



DATE: March 11, 2013

TO: Chairperson and Members of the Planning Commission

FROM: Development Services Department/Planning Division

SUBJECT: **CONSIDERATION OF A REGULAR COASTAL PERMIT (RC12-00015) TO ALLOW RENOVATION OF AN EXISTING SINGLE-FAMILY RESIDENCE INVOLVING THE ADDITION OF A SECOND STORY AND A TOTAL OF 1,891 SQUARE FEET OF NEW ENCLOSED FLOOR AREA – HOUCHIN ADDITION – APPLICANTS: STEVE AND LAURA HOUCHIN**

RECOMMENDATION

Staff recommends that the Planning Commission by motion:

- (1) Confirm issuance of a Class 1 Categorical Exemption per Section 15303 (Existing Facilities) of the California Environmental Quality Act; and
- (2) Approve Regular Coastal Permit (RC12-00015) by adopting Planning Commission Resolution No. 2013-P08 with findings and conditions of approval attached herein.

BACKGROUND

The subject property is a 6,080-square-foot lot on the inland side of South Pacific Street, at the midpoint of the block between Kelly Street and Vista Way. The property now accommodates a 1,675-square-foot single-story single-family residence, constructed in 1948. Comprised of three bedrooms and two bathrooms, the existing residence includes an attached two-car garage accessed from Pacific Terrace – an alley-like street that abuts the property to the east. The property lies approximately 20 feet above the centerline of South Pacific Street, atop a bluff supported by a shotcrete wall. At the front property line, adjacent to the public sidewalk above South Pacific Street, a retaining wall roughly three feet in height supports a landscaped slope that rises to the existing building pad, which rests approximately seven feet above the sidewalk.

The subject property is one of hundreds of lots between the beachfront and western portions of Fire Mountain platted as part of the original subdivision of South Oceanside in 1887. Measuring roughly 60 feet in width and 100 feet in depth, the property dimensions are typical of surrounding properties extending along the east side of South Pacific Street from Buccaneer Beach to the St. Malo gated community.

Existing development in the vicinity consists primarily of one and two-story single-family homes, with many of the homes to the south of the subject property exhibiting the French Normandy architecture of the St. Malo community.

Photographs appended to this staff report as Attachment 3 show existing development in the vicinity of the subject property.

SITE REVIEW

The subject property bears a Local Coastal Program land use designation of Low Density Residential and a zoning designation of Single-Family Residential (R-1). Situated within the Coastal Zone and the South Oceanside Neighborhood Planning Area, the property is subject to the policies and design guidelines of the City's Local Coastal Program, as well as the land use and development standards of the 1986 Zoning Ordinance (which superseded the 1992 Zoning Ordinance in May 2009).

The existing home lies within 10 feet of the front property line, with most of the front yard area sloping downward to a retaining wall at the back of the public sidewalk. A stepped concrete walkway extends from the public sidewalk to the primary entrance. The home generally maintains a five-foot setback within each of the interior side yards, with the exception of the garage, which encroaches to within two feet of the southern side yard property line. The garage maintains a 16-foot rear setback from Pacific Terrace. To the north of the driveway, a freestanding brick wall follows the rear property line and encloses a back yard area of approximately 750 square feet. The back yard includes landscape and a brick patio.

With the exception of the slope adjacent to the front property line, which places the existing home approximately seven feet above the adjacent public sidewalk, the subject property is relatively flat. Most of the property drains toward Pacific Terrace.

PROJECT DESCRIPTION

The proposed project principally involves the construction of 1,891 square feet of additional enclosed floor area, most of which comprises a new second story. In conjunction with the addition of new floor area, an exterior renovation would replace the existing French Normandy aesthetic with a contemporary Italianate design.

The project would increase the ground-level footprint of the existing home by just over 300 square feet, with a new bedroom, bathroom, laundry facility, and stairwell extending toward the rear of the property along the northern side yard. This new ground-level addition would create a wing of enclosed space that would provide for a three-sided exterior courtyard at the rear of the residence. On the front elevation, an extended roof element with supportive columns would cover a slightly raised patio slab, creating an entry loggia at the southwest corner of the residence.

The second story addition would be concentrated above northwestern portions of the building footprint and slightly recessed from the front building line to conform with the modified front yard setback established by Zoning Ordinance Section 1716. The second story would accommodate a master bedroom/bathroom suite, sitting room, exercise room, and storage space. A covered deck would extend westward of the sitting room, rimmed by a clear glass guardrail.

At its uppermost point, the residence would fall roughly 8'-6" below the maximum allowable building height of 35 feet, as measured from the mean of the highest and lowest grade elevations covered by the building.

The contemporary Italianate design of the renovated home would feature extensive fenestration (frameless aluminum-clad windows and slider doors), shallow-pitched hip roof elements (finished with boosted concrete barrel tile), and corbelled eaves. The west, east, and south-facing elevations of the residence would be highly articulated, with broken wall planes and staggered roof elements. Exterior wall surfaces would be finished with "Santa Barbara" smooth-troweled stucco.

The applicant has provided a landscape exhibit showing improvements to plantable areas both on the project site and within the adjacent right-of-way. The landscape exhibit shows the existing brick wall adjacent to Pacific Terrace being reduced in height at its southern edge, in order to improve sight distance from the driveway. Wall surfaces facing Pacific Terrace would accommodate a vertical succulent garden. The parkway adjacent to the sidewalk to the west of the subject property would be replanted with native shrub and groundcover species; these new plantings in the parkway would require hand watering, as no automatic irrigation is proposed for this off-site area. Other new landscape features would include:

- Replacement of the two existing myoporum trees in the rear yard with two strawberry trees (24-inch box);
- Replacement of the concrete driveway with decorative permeable pavers;
- Re-vegetation of the front yard, with the introduction of agave attenuata, pink muhly grass, red hot poker, and a dragon tree;
- New vegetated swales in the side yards, designed to retain stormwater.

Appended to this staff report as Attachment 4 are photographs of proposed landscape features.

ANALYSIS

The proposed project is subject to the following City policies and regulations:

- Local Coastal Program (LCP)
- Zoning Ordinance (1986)
- California Environmental Quality Act (CEQA)

KEY PLANNING ISSUES

Local Coastal Program (LCP)

Being located within the City's Coastal Zone, the subject property is under the jurisdiction of the City's Local Coastal Program (LCP), which includes a land use plan and a series of goals and policies intended to ensure that development within the City's Coastal Zone complies with the California Coastal Act and its basic goal of protecting, maintaining, enhancing, and restoring the overall quality of the state's coastal environment.

A. Land Use Plan

Under the Land Use Plan of the Local Coastal Program, the subject property is designated Low Density Residential. Staff finds that the proposed project is consistent with the purpose and intent of this land use designation, as it constitutes a residential density of less than seven dwelling units per acre (the maximum allowable under the R-1 zoning designation). The proposed project is in keeping with the single-family residential character of the surrounding area.

B. LCP Goals and Policies

The proposed project was reviewed by staff for compliance with the goals and policies of the LCP. Staff finds that the application complies with all applicable components of the LCP, including those that speak to public access to the shoreline, compatibility with the existing neighborhood character, adequate on-street parking resources, water quality, and public enjoyment of Coastal Zone scenic resources.

1. Public Access to the Shoreline

The Local Coastal Program acknowledges that significant deficiencies to vertical access to the shoreline exist along South Pacific Street southward of Cassidy Street. Construction and dedication of vertical public beach access is required of projects on Coastal Zone properties with a minimum of 70 feet of beach frontage. The subject property maintains no beach frontage and is thus exempted from this requirement. Pedestrian beach access is located between 1915 and 1919 South Pacific Street, approximately 115 feet to the west of the subject property. The proposed project would in no way impact this or any other pedestrian beach access in the vicinity.

2. Compatibility with Existing Neighborhood Character

Existing development in the vicinity of the subject property consists primarily of single-family homes that conform to the 27-foot height limit of the now-superseded 1992 Zoning Ordinance.

The LCP establishes that the City shall ensure that all new development is compatible in height, scale, color, and form with the surrounding neighborhood.

With the addition of a new second story, the renovated residence would achieve a maximum height of 26'-6". The maximum building height for the surrounding R-1 zone is 35 feet. The height and overall scale of the renovated home would comport with the typical scale of residential development in the vicinity, including the abutting single-family homes to the north, south, and east.

The LCP states that in areas where significant theme architecture has been established, the City shall encourage continuation of this theme. As noted earlier, the existing residence embodies the French Normandy architecture that characterizes the nearby St. Malo community. Between the subject property and the St. Malo community, virtually every residence on the east side of South Pacific Street displays the French Normandy style. This architecture is also common on the beachfront between Vista Way and the St. Malo community.

While the Planning Division would prefer that the proposed renovation preserve the French Normandy architecture of the existing home, the applicable LCP merely encourages the continuation of this architectural style. Consequently, staff has determined that the applicant's decision to pursue a different architecture cannot be a principal factor in staff's evaluation of the project's conformance to applicable policies and regulations. Moreover, staff finds that the proposed renovation would achieve a coherent and attractive style that would not be discordant with the surrounding neighborhood.

On January 28, 2013, two members of the Planning Commission convened with the project architect and Planning Division staff to discuss the applicant's intention to replace the French Normandy architecture of the existing home with a contemporary Italianate style.¹ Another member of the Planning Commission provided input via email in advance of this meeting. Two of the commissioners involved in this discussion found no compelling reason to insist on the preservation of the French Normandy style. The third commissioner opined that the French Normandy style should be preserved, given the prevalence of the style in the immediate area. One commissioner was not supportive of the maintenance of existing non-conforming setbacks (which are discussed in a subsequent section of this staff report).

¹ This meeting was the first to be conducted under a pilot design review program through which applicants can request preliminary, informal input on their proposals from an ad hoc subcommittee of the Planning Commission. This pilot program will be reevaluated by the Development Services Director in mid-2013.

Parking Resources

The LCP establishes that provision of adequate on-site parking for new development is critical, due to existing deficiencies in on-street parking resources. With a two-car garage, the new residence would meet current on-site parking requirements.

3. Water Quality

The LCP requires maintenance, protection, and restoration of marine resources and coastal water quality, as well as control of discharges and run-off into the ocean and coastal wetlands.

In accordance with regional water quality standards, the applicant has provided a stormwater management plan (SWMP) that demonstrates how the proposed project would minimize site imperviousness, maximize infiltration, and retain and slow stormwater runoff. The SWMP indicates that the project would decrease site imperviousness from 70 percent to 63 percent, primarily through replacement of 785 square feet of existing concrete paving with permeable pavers and landscaped swales along portions of the north and south side yards. Drainage patterns and stormwater management features are displayed on the preliminary grading plan.

4. Public Enjoyment of Coastal Zone Scenic Resources

The subject property does not constitute a public view corridor under the LCP, which identifies public view corridors as those areas where the public right-of-way extends to the ocean, the San Luis Rey River, or Buena Vista Lagoon.

C. 1986 Zoning Ordinance

The subject property is located in an R-1 (Single-Family Residential) zoning district. The R-1 zoning designation allows for single-family homes serving both residents and visitors. Staff finds that the proposed project conforms to all applicable zoning regulations, including maximum building height and story count, minimum setbacks, and maximum lot coverage. The following table outlines applicable R-1 development standards and illustrates how the renovated residence would comply with these standards, notwithstanding existing non-conformities.

TABLE 1
R-1 Development Standards

	STANDARD	PROPOSED
MINIMUM FRONT YARD	Stringline	10' (Existing)
MINIMUM SIDE YARD	5'	2' (Existing)

**TABLE 1 (Continued)
R-1 Development Standards**

	STANDARD	PROPOSED
MINIMUM REAR YARD	15'	15'
MAXIMUM LOT COVERAGE	40%	39.6%
MAXIMUM HEIGHT	35'	26' 6"
MAXIMUM STORIES	Two	Two

The proposed project would maintain two existing non-conformities: a three-foot encroachment into the front yard setback and a three-foot encroachment into the southern side yard setback. Like most other single-family development in the vicinity, the existing residence maintains a front yard setback substantially less than the standard 20-foot front yard setback established for R-1 properties. In accordance with a stringline provision outlined in Zoning Ordinance Section 1716, the subject property has a front yard setback line that angles from 13' 7" at the northern side yard property line to 11' 6" at the southern side yard property line. An alcove in the living room now extends roughly three feet into the required front yard. The applicant proposes to maintain this encroachment. Staff supports maintenance of the existing encroachment, finding that it further articulates the front elevation and thereby contributes to the architectural interest of the renovated home.

The second existing non-conformity is a three-foot encroachment into the southern side yard setback, where the existing garage comes to within two feet of the property line. No changes to the footprint or profile of the existing garage are proposed. Staff supports maintaining the existing garage at its current location; with a maximum height of 14 feet, the garage does not create adverse massing impacts on the adjacent property to the south.

ENVIRONMENTAL DETERMINATION

The proposed project has been reviewed pursuant to the California Environmental Quality Act (CEQA) and found to be exempt from environmental review under CEQA Guidelines Section 15301 (Existing Facilities).

