

# AGENDA NO. 4C

City of Oceanside

## Development Services Department

### Memorandum

DATE: March 4, 2015

TO: Development Advisory Committee

FROM: Development Services Department-Planning Division

SUBJECT: Consideration of a Tentative Parcel Map (RP14-00001), Development Plan (RD14-00002), Conditional Use Permit (RCUP14-00003), and Regular Coastal Permit (RRP14-00004) for the development of a three story, three unit condominium complex with garage parking available at the ground level located at 508 North Tremont Street within the "D" (Downtown) District Sub district (D9) – 508 N. Tremont Condos

#### **RECOMMENDATION**

Staff has analyzed the proposed project for consistency with the City Local Coastal Program (LCP), the Redevelopment Zoning Ordinance, and the City's General Plan, and has determined that this project as proposed is consistent with pattern of redevelopment in the Downtown District boundaries. The project would contribute to the City's economic development and housing stock by establishing a quality multi-family development within an area that is under utilized for housing needs and would benefit from redevelopment and the addition of multi-family housing stock. Staff further determines that this project is consistent with all applicable development standards of the zoning ordinance and objectives of the Local Coastal Program. Staff recommends that the Development Advisory Committee review, comment, and forward a recommendation of approval to the Community Development Commission for final action.

#### **PROJECT DESCRIPTION AND BACKGROUND**

The proposed project is a request to demolish an existing 424-square-foot single family residence that was constructed in 1921, and allow the construction of a three unit condominium complex located at 508 North Tremont Street. The existing residence does not retain historical significance, as stated in the historical survey report dated August 8, 2014. (Attachment 1)

The project application is comprised of four components, a Tentative Parcel Map, Development Plan, Conditional Use Permit, and a Regular Coastal Permit as follows:

Tentative Parcel Map (RP14-00001) represents a request for the following:

The proposed Tentative Parcel Map would allow the development of three

condominiums units/parcels, while establishing individual ownership for each unit and common ownership for the internal drive court and exterior open spaces pursuant to Article VI of the Oceanside Subdivision Ordinance. The proposed subdivision would establish a density of 26 dwelling units per acre (3 condominium units), where the permitted density range for the Downtown (D9) District is (29-43) D.U./acre. A total of four parcels would be created as a part of the parcel map as follows: three (3) residential condominiums and one (1) common open space lot.

Development Plan RD14-00002 represents a request for the following:

To construct a 6,871-square-foot condominium complex on a 5,018-square-foot parcel pursuant to Articles 12, of the Downtown Zoning Ordinance.

The proposed site layout would be configured in a manner that provides access to the three condominium units through an internal drive/motor court located directly off of the rear alley on the east side of the property. The proposed 3-unit condominium complex would be located on a 5,018-square-foot parcel situated in the center of the block between Sportfisher Drive and Surfrider Way along North Tremont Street, within the Townsite Planning Neighborhood area. The land use designation is Redevelopment and has a zoning classification of D9 (Commercial/Residential/Single Family and Multi-family).

The proposed three unit condominium would consists of three stories with the second and third stories established for habitable space purposes. Access to the units would occur from an internal stair well within each garage and a via shared lobby elevator. The proposed condominium units would be developed as follows:

Unit	Unit Size (sq. ft.)	Bedrooms/Baths (BR/Ba)	Private Open Space (Patio/Balconies)	Enclosed Garage	Common Open Space (Patio/Balconies)
A	2,350 sq. ft.	3 BR/2.5 BA	705 sq. ft.	2-car	240 sq. ft.
B	2,408 sq. ft.	2 BR/2.5 BA	922 sq. ft.	2-car	240 sq. ft.
C	2,113 sq. ft.	2 BR/2.5 BA	762 sq. ft.	2-car	240 sq. ft.

Conditional Use Permit RCUP14-00003 represents a request for the following:

Development of a 3-unit condominium complex within the Downtown (D9) District. Pursuant to Section 1220 of the Downtown Zoning Ordinance a Conditional Use Permit is required for multi-family developments.

Regular Coastal Permit RC14-00004 represents a request for the following:

A request to develop a 3-unit condominium complex within the Local Coastal Program jurisdictional boundaries. Due to the location within the jurisdictional boundaries of the

non-appealable area of the Coastal Zone, a Regular Coastal Permit is required.

## **ANALYSIS**

### **1. General Plan Compliance**

The General Plan Land Use Map designation for the subject property is Redevelopment, which permits multi-family residential developments at a density range of (29-43) dwelling units per gross acre. Staff has evaluated the request to demolish the existing building on-site, and construct a three unit condominium complex with all common open space and drive courts being held in common ownership and managed by an association, and has determined that the proposed development is consistent with the goals and objectives of the City's General Plan as follows:

#### **A. Land Use Element**

##### **Goal 1.23: Architecture**

**Objective:** The architectural quality of all proposed projects shall enhance neighborhood and community values and City image.

**Policy A:** Architectural form, treatments, and materials shall serve to significantly improve on the visual image of the surrounding neighborhood.

Relative to existing development throughout the immediate area of the Townsite neighborhood, the proposed project would constitute a significant architectural improvement to the area. The architectural design of the complex would consist of a contemporary architectural theme, with elements similar to the eclectic mix of multi-family complexes and older single-family homes within the neighborhood.

Articulated elevations lend visual interest to the facade and reduce the massing of the development. A mix of windows, the use of earth tone colors, and the proposed balconies have been incorporated into the design to further add visual quality and interest to the proposed development and that would compliment the existing neighborhood. Development of the site should encourage redevelopment within the neighborhood and improve the overall visual image of the area.

### **2. Zoning Compliance**

The proposed project is subject to the provisions of the Downtown Zoning Ordinance Article 12, Downtown District. The proposed condominium development shall meet all of the development regulations of the underlying Downtown (D9) district per the Downtown Zoning Ordinance. Such projects are reviewed for compatibility with existing and surrounding development, as well as applicable public beach access regulations. The purpose of the (D9) district is to provide opportunities for tourist and year-round visitor-serving facilities, including permanent, transient residential, single family residential within the City's Coastal Zone.

Table 1 summarizes the proposed and applicable development regulations for the project site.

**Table 1. Section 1230 Residential Development Regulations**

<b>Lots</b>	<b>Required</b>	<b>Proposed</b>
Minimum Lot Area	5,000 square feet	5,018 square feet
Minimum Lot Width	50 feet	50.16 feet
Front Yard	10 feet	10.1 feet
Side Yard	3 feet	3.0 feet
Rear Yard on Alley	5 feet	5 feet
Maximum Height	35 feet (Habitable) 45 feet (Non-Habitable Exceptions, per Sect. 3018)*	35 feet (Habitable) 45 feet (Non-Habitable Exceptions, per Sect. 3018)

\* As listed in Section 3018, non-habitable structures may exceed the district height limit by 10-feet covering no more than 10 percent of the ground area covered by the structure to which they are accessory to.

In summary, the proposed project meets or exceeds the development requirements and the development would be consistent with the surrounding neighborhood. The project provides a three (3) unit condominium complex that would provide additional residential ownership opportunities and that encourages further redevelopment of the surrounding neighborhood.

### **3. Local Coastal Program Compliance**

The proposed project is within the Local Coastal Zone and as designed, would comply with all provisions of the Local Coastal Program (LCP). Projects within the Coastal Zone are required to meet the provisions of the adopted Local Coastal Program and the underlying Downtown district. Such projects must provide sensitive development in order to promote and achieve compatibility with surrounding development. The existing and evolving character of the neighborhood within the Coastal Zone, and site-specific design elements have been considered at length throughout the design and review of this project.

The Coastal Act requires that the visual qualities of the Coastal Zone shall be protected and that new development be sited and designed to be visually compatible with the character of surrounding areas. All improvements to the property will not impact the surrounding areas, neighbors, or coastal views from public right of ways. Development of the proposed condominium complex would be consistent with the existing neighborhood in design, materials, colors, and type, and respects adjacent properties view sheds by establishing a maximum height and finished pad that is similar to many of the adjacent multi-family and single family residences within the Townsite Neighborhood.

**ENVIRONMENTAL DETERMINATION**

Planning Division staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA), 1970. Based upon that review, staff finds that the proposed project constitutes in-fill development of property in an urbanized area that is under five acres, is consistent with the applicable zoning and general plan designation, that has no value as habitat, can be adequately served through existing utilities and public services, and that would not result in any significant effects relating to traffic, noise, air quality or water quality, and the project is categorically exempt, Class 32, "In-Fill Development Projects" (Section 15332). In the event the project is ultimately approved, the applicant will be issued a Notice of Exemption (NOE) for posting with the San Diego County Clerk-Recorder.

**PUBLIC NOTIFICATION**

Public notification of the Development Advisory Committee meeting has been provided consistent with State law and local requirements through the posting of the meeting agenda.

PREPARED BY:

  
\_\_\_\_\_  
Scott Nightingale  
Associate Planner

SUBMITTED BY:

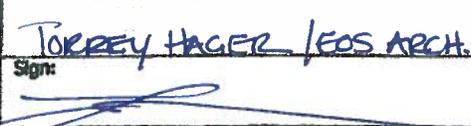
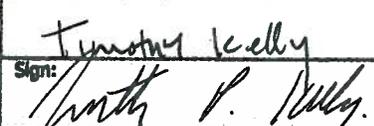
  
\_\_\_\_\_  
Jeffrey Hunt  
Interim City Planner

Attachments:

