceanside Planning Commission

19 ATTEST:

20 \_\_\_\_\_  
21 Russ Cunningham, Secretary

22 I, RUSS CUNNINGHAM, Secretary of the Oceanside Planning Commission, hereby certify  
23 that this is a true and correct copy of Resolution No. 2012-P51.

24 Dated: November 5, 2012



RECEIVED

ACCEPTED JUL 12 2012 CITY OF OCEANSIDE DEVELOPMENT SERVICES

BY SN ? JR

Application for Discretionary Permit
Development Services Department / Planning Division
(760) 435-3520
Oceanside Civic Center 300 North Coast Highway
Oceanside, California 92054-2885

Please Print or Type All Information

HEARING

PART I - APPLICANT INFORMATION

1. APPLICANT: Kaiser Foundation Health Plan, Inc
2. STATUS: Owner
3. ADDRESS: 393 E. Walnut Street, Fl 2, Pasadena 91188
4. PHONE/FAX/E-mail: steven.doshay@kp.org
5. APPLICANT'S REPRESENTATIVE: Skyler Denniston
6. ADDRESS: 825 Colorado Blvd, #222, Los Angeles 90041
7. PHONE/FAX/E-mail: skyler.x.denniston@kp.org

GPA
MASTER/SP.PLAN
ZONE CH.
TENT. MAP
PAR. MAP
DEV. PL. DIZ-00016
C.U.P. CUPIZ-00016
VARIANCE
COASTAL
O.H.P.A.C.

PART II - PROPERTY DESCRIPTION

8. LOCATION: SW corner of Old Grove Road and Trestles Street
10. GENERAL PLAN: S-1-84
11. ZONING: PD-1 PCBP
12. LAND USE: Vacant graded pad
14. LATITUDE: 33.215

9. SIZE: 7.88 acres
13. ASSESSOR'S PARCEL NUMBER: 161-512-37-00; 38-00; 39-00
15. LONGITUDE: -117.292

PART III - PROJECT DESCRIPTION

16. GENERAL PROJECT DESCRIPTION: A Development Plan request to construct two (2) outpatient medical office buildings, built over three (3) phases; and, a Conditional Use Permit to allow an outpatient medical office use within the PD-1 PCBP zone.

17. PROPOSED GENERAL PLAN: N/A
18. PROPOSED ZONING: N/A
19. PROPOSED LAND USE: Medical Office
20. NO. UNITS: N/A
21. DENSITY: N/A
22. BUILDING SIZE: 2 buildings totaling 80,000 square feet
23. PARKING SPACES: 409 spaces
24. % LANDSCAPE: 31.7%
25. % LOT COVERAGE or FAR: .23 FAR/18.3% coverage

PART IV - ATTACHMENTS

26. DESCRIPTION/JUSTIFICATION [x]
27. LEGAL DESCRIPTION [x]
28. TITLE REPORT [x]
29. NOTIFICATION MAP & LABELS [x]
30. ENVIRONMENTAL INFO FORM [x]
31. PLOT PLANS [x]
32. FLOOR PLANS AND ELEVATIONS [x]
33. CERTIFICATION OF POSTING [x]
34. OTHER (See attachment for required reports)

PART V - SIGNATURES

SIGNATURES FROM ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).

35. APPLICANT OR REPRESENTATIVE (Print): Skyler Denniston
36. DATE: 6/27/12
37. OWNER (Print): Steven Doshay, Assistant Secretary Kaiser Foundation Health Plan, Inc.
38. DATE: 6/28/12

I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. FURTHER, I UNDERSTANDING THAT SUBMITTING FALSE STATEMENTS OR INFORMATION IN THIS APPLICATION MAY CONSTITUTE FRAUD, PUNISHABLE IN CIVIL AND CRIMINAL PROCEEDINGS. I HAVE READ AND AGREE TO ABIDE BY THE CITY OF OCEANSIDE DEVELOPMENT SERVICES DEPARTMENT AND ECONOMIC AND COMMUNITY DEVELOPMENT DEPARTMENT POLICY NO. 2011-01/POLICY AND PROCEDURE FOR DEVELOPMENT DEPOSIT ACCOUNT ADMINISTRATION.