PUBLIC NOTIFICATION

Legal notice was published in the North County Times and notices were sent to property owners of record within a 300-foot radius and occupants within a 100-foot radius of the subject property, individuals and or organizations requesting notification, the applicant,

and other interested parties. As of March 5, 2013, no communication regarding the proposal had been received by City staff.

SUMMARY

Regular Coastal Permit (RC12-00015) is consistent with the land use plan and relevant policies of the Local Coastal Program and conforming to applicable zoning standards. The proposed residence would be in scale with the surrounding built environment, and site improvements would not significantly alter existing landforms. The proposal would not impair water quality or exacerbate flood risk. The proposal would not adversely impact existing public view corridors or public access to the coastline. Consequently, staff recommends that the Planning Commission approve the proposed project based on the required findings and subject to the conditions contained in the attached resolution. Staff recommends that the Planning Commission:

- Confirm issuance of a Class 1 Categorical Exemption for Existing Facilities under the California Environmental Quality Act (CEQA).
- Move to approve Regular Coastal Permit RC12-00015 and adopt Planning Commission Resolution No. 2013-P08 as attached.

PREPARED BY:



Russ Cunningham
Senior Planner

SUBMITTED BY:



Marisa Lundstedt
City Planner

JH/RC/fil

Attachments:

1. Planning Commission Resolution No. 2013-P08
2. Plans and Renderings
3. Photographs of Project Site and Vicinity
4. Photographs of Proposed Landscape Features

1 PLANNING COMMISSION
2 RESOLUTION NO. 2013-P08

3 A RESOLUTION OF THE PLANNING COMMISSION OF THE
4 CITY OF OCEANSIDE, CALIFORNIA APPROVING A
5 REGULAR COASTAL PERMIT ON CERTAIN REAL
PROPERTY IN THE CITY OF OCEANSIDE

6 APPLICATION NO: RC12-00015
7 APPLICANT: Steve and Laura Houchin
8 LOCATION: 1922 S. Pacific Street

9 THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES
10 RESOLVE AS FOLLOWS:

11 WHEREAS, there was filed with this Commission a verified petition on the forms
12 prescribed by the Commission requesting a Regular Coastal Permit (RC12-00015) under the
13 provisions of the City of Oceanside Local Coastal Program to permit the following:

14 renovation of an existing single-family dwelling with the addition of 1,891 square feet of
15 enclosed floor area and a new second story;
16 on certain real property described in the project description;

17 WHEREAS, the Planning Commission, after giving the required notice, did on the 11th
18 day of March 2013 conduct a duly advertised public hearing as prescribed by law to consider said
19 application;

20 WHEREAS, pursuant to Section 15301(e) of the California Environmental Quality Act
21 (CEQA), and Guidelines thereto, the project qualifies for a Class 1 categorical exemption from
22 environmental review, being an addition to an existing structure involving less than 2,500 square
23 feet;

24 WHEREAS, there is hereby imposed on the subject development project certain fees,
25 dedications, reservations and other exactions pursuant to state law and city ordinance;

26 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the
27 project is subject to certain fees, dedications, reservations and other exactions as provided below:

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1	Description	Authority for Imposition	Current Estimate Fee or Calculation Formula
2			
3	Parkland Dedication/Fee	Ordinance No. 91-10 Resolution No. 06-R0334-1	\$3,503 per unit
4			
5	Drainage Fee	Ordinance No. 85-23 Resolution No. 06-R0334-1	Depends on area (range is \$2,843-\$15,964 per acre)
6			
7	Public Facility Fee	Ordinance No. 91-09 Resolution No. 06-R0334-1	\$.713 per square foot or \$713 per thousand square feet for non-residential uses and \$2,072 per unit for residential
8			
9			
10	School Facilities Mitigation Fee	Ordinance No. 91-34	\$.47 per square foot non-residential for Oceanside (\$.42 for Vista and Fallbrook) \$2.97 per square foot residential (\$2.63 for Vista; \$2.63 for Fallbrook)
11			
12			
13			
14			
15	Thoroughfare Fee (For commercial and industrial please note the 75 percent discount)	Ordinance No. 83-01 Resolution No. 06-R0334-1	\$255 per vehicle trip (based on SANDAG trip generation table available from staff and from SANDAG)
16			
17			
18	Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 09-OR 0093-1	Fee based on water meter size. Residential is typically \$4,597 per unit; Non-residential is \$36,775 for a 2" meter.
19			
20			
21			
22	Wastewater System Buy-in fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 09-OR 0092-1	Based on capacity or water meter size. Residential is typically \$6,313 per unit; Non-residential is \$50,501 for a 2" meter.
23			
24			
25	San Diego County Water Authority Capacity Fees	SDCWA Ordinance No. 2005-03	Based on meter size. Residential is typically \$4,326 per unit; Non-residential is \$22,495 for a 2" meter.
26			
27			
28			
29			

1 WHEREAS, the current fees referenced above are merely estimates of the fee amounts that
2 would be required if due and payable under currently applicable ordinances and resolutions,
3 presume the accuracy of relevant project information provided by the applicant, and are not
4 necessarily the fee amounts that will be owing when such fees become due and payable;

5 WHEREAS, unless otherwise provided by this resolution, all impact fees shall be
6 calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside
7 City Code and the City expressly reserves the right to amend the fees and fee calculations
8 consistent with applicable law;

9 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,
10 dedication, reservation, or other exaction to the extent permitted and as authorized by law;

11 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that
12 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction
13 described in this resolution begins on the effective date of this resolution and any such protest must
14 be in a manner that complies with Section 66020;

15 WHEREAS, action on this resolution becomes final 10 days after its adoption, unless
16 appealed to the City Council, and shall become effective after the 10 working-day appeal period to
17 the Coastal Commission has expired; and

18 WHEREAS, studies and investigations made by this Commission and in its behalf reveal
19 the following facts:

20 FINDINGS:

21 For the Regular Coastal Permit:

- 22 1. The proposed development, as conditioned, is consistent with the land use policies of the
23 Local Coastal Program as implemented through the Zoning Ordinance. Specifically, the
24 project, as conditioned, will not impede public access to the coastline, adversely impact
25 existing public views, diminish on-street parking supply, be visually incompatible with
26 existing development in the vicinity, or degrade water quality or other marine resources.

27 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby
28 approve Regular Coastal Permit (RC12-00015) subject to the following conditions:

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1 **Building:**

- 2 1. The granting of approval under this action shall in no way relieve the
3 applicant/project from compliance with all Current State and local building codes.
- 4 2. All exterior wall construction shall comply with California Residential Code Section
5 302 Fire-Resistant Construction Table R302.1.
- 6 3. Less than 3'-0" to a property line, shall be of one hour fire resistance construction.
7 No openings allowed.
- 8 4. Between 3'-0" and 5'-0" to a property line, construction shall be of one-hour fire
9 resistance construction. Openings (e.g., doors, windows, mechanical vents, scuppers)
10 are allowed where the cumulative area of the openings is less than 25 percent of the
11 exterior wall area per story. Show the widths and heights of all windows, doors, and
12 vents on architectural elevations. Provide calculations on the plans to show
13 compliance.
- 14 5. The building plans for this project are required by state law to be prepared by a
15 licensed architect or engineer and must be in compliance with this requirement prior
16 to submittal for building plan review.
- 17 6. The developer shall monitor, supervise, and control all building construction and
18 supportive activities so as to prevent these activities from causing a public nuisance,
19 including, but not limited to, strict adherence to the following:
- 20 a) Building construction work hours shall be limited to between 7:00 a.m. and 6:00
21 p.m. Monday through Friday, and on Saturday from 7:00 a.m. to 6:00 p.m. for
22 work that is not inherently noise-producing. Examples of work not permitted
23 on Saturday are concrete and grout pours, roof nailing and activities of similar
24 noise-producing nature. No work shall be permitted on Sundays and Federal
25 Holidays (New Year's Day, Memorial Day, July 4th, Labor Day,
26 Thanksgiving Day, and Christmas Day) except as allowed for emergency work
27 under the provisions of the Oceanside City Code Chapter 38 (Noise
28 Ordinance).
- 29 b) The construction site shall be kept reasonably free of construction debris as
specified in Section 13.17 of the Oceanside City Code. Storage of debris in
approved solid waste containers shall be considered compliance with this

1 requirement. Small Amounts of construction debris may be stored on-site in a
2 neat, safe manner for short periods of time pending disposal

- 3 7. Construction shall comply with the 2010 edition of the California Codes.
4 8. Construction shall comply with 2010 California Green Building Code and Building
5 Division Procedure I-2 "Green Building code compliance".
6 9. Construction shall comply with City procedure I-10 "Coastal Survey".

7 **Planning:**

- 8 10. Regular Coastal Permit (RC12-00015) shall expire on March 11, 2015, unless
9 implemented per the Zoning Ordinance or unless the Planning Commission grants a time
10 extension.
11 11. This Regular Coastal Permit, as conditioned, approves the renovation of an existing single-
12 family residence, with the addition of 1,891 square feet of enclosed floor area and a new
13 second story, as presented to the Planning Commission for review and approval. No
14 deviation from these approved plans and exhibits shall occur without Planning Division
15 approval. Substantial deviations shall require amendment of the Regular Coastal Permit.
16 12. A Declaration of Covenants, Conditions and Restrictions (DCC&Rs) shall be submitted for
17 review and approval to the City Attorney prior to issuance of building permits.
18 13. The applicant, permittee, or any successor-in-interest shall defend, indemnify, and hold
19 harmless the City of Oceanside, its agents, officers, or employees from any claim, action, or
20 proceeding against the City, its agents, officers, or employees to attack, set aside, void, or
21 annul an approval of the City, concerning Regular Coastal Permit (RC12-00015). The City
22 will promptly notify the applicant of any such claim, action or proceeding against the
23 City and will cooperate fully in the defense. If the City fails to promptly notify the
24 applicant of any such claim action or proceeding or fails to cooperate fully in the
25 defense, the applicant shall not, thereafter, be responsible to defend, indemnify or hold
26 harmless the City.
27 14. All mechanical rooftop and ground equipment shall be screened from public view as
28 required by the Zoning Ordinance: that is, on all four sides and top. The roof jacks,
29 mechanical equipment, screen and vents shall be painted with non-reflective paint to match
the roof. This information shall be shown on the building plans.

- 1 15. Prior to the issuance of building permits, compliance with the applicable provisions of the
2 City's anti-graffiti ordinance (Ordinance No. 93-19/Section 20.25 of the City Code) shall be
3 reviewed and approved by the Planning Division. These requirements, including the
4 obligation to remove or cover with matching paint all graffiti within 24 hours, shall be
5 noted on the construction drawings and shall be recorded in the form of a covenant
6 affecting the subject property. A covenant or other recordable document approved by the
7 City Attorney shall be prepared by the applicant and recorded prior to the issuance of
8 building permits. The covenant shall provide that the property is subject to this
9 resolution, and shall generally list the conditions of approval.
- 10 16. Prior to the transfer of ownership and/or operation of the site, the owner shall provide a
11 written copy of the applications, staff report, and resolutions for the project to the new
12 owner and or operator. This notification's provision shall run with the life of the project
13 and shall be recorded as a covenant on the property.
- 14 17. Failure to meet any conditions of approval for this development shall constitute a violation
15 of the Regular Coastal Permit.
- 16 18. Unless expressly waived, all current zoning standards and City ordinances and policies
17 in effect at the time building permits are issued are required to be met by this project.
18 The approval of this project constitutes the applicant's agreement with all statements in
19 the Description and Justification and other materials and information submitted with this
20 application, unless specifically waived by an adopted condition of approval.
- 21 19. Elevations, siding materials, colors, roofing materials, and floor plans shall be
22 substantially the same as those approved by the Planning Commission. These shall be
23 shown on plans submitted to the Building Division and Planning Division.
- 24 20. Prior to issuance of a building permit, the applicant and landowner shall execute and
25 record a covenant, in a form and content acceptable to the City Attorney, providing that
26 the property is subject to this resolution and all conditions of approval.
- 27 21. Photo documentation of existing building resources on-site shall be completed in
28 compliance with OHPAC Policy 1, prior to issuance of demolition permits for the
29 existing structure on the subject property.

1 **Fire:**

- 2 22. Fire Department requirements shall be placed on plans in the notes section.
- 3 23. Smoke detectors are required, and detector locations must be indicated on the plans.
- 4 24. Submit fire sprinkler plans for the tenant improvement. The system shall be designed per
5 N.F.P.A. 13D.
- 6 25. Buildings shall meet Oceanside sprinkler ordinance in effect at the time of building permit
7 application.
- 8 26. In accordance with the Oceanside Fire Code Section 505, approved addresses for
9 commercial, industrial, and residential occupancies shall be placed on the structure in such
10 a position as to be plainly visible and legible from the street or roadway fronting the
11 property. Numbers shall be contrasting with their background and meet the current City of
12 Oceanside size and design standard.
- 13 27. Single-family dwellings require four- inch address numbers. Commercial buildings and
14 multi-family dwellings require six- inch address numbers. Industrial buildings require 12-
15 inch address numbers. Minimum specifications are set forth in Oceanside Fire Code
16 Section 505.1, and the Fire Marshal may establish other requirements as deemed necessary.
- 17 28. Plans shall be submitted to the Fire Prevention Bureau for plan check review and approval
18 prior to the issuance of building permits.
- 19 29. Buildings shall meet Oceanside Fire Department's current codes at the time of building
20 permit application.
- 21 30. Future development of the property will require compliance with all applicable Fire
22 Department Standards.
- 23 31. Provide a horn strobe device on the exterior of the building to be activated by fire sprinkler
24 water flow.
- 25 32. An approved fire sprinkler system must be installed throughout the R occupancy.
- 26 33. Smoke alarms required per 2010 California Fire Code, California Building Code and
27 California Residential Code.
- 28 34. Carbon monoxide alarms required per 2010 California Fire Code, California Building Code
29 and California Residential Code. An approved fire sprinkler system complying with NFPA
13D and 2010 California Residential Code shall be installed throughout the building.