1. Project Description and Justification
2. Site plans and elevations
3. Photo Survey
4. Primary Record Survey

# Developer Deposit Account

RECEIVED

		<b>STAFF USE ONLY</b> ACCEPTED		BY 
<p><b>Application for Discretionary Permit</b>                  Development Services Department / Planning Division                  (760) 435-3520                  Oceanside Civic Center 300 North Coast Highway                  Oceanside, California 92054-2885</p>		AUG 26 2014  CITY OF OCEANSIDE DEVELOPMENT SERVICES		
Please Print or Type All Information		HEARING		
<b>PART I - APPLICANT INFORMATION</b>		GPA		
<b>1. APPLICANT</b> Rick Lacey/REMAX		MASTER/SP.PLAN		
<b>2. STATUS</b> OWNER'S REP.		ZONE CH.		
<b>3. ADDRESS</b> CARLSBAD, CA 92010 2517 VIA NARANJA		TENT. MAP		
<b>4. PHONE/FAX/E-mail</b> 760-688-6949		PAR. MAP RP14-00001		
<b>5. APPLICANT'S REPRESENTATIVE</b> (or person to be contacted for information during processing) Torrey Hager		DEV. PL 2014-00002		
<b>6. ADDRESS</b> 7542 FAY AVE		C.U.P. PCUP14-00003		
<b>7. PHONE/FAX/E-mail</b> torrey@eos curc.com		VARIANCE		
<b>PART II - PROPERTY DESCRIPTION</b>		COASTAL RRC14-00004		
<b>8. LOCATION</b> 508 N TREMONT		O.H.P.A.C.		
<b>9. SIZE</b> 5,018 SF		13. ASSESSOR'S PARCEL NUMBER 147-081-07		
<b>10. GENERAL PLAN</b> REDEVELOPMENT/DOWNTOWN		<b>11. ZONING</b> RES/MULTIFAM		<b>12. LAND USE</b>
<b>14. LATITUDE</b> N54°44'37"E		<b>15. LONGITUDE</b> N35°14'53"W		
<b>PART III - PROJECT DESCRIPTION</b>				
<b>16. GENERAL PROJECT DESCRIPTION</b> LOT 8 N BLOCK 1 OF OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP HEREOF NO 344, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JULY 1, 1885				
<b>17. PROPOSED GENERAL PLAN</b> DOWNTOWN	<b>18. PROPOSED ZONING</b> DOWNTOWN	<b>19. PROPOSED LAND USE</b> 3 UNITS	<b>20. NO. UNITS</b> 3	<b>21. DENSITY</b> 26
<b>22. BUILDING SIZE</b> 3,871 SF	<b>23. PARKING SPACES</b> 6	<b>24. % LANDSCAPE</b> 20%	<b>25. % LOT COVERAGE or FAR</b> FAR: 1.37 COVERAGE: 71	
<b>PART IV - ATTACHMENTS</b>				
<input checked="" type="checkbox"/> 26. DESCRIPTION/JUSTIFICATION	<input checked="" type="checkbox"/> 27. LEGAL DESCRIPTION	<input checked="" type="checkbox"/> 28. TITLE REPORT		
<input type="checkbox"/> 29. NOTIFICATION MAP & LABELS	<input type="checkbox"/> 30. ENVIRONMENTAL INFO FORM	<input type="checkbox"/> 31. PLOT PLANS		
<input checked="" type="checkbox"/> 32. FLOOR PLANS AND ELEVATIONS	<input type="checkbox"/> 33. CERTIFICATION OF POSTING	<input type="checkbox"/> 34. OTHER (See attachment for required reports)		
<b>PART V - SIGNATURES</b>				
SIGNATURES FROM ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).				
<b>35. APPLICANT OR REPRESENTATIVE (Print):</b> TORREY HAGER / EOS ARCH.		<b>36. DATE</b> 8/19/14	<b>37. OWNER (Print):</b> Timothy Kelly	<b>38. DATE</b> 8/20/14
Sign: 		Sign: 		
I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. FURTHER, I UNDERSTANDING THAT SUBMITTING FALSE STATEMENTS OR INFORMATION IN THIS APPLICATION MAY CONSTITUTE FRAUD, PUNISHABLE IN CIVIL AND CRIMINAL PROCEEDINGS. I HAVE READ AND AGREE TO ABIDE BY THE CITY OF OCEANSIDE DEVELOPMENT SERVICES DEPARTMENT AND ECONOMIC AND COMMUNITY DEVELOPMENT DEPARTMENT POLICY NO. 2011-01/POLICY AND PROCEDURE FOR DEVELOPMENT DEPOSIT ACCOUNT ADMINISTRATION.				



Three new condominium homes  
Playa Capris Villas

August 20<sup>th</sup>, 2014

Located at:  
508 North Tremont Street  
Oceanside, California

APN #147-081-07

### **Description and Justification**

Parcel Map, Development Plan, Regular Coastal Permit, Conditional Use Permit

### **Introduction**

This application is for the development of a three unit three story condominium complex on the East side of North Tremont Street between Surfrider Way and Sportfisher Drive on an existing abandoned lot with an existing house to be demolished located at 508 North Tremont Street. The proposed homes will have individual two car garage parking on the first floor, with the living spaces located on the second and third floors accessed via an elevator lobby. The proposed three units will consist of 2,350 square feet for Unit A, with three bedrooms two and one half baths, 2,408 sf for Unit B with three bedrooms three baths and 2,113 sf for Unit C with three bedrooms three baths. Each home will have private roof top decks and enlarged patio/ balconies. The discretionary approvals necessary for this project include a Parcel Map, a Development Plan, a Regular Coastal Permit and a Conditional Use Permit. A conditional use permit is required for multi-family dwellings in the D-9 zone.

### **Parcel Map and Development Plan**

As noted above, this is a residential project containing three townhome style condominium homes. The average unit size is 2,290 sf. The project will include amenities such as private rooftop terraces, balconies on the second floor and exterior outdoor patios at the third floor.

The project provides high quality design, materials and an open floor plan as well as design elements which bring natural light into the interior spaces of the condominium homes through the use of skylights and large windows.

### **Access and Parking**

The Tremont Custom condominiums project meets the parking requirements for this zone and type of project. One two car garage has been provided for each unit. Entrance to the garages will be taken directly from the alley.



**Architecture**

The architecture for the proposed project is of a California modern style. Glass rails, integral color precast concrete trim and columns, metal standing seam roof, modern glass/ painted wood doors and balconies lend visual interest to the façade and create a sense of home which helps to create a community feel for the surrounding neighborhood. The front entry approach has been delineated with landscape a beautiful simple entry with benches, and the parking has been screened with modern horizontal wood slat screening and vertical planting walls.

The external appearance/building elevations have been well designed, with particular care taken in the selection of materials and proportioning of the façade elements.

The highest roof structure is 45'-5", which exceeds than the 35-foot maximum height as permitted for 10% of the roofed area (for stair and storage towers) to provide access to the roof. Compliance to this requirement has been demonstrated in the zoning compliance plans in the drawings submitted to the City of Oceanside. The average structure height is 35'-0", in conformance with the 35'-0" allowable. The area which exceeds the height limit is for stair access and storage has previously been approved for projects of similar use and similar zone in the City of Oceanside. The building height has been measured from the lowest of existing or proposed grades. Finish grade will be slightly modified to provide level parking, pedestrian access and accommodate site drainage for the condominium homes.

Unit	Unit Size (sq. ft.)	Bedrooms / Baths	Private Open Space*	Enclosed Garage	Common Open Space
A	2,350 sf livable	3 BR / 2.5 BA	705 sf	2-car	240 sf
B	2,408 sf livable	2 BR / 2.5 BA	922 sf	2-car	240 sf
C	2,113 sf livable	2 BR / 2.5 BA	762 sf	2-car	240 sf

\* Includes rooftop decks and patios measuring a minimum of 6'-0 in any direction, additional balconies have also been provided

**Landscape Concept Plan**



**Summary**

The 508 North Tremont Street Tremont custom condominium homes will provide an attractive, well-designed project in a location that will enhance the long-term general well-being of the neighborhood and the community. Your favorable consideration of this project is requested.

Sincerely,

Jennifer Bolyn  
Principal Architect







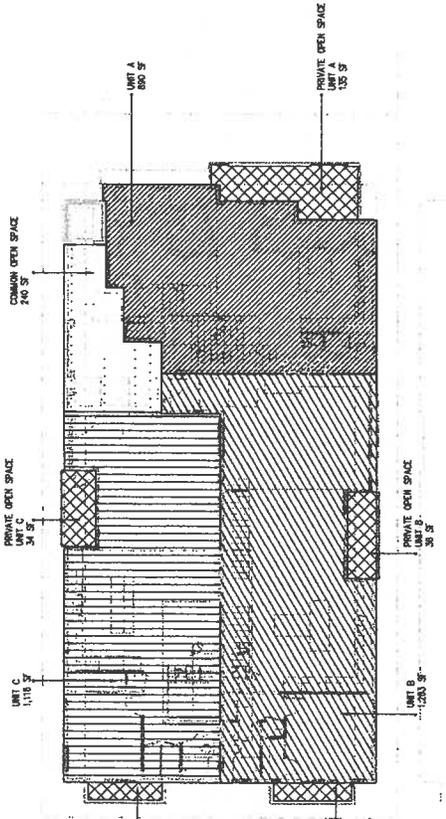
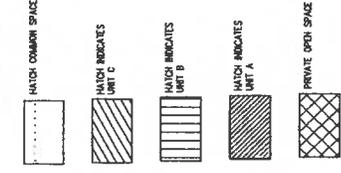
**AREA SUMMARY CALCULATIONS**

SECOND FLOOR Livable SPACE:	1,400 SF
THIRD FLOOR Livable SPACE:	113 SF
ROOF DECK Livable SPACE:	2,403 SF
TOTAL FLOOR AREA:	4,916 SF
PRIVATE OUTDOOR LIVING SPACE PROVIDED:	48 SF
PRIVATE OUTDOOR LIVING SPACE REQUIRED:	700 SF
UNLBLE:	1,666 SF
SECOND FLOOR Livable SPACE:	1,383 SF
THIRD FLOOR Livable SPACE:	124 SF
ROOF DECK Livable SPACE:	2,472 SF
TOTAL FLOOR AREA:	4,979 SF
PRIVATE OUTDOOR LIVING SPACE PROVIDED:	48 SF
PRIVATE OUTDOOR LIVING SPACE REQUIRED:	922 SF
UNLBLE:	690 SF
SECOND FLOOR Livable SPACE:	1,118 SF
THIRD FLOOR Livable SPACE:	134 SF
ROOF DECK Livable SPACE:	2,172 SF
TOTAL FLOOR AREA:	48 SF
PRIVATE OUTDOOR LIVING SPACE PROVIDED:	782 SF
PRIVATE OUTDOOR LIVING SPACE REQUIRED:	

**OPEN SPACE REQUIREMENTS**

TOTAL OPEN SPACE REQUIRED: 200 SF PER UNIT x 3 = 600 SF
TOTAL OPEN SPACE PROVIDED: 1,833 SF
COMMON OPEN SPACE: 240 SF
OPEN SPACE PRELIM:
UNIT A:
PRIVATE:
SECOND FLOOR: 135 SF
THIRD FLOOR: 91 SF
ROOF DECK: 435 SF
TOTAL OPEN SPACE: 700 SF
UNIT B:
PRIVATE:
SECOND FLOOR: 121 SF
THIRD FLOOR: 70 SF
ROOF DECK: 822 SF
TOTAL OPEN SPACE: 1,013 SF
UNIT C:
PRIVATE:
SECOND FLOOR: 171 SF
THIRD FLOOR: 86 SF
ROOF DECK: 555 SF
TOTAL OPEN SPACE: 792 SF

**HATCHING NOTE**



**THIRD FLOOR AREA CALCULATIONS**

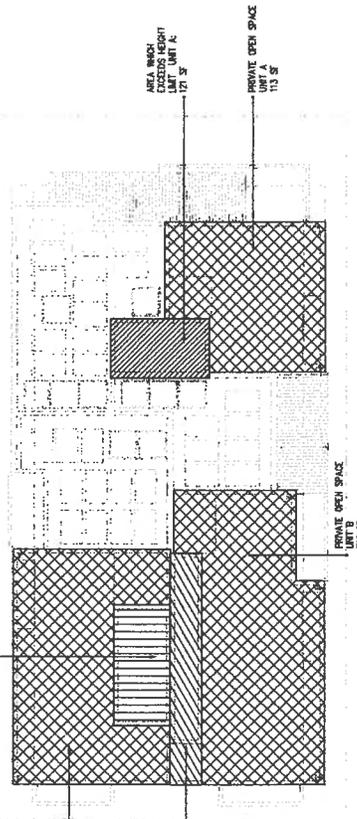
SCALE: 1/8" = 1'-0"

**AREA SUMMARY**

UNIT A:	890 SF
UNIT B:	1,093 SF
UNIT C:	1,118 SF
PRIVATE OPEN SPACE UNIT A:	135 SF
PRIVATE OPEN SPACE UNIT B:	91 SF
PRIVATE OPEN SPACE UNIT C:	86 SF