July 10, 2012

City of Oceanside  
Development Services Department  
300 N. Coast Highway  
Oceanside, CA 92054

**RECEIVED**  
JUL 12 2012  
CITY OF OCEANSIDE  
DEVELOPMENT SERVICES

**RE: KAISER PERMANENTE OCEANSIDE MEDICAL OFFICE BUILDINGS  
CONDITIONAL USE PERMIT – OUTPATIENT MEDICAL OFFICE USE  
DEVELOPMENT PLAN – CONSTRUCTION ON MEDICAL OFFICES**

To Whom It May Concern:

Kaiser Permanente ("Kaiser") is requesting the entitlement approval referenced above to build and operate outpatient medical office buildings at the property located on the southwest corner of Old Grove Road and Trestles Street (Assessor Parcel Numbers 161-512-37; -38; and, -39) within the Pacific Coast Business Park (PCBP).

**Background**

The 7.88- acre site is zoned PD-1 (Rancho Del Oro Specific Plan - Limited Industrial) and is regulated by the PCBP Industrial Master Development Plan. The site was graded as part of the larger grading and infrastructure development for the entire Pacific Coast Business Park and is currently vacant.

In 2008, the Planning Commission approved a Tentative Parcel Map (P-3-08), Development Plan (D-4-08), and Conditional Use Permit (C-8-08) for the development of ten (10) single-story and one (1) two-story medical office buildings totally 80,284 square feet.

**Project Description**

Kaiser is requesting to amend the existing Development Plan and Conditional Use Permit approvals, with a revised site plan and building configuration that retains the medical office use. The revised project will be comparable to the prior approval in terms of total square footage, parking and landscaping. The new proposal would include construction of two (2) outpatient medical office buildings with a total of 80,000 square feet.. Kaiser is proposing to develop the site in three (3) phases as described below:

**Phase I**

Outpatient Medical Office Building: 21,531 square feet; 1-story  
Required Parking: 108 spaces  
Parking Provided: 112 spaces  
Standard: 106  
ADA: 6 spaces

**Phase II**

Outpatient Medical Office Expansion: 14,491 square feet; 1-story  
Required Parking: 72 spaces  
Parking Provided: 73 spaces  
Standard: 70  
ADA: 3 spaces

### Phase III

Administration Building: 43,978 square feet; 3-story

Required Parking: 220 spaces

Parking Provided: 224 spaces

Standard: 213

ADA: 11 spaces

### Build-out

Total Building Area: 80,000 square feet

Onsite Parking: 400 spaces required

409 spaces provided

At build-out, there will be approximately 170 employees on-site during peak shift. Phase I will include twelve (12) provider (doctor) offices, nursing stations, and ancillary support services (i.e. pharmacy, member services, and janitorial). Phase II will include an expansion of 12 additional provider offices and expand the pharmacy. Phase III will include construction of the second building that will house approximately 20 providers, ancillary support, and administrative offices.

### *Architecture*

The buildings are designed and treated with exterior materials and finishes that are compatible and complementary to the existing buildings in the vicinity and consistent with the development standards of the Pacific Coast Business Park Industrial Master Development Plan and associated regulations of the and the City of Oceanside zoning ordinance..

### *Landscaping*

The proposed landscaping complements the site layout and architecture. Landscaping is located along property perimeter and throughout the parking area. As proposed, approximately twenty-five percent (31.7%) of the site will be landscaped. The landscape plan incorporates the stormwater facilities as part of the design elements to enhance the overall site appearance. Other plant materials were selected for drought tolerance, with attractive form, texture and color.

### *Signage*

A sign plan for the property will be submitted at a later date in conformance with the criteria of the PCBP Industrial Master Development Plan.

### *Access and Circulation*

The revised site design maintains two (2) vehicle access points into the site from Rocky Point Drive with slight changes in location based on the new building layout. All onsite drive aisles have been designed with a minimum 24-foot width (two lanes) providing ample vehicle turn radius, with 28-foot fire lanes linking through the site.