1 **Water:**

- 2 35. The developer will be responsible for developing all water and sewer utilities necessary to
3 develop the property. Any relocation of water and/or sewer utilities is the responsibility of
4 the developer and shall be done by an approved licensed contractor at the developer's
5 expense.
- 6 36. The property owner shall maintain private water and wastewater utilities located on private
7 property.
- 8 37. Water services and sewer laterals constructed in existing right-of-way locations are to be
9 constructed by approved and licensed contractors at developer's expense.
- 10 38. All Water and Wastewater construction shall conform to the most recent edition of the
11 Water, Sewer, and Reclaimed Water Design and Construction Manual or as approved by
12 the Water Utilities Director.
- 13 39. Per the 2010 California Fire Code, all new residential units shall be fire sprinklered. The
14 minimum allowable water meter for a fire sprinklered home is 3/4-inch.

15 **The following conditions shall be met prior to the approval of engineering design plans.**

- 16 40. All public water and/or sewer facilities not located within the public right-of-way shall be
17 provided with easements sized according to the Water, Sewer, and Reclaimed Water
18 Design and Construction Manual. Easements shall be constructed for all weather access.
- 19 41. No trees, structures, or building overhang shall be located within any water or wastewater
20 utility easement.
- 21 42. All lots with a finish pad elevation located below the elevation of the next upstream
22 manhole cover of the public sewer shall be protected from backflow of sewage by installing
23 and maintaining an approved type backwater valve, per the Uniform Plumbing Code
(U.P.C.).

24 **The following conditions of approval shall be met prior to building permit issuance.**

- 25 43. Water and Wastewater Buy-in fees and the San Diego County Water Authority Fees shall
26 be paid to the City and collected by the Water Utilities Department at the time of Building
27 Permit issuance.
- 28 44. All Water Utilities Fees are due at the time of building permit issuance per City Code
29 Section 32B.7, unless the developer/applicant applies and is approved for a deferral of all
fees per City of Oceanside Ordinance No. 09-OR0676-1.

1 **Engineering:**

2 45. For the demolition of any existing structure or surface improvements; grading or minor
3 grading plans shall be submitted and erosion control plans be approved by the City Engineer
4 prior to the issuance of a demolition permit. No demolition shall be permitted without an
5 approved erosion control plan.

6 46. Design and construction of all improvements shall be in accordance with the City of
7 Oceanside Engineers Design and Processing Manual, City Ordinances, and standard
8 engineering and specifications of the City of Oceanside and subject to approval by the City
9 Engineer.

10 47. Where proposed off-site improvements, including but not limited to public utility facilities,
11 and drainage facilities, are to be constructed, the owner/developer shall, at his own expense,
12 obtain all necessary easements or other interests in real property and shall dedicate the same
13 to the City of Oceanside as required. The owner/developer shall provide documentary proof
14 satisfactory to the City of Oceanside that such easements or other interest in real property
15 have been obtained prior to issuance of any grading permit for the development.
16 Additionally, the City of Oceanside, may at its sole discretion, require that the
17 owner/developer obtain at his sole expense a title policy insuring the necessary title for the
18 easement or other interest in real property to have vested with the City of Oceanside or the
19 owner/developer, as applicable.

20 48. Prior to the issuance of a building permit, the owner/developer shall notify and host a
21 neighborhood meeting with all of the area residents located within 300 feet of the project
22 site, to inform them of the grading and construction schedule, and to answer questions.

23 49. The owner/developer shall monitor, supervise and control all construction and construction-
24 supportive activities, so as to prevent these activities from causing a public nuisance,
25 including but not limited to, insuring strict adherence to the following:

- 26 a) Dirt, debris, and other construction material shall not be deposited on any public
27 street or within the City's stormwater conveyance system.
- 28 b) All grading and related site preparation and construction activities shall be limited
29 to the hours of 7:00 a.m. to 6:00 p.m., Monday through Friday. No engineering
related construction activities shall be conducted on Saturdays, Sundays, or legal
holidays unless written permission is granted by the City Engineer with specific

1 limitations to the working hours and types of permitted operations. All on-site
2 construction staging areas shall be as far as possible (minimum 100 feet) from any
3 existing residential development. Because construction noise may still be intrusive
4 in the evening or on holidays, the City of Oceanside Noise Ordinance also prohibits
5 “any disturbing excessive or offensive noise which causes discomfort or annoyance
6 to reasonable persons of normal sensitivity.”

7 c) The construction site shall accommodate the parking of all motor vehicles used by
8 persons working at or providing deliveries to the site. An alternate parking site can
9 be considered by the City Engineer in the event that the lot size is too small and
10 cannot accommodate parking of all motor vehicles.

11 d) The owner/developer shall complete a haul route permit application (if required for
12 import/export of dirt) and submit to the City of Oceanside Engineering Division 48
13 hours in advance of beginning of work. Hauling operations (if required) shall be
14 8:00 a.m. to 3:30 p.m. unless approved otherwise.

15 50. It is the responsibility of the owner/developer to evaluate and determine that all soil
16 imported as part of this development is free of hazardous and/or contaminated material as
17 defined by the City and the County of San Diego Department of Environmental Health.
18 Exported or imported soils shall be properly screened, tested, and documented regarding
19 hazardous contamination.

20 51. A traffic control plan shall be prepared according to the City traffic control guidelines and
21 approved to the satisfaction of the City Engineer prior to the start of work within the public
22 right-of-way. Traffic control during construction of streets that have been opened to public
23 traffic shall be in accordance with construction signing, marking and other protection as
24 required by the Caltrans Traffic Manual and City Traffic Control Guidelines. Traffic
25 control plans shall be in effect from 8:00 a.m. to 3:30 p.m. unless approved otherwise.

26 52. The pavement sections shall be based on approved geotechnical report and in compliance
27 with the City of Oceanside Engineers Design and Processing Manual. The project private
28 driveway alignments and geometric layouts shall meet the City of Oceanside Engineers
29 Design and Processing Manual.

53. Any existing public or private gutter, Pacific Terrace pavement (half-street plus 12 feet),
driveway and sidewalk within the project, or adjacent to the project boundary that are

1 already damaged or damaged during construction of the project, shall be repaired or
2 replaced as directed by the City Engineer. Sidewalk improvements shall comply with
3 ADA requirements.

4 54. The approval of the project shall not mean that proposed grading or improvements on
5 adjacent properties (including any City properties/right-of-way or easements) are granted or
6 guaranteed to the owner/developer. The owner/developer is responsible for obtaining
7 permission to grade to construct on adjacent properties. Should such permission be denied,
8 the project shall be subject to going back to the public hearing or subject to a substantial
9 conformity review.

10 55. Prior to any grading of any part of the project, a comprehensive soils and geologic
11 investigation shall be conducted of the soils, slopes, and formations in the project. All
12 necessary measures shall be taken and implemented to assure slope stability, erosion
13 control, and soil integrity. No grading shall occur until a detailed grading plan, to be
14 prepared in accordance with the Grading Ordinance and Zoning Ordinance is approved by
15 the City Engineer.

16 56. This project shall provide year-round erosion control including measures for the site
17 required for the phasing of grading. Prior to the issuance of grading permit, an erosion
18 control plan, designed for all proposed stages of construction, shall be reviewed, secured by
19 the owner/developer with cash securities and approved by the City Engineer.

20 57. A precise grading or minor grading and improvement plan shall be prepared, reviewed,
21 secured, and approved prior to the issuance of any building permits. The plan shall reflect
22 all pavement, flatwork, landscaped areas, special surfaces, curbs, and gutters, footprints of
23 all structures, walls, drainage devices and utility services.

24 58. Landscaping plans, including plans for the construction of walls, fences or other structures
25 at or near the driveway must conform to intersection sight distance requirements.
26 Landscape and irrigation plans for disturbed areas shall be submitted to the City Engineer
27 prior to the issuance of a preliminary grading permit and approved by the City Engineer
28 prior to the issuance of occupancy permits. Frontage landscaping shall be installed prior to
29 the issuance of any certificates of occupancy. Any project fences, sound or privacy walls,
and monument entry walls/signs shall be shown on, bonded for, and built in accordance
with the landscape plans. These features shall also be shown on the precise grading plans

1 for purposes of location only. Plantable, segmental walls shall be designed, reviewed, and
2 constructed in accordance with the grading plans and shall be landscaped/irrigated per
3 project landscape plans. All plans must be approved by the City Engineer and a pre-
4 construction meeting shall be held prior to the start of any improvements.

5 59. The drainage design shown on the site plan or grading plan and the drainage report for this
6 project is conceptual only. The final drainage report and drainage design shall be based
7 upon a hydrologic/hydraulic study that is in compliance with the latest San Diego County
8 Hydrology and Drainage Manual to be approved by the City Engineer during final
9 engineering. All drainage picked up in an underground system shall remain underground
10 until it is discharged into an approved channel, or as otherwise approved by the City
11 Engineer. All public storm drains shall be shown on City standard plan and profile sheets.
12 All storm drain easements shall be dedicated where required. The owner/developer shall be
13 responsible for obtaining any off-site easements for storm drainage facilities.

14 60. Drainage facilities shall be designed and installed to adequately accommodate on-site storm
15 water runoff and shall be in accordance with the San Diego County Hydrology and Design
16 Manual and in compliance with the City of Oceanside Engineering Design and Processing
17 Manual to the satisfaction of the City Engineer.

18 61. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and disposed
19 of in accordance with all state and federal requirements, prior to stormwater discharge
20 either off-site or into the City drainage system.

21 62. Prior to approval of a grading plan or minor grading plan and issuance of any grading
22 permit, the owner or developer shall submit a Stormwater Management Plan – Standard
23 Development Plan (SWMP-SDP).

24 63. The approval of the project shall not mean that closure, vacation, or abandonment of any
25 public street, right-of-way, easement, or facility is granted or guaranteed to the
26 owner/developer. The owner/developer is responsible for applying for all closures,
27 vacations, and abandonments as necessary. The application(s) shall be reviewed and
28 approved or rejected by the City of Oceanside under separate process (es) per codes,
29 ordinances, and policies in effect at the time of the application. The City of Oceanside
retains its full legislative discretion to consider any application to vacate a public street or
right-of-way.

- 1 64. Approval of this project is conditioned upon payment of all applicable impact fees and
2 connection fees in the manner provided in chapter 32B of the Oceanside City Code. All
3 traffic signal fees and contributions, highway thoroughfare fees, park fees, reimbursements,
4 and other applicable charges, fees, and deposits shall be paid prior to recordation of the
5 map or the issuance of any building permits, in accordance with City Ordinances and
6 policies. The owner/developer shall also be required to join into, contribute, or participate
7 in any improvement, lighting, or other special district affecting or affected by this project.
8 Approval of the project shall constitute the owner/developer's approval of such payments,
9 and his agreement to pay for any other similar assessments or charges in effect when any
10 increment is submitted for final map or building permit approval, and to join, contribute,
11 and/or participate in such districts.
- 12 65. The owner/developer shall obtain any necessary permits and clearances from all public
13 agencies having jurisdiction over the project due to its type, size, or location, including but
14 not limited to the U. S. Army Corps of Engineers, California Department of Fish & Game,
15 U. S. Fish and Wildlife Service and/or San Diego Regional Water Quality Control Board
16 (including NPDES), San Diego County Health Department, prior to the issuance of grading
17 permits.
- 18 66. Upon acceptance of any fee waiver or reduction by the owner/developer, the entire project
19 will be subject to prevailing wage requirements as specified by Labor Code section 1720(b)
20 (4). The owner/developer shall agree to execute a form acknowledging the prevailing wage
21 requirements prior to the granting of any fee reductions or waivers.
- 22 67. A digital file of the as-built grading plan in a format consistent with the City's requirements
23 for digital submittals shall be submitted to the City of Oceanside prior to occupancy permit.
- 24 68. In the event that the conceptual plan does not match the conditions of approval, the
25 resolution of approval shall govern.