**HEIGHT LIMIT COMPLIANCE**

TOTAL AREA EXCEEDING HEIGHT LIMIT UNIT A:	113 SF
TOTAL AREA EXCEEDING HEIGHT LIMIT UNIT B:	74 SF
TOTAL AREA EXCEEDING HEIGHT LIMIT UNIT C:	34 SF
TOTAL AREA EXCEEDING HEIGHT LIMIT:	221 SF
TOTAL BUILDING ROOF AREA:	3,890 SF
100% ALLOWABLE AREA TO EXCEED HEIGHT LIMIT:	389 SF
ACTUAL % OF AREA TO EXCEED HEIGHT LIMIT:	5.7%



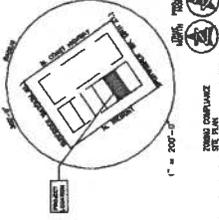
**ROOF DECK AREA CALCULATIONS**

SCALE: 1/8" = 1'-0"

**AREA SUMMARY**

PRIVATE OPEN SPACE UNIT A:	135 SF
PRIVATE OPEN SPACE UNIT B:	91 SF
PRIVATE OPEN SPACE UNIT C:	86 SF

Prepared by: **EOS ARCHITECTURE, INC.**  
11400 S. 26th St., Suite 100  
Tremont, CA 92054  
Tel: (619) 451-1800  
Fax: (619) 451-1807  
Project Address: 508 N. TREMONT ST., TREMONT, CA 92054  
Project Name: TREMONT CUSTOM CONDOMINIUMS  
Date: 08/20/14  
Reviewed by: [Signature]  
Title: [Signature]



REVISIONS

REVISION 14:	DATE: 08/20/14
REVISION 13:	DATE: 08/20/14
REVISION 12:	DATE: 08/20/14
REVISION 11:	DATE: 08/20/14
REVISION 10:	DATE: 08/20/14
REVISION 09:	DATE: 08/20/14
REVISION 08:	DATE: 08/20/14
REVISION 07:	DATE: 08/20/14
REVISION 06:	DATE: 08/20/14
REVISION 05:	DATE: 08/20/14
REVISION 04:	DATE: 08/20/14
REVISION 03:	DATE: 08/20/14
REVISION 02:	DATE: 08/20/14
REVISION 01:	DATE: 08/20/14
ORIGINAL:	DATE: 08/20/14

NO.	DATE	REVISIONS
1	08/13/14	ISSUE FOR PERMITS

Project Name: TREMONT CUSTOM  
 147-081-07  
 LOT 8 IN BLOCK 1 OF OCEANSIDE

Sheet Name: SITE PLAN  
 Sheet: SD1  
 Of: 7

**SITE PLAN NOTES**

- 1 LANDSCAPE PER LANDSCAPE PLANS
- 2 COLORED CONCRETE PAVERS PER LANDSCAPE PLANS
- 3 NEW DRIVEWAY WITH GRANULOSITE PAVEMENT
- 4 NEW WATER METERS PER CIVIL PLANS
- 5 SETBACK LINE TYP.
- 6 PROPERTY LINE, TYP.
- 7 LINE OF EXISTING BUILDING AND SIED TO BE REMOVED
- 8 SIDEWALK CURB AND CUTTER IN PUBLIC ROW PER CIVIL PLANS
- 9 ADD ETCHED CONCRETE WALKWAY
- 10 EXISTING WATER METERS PER CIVIL
- 11 LINE OF SENDER PER CIVIL PLANS
- 12 NEW LINE OF WATER PER CIVIL PLANS
- 13 NEW FENCE PER LANDSCAPE DRAWINGS
- 14 NEW RETAINING WALL PER CIVIL DRAWINGS
- 15 LINE OF PROPOSED BUILDING
- 16 LINE OF BUILDING COVERAGE
- 17 TREE TO BE REMOVED, TYP.
- 18 ADJACENT PROPERTY, MAP

**PROJECT DESCRIPTION:** THIS RESIDENTIAL CONDOMINIUM BUILDING, NEW LANDSCAPING AND AT GRADE PARKING.

**CONSTRUCTION TYPE:** TYPE V 1-HOUR, FULLY SPRINKLERED

**OCCUPANCY:** 1-1 SINGLE STORIES

**EXISTING ZONING:** DOWNTOWN

**PROPOSED ZONING:** REDEVELOPMENT

**EXISTING GENERAL SUPER-DISTRICT:** 9

**PROPOSED GENERAL SUPER-DISTRICT:** 9

**REDEVELOPMENT SUPER-DISTRICT:** 9

**TOTAL SITE SQUARE FOOTAGE:** 5,018 SF / 0.115 ACRES

**NUMBER OF BUILDING UNITS:** 3

**ACTUAL DENSITY:** 24.0 DWELLING UNITS PER 1 ACRE

**FAR:** 1.17 ACTUAL (2.40 PERMITTED)

**LANDSCAPE PAVING:** 24.38 (1,318 SF) 2.38 (119 SF)

**STRACKS:** FRONT: 15'-0" SIDE: 3'-0" REAR: 10'-0"

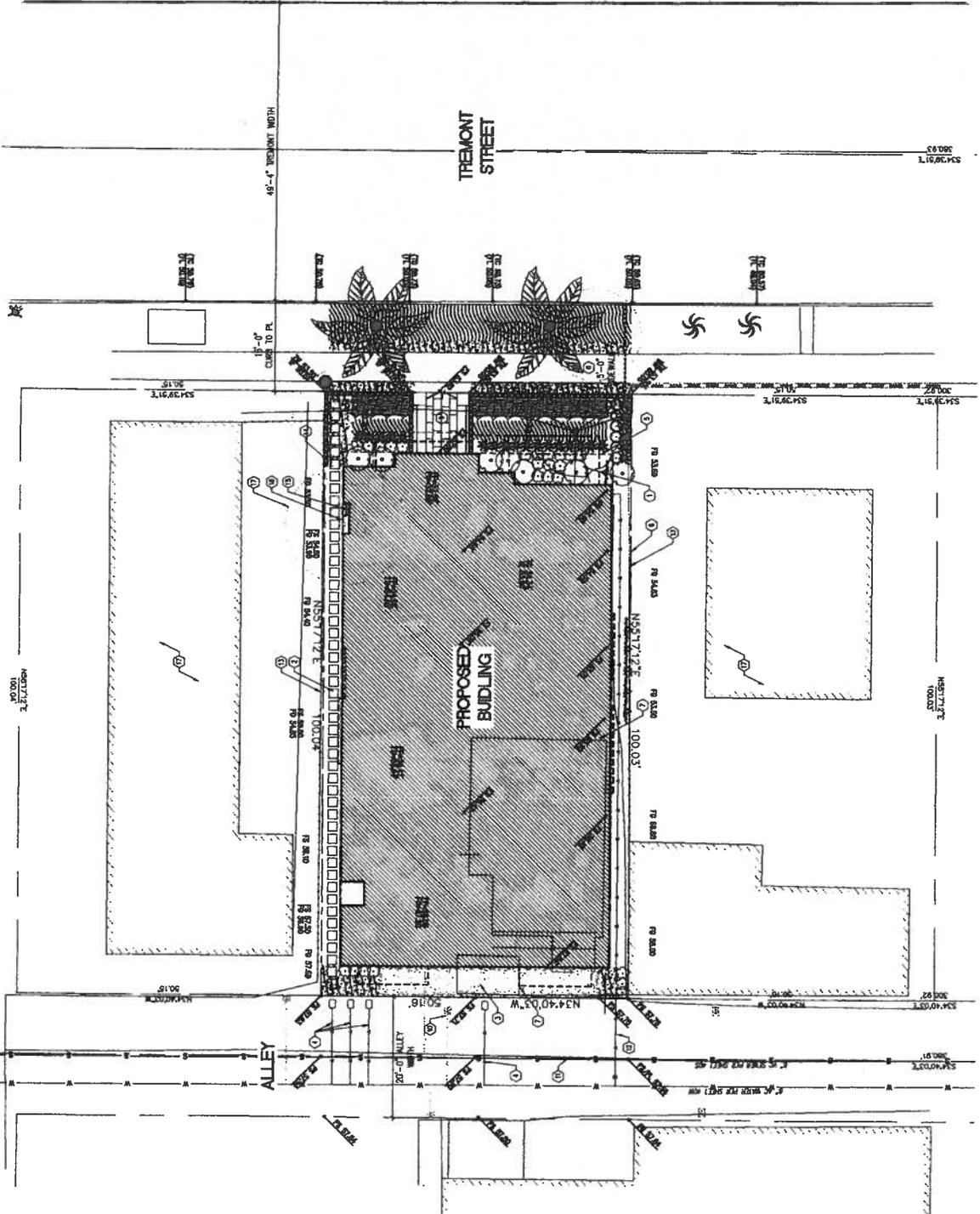
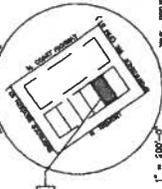
**OFF STREET PARKING REQUIRED:** 6 TOTAL

**OFF STREET PARKING PROVIDED:** 6 TOTAL

**TOTAL PARKING AREA:** 1,324 SF

**NOTE**  
 SET ZONING COMPLIANCE PLANS FOR SITE AREA CALCULATION

Prepared by: [Name]  
 Date: 08/13/14  
 Project Address: 508 N TREMONT ST, OCEANSIDE, CA 92054



PROJECT NORTH  
 SCALE 1/8"=1'-0"  
 SHEET 1 OF 7

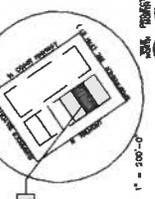
**SITE PLAN**



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	08/20/14
2	REVISIONS	
3	REVISIONS	
4	REVISIONS	
5	REVISIONS	
6	REVISIONS	
7	REVISIONS	
8	REVISIONS	
9	REVISIONS	
10	REVISIONS	

Project Name:	FLAMING
Date:	08/20/14
Revised By:	
Drawn:	
Job No.:	14-18
Sheet Name:	SECOND FLOOR PLAN
Scale:	A1.2

Prepared By: [Name]  
 Address: [Address]  
 Phone: [Phone]  
 Email: [Email]  
 Project Address: [Address]  
 Project Name: [Name]  
 APR: [Date]  
 LEGAL: [Text]  
 LOT 8 IN BLOCK 1 OF [Text]