### *Parking*

All three phases of development will be parked to meet or exceed the minimum parking requirements for outpatient medical office. The minimum requirement for medical office is one (1) space per 200 square feet of gross floor area. Kaiser is proposing 409 spaces for

## Required Findings

### **Development Plan**

Development Plans: Section 4306 of the Zoning Ordinance requires that proof be submitted in support of the following statements:

1. *That the site plan and physical design of the project as proposed is consistent with the purposes of the Zoning Ordinance...*

And the underlying PCBP Industrial Master Plan that regulates zoning for the subject parcel, because medical office uses are permitted subject to a Conditional Use Permit.

2. *That the Development Plan as proposed conforms to the General Plan of the City...*

Because the project as designed meets the goals and objectives of the Rancho Del Oro Specific Plan and provides for medical office uses in close proximity to residential areas, thus resulting in a balanced self-sufficient community.

3. *That the area covered by the Development Plan can be adequately, reasonably and conveniently served by existing and planned public services, utilities and public facilities...*

Because public utilities have been included as part of the overall PCBP Industrial Master Plan, and development of parcels 27, 28, and 29 with medical office buildings will not exceed the envisioned intensity of development on the site.

4. *That the project as proposed is compatible with existing and potential development on adjoining properties or in the surrounding neighborhood...*

The proposed use is a conditionally approved use; the medical office use will serve as a subtle transition from residential areas while providing a significant benefit to the surrounding community.

5. *That the site plan and physical design of the project is consistent with the policies contained within Section 1.24 and 1.25 of the Land Use Element of the General Plan, the Development Guidelines for Hillsides, and Section 3039 of this ordinance.*

The proposed project has been designed to work in harmony with the adjacent urbanized area and that provides for an enhancement to the surrounding neighborhood.

### **Conditional Use Permit**

Conditional Use Permits: Section 4105 of the Zoning Ordinance requires that proof be submitted in support of the following statements:

1. *That the proposed location of the use is in accord with the objectives of this ordinance and the purposes of the district in which the site is located.*

The proposed location of the medical office use is in accordance with the objectives of the Zoning Ordinance and the purposes of the district in which the site is located, because subject to a Conditional Use Permit, medical office uses are permitted within a Limited Industrial zoned district, and the intensity of the site upon which the facility will be located is consistent with the objectives of the guidelines established for the Industrial zoned parcel and the purpose of the Master Development Plan for Pacific Coast Business Park.

2. *That the proposed location of the conditional use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the City.*

The proposed medical office use will not be detrimental to public health, safety or welfare of persons residing or working in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the City, because as designed the project meets all goals and objectives of the Rancho Del Oro Specific Plan and Industrial Master Plan for Pacific Coast Business Park; and, provides for a balanced distribution of land uses for the surrounding community to benefit from.

3. *That the proposed conditional use will comply with the provisions of this ordinance, including any specific condition required for the proposed conditional use in the district in which it would be located.*

The proposed medical office use will comply with the provisions of the Zoning Ordinance, including any specific condition required for the proposed conditional use in the district in which it would be located. The subject medical office use has been designed to conform to the development standards of the Oceanside Zoning Ordinance and the larger Industrial Master Development Plan for Pacific Coast Business Park



**SCHEDULE A**

1. Commitment Date: March 13, 2012 at 7:30 A.M.
  
2. Policy or Policies to be issued: Amount  
  
(A) ALTA Extended Owner Policy - 2006 \$To Be Determined  
  
Proposed Insured:  
  
Kaiser Foundation Health Plan, Inc.
  
3. (A) The estate or interest in the land described in this Commitment is:  
  
Fee  
  
(B) Title to said estate or interest at the date hereof is vested in:  
  
Pacific Coast Partners LP, a Delaware limited partnership
  
4. The land referred to in this Commitment is situated in the City of Oceanside, County of San Diego, State of California, and is described as follows:  
  

PARCELS 27, 28 AND 29 OF PARCEL MAP NO. 20306, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JULY 24, 2007 AS INSTRUMENT NO. 2007-0494309, OFFICIAL RECORDS AND AS CORRECTED BY CERTIFICATE OF CORRECTION RECORDED JUNE 20, 2008 AS INSTRUMENT NO. 2008-0333755 OF OFFICIAL RECORDS.

APN: 161-512-38-00 (Affects: Parcel 28) and 161-512-39-00 (Affects: Parcel 29) and 161-512-37-00 (Affects: Parcel 27)