26 **Landscaping:**

- 27 69. The landscape exhibit shall meet the criteria of the City of Oceanside Landscape
28 Guidelines and Specifications for Landscape Development (latest revision), Water
29 Conservation Ordinance No.(s) 91-15 and 10-Ordinance 0412, Engineering criteria, City
code and ordinances, including the maintenance of such landscaping, and such exhibit
shall be reviewed by the Engineering Division and approved by the City Planner prior to

1 the issuance of building permits. Landscaping shall not be installed until securities have
2 been posted, fees paid, and plans signed for final approval. A landscape pre-
3 construction meeting shall be conducted by the landscape architect of record, Public
4 Works Inspector, developer or owner's representative, and landscape contractor prior to
5 commencement of the landscape and irrigation installation. The following landscaping
6 requirements shall be required prior to plan approval and certificate of occupancy:

- 7 a) The final landscape exhibit shall accurately show placement of all plant material
8 such as but not limited to trees, shrubs, and groundcovers.
- 9 b) Landscape Architect shall be aware of all utility, sewer, gas and storm drain lines
10 and utility easements and shall place planting locations accordingly to meet City
11 of Oceanside requirements.
- 12 c) All required landscape areas shall be maintained by owner (including public
13 rights-of-way). The landscape areas shall be maintained per City of Oceanside
14 requirements.
- 15 d) Proposed landscape species shall be native or naturalized to fit the site and meet
16 climate changes indicative to their planting location. The selection of plant
17 material shall also be based on cultural, aesthetic, and maintenance
18 considerations. In addition, proposed landscape species shall be low water users
19 and meet all Fire Department requirements.
- 20 e) All planting areas shall be prepared with appropriate soil amendments, fertilizers,
21 and appropriate supplements based upon a soils report from an agricultural
22 suitability soil sample taken from the site.
- 23 f) Ground covers or bark mulch shall fill in between the shrubs to shield the soil
24 from the sun, evapotranspiration and run-off. All the flower and shrub beds shall
25 be mulched to a 3" depth to help conserve water, lower the soil temperature and
26 reduce weed growth.
- 27 g) The shrubs shall be allowed to grow in their natural forms. All landscape
28 improvements shall follow the City of Oceanside Guidelines.
- 29 h) Root barriers shall be installed adjacent to all paving surfaces, where a paving
surface is located within six feet of a trees trunk on-site (private) and within 10
feet of a trees trunk in the right-of-way (public). Root barriers shall extend five

1 feet in each direction from the centerline of the trunk, for a total distance of 10
2 feet. Root barriers shall be 24 inches in depth. Installing a root barrier around
3 the tree's root ball is unacceptable.

4 i) All fences, gates, walls, stone walls, retaining walls, and plantable walls shall
5 obtain Planning Division approval in the conditions or application stage prior to
6 the first submittal of working drawings.

7 j) The existing block wall located at the northeast boundary of the property shall be
8 modified and reduced down to a 36-inch height for a length of 20 feet along the
9 rear property line and for the entire return section adjacent to the driveway, in
10 order to improve line-of-sight from the driveway.

11 k) For the planting and placement of trees and their distances from hardscape and
12 other utilities/structures, the landscape exhibit shall follow the City of
13 Oceanside's (current) Tree Planting Distances and Spacing Standards.

14 l) An automatic irrigation system shall be installed to provide coverage for all
15 planting areas shown on the exhibit, with the exception of planting areas in the
16 public right-of-way. The owner shall be responsible for hand-watering the
17 public right-of-way. Low volume equipment shall provide sufficient water for
18 plant growth with a minimum water loss due to water run-off.

19 m) Irrigation systems shall use high quality, automatic control valves, controllers
20 and other necessary irrigation equipment. All components shall be of non-
21 corrosive material. All drip systems shall be adequately filtered and regulated
22 per the manufacturer's recommended design parameters.

23 n) All irrigation improvements shall follow the City of Oceanside Guidelines and
24 Water Conservation Ordinance.

25 o) The landscape exhibit shall match all plans affiliated with the project.

26 p) The landscape exhibit shall comply with biological and/or geotechnical reports,
27 as required, match the grading and improvement plans, comply with SWMP Best
28 Management Practices, and meet the satisfaction of the City Engineer.

29 q) Existing landscaping on and adjacent to the site, as well as within the public
right-of-way, shall be protected in place and supplemented or replaced to the
satisfaction of the City Engineer.

1 r) A "Vertical Garden Solutions" planter, or approved equivalent, shall be installed
2 on the existing block wall at the northeast boundary of the property. The vertical
3 planter shall be required to cover 60 percent of the wall at maturity.

4 70. All landscaping, fences, walls, etc. on the site and in medians within the public right-of-
5 way and/or any adjoining public parkways shall be permanently maintained by the
6 owner, his assigns or any successors-in-interest in the property. The maintenance
7 program shall include:

- 8 a) Normal care and irrigation of the landscaping.
- 9 b) Repair and replacement of plant materials (including interior trees and street
10 trees).
- 11 c) Irrigation systems as necessary.
- 12 d) General cleanup of the landscaped and open areas.
- 13 e) Parking lots and walkways, walls, fences, etc.
- 14 f) Pruning standards for street trees shall comply with the International Society of
15 Arboriculture (ISA) Standard Practices for Tree Care Operations – ANSI A300,
16 Appendix G: Safety Standards, ANSI Z133; Appendix H; and Tree Pruning
17 Guidelines, Appendix F (most current edition). Failure to maintain landscaping
18 shall result in the City taking all appropriate enforcement actions including but
19 not limited to citations. This maintenance program condition shall be recorded
20 with a covenant as required by this resolution.

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71. In the event that the landscape exhibit does not match the conditions of approval, the resolution of approval shall govern.

PASSED AND ADOPTED Resolution No. 2013-P8 on March 11, 2013 by the following vote, to wit:

- AYES:
- NAYS:
- ABSENT:
- ABSTAIN:

Tom Rosales, Chairperson
Oceanside Planning Commission

ATTEST:

Marisa Lundstedt, Secretary

I, MARISA LUNDSTEDT, Secretary of the Oceanside Planning Commission, hereby certify that this is a true and correct copy of Resolution No. 2013-P08.

Dated: March 11, 2013

HOUCHIN RENOVATION

1922 SOUTH PACIFIC STREET
OCEANSIDE, CA 92054
A.P.N. 153-251-26



SHEET INDEX

- 1 A0.1 TITLE SHEET
- 2 A0.2 SITE PLAN (EXISTING)
- 3 A0.3 SITE PLAN (PROPOSED)
- 4 A0.4 SITE SECTIONS
- 5 A1.1 FIRST FLOOR PLAN - DEMOLITION
- 6 A2.1 SECOND FLOOR PLAN - NEW CONSTRUCTION
- 7 A3.1 ROOF PLAN
- 8 A4.1 EXTERIOR ELEVATIONS
- 9 A4.2 INTERIOR GRADING PLAN
- 10 PGF.1 PRELIMINARY GRADING PLAN

SCOPE OF WORK

HOUSE RENOVATION
PARTIAL DEMOLITION
NEW RECONSTRUCTION
NEW LANDSCAPE
NEW SURFACING

PROJECT TEAM

CLIENT
MR & MRS. STEVE AND LAURA
HOUCHIN
CONTACT: STEVE & LAURA HOUCHIN

ARCHITECT

TEFA ARCHITECTURE, INC.
3000 Coastal Village Drive
Suite 200
Cost Mesa, CA 92028
CONTACT: ALAN TEFA
phone: 760.288.9790
fax: 760.288.9791
email: alan@tefaarchitecture.com

CIVIL & SOILS

TA TAYLOR GROUP INC.
3011 Mission Avenue, Ste. 201
Dana Point, CA 92624
CONTACT: LARRY TAYLOR
phone: 760.271-1990
email: larry@taylorgroup.us

PROJECT DATA

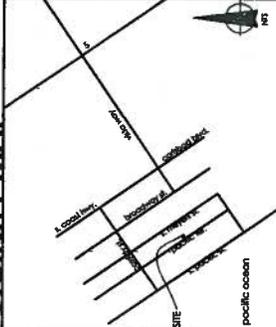
apn: 153-251-26
type: residential
occupancy: RS, U
construction type: type vs - split-level
building code: 2010 California residential code, 2010 California electrical code, California energy code.
setbacks: front: 15' - 0" (offset); side: 5' - 0" rear: 5' - 0"
Regd: Lot "C" in Block 6 of South Oceanmiddle, City of Oceanside, County of San Diego, State of California, Assessor's Map (Shaded) no. 622, filed in the office of the County Recorder of San Diego County, February 7, 1960.
area of construction: oceanfront

FLOOR AREA INFO

BUILDING AREA INFORMATION	
existing - conditioned remaining/renovated:	1,875 sf
existing - unconditioned remaining/renovated:	1,794 sf
existing garage renovated:	414 sf
Second floor, Jack:	0 sf
new conditioned:	1,270 sf
total conditioned second floor:	1,270 sf
total existing renovated:	1,485 sf
total addition conditioned:	1,494 sf
total Conditioned area:	3,399 sf
Existing Conditioned Area Demolished:	0 sf
Existing Unconditioned Area Demolished:	0 sf

BUILDING COVERAGE INFORMATION	
Lot Area: 1,039 sf	2,110 sq. ft. = 97.8%
Proposed Lot Coverage:	

VICINITY MAP



300 Coastal Village Drive • PO Box 338
Cost Mesa, CA 92028
tel: 760.288.9790 fax: 760.288.9791
www.tefaarchitecture.com



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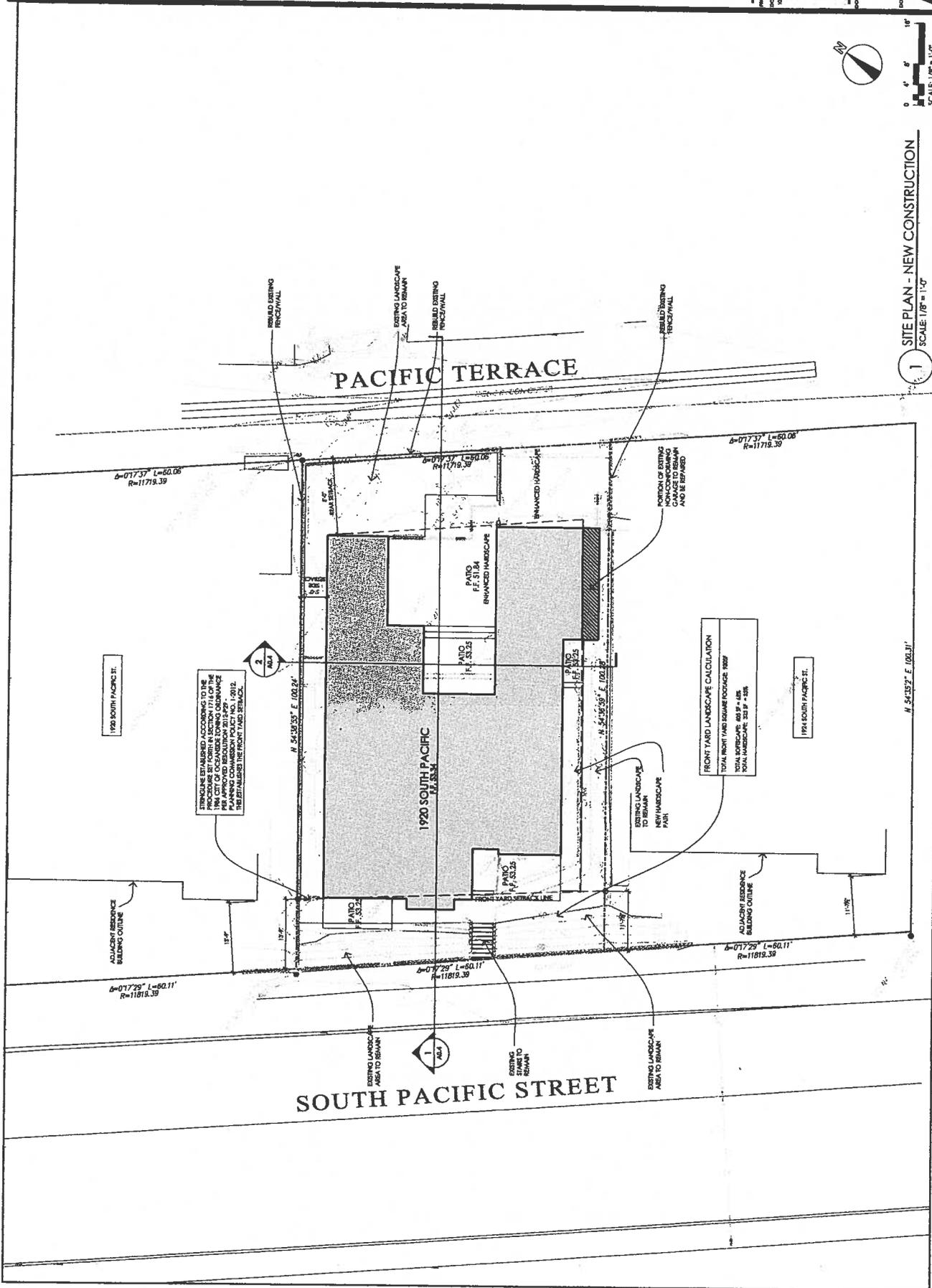
HOUCHIN RESIDENCE

OCEANSIDE, CALIFORNIA

PROJECT NUMBER: TA/204
DRAWING DATE: 11/11/13
DRAWING TITLE: PRELIMINARY PERMIT PACKAGE
SHEET NUMBER: TA/204
SHEET TITLE: A0.1



1 SITE PLAN - NEW CONSTRUCTION
 SCALE: 1/8" = 1'-0"



STRENGTHENED ACCORDING TO THE PERMITS OF THE CITY OF OCEANSIDE, CALIFORNIA PER APPROVED RESOLUTION 2014-229. THE STRENGTHENING WAS COMPLETED IN 2012. THE STRENGTHENING WAS COMPLETED IN 2012.