**NOTE**  
 RW: INDICATES  
 RECORDED WINDOW.

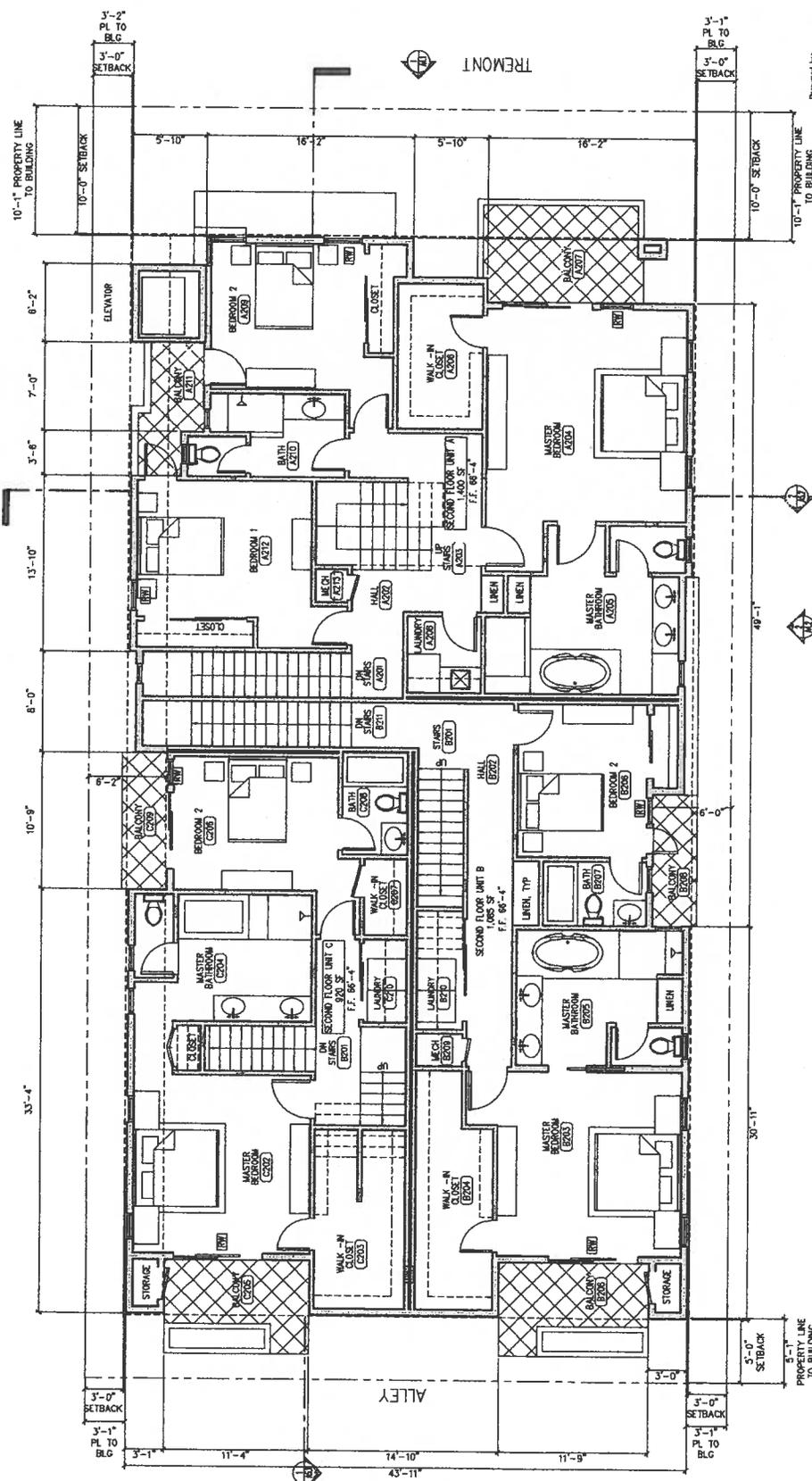
**NOTE**  
 SEE SHEET S01 FOR SITE  
 PLAN INFORMATION.

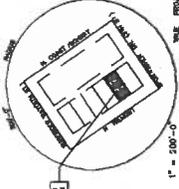
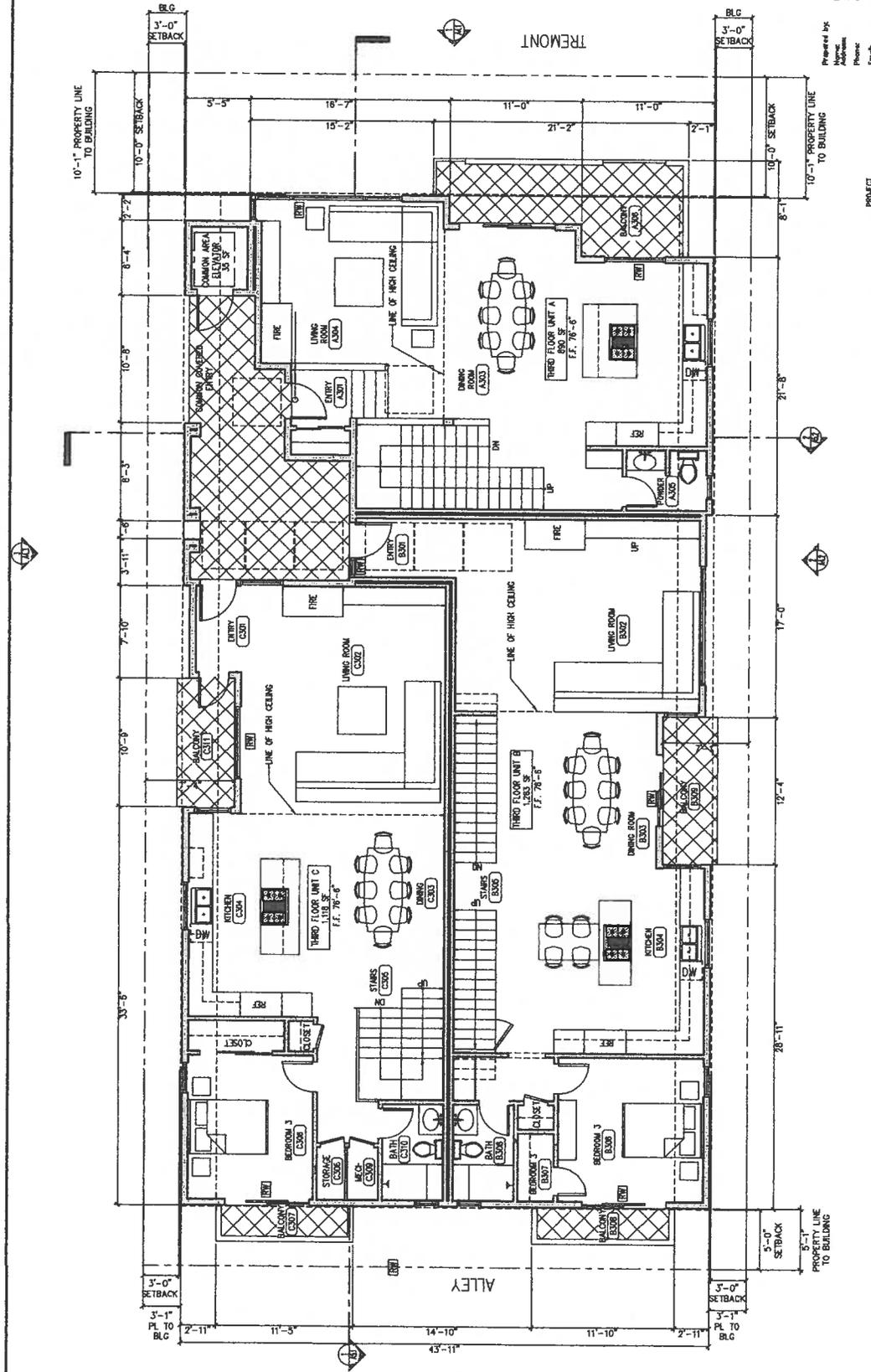
**NOTE**  
 SEE SHEET 2.1 TO 2.4 FOR  
 AREA CALCULATION.



SCALE: 1/4"=1'-0"

**SECOND FLOOR PLAN**





Prepared by:  
 Name: [Name]  
 Title: [Title]  
 Date: [Date]

Project Name: TREMONT CUSTOM CONDOMINIUMS  
 Project Address: 508 N TREMONT ST., OCEANSIDE, CA 92054  
 APN: 147-081-07  
 LEGAL: LOT 8 B, BLOCK 1 OF OCEANSIDE

Scale: 1/4" = 1'-0"

Third Floor Plan

10'-1" PROPERTY LINE TO BUILDING

10'-0" SETBACK

3'-0" SETBACK

10'-0" SETBACK

**NOTE**  
 RW : INDICATES REQUIRED #/NO. OF

**NOTE**  
 SEE SHEET S01 FOR SITE PLAN INFORMATION

**NOTE**  
 SEE SHEET Z.1 TO Z.4 FOR AREA CALCULATION

**NOTE**  
 SEE SHEET Z.1 TO Z.4 FOR AREA CALCULATION

**NOTE**  
 SEE SHEET Z.1 TO Z.4 FOR AREA CALCULATION

**NOTE**  
 SEE SHEET Z.1 TO Z.4 FOR AREA CALCULATION

**NOTE**  
 SEE SHEET Z.1 TO Z.4 FOR AREA CALCULATION

**NOTE**  
 SEE SHEET Z.1 TO Z.4 FOR AREA CALCULATION

**NOTE**  
 SEE SHEET Z.1 TO Z.4 FOR AREA CALCULATION

**NOTE**  
 SEE SHEET Z.1 TO Z.4 FOR AREA CALCULATION

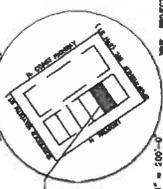
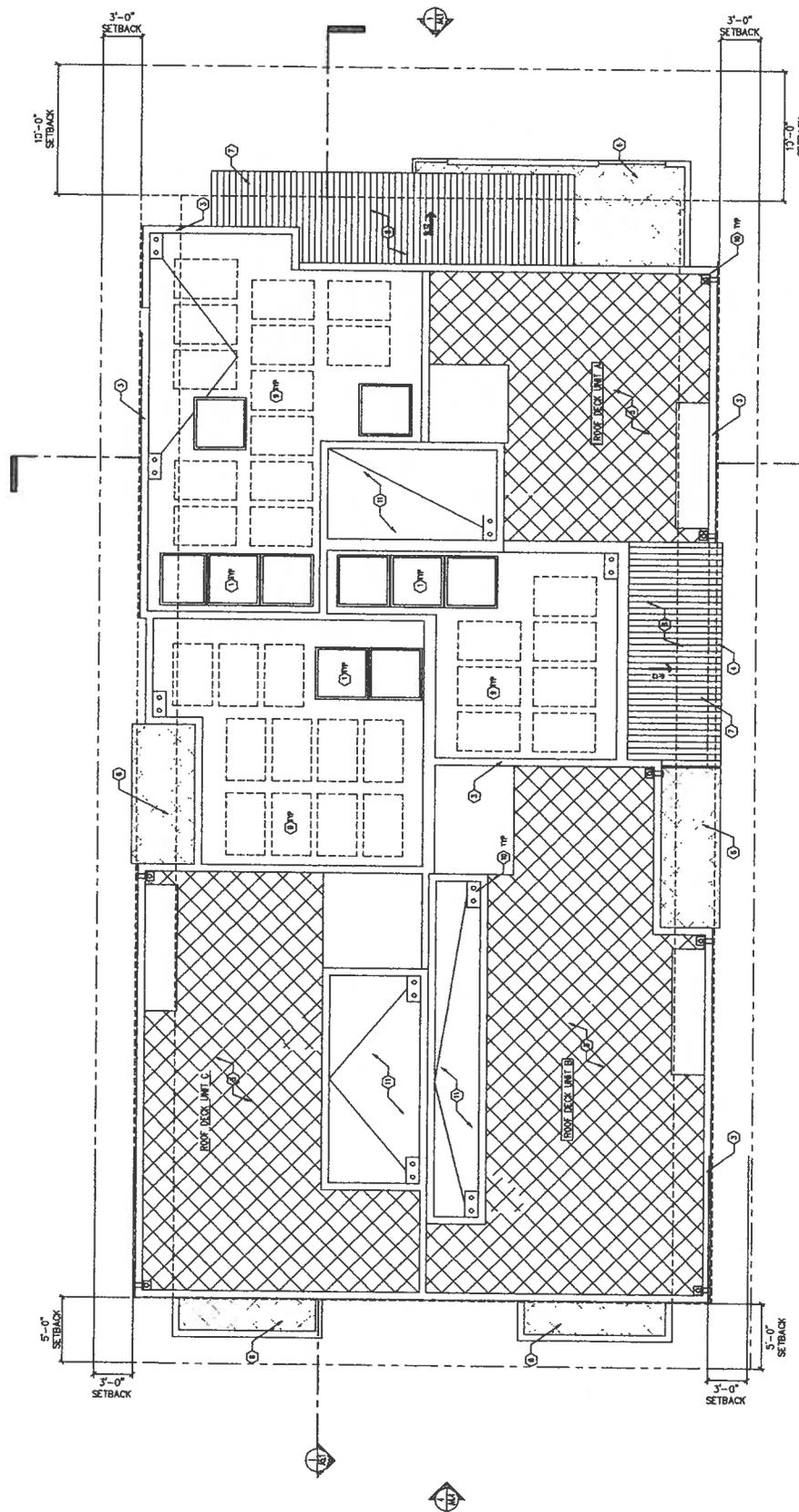
**NOTE**  
 SEE SHEET Z.1 TO Z.4 FOR AREA CALCULATION

**NOTE**  
 SEE SHEET Z.1 TO Z.4 FOR AREA CALCULATION



Presented by:  
 Name: TREMONT CUSTOM CONDOMINIUMS  
 Phone: (760) 434-0816  
 Email: TREMONT@TREMONT.COM  
 Project Address: 508 N TREMONT ST., OCEANSIDE, CA 92054  
 APN: 117-081-07  
 LEGAL: LOT 8 B, BLOCK 1 OF OCEANSIDE

REVISION NO.	DATE	DESCRIPTION
1	08/29/14	ISSUE FOR PERMITS
2	08/29/14	ISSUE FOR PERMITS
3	08/29/14	ISSUE FOR PERMITS
4	08/29/14	ISSUE FOR PERMITS
5	08/29/14	ISSUE FOR PERMITS
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49	08/29/14	ISSUE FOR PERMITS
50	08/29/14	ISSUE FOR PERMITS



1" = 200'-0"  
 SHEET 33 OF 33

**NOTE**  
 SEE SHEET S01 FOR SITE PLAY INFORMATION

**NOTE**  
 SEE SHEET Z1/Z1A FOR AREA CALCULATION

**ROOF PLAN NOTES**

- 1 SKYLIGHT
- 2 BUILT-UP ROOFING
- 3 PARAPETS PER ELEVATIONS/SECTIONS
- 4 WALLS BELOW PER FLOOR PLANS
- 5 ROOFTOP DECK
- 6 BALCONIES BELOW PER FLOOR PLANS
- 7 ROOF BELOW
- 8 STANDING SEAM METAL ROOF
- 9 SOLAR PANEL ARRAY
- 10 DECK DRAINS, TYP.
- 11 STAIR TOWERS W/GLASS

**ROOF PLAN**

NO.	DATE	DESCRIPTION
1	08/20/14	ISSUED FOR PERMITS
2	08/20/14	ISSUED FOR PERMITS
3	08/20/14	ISSUED FOR PERMITS
4	08/20/14	ISSUED FOR PERMITS
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18	08/20/14	ISSUED FOR PERMITS
19	08/20/14	ISSUED FOR PERMITS
20	08/20/14	ISSUED FOR PERMITS

Prepared by: **PLANNING**  
 Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_  
 Email: \_\_\_\_\_  
 Project Name: TREMONT CUSTOM CONDOMINIUMS  
 APN: 147-081-07  
 LEGAL: LOT 8 IN BLOCK 1 OF OCEANSIDE

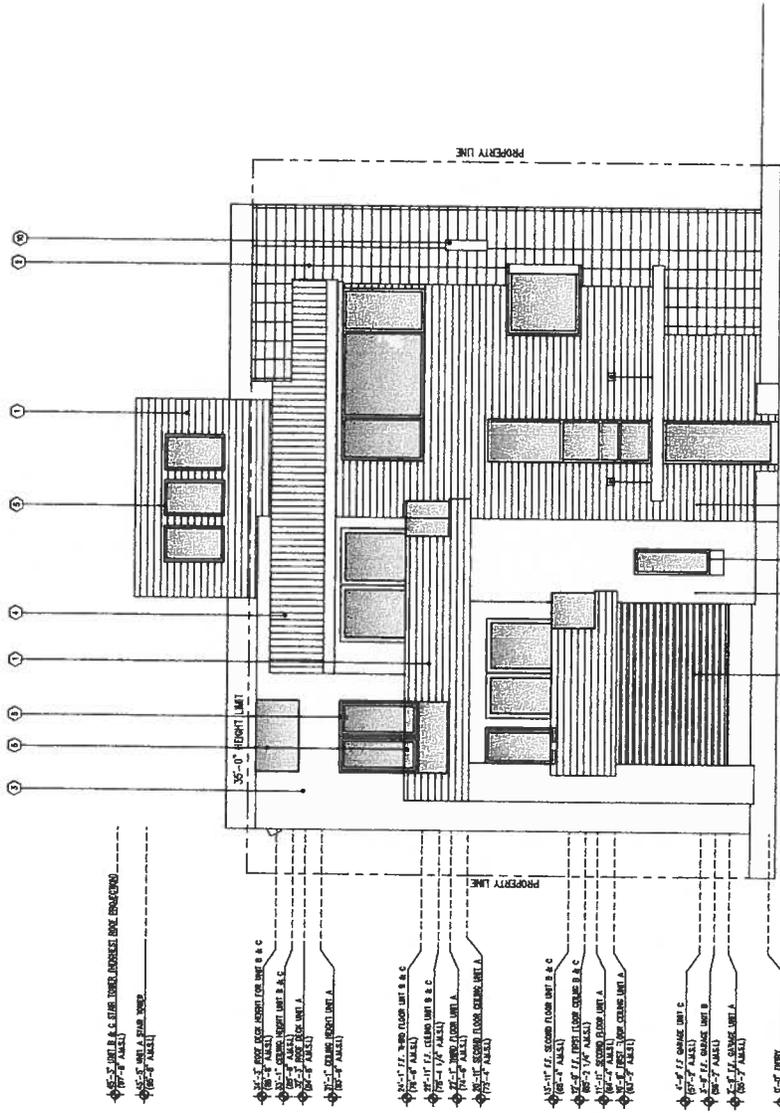
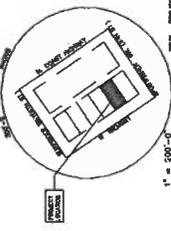
Sheet Name: **EXTERIOR ELEVATIONS**  
 Sheet No.: **A4.1**  
 Date: 08/20/14  
 Project No.: \_\_\_\_\_  
 Job No.: \_\_\_\_\_

- ELEVATION NOTES**
- ① HARD SIDING
  - ② PORCELAIN TILE WALL CLADDING
  - ③ STUCCO
  - ④ STANDING SEAM METAL ROOF
  - ⑤ ALUMINUM WINDOWS
  - ⑥ THIN GRADE CUSTOM WOOD SCREEN
  - ⑦ SS CABLE RAIL
  - ⑧ GLASS RAIL
  - ⑨ SS CABLE FOR VERTICAL PLANTING WALL
  - ⑩ DECORATIVE LIGHT FIXTURE
  - ⑪ GARAGE DOOR PER PLAN
  - ⑫ WOOD GATE PER PLAN

**FIRE DEPARTMENT NOTES**  
 1) IN ACCORDANCE WITH UNIFORM FIRE CODE SECTION 801.1.4.4 APPROVED ADDRESSES FOR COMMERCIAL, INDUSTRIAL AND RESIDENTIAL OCCUPANCES SHALL BE PLACED IN THE CENTER OF THE FRONT ELEVATION OF THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. BUILDINGS AND MULTIFAMILY DWELLINGS REQUIRE 6' ADDRESS NUMBERS.

Prepared by: \_\_\_\_\_  
 Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_  
 Email: \_\_\_\_\_  
 Project Name: TREMONT CUSTOM CONDOMINIUMS  
 APN: 147-081-07  
 LEGAL: LOT 8 IN BLOCK 1 OF OCEANSIDE

REVISION	DATE	DESCRIPTION
1	08/20/14	ISSUED FOR PERMITS
2	08/20/14	ISSUED FOR PERMITS
3	08/20/14	ISSUED FOR PERMITS
4	08/20/14	ISSUED FOR PERMITS
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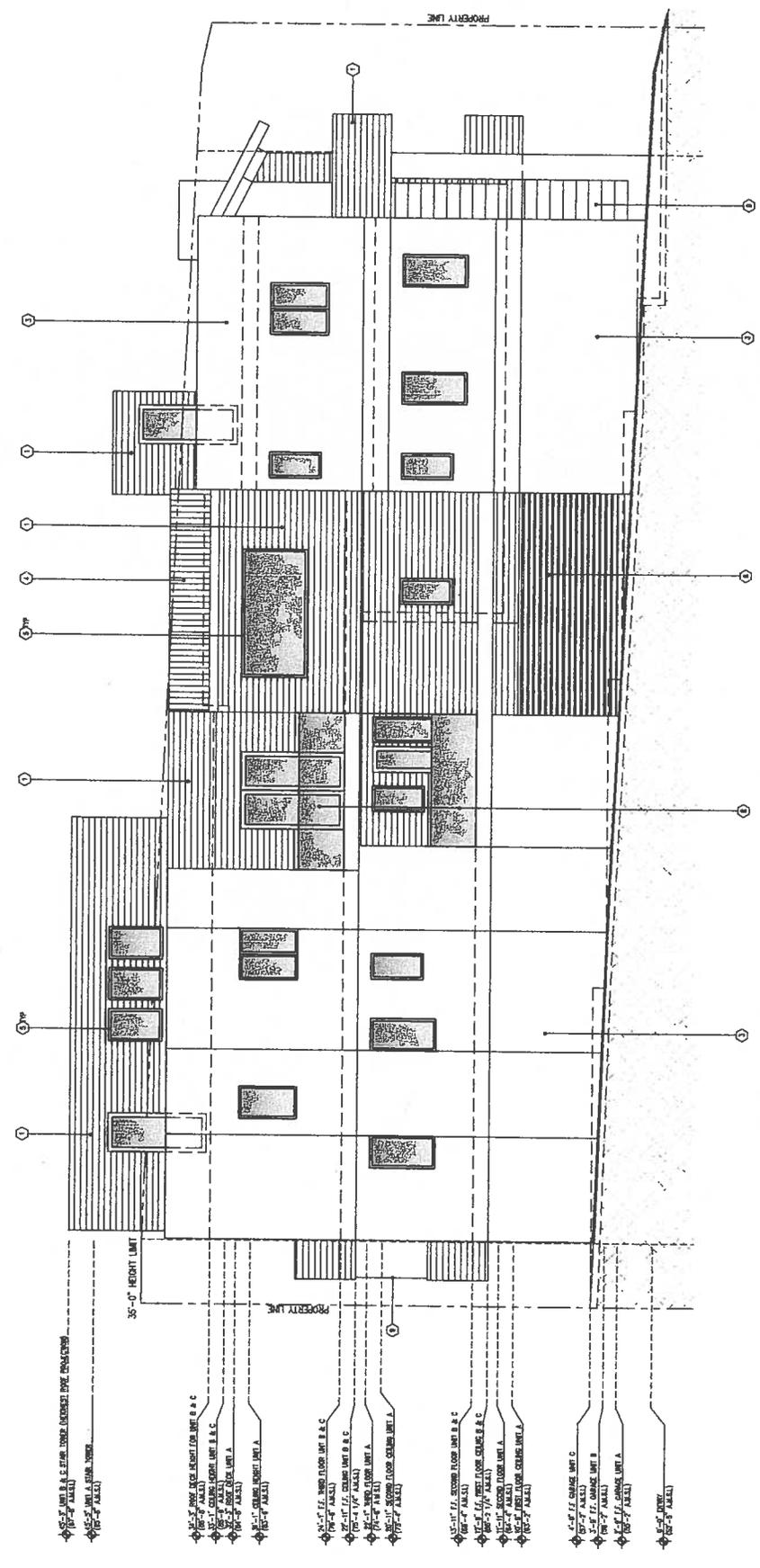