FRONT YARD LANDSCAPE CALCULATION
 TOTAL FRONT YARD IRREPLACEABLE 1850 SF
 TOTAL IRREPLACEABLE 483 SF = 45%
 TOTAL REPLACEABLE 2067 SF = 55%

1920 SOUTH PACIFIC ST.

1920 SOUTH PACIFIC ST.

SOUTH PACIFIC STREET

PACIFIC TERRACE



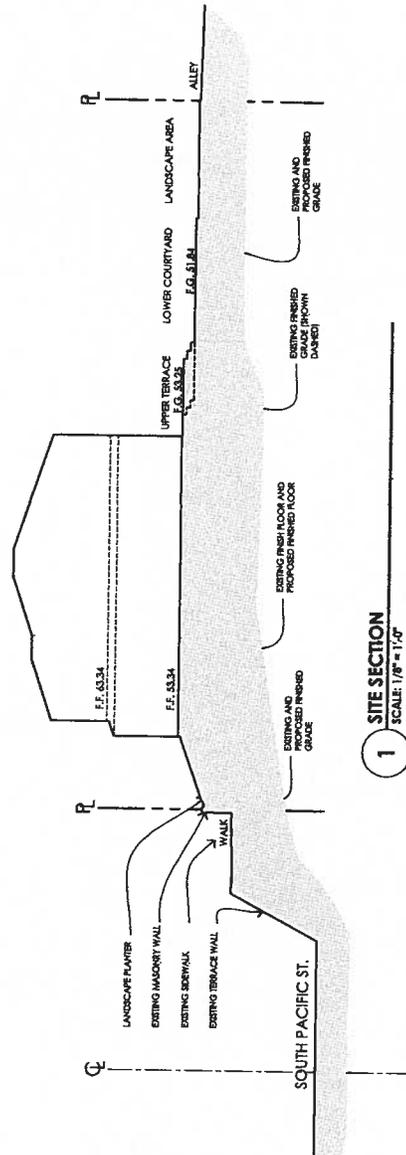
I, the undersigned, do hereby certify that the above is a true and correct copy of the original as submitted to the County of San Diego, California, for recording.

HOUCHIN RESIDENCE
 OCEANSIDE, CALIFORNIA
 COASTAL DEVELOPMENT PERMIT PACKAGE

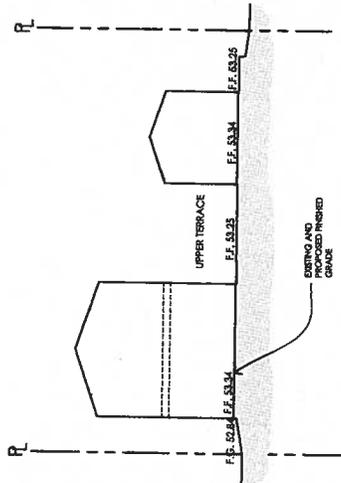
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 DOCUMENT JOB NUMBER: 1000000001

DOCUMENT TITLE
 SITE SECTIONS

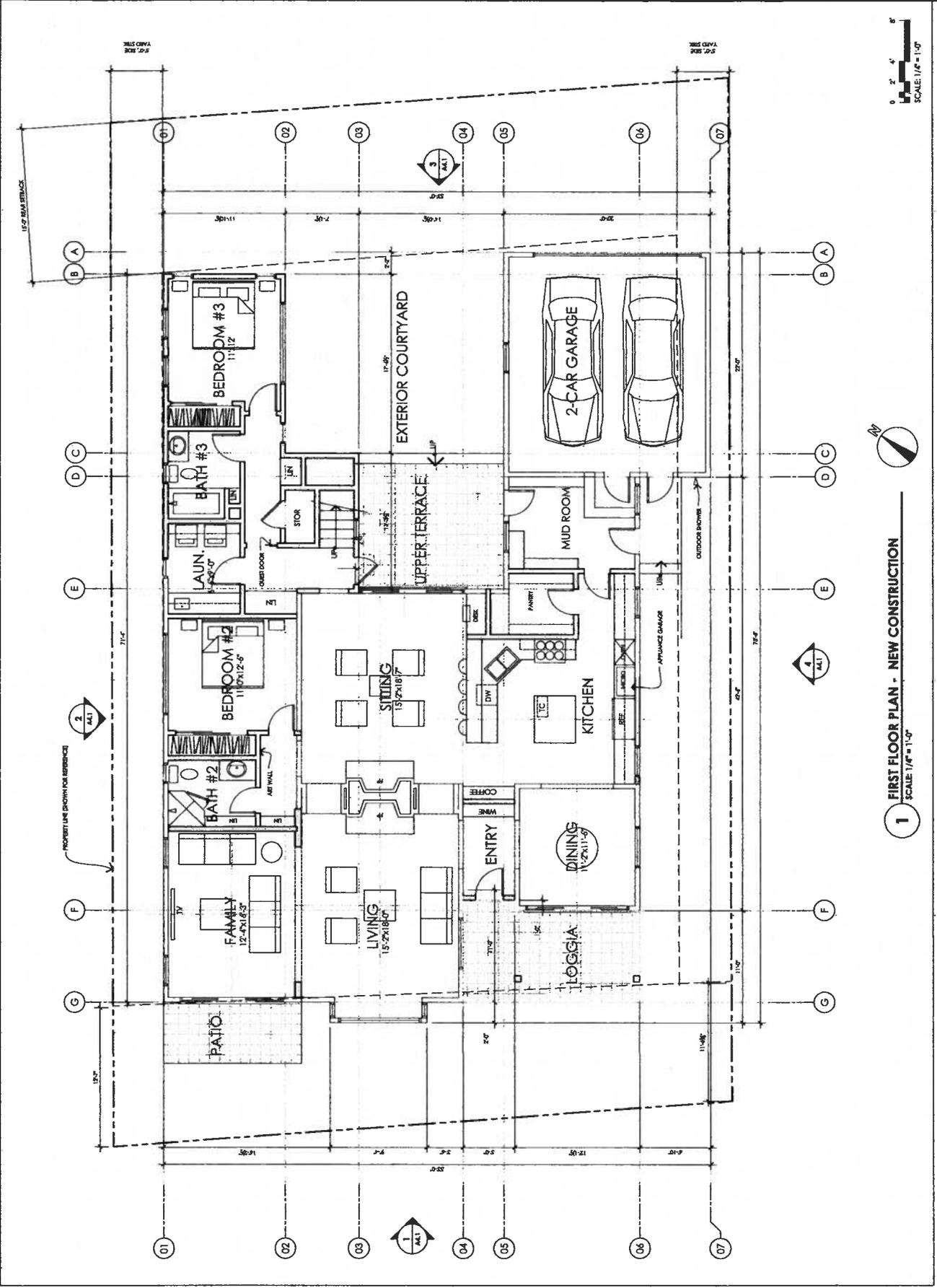
DOCUMENT NUMBER
A0.4



1 SITE SECTION
 SCALE: 1/8" = 1'-0"



2 SITE SECTION
 SCALE: 1/8" = 1'-0"



1 FIRST FLOOR PLAN - NEW CONSTRUCTION
 SCALE: 1/8" = 1'-0"



1. This drawing shall be read in conjunction with the project description and specifications.
 2. The contractor shall be responsible for obtaining all necessary permits.
 3. The contractor shall be responsible for coordinating with all other trades.
 4. The contractor shall be responsible for maintaining the site during construction.
 5. The contractor shall be responsible for protecting the existing structure.

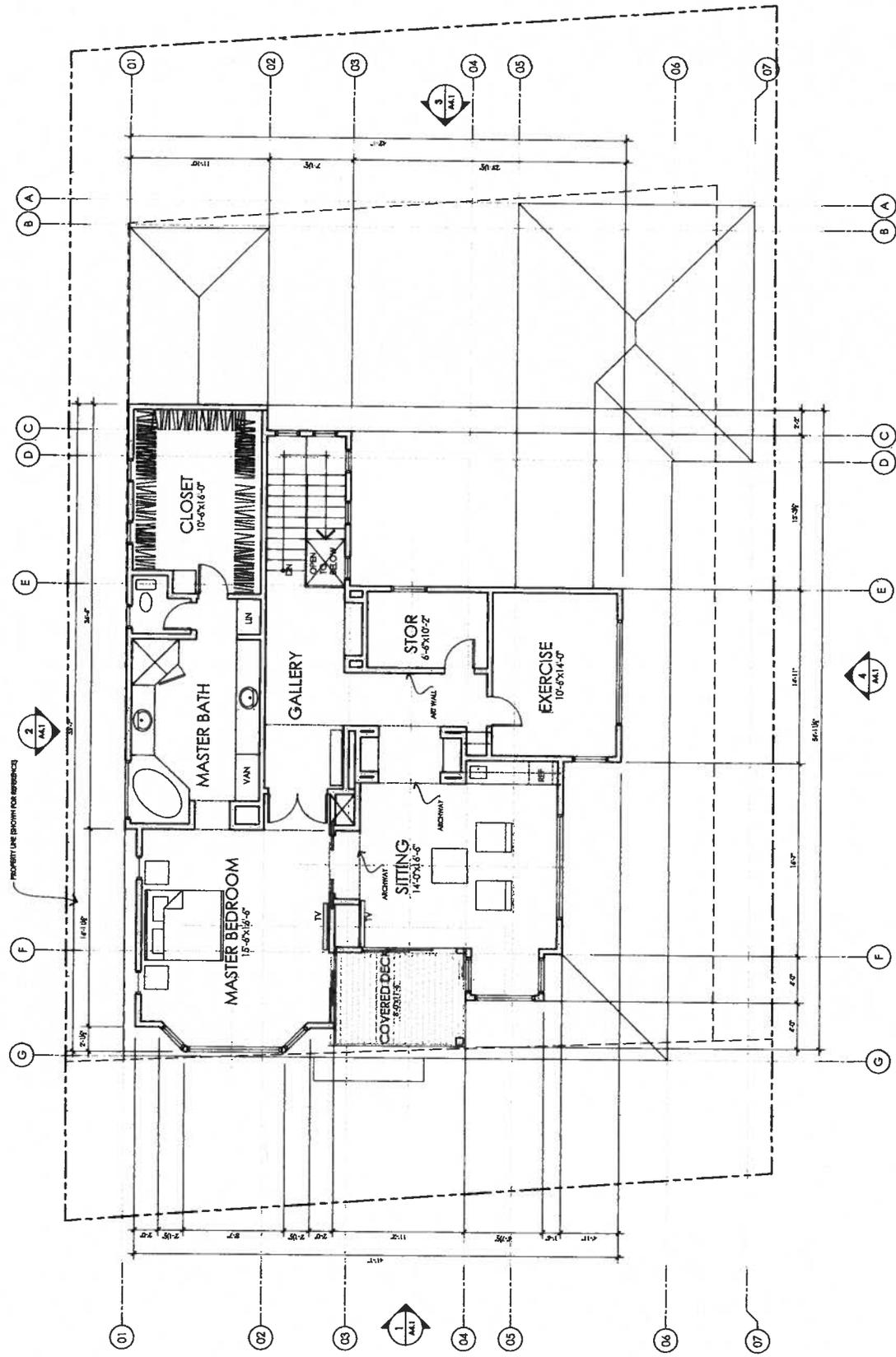
HOUCHIN RESIDENCE

OCEANSIDE, CALIFORNIA

PROJECT NUMBER: TA1202
 DOCUMENT LOG:
 (REV) (DATE) (BY) (CHECKED)
 DOCUMENT TITLE:
 SECOND FLOOR PLAN - NEW CONSTRUCTION

SECOND FLOOR PLAN - NEW CONSTRUCTION
 DOCUMENT NUMBER: A2.2

SCALE: 1/4" = 1'-0"