**1 WEST FRONT ELEVATION**

SCALE 1/4"=1'-0"

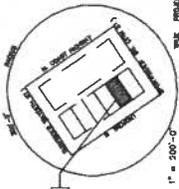
NO.	DATE	REVISIONS
1	08/20/14	ISSUE FOR PERMITTING

Project: PLUMBING  
 Date: 08/20/14  
 Drawn: JG  
 Job No.: 14-118  
 Sheet Name: EXTERIOR ELEVATIONS  
 Sheet: A4.2



**2 NORTH SIDE ELEVATION**

SCALE: 1/4" = 1'-0"  
 Prepared by:  
 Name: JAMES J. GIBSON  
 Title: ARCHITECT  
 Phone: (415) 524-1000  
 Email: jgibson@eosarch.com  
 Project Address: 508 N. TREMONT ST., OCEANSIDE, CA 92054  
 Project Name: TREMONT CUSTOM CONDOMINIUMS  
 APN: 147-081-07  
 LEGAL: LOT 8 IN BLOCK 1 OF OCEANVIEW



**FIRE DEPARTMENT NOTES:**  
 1) IN ACCORDANCE WITH UNIFORM FIRE CODE SECTION 501.4.4 APPROVED ADDRESSES FOR COMMERCIAL BUILDINGS SHALL BE PLACED ON THE STRUCTURE IN SUCH A POSITION AS TO BE PLAINLY VISIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.  
 2) COMMERCIAL BUILDINGS AND MULTIFAMILY DWELLINGS REQUIRE 6" ADDRESS NUMBERS.

**ELEVATION NOTES**

①	HARD SINK	⑧	SS CABLE RAIL
②	PORCELAIN TILE WALL CLADDING	⑨	GLASS RAIL
③	STUCCO	⑩	SS CABLE FOR VERTICAL PLANTING WALL
④	STANDING SEAM METAL ROOF	⑪	DECORATIVE LIGHT FEATURE
⑤	ALUMINUM WINDOWS	⑫	CARAGE DOOR PER PLAN
⑥	TRIM GRADE CUSTOM WOOD SCREEN	⑬	WOOD GATE PER PLAN













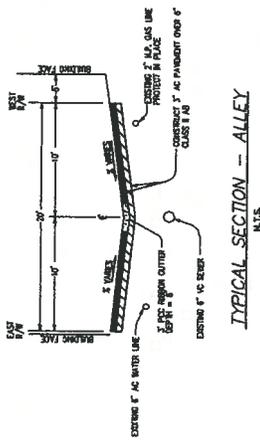


**TREMONT CUSTOM CONDOMINIUMS**  
**508 North Tremont Street, Oceanside, CA**

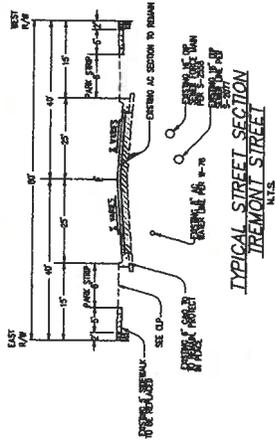
DATE	
REVISION	
DESCRIPTION	
BY	
CHECKED	
DATE	
SHEET TITLE	

PRELIMINARY  
 GRADING AND  
 DEVELOPMENT  
 PLAN

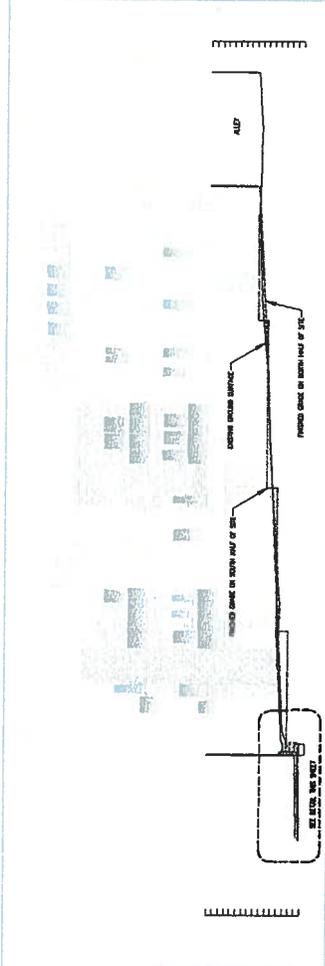
SHEET NUMBER  
**PGP.2**



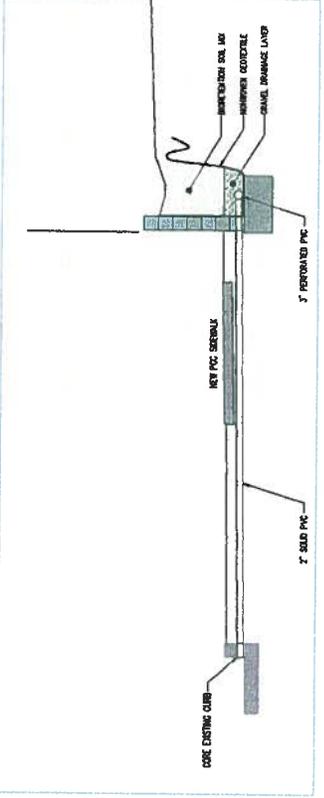
**TYPICAL SECTION -- ALLEY**  
 N.T.S.



**TYPICAL STREET SECTION  
 TREMONT STREET**  
 N.T.S.



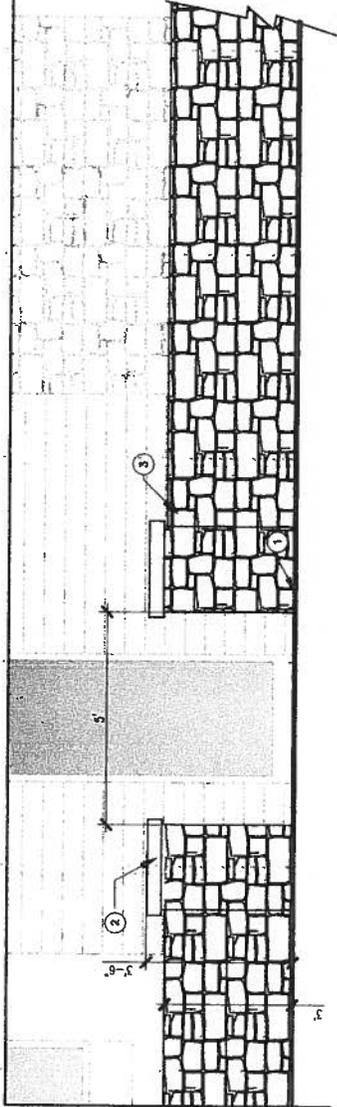
**SITE CROSS SECTION A-A'**  
 SCALE 1 INCH = 10 FEET



**FLOW-THROUGH PLANTER CROSS SECTION**  
 NO SCALE







DETAIL LEGEND

- ① FINISHED GRADE
- ② PROPOSED 3'-6" HIGH CMU WALL AND CAP W/ STONE VENEER. COLOR & TEXTURE TO MATCH ARCHITECTURE
- ③ PROPOSED 3' HIGH CMU WALL AND STONE VENEER. COLOR & TEXTURE TO MATCH ARCHITECTURE

NOTE:  
ALL WOOD IS TO BE STAINED. COLOR TO MATCH ARCHITECTURE  
SEE NOTE ON WOOD FENCE DETAIL FOR NON-COMBUSTIBLE WOOD FENCEGATE CONSTRUCTION MATERIAL

A-1 SECTION OF ENTRANCE FACING NORTHEAST

SCALE: 3/4" = 1'-0"

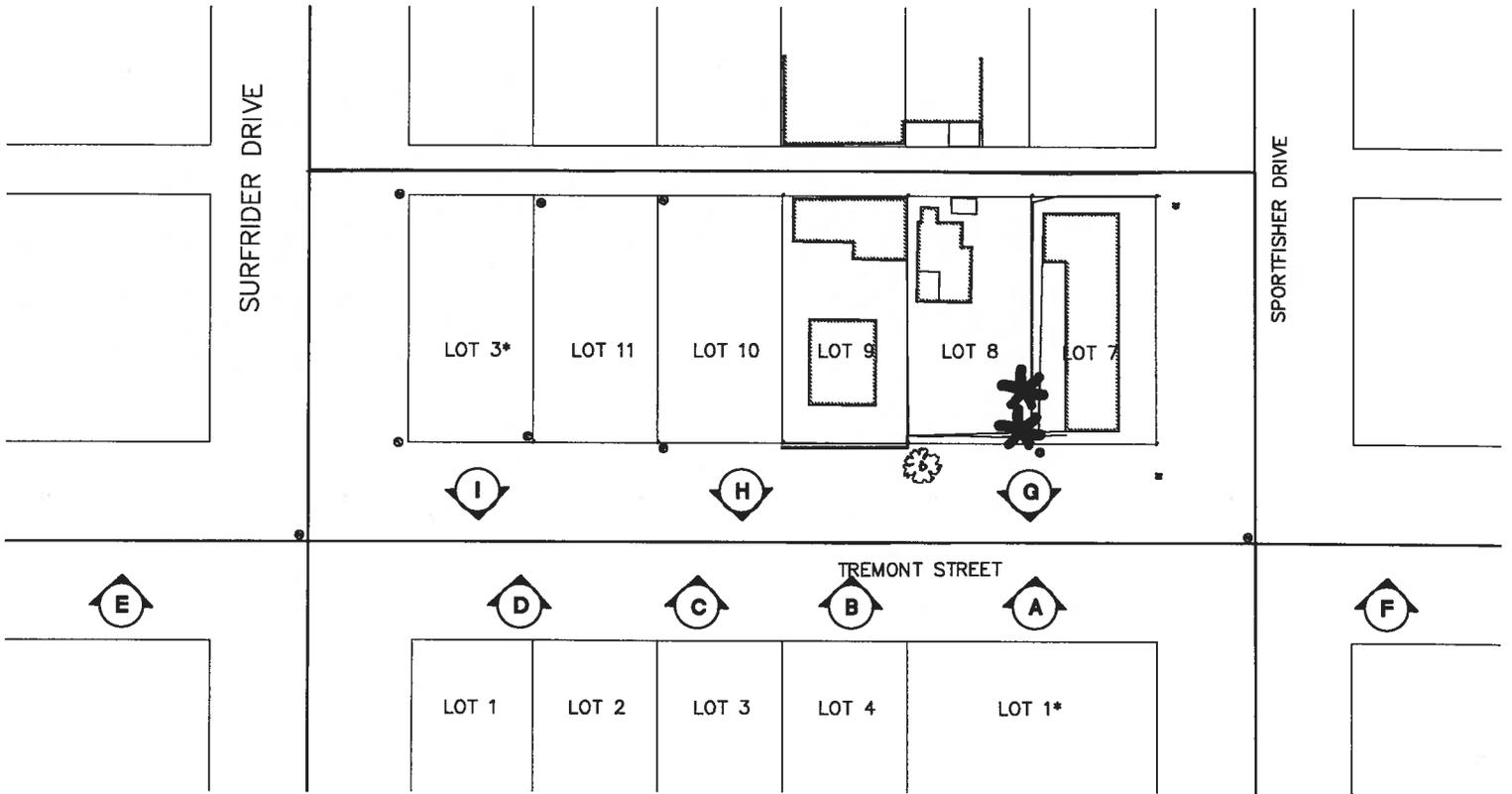


2	CITY OF OCEANSIDE ENGINEERING DEPARTMENT	2	SHEETS
LANDSCAPE CONCEPT PLAN FOR 508 N. TREMONT AVE. OCEANSIDE, CA 92054			
LANDSCAPE ARCHITECT OF WORK JAMES P. BENEDETTI, R.L.A., #12504		CHECKED BY: Approved Date:	

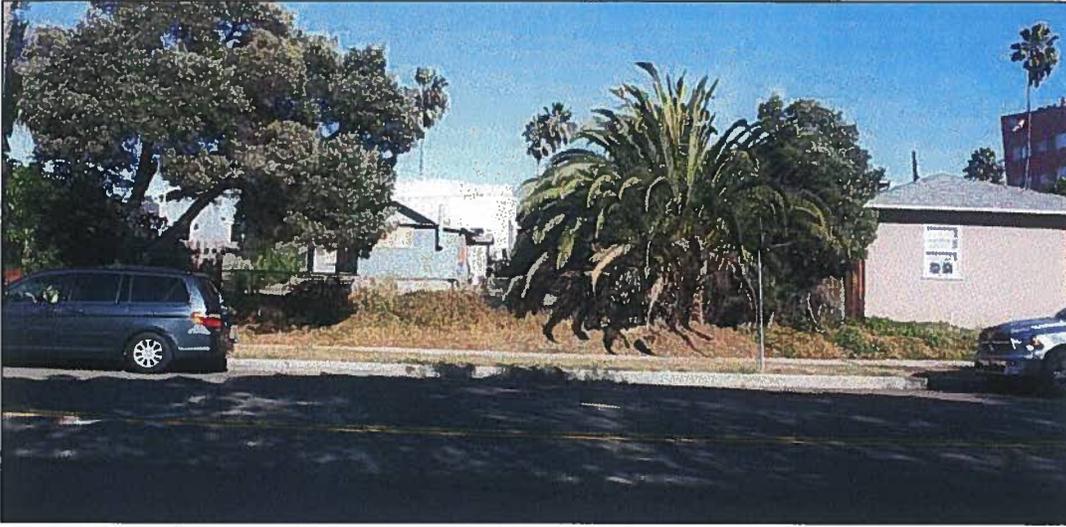
APPROVED CHANGES	DATE

JOB# 2014-37  
**JAMES P. BENEDETTI**  
 LANDSCAPE ARCHITECT  
 508 N. TREMONT AVE.  
 OCEANSIDE, CA 92054  
 760.478.0644 FAX 760.478.0646

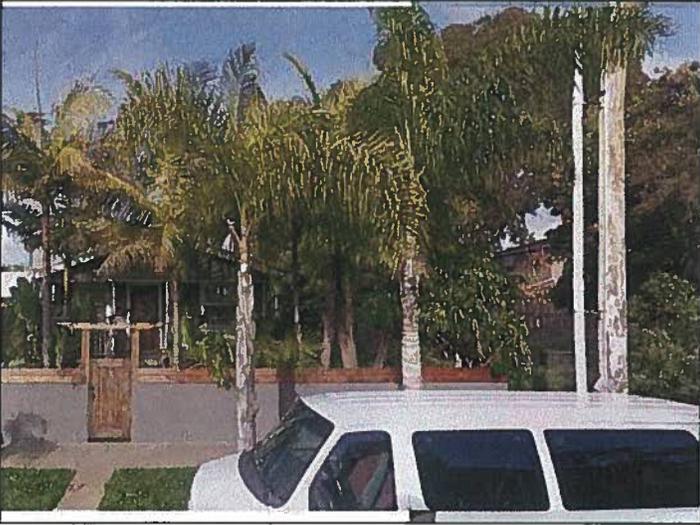




TREMONT CONDOMINIUMS  
508 N TREMONT. OCEANSIDE, CA 92054



**A** LOOKING AT SITE EAST  
AND LOT 7



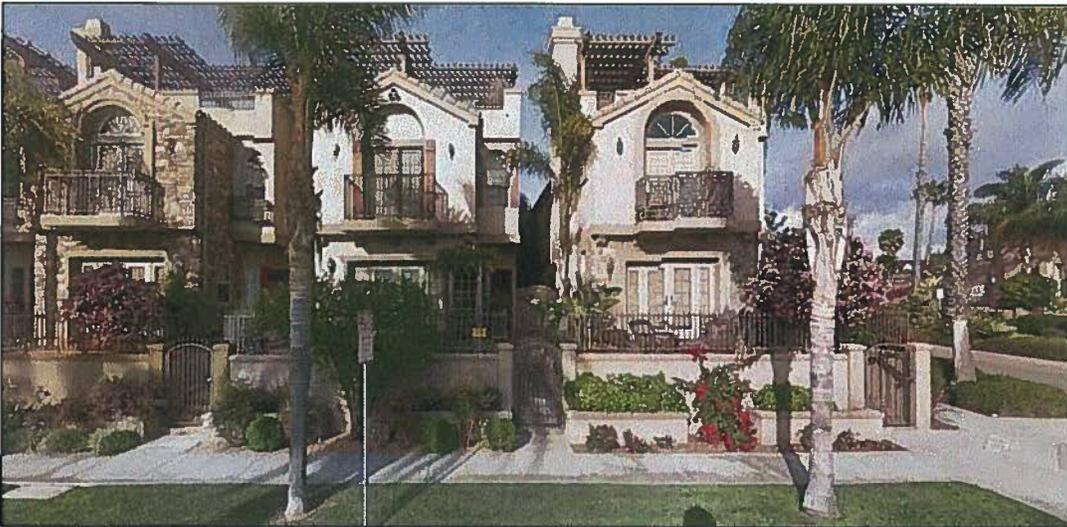
**B** LEFT NEIGHBOR TO N 508  
TREMONT LOOKING EAST  
LOT 9



**C** LOT 10 LOOKING EAST



**D** LOT 3• + 11 LOOKING EAST



**E** NORTH OF SURFRIDER  
LOOKING



**F** SOUTH OF SPORTFISHER  
LOOKING EAST



**G** LOT 1<sup>0</sup> LOOKING WEST



**H** LOTS 4 + 3 + 2 LOOKING WEST



**I** LOT 1 LOOKING WEST

State of California — The Resources Agency  
 DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary # \_\_\_\_\_  
 HRI # \_\_\_\_\_  
 Trinomial \_\_\_\_\_  
 NRHP Status Code 6Z

RECEIVED  
 AUG 26 2014

CITY OF OCEANSIDE  
 DEVELOPMENT SERVICES

Other Listings \_\_\_\_\_  
 Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 7

\*Resource Name or #: (Assigned by recorder) 508 N. Tremont Street

P1. Other Identifier: Jens H. Askeland, Odin V. Askeland, and Barbro Askeland House  
 \*P2. Location:  Not for Publication  Unrestricted \* a. County: San Diego  
 and (P2b and P2c or P2d. Attach a Location Map as necessary.)  
 \*b. USGS 7.5' Quad Oceanside Date: 1975 T11S R 5W; ¼ of ¼ of Sec: B.M.: SB  
 c. Address: 508 N. Tremont Street City: Oceanside Zip: 92054  
 d. UTM: (Give more than one for large or linear resources) Zone : Me/ mN  
 e. Other Locational Data (e.g., parcel #, directions to resource, elevation, etc., as appropriate): APN: 147-081-07; located in the A.J. Myers Addition, Lot 8, Block 1.

\*P3a. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries). The resource consists of a very small (424 sq ft), rectangular, vernacular Craftsmanesque style, one story, wood frame bungalow. The main body of the building rests on a concrete block foundation; the building has an asymmetrical facade. The medium pitched front gabled roof is covered with composition shingles and has open eaves and exposed rafters; the eaves project moderately over the walls. A wood lattice vent is located beneath the front gable apex. The house is clad with 1" x 6" wood siding. The windows are all presently boarded over, but the Residential Building Record (RBR) notes that they were originally double hungs, likely wood framed. The house is accessed from the sidewalk, up three concrete steps, through a chain link gate, to a concrete walkway along the north boundary of the lot, across the frontyard, up four wood steps to the added wood entry deck, the front door. The un-permitted deck is covered by a sheet of corrugated aluminum, supported by a single makeshift wood post. Other additions are present on the on the west and east walls of the house; the west addition has a flat roof covered with corrugated aluminum and the south addition. The yard is enclosed by chain link fencing on the west and north, and by wood fencing on the south and east. No garage is present, but parking on the property is accommodated by access from the alley east of the house. The resource is in poor condition. The RBR notes that the architectural attributes of the house are only fair and its workmanship is average.



\*P3b. Resource Attributes: (List attributes and codes) HP2 -single-family residence/vacant

P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (isolates, etc.)

P5b. Description of Photo: (View, date, accession #) Facade looking east, 8/7/14, 1086:1

\*P6. Date Constructed/Age and Source  Historic  Prehistoric  Both Constructed circa 1921 per Residential Building Record

\*P7. Owner and Address: T. Kelley & J. Law  
385 Van Ness Avenue #208  
Torrance, CA 90501-6228

\*P8. Recorded by (Name, affiliation, and address): Ruth Alter,

Archaeos, 7340 Rondel Court, San Diego, CA 92119 \*P9. Date Recorded: 8/11/14 \*P10. Type of Survey: (Describe) Intensive \*P11. Report Citation (Cite survey report and other sources, or enter "none"). None

\*Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Resource Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

## CONTINUATION SHEET

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 2 of 7 \*Resource Name or # (Assigned by recorder) 508 N. Tremont Street  
\*Recorded by Ruth C. Alter \*Date 8/11/14  Continuation  Update

### CRAFTSMAN ARCHITECTURE

Craftsman style is the American residential counterpart of the English/Scottish Arts and Crafts movement. The key components of the style are simplicity of structural form, natural materials, hand craftsmanship, open planning, and a blending of the architecture with the natural environment (Covington 1997:88). In 1909, Gustav Stickley described the Craftsman house as a home reduced to its simplest form, "one that never fails to harmonize with its surroundings." The horizontality of the style and its simplicity evoked an Oriental aesthetic and was a response to the decorative excesses of Victorian architecture (Poppeliers, et al 1983).