1 SECOND FLOOR PLAN - NEW CONSTRUCTION
 SCALE: 1/4" = 1'-0"

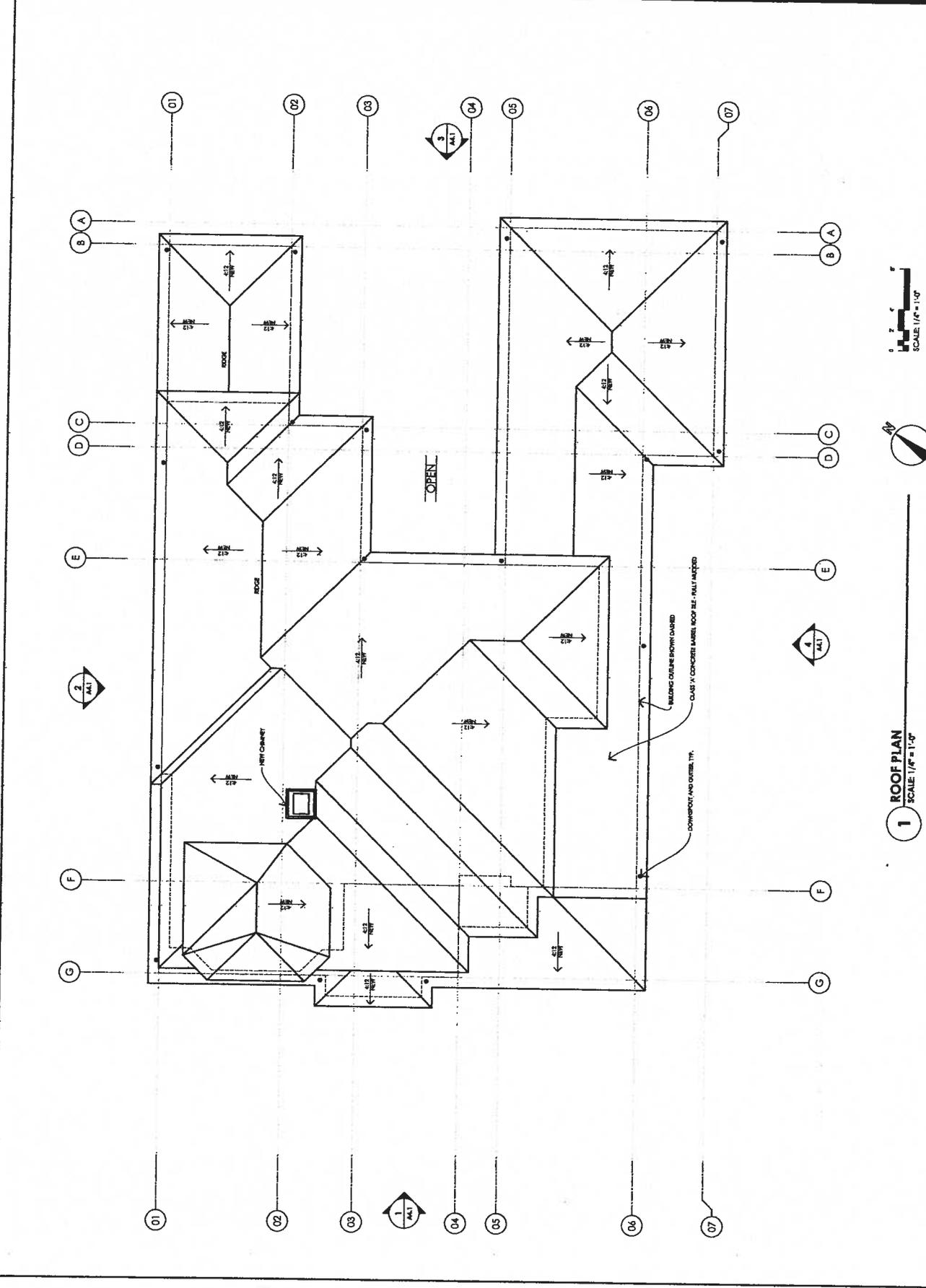
HOUCHIN RESIDENCE

OCEANSIDE, CALIFORNIA

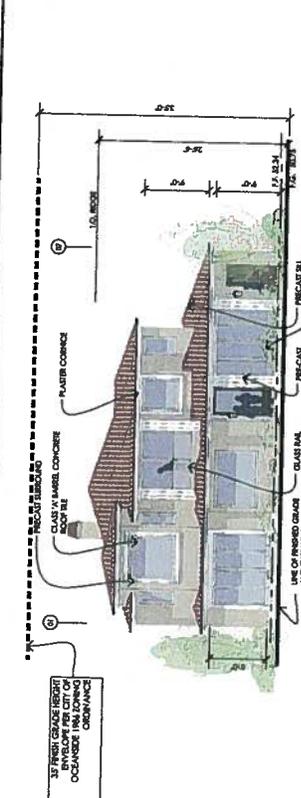
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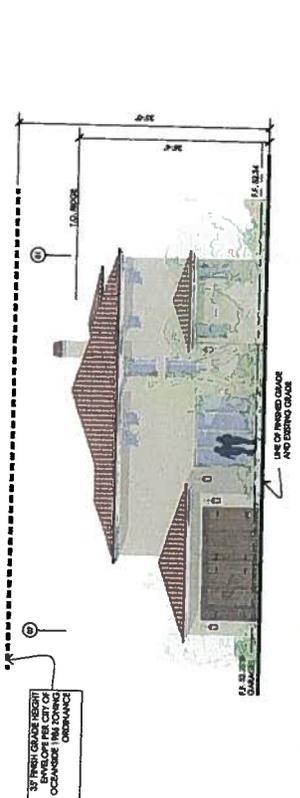
tota
architecture
300 Cortland Village Dr. • 708A-528 Cortland CA 92008
tel: 760 228 8000 fax: 760 228 8197 www.totarch.com



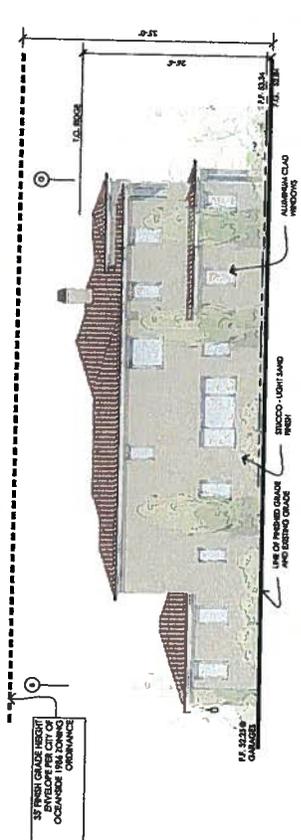
1 ROOF PLAN
SCALE: 1/4" = 1'-0"



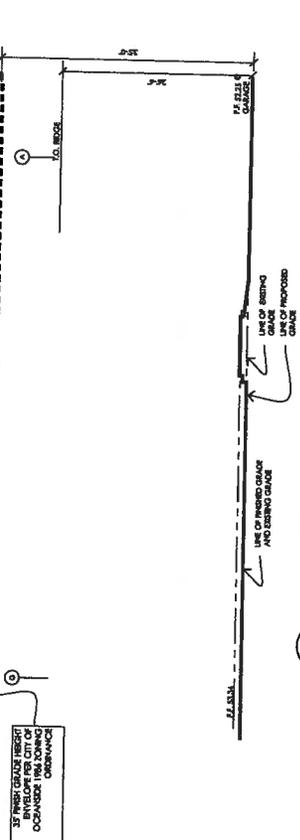
1 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



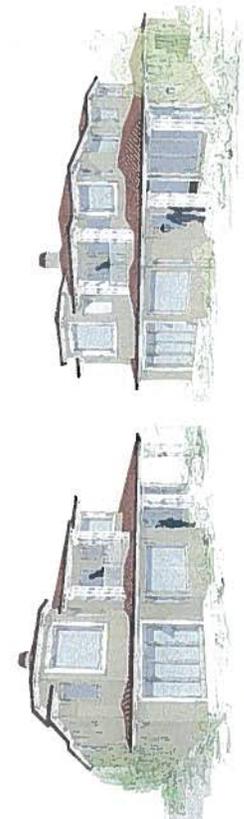
3 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



PERSPECTIVE
 SCALE: N.T.S.

PERSPECTIVE
 SCALE: N.T.S.



PERSPECTIVE
 SCALE: N.T.S.

PERSPECTIVE
 SCALE: N.T.S.



PREPARED BY: **UBZMP SHS PVAJAD/**
 GEOTECHNICAL ENGINEERING CONSULTANTS
 301 NASHON AVENUE, SUITE 201
 OAKLAND, CA 94612
 TEL: 762.21.9991
 WWW.UBZMP.COM



PRELIMINARY GRADING AND DRAINAGE PLAN
 HOUSEHOLD RESIDENCE
 1922 South Pacific Street, OceanSide, California
 Assessor's Parcel No. 153-251-26-00

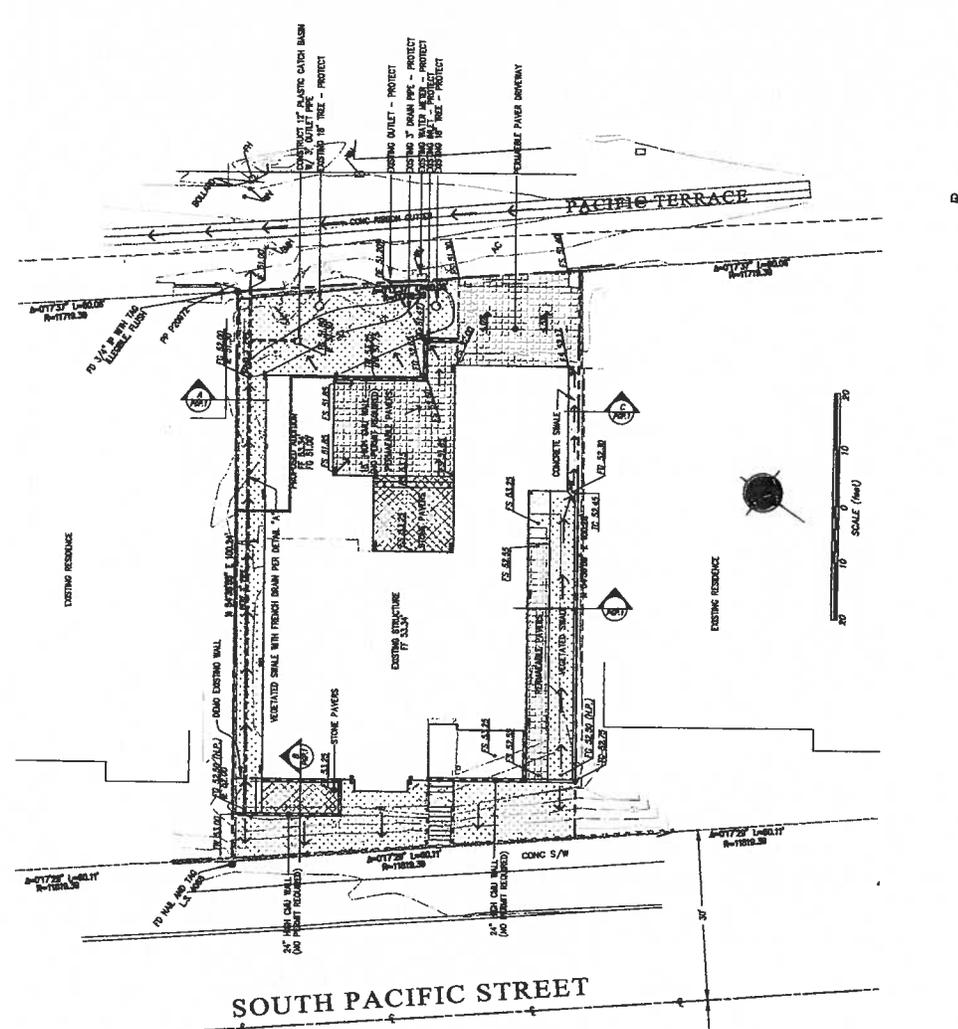
SHEET NUMBER: **PGP.1**
 PROPOSED DEVELOPMENT
 SHEET TITLE

PROJECT INFORMATION:
 PROJECT NAME: 1922 SOUTH PACIFIC STREET HOUSEHOLD RESIDENCE
 SITE ADDRESS: 1922 SOUTH PACIFIC STREET, OCEAN SIDE, CA 92054
 PROJECT NUMBER: 153-251-26-00
 ZONING: R-1 (SINGLE FAMILY RESIDENTIAL)
 LOT SIZE: 6,000 SQ. FT. (150' X 40')
 PROPOSED LOTS: 1 (SINGLE FAMILY RESIDENTIAL)
 PROPOSED LOT COVERING: 30% OF TOTAL AREA
 PROPOSED LOT COVERING: 1,800 SQ. FT.

LEGAL DESCRIPTION:
 LOT 10 IN BLOCK 10 OF SOUTH PACIFIC IN THE CANTONMENT COUNTY OF SAN DIEGO COUNTY, CALIFORNIA, MORE OR LESS AS SHOWN ON THE PLAN HEREIN, BEING PART OF THE CANTONMENT OF SAN DIEGO COUNTY, MORE OR LESS AS SHOWN ON THE PLAN HEREIN.

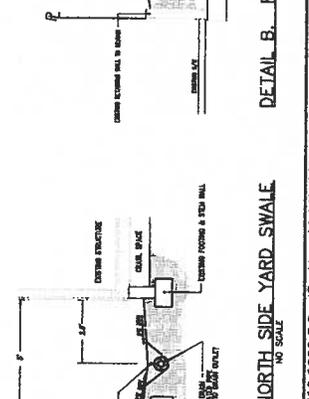
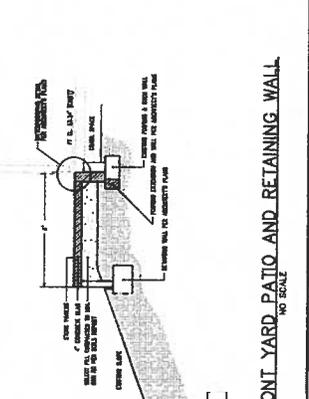
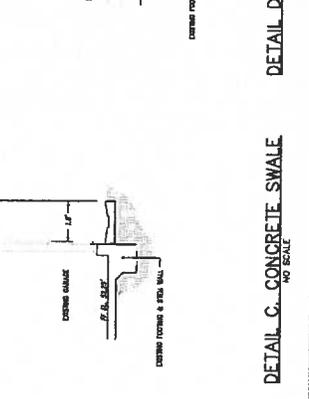
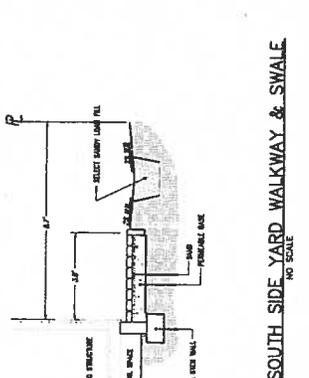
BENCHMARK NOTE:
 CITY OF OCEAN SIDE BENCHMARK: 1922 SOUTH PACIFIC STREET, OCEAN SIDE, CA 92054
 BENCHMARK: 1922 SOUTH PACIFIC STREET, OCEAN SIDE, CA 92054
 BENCHMARK ELEVATION: 10.00 FEET

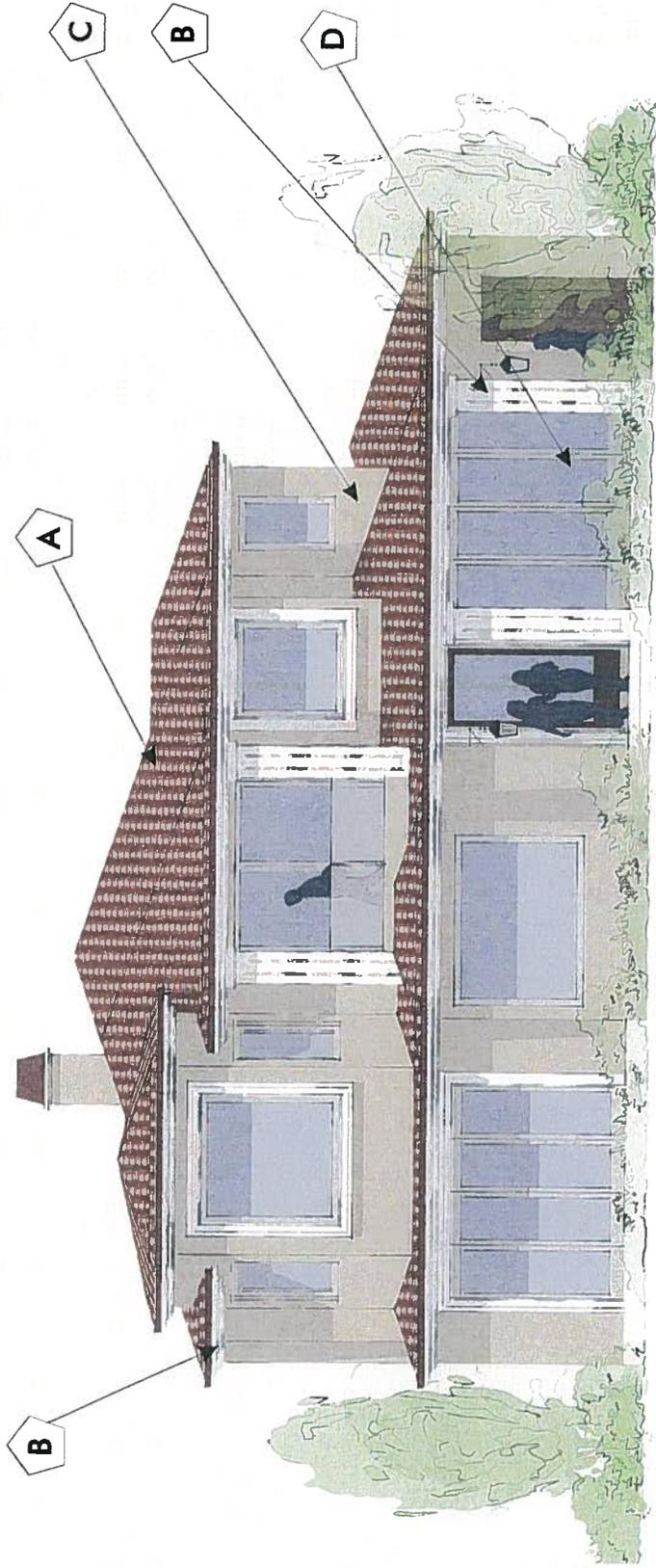
CONSTRUCTION NOTES:
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE ORDINANCES.
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PLUMBING CODE AND ALL APPLICABLE ORDINANCES.
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE AND ALL APPLICABLE ORDINANCES.
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA MECHANICAL CODE AND ALL APPLICABLE ORDINANCES.
 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA FIRE CODE AND ALL APPLICABLE ORDINANCES.
 6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA LAND DEVELOPMENT CODE AND ALL APPLICABLE ORDINANCES.
 7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ENVIRONMENTAL CODE AND ALL APPLICABLE ORDINANCES.
 8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA WATER CODE AND ALL APPLICABLE ORDINANCES.
 9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HEALTH AND SAFETY CODE AND ALL APPLICABLE ORDINANCES.
 10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA LABOR CODE AND ALL APPLICABLE ORDINANCES.
 11. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PENAL CODE AND ALL APPLICABLE ORDINANCES.
 12. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CIVIL CODE AND ALL APPLICABLE ORDINANCES.
 13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PROBATE CODE AND ALL APPLICABLE ORDINANCES.
 14. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA EVIDENCE CODE AND ALL APPLICABLE ORDINANCES.
 15. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA GOVERNMENT CODE AND ALL APPLICABLE ORDINANCES.
 16. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA EDUCATION CODE AND ALL APPLICABLE ORDINANCES.
 17. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA FINANCIAL CODE AND ALL APPLICABLE ORDINANCES.
 18. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE AND ALL APPLICABLE ORDINANCES.
 19. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA VEHICLE CODE AND ALL APPLICABLE ORDINANCES.
 20. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA MILITARY AND AERONAUTICS CODE AND ALL APPLICABLE ORDINANCES.
 21. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA NATURAL RESOURCES AND GENERAL LAND AND WATER CODE AND ALL APPLICABLE ORDINANCES.
 22. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PUBLIC RESOURCES CODE AND ALL APPLICABLE ORDINANCES.
 23. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA WELFARE AND INSTITUTIONS CODE AND ALL APPLICABLE ORDINANCES.
 24. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA WELFARE AND INSTITUTIONS CODE AND ALL APPLICABLE ORDINANCES.
 25. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA WELFARE AND INSTITUTIONS CODE AND ALL APPLICABLE ORDINANCES.



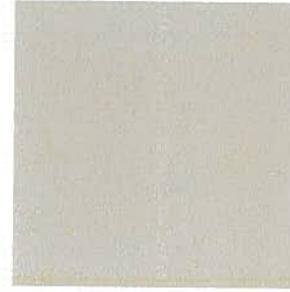
SYMBOL
 PROPERTY BOUNDARY: ---
 EXISTING CENTER LINE: ---
 EXISTING ELEVATION: ---
 NEW CENTER LINE: ---
 NEW ELEVATION: ---
 DRAINAGE SWALE: ---
 DIRECTION OF FLOW: ---
 CONCRETE MASONRY RETAINING WALL: ---
 PRIVATE STORM DRAIN PIPE: ---
 PRIVATE CATCH BASIN: ---
 PRIVATE SEWER LATERAL: ---
 ROOF DOWNSPOUT LOCATION: ---
 IMPERVIOUS STONE PAVING: ---
 PERMEABLE PAVING: ---
 LANDSCAPE: ---
 IMPERVIOUS HARDSCAPE: ---

LIST OF ABBREVIATIONS
 AC ASPHALT CONCRETE
 BMP BEST MANAGEMENT PRACTICES
 BOT BOTTOM OF WALL
 CC CONC. CURB
 CD CONC. DRIVEWAY
 FF FRESH FLOOR
 FS FRESH GRADE
 GA GAS VALVE
 GM GAS METER
 HP HIGH POINT
 HPT HIGH POINT
 IUP INTERLOCKED UNIT PAVING
 FLOORING
 LFL LINEAR FEET
 OVR OVERHEAD
 S/M SIDEWALK
 S/M SIDEWALK
 T.O. TOP OF GATE
 T.O. TOP OF WALL
 T.O. TOP OF WALKWAY
 W.W. WATER WALKWAY





A ROOF
 EAGLE, BOOSTED
 CAPISTRANO, SANTA
 BARBARA BLEND



C STUCCO
 EXPO STUCCO, SANTA
 BARBARA FINISH,
 MATCH FRAZEE
 CL2923W

B CORNICE/PRECAST
 CDI, PRECAST, SAND
 FINISH, MATCH FRAZEE
 CL2931W

D DOORS/WINDOWS
 LOEWEN, MATCH PAINT,
 SAHARA SAND

HOUCHIN RESIDENCE

OCEANSIDE, CALIFORNIA

OCTOBER 30, 2012

MATERIAL BOARD



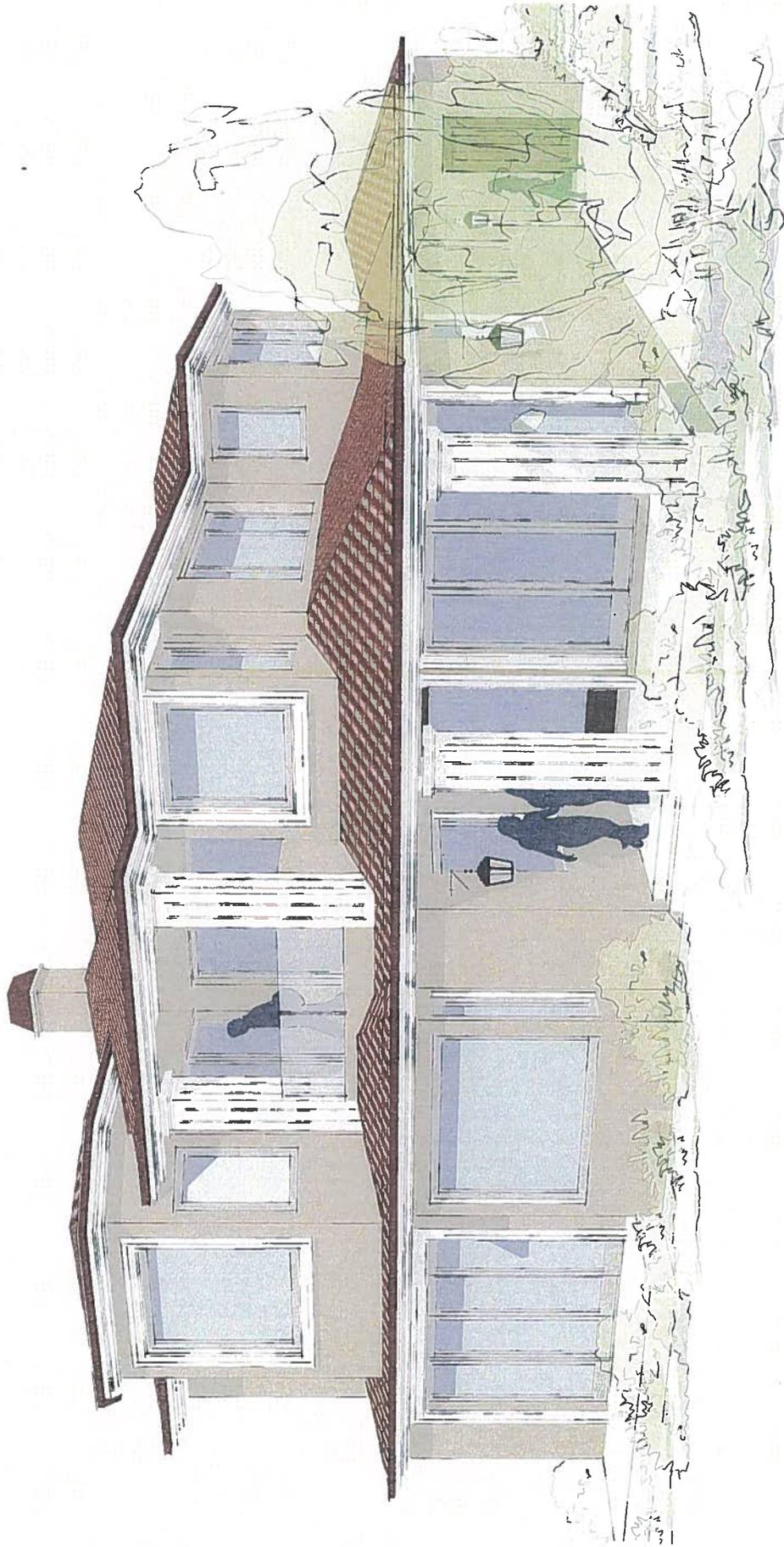


HOUCHIN RESIDENCE

OCEANSIDE, CALIFORNIA
OCTOBER 30, 2012

SITE PERSPECTIVE

teta
architecture inc



HOUCHIN RESIDENCE

OCEANSIDE, CALIFORNIA
OCTOBER 30, 2012

PERSPECTIVE

teta
architecture inc



HOUCHIN RESIDENCE

OCEANSIDE, CALIFORNIA
OCTOBER 30, 2012

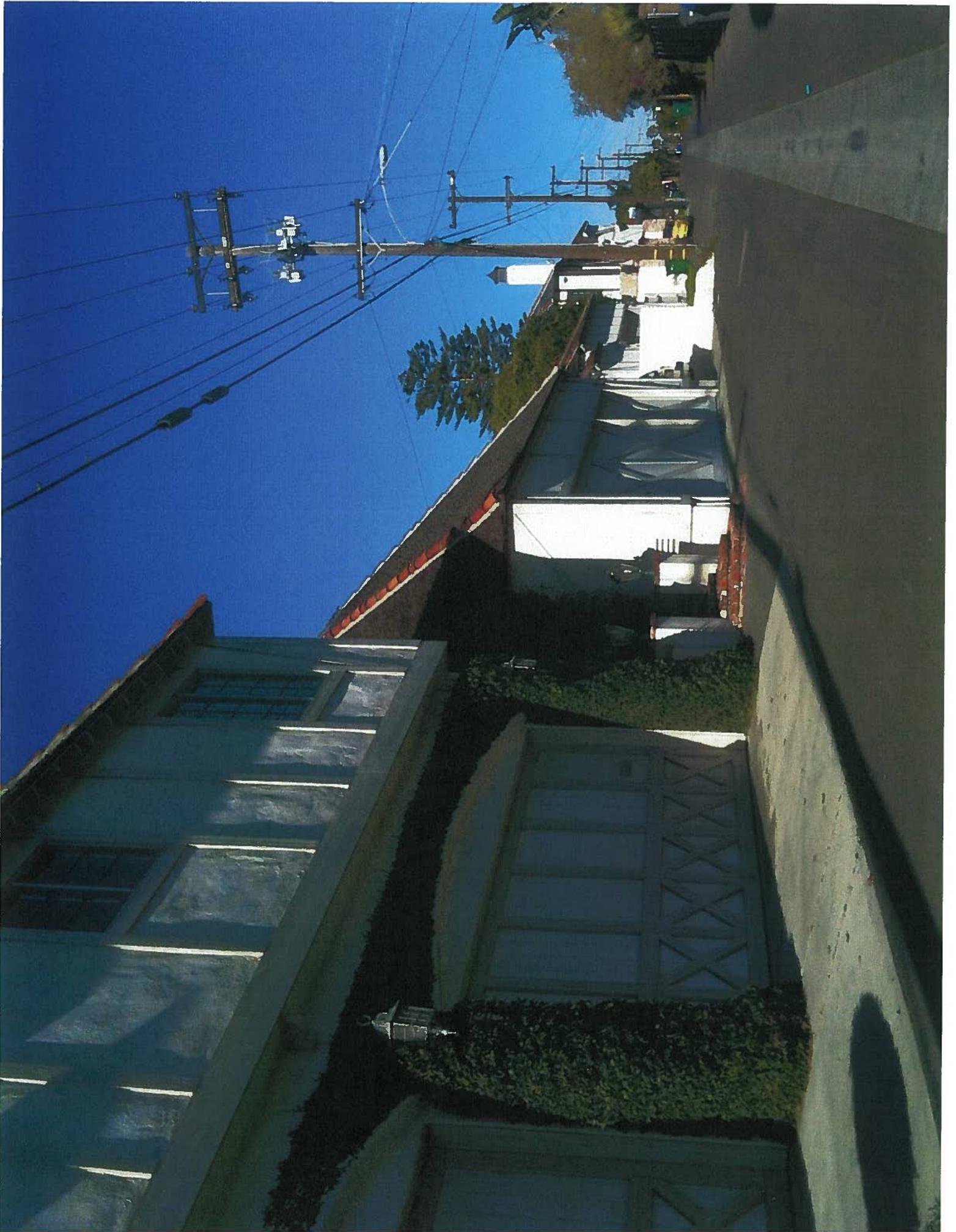
SITE PERSPECTIVE











Attachment 4



Strawberry Tree



Pink Muhly Grass



Dragon Tree



Atlas Fescue



Red Hot Poker



Western Lilac

Attachment 4



Vertical Garden Solutions Succulent Box



Application for Discretionary Permit

Development Services Department / Planning Division
(760) 435-3520
Oceanside Civic Center 300 North Coast Highway
Oceanside, California 92054-2885

STAFF USE ONLY

ACCEPTED
RECEIVED
OCT 30 2012
CITY OF OCEANSIDE
DEVELOPMENT SERVICES
BY RC
DH

Please Print or Type All Information

PART I - APPLICANT INFORMATION

1. APPLICANT STEVE & LAURA WOLCHIN		2. STATUS OWNER	
3. ADDRESS 3008 CORMIER, BAKERSFIELD, CA 93311		4. PHONE/FAX/E-mail shwolin@tcdag.com	
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing) ALLAN TETA - TETA ARCHITECTURE			
6. ADDRESS 300 CRENSHAW VILLAGE DR. #108A-336		7. PHONE/FAX/E-mail 760-208-9090 allan@tetaarchitecture.com	

HEARING

GPA

MASTER/SP.PLAN

ZONE CH.

TENT. MAP

PAR. MAP

DEV. PL.

C.U.P.

VARIANCE

COASTAL

RC12-00015

O.H.P.A.C.

PART II - PROPERTY DESCRIPTION

8. LOCATION 1922 SOUTH PACIFIC			9. SIZE
10. GENERAL PLAN R1	11. ZONING R1	12. LAND USE RESIDENTIAL	13. ASSESSOR'S PARCEL NUMBER 153-251-26
14. LATITUDE		15. LONGITUDE	

PART III - PROJECT DESCRIPTION

16. GENERAL PROJECT DESCRIPTION
WHOLE HOUSE RENOVATION & ADDITION, INVOLVING 1,904 SQ FT. OF ADDITIONAL FLOOR AREA

17. PROPOSED GENERAL PLAN R1	18. PROPOSED ZONING R1	19. PROPOSED LAND USE RES.	20. NO. UNITS 1	21. DENSITY 1
22. BUILDING SIZE 3589	23. PARKING SPACES 2	24. % LANDSCAPE 60% FRONT	25. % LOT COVERAGE or FAR 39.6%	

PART IV - ATTACHMENTS

<input checked="" type="checkbox"/> 26. DESCRIPTION/JUSTIFICATION	<input checked="" type="checkbox"/> 27. LEGAL DESCRIPTION	<input checked="" type="checkbox"/> 28. TITLE REPORT
<input checked="" type="checkbox"/> 29. NOTIFICATION MAP & LABELS	<input checked="" type="checkbox"/> 30. ENVIRONMENTAL INFO FORM	<input checked="" type="checkbox"/> 31. PLOT PLANS
<input checked="" type="checkbox"/> 32. FLOOR PLANS AND ELEVATIONS	<input checked="" type="checkbox"/> 33. CERTIFICATION OF POSTING	<input checked="" type="checkbox"/> 34. OTHER (See attachment for required reports)

PART V - SIGNATURES

SIGNATURES FROM ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).

35. APPLICANT OR REPRESENTATIVE (Print): ALLAN TETA - TETA ARCH	36. DATE 10/30/12	37. OWNER (Print):	38. DATE
Sign:		Sign:	

I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. FURTHER, I UNDERSTANDING THAT SUBMITTING FALSE STATEMENTS OR INFORMATION IN THIS APPLICATION MAY CONSTITUTE FRAUD, PUNISHABLE IN CIVIL AND CRIMINAL PROCEEDINGS.
I HAVE READ AND AGREE TO ABIDE BY THE CITY OF OCEANSIDE DEVELOPMENT SERVICES DEPARTMENT AND ECONOMIC AND COMMUNITY DEVELOPMENT DEPARTMENT POLICY NO. 2011-01/POLICY AND PROCEDURE FOR DEVELOPMENT DEPOSIT ACCOUNT ADMINISTRATION.

Houchin Renovation

Coastal Permit

Description and Justification

February 2013

This application is for the Coastal Permit for the renovation of one single family residence. The subject property consists of 60.00 feet along South Pacific Drive, south of Cassidy (APN 153-251-26). The parcel currently has a General Plan land use designation of Residential (R1), and a zoning designation of R1. Located near the St. Malo community, the parcel is bordered by single family residences to the north, south and east.

The site plan and physical design of the project as proposed is consistent with the purposes of the Zoning Ordinance and conforms to the General Plan of the City. All planned public services, utilities and public facilities can reasonably serve the proposed area.

The proposed project will consist of a minor building expansion, interior revision, and exterior deck addition, second story addition. At the first floor, the building shall maintain its westerly building envelope except for an added entry loggia to the southwest. A second story addition shall stack atop the existing structure. All materials, colors, and details of the renovation will follow an Italian aesthetic and fit quite well amongst the adjacent homes.

The proposed interior revisions include the renovation of the first floor living area. Interior finishes, flooring and lighting will be replaced with materials and details in keeping with the style of the proposed elements.

Parking

The proposal will repair and renovate the existing 2-car garage. A portion of the existing garage is non-conforming due to its location within the current setbacks. The garage footprint shall not change and roof renovation to upgrade its structural integrity and aesthetically tie into the overall house renovation will be accomplished.

Project Data

The building coverage of the proposed design is 2,410 sf, staying within required guidelines. The proposed design adds 1,891 sf of habitable space bringing the new habitable square footage to 3,566 sf. The required setbacks are as follows: 20ft- front, 5ft-side and 5ft – rear/alley. However, the front yard

setback has been adjusted as outlined below. The maximum height of the structure is 35'-0". The proposed height of the structure is well below the maximum, at 26'-6".

Front Yard Setback Modification

Pursuant to Article 17 of the 1986 Oceanside Zoning Ordinance, section 1716 and Planning Commission Resolution No. 2012-P29, the front yard setback has been modified allowing for a reduced setback less than the required 20'-0".

In compliance with the Planning Commission Policy No. 1-2012, modification of the front yard depth on 1920 South Pacific has been accomplished according to the procedure set forth in Section 1716 of the Zoning Ordinance. This modification is detailed on the Architectural Site Plan.

The majority of adjacent homes on South Pacific, between Kelly Street and Vista Way average a 13 foot front yard setback. Our request is appropriate and in keeping with the adjacent neighbors.

Architecture

The Houchin Residence project architecture is a good example of French Provencal architecture. The design aesthetic fits well within the context of neighboring homes and offers a very durable and minimal maintenance home. The proposed design will utilize a high quality of materials such as Santa Barbara Finish exterior plaster and precast surrounds. All elements of the renovation will be in keeping with this style. The project has broken down a two-story element with use of offset and lower roof elements. The deep cornice will provide interest and a deep shadow line, providing additional depth to the design.

Coastal Development Permit

The project conforms to the Local Coastal Plan including the policies of the Plan and all development conforms to the public access and recreation policies of Chapter 3 of the Coastal Act.

Conclusion

In adherence to the Local Coastal plan and the 1986 City of Oceanside Zoning Ordinance, the Houchin Renovation has been designed to best utilize the existing home and site. The project offers appropriate architectural style that not only provides interest, but is also very appropriate within its context. The site now takes full advantage of the outdoors and provides more useful outdoor space. The project allows for expansion while maintaining the architectural intent distinctive of the surrounding homes.



NOTICE OF EXEMPTION

City of Oceanside, California

Post Date:
Removal:
(180 days)

1. **APPLICANT:** Steve and Laura Houchin
2. **ADDRESS:** 11922 S. Pacific St.
3. **PHONE NUMBER:** 760-268-9090 (Allan Teta, Applicant's Representative)
4. **LEAD AGENCY:** City of Oceanside
5. **PROJECT MGR.:** Russ Cunningham
6. **PROJECT TITLE:** RC12-00015 (Houchin Addition)

7. **DESCRIPTION:** The proposed project involves renovation of an existing single-family dwelling with the addition of 1,891 square feet of enclosed floor area and a new second story on a 6,080 square-foot lot at 1922 South S. Pacific Street. Situated within the Coastal Zone and the South Oceanside Neighborhood Planning Area, the subject property bears a Local Coastal Program land use designation of Low Density Residential and a zoning designation of Single-Family Residential (R-1).

ADMINISTRATIVE DETERMINATION: Planning Division staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA), 1970. Based on this review, the Environmental Coordinator has determined that further environmental evaluation is not required because:

- The project qualifies for a Class 1 categorical exemption per CEQA Guidelines Section 15301 (e) (Existing Facilities);
- "The activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA" (Section 15061(b)(3)); or,
- The project is statutorily exempt, Section , ____ (Sections 15260-15277); or,
- The project does not constitute a "project" as defined by CEQA (Section 15378).

A handwritten signature in blue ink, appearing to read "RAC", written over a horizontal line.

Russ Cunningham, Senior Planner

Date: March 11, 2013

cc: Project file Counter file Library Posting: County Clerk \$50.00 Admin. Fee