The Craftsman phase was championed by popular magazines of the day, principally *Ladies Home Journal* and the *Craftsman*, which often provided designs for modest-sized, accessible homes. Plans for these snug and cozy homes could be purchased inexpensively, and for as little as \$1,000.00, a house often complete with specifications for prefabricated frames, fireproofing, electricity, plumbing, and gas ranges, could be built. Sears, Roebuck, along with numerous other enterprises, offered ready-to-build kit houses and would deliver crafted materials, fixtures, and assembly instructions to the nearest railroad station. Such houses could be quickly and inexpensively assembled (Clark 1986; Curl 1999).

Craftsman was the dominant architectural style for smaller houses built after 1905. The style, however, reached it's highest expression in the work of Pasadena, California-based architects Greene and Greene, whose Gamble house is sometimes offered as an example of the finest of Craftsmen style (Carley 1994).

Craftsman style buildings feature low-medium pitched gabled or sometimes hipped roof planes, wide, unenclosed eaves, exposed rafters, false beams or braces located under the gables, full or partial width porches, tapered square column roof supports, and full length columns or pedestals (McAlester and McAlester, 2000:453). Wood clapboard siding and wood shingles are the most common types of cladding.

Craftsman doors are often wider than standard single doors. They frequently feature decorative divided lite insets and side lites. Craftsman windows often have a single lower with divided lite uppers; decorative uppers can be leaded as well. Windows are often grouped within a single surround. Their ornamentation is the result of the blending of structural or natural elements, rather than deliberation or planning, such as in the exposure of rafters and knee braces or the use of rounded cobblestones in chimneys and foundations.

### ARCHITECTURE OF 208 N. TREMONT STREET

The subject resource exhibits the following key defining characteristics of the Craftsman genre:

Frame construction  
Gabled roof planes  
Wood clapboard cladding  
Unenclosed eaves  
Exposed rafters

At best, the subject resource is considered a vernacular, rudimentary example of Craftsman design. While the basic elements are present, the house lacks the refining elements that raise a structure from basic to good. The dearth of detailing disqualifies the resource as an example of Craftsmanesque style. Craftsmanesque style is not recognized as an important type of architecture. The house is clearly an example of a carpenter-built interpretation of the genre.

CONTINUATION SHEET

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 3 of 7 \*Resource Name or # (Assigned by recorder) 508 N. Tremont Street  
\*Recorded by Ruth C. Alter \*Date 8/11/14  Continuation  Update

According to the chain of title prepared by California Lot Book, Inc., the United States of America granted a deed of patent for this lot, along with much of the surrounding area, to Oceanside pioneer Herbert Crouch in December, 1880. A native of England, Mr. Crouch came to the San Luis Rey Valley in 1869 and became a partner with Major Utt in the latter's sheep ranching venture. He married Martha Avenell at the Horton House in San Diego in 1876, and the couple was widely respected throughout their lifetimes.

Mr. Crouch and his wife sold his large holding to Andrew Jackson Myers, the founder of Oceanside, and capitalist Freeman McComber, for four thousand dollars five years later, in December, 1885. Sometime around 1886, Harriet Wright, a resident of San Diego, purchased the subject Lot 8 from Mr. Myers and Mr. McComber. The deed recording this transaction appears to be lost. Wright seems to have held the property for about six years, before selling it to James Mull in May, 1892.

Probably a speculative purchase, Mr. Mull, who lived in Carlsbad, sold the lot just four months later to Etta Hecox for two hundred dollars. Mrs. Hecox was the wife of local builder O.S. Hecox. The property remained in the Hecox family until December 1911, when it was acquired by Otis Longley. By that time, Mr. and Mrs. Hecox had moved to Fresno and had divested themselves of their land holdings by selling them to Mr. Longley, also a resident of Fresno.

Longley and his wife Della deeded all the lots to Fred Hayes, a year later, in December, 1912. Mr. Hayes, a member of the Hayes family real estate business, sold the subject lot to Jens Askelund, Odin V. Askeland, and Barbro Askeland (later Barbro Mattiesen) in September, 1913. Ten years later, in August, 1923, they sold the property to Alton L. Morse, a bachelor. In April, 1928, following Mr. Morse's death, his executor E.G. Morse, settled the estate, deeding the property to Edna C. Bailey, who also owned the adjacent Lot 7.

J.C. Kullmann (variously Kullman) acquired both lots for \$800.00 from Maurice Myers, the executor of Bailey's estate, following her death in 1941. In a series of rapid transactions, in June, 1941, Kullmann deeded the subject property and Lot 7 to Jack Noorda the same day; three months later, in September, 1941, Noorda, a widower, transferred title to both properties to Robert Seabranck. Mr. Seabranck resided in the house and retained title until his death; in November, 1949, Bertha Hall, a widower of Coffeyville, Kansas acquired Lot 8, along with its contents, described as an iron bed, gas stove, gas heater, a chair, and kitchen dishes and utensils.

The property remained in Hall's family until December, 1965. when Donald and Virginia Newman acquired title. Rudolph and Virginia Carpenter purchased the lot in September, 1972, selling it to Richard and Diane Eisendrath in November, 1985.

The Eisendrath's deeded the property to Thomas and Doris Gonzalez in June, 1988, who old it to Marita Platon in October, 1889. The house was lost to foreclosure in April, 1994 and was acquired by David L. Harper six months later, in October, 1994. Timothy Kelley, one of the current owners, took title in March, 2014. John Law and Colm Walsh were added to the title in July, 2014.

# CONTINUATION SHEET

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

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\*Recorded by Ruth C. Alter \*Date 8/11/14  Continuation  Update

## ELIGIBILITY CRITERIA

California Environmental Quality Act. Under the California Environmental Quality Act (CEQA) and the City of Escondido's Historical Resource Guidelines, a significant historic resource is one that is eligible for listing in the California Register of Historical Resources/National Register of Historic Places or other local historic register, or is deemed significant in a historical resource survey (Section 5024.1(g) of the Public Resources Code).

In order to be eligible for listing under the California Register/National Register (the standards of which are both very similar), a resource must be significant within a historic context and must also meet one or more of the following criteria:

- Criterion A: Be associated with an event, or series of events, that have made a significant contribution to the broad pattern of history.
- Criterion B: Have an unequivocal association with the lives of people significant in the past.
- Criterion C: Embody the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values, or represents a significant, distinguishable entity whose components lack individual distinction.
- Criterion D: Have yielded or may be likely to yield information important in local, state or national prehistory or history.

Additionally, under both the California Register and the National Register, a resource must not only meet at least one of the above criteria, but must also possess integrity, the various aspects of which include location, design, setting, materials, workmanship, feeling, and association (National Register Bulletin 15, 1991: 11,44).

## CALIFORNIA REGISTER OF HISTORICAL RESOURCES STANDARDS

When evaluated within its historic context, under CEQA a property must be shown to be significant for one or more of the four Criteria for Evaluation - A, B, C, or D. The Criteria describe how properties are significant for their association with important events or persons, for their importance in design or construction, or for their information potential. In addition, a property must not only be shown to be significant under the California Register criteria, but it also must have integrity.

**Criterion A: Event.** To be considered for listing under Criterion A, a property must be associated with one or more events important in the defined historic context. The event or trends must clearly be important within the associated context. Mere association with historic events or trends is not enough, in and of itself, to qualify under Criterion A, the property's specific association must be considered important as well.

**Criterion B: Person.** Criterion B applies to properties associated with individuals whose specific contributions to history can be identified and documented. Persons "significant in our past" refers to individuals whose activities are demonstrably important within a local, state, or national historic context. The criterion is generally restricted to those properties that illustrate (rather than commemorate) a person's important achievements. The persons associated with the property must be individually significant within a historic context. Significant individuals must be directly associated with the nominated property. Properties eligible under Criterion B

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are usually those associated with a person's productive life, reflecting the time period when he or she achieved significance. Speculative associations are not acceptable. Documentation must make clear how the nominated property represents an individual's significant contributions. A property must retain integrity from the period of its significant historic associations. Architects are often represented by their works, which are eligible under Criterion C. Their homes, however, can be eligible for consideration under Criterion B, if these properties were personally associated with the individual.

**Criterion C: Design/Construction.** Properties may be eligible under Criterion C if they embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction. Properties which embody the distinctive characteristics of a type, period, or method of construction refer to the way in which a property was conceived, designed, or fabricated by a people or culture in past periods of history. Distinctive characteristics are the physical features or traits that commonly recur in individual types, periods, or methods of construction. To be eligible, a property must clearly contain enough of those characteristics to be considered a true representative of a particular type, period, or method of construction.

A master is a figure of generally recognized greatness in a field, a known craftsman of consummate skill, or an anonymous craftsman whose work is distinguishable from others by its characteristic style and quality. The property must express a particular phase in the development of the master's career, an aspect of his or her work, or a particular theme in his or her craft.

**Criterion D: Information Potential.** Properties may be eligible under Criterion D if they have yielded, or may be likely to yield, information important in prehistory or history.

**Integrity.** Integrity is the ability of a property to convey and maintain its significance. A property must not only be shown to be significant under the California Register criteria, but it also must have integrity. To retain historic integrity, a property will always possess several, and usually most, of the aspects. The seven key aspects of integrity include: location, design, setting, materials, workmanship, feeling, and association.

**APPLICATION OF CRITERIA  
508 N. TREMONT STREET**

**Criterion A** (association with a significant historical event): Significant historic events are not associated with the building and no known significant historic events occurred on the property before the building was constructed. The resource is not significant under Criterion A.

**Criterion B** (association with a historic person or persons): None of the owners directly associated with the property has held historic standing. The resource is not significant under Criteria B.

**Criterion C** (represent a significant design or style of construction): The subject resource is not architecturally important. It is not constructed of rare or unusual materials, it does not possess high artistic values, and it does not represent a significant, distinguishable entity whose components lack individual distinction. The resource is not significant under Criterion C.

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**Criterion D** (ability to yield further information): The building has not been identified as significant under any of the preceding criteria. Therefore, it is unlikely that any further information of importance would be revealed with additional study. The resource is not significant under Criteria D.

**Integrity:** The location of the resource has not moved since its construction in 1921 and therefore is intact. However, the design integrity and the feeling of the building has been significantly altered, as have the materials, association, and workmanship. The once rural setting has been compromised by residential development around the property. No one of direct historical importance is associated with the resource and therefore there is no associative significance.

B1. Historic Name: Jens H. Askeland, Odin V. Askeland, and Barbro Askeland House

B2. Common Name: None

B3. Original Use: Single-family residence B4. Present Use Vacant single-family residence

\*B5. Architectural Style: Craftsmanesque Bungalow

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The house was constructed in 1921 per the Residential Building Record. Additions are present on the west and south sides of the house.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: Detached building behind the main residence, a tool shed or a chicken coop.

B9a. Architect: None b. Builder: Unknown

\*B10. Significance: Residential development Area Oceanside, California

Period of Significance 1921 Property Type Single-family Applicable Criteria N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The resource is located in the A.J.Myers, one of the oldest in the city. Located north of downtown Oceanside, this is an area that saw early residential development. The original houses here tended to be smaller single-family dwellings or vacation residences constructed in Victorian era style, principally Folk Victorian. The neighborhood was situated in a quiet portion of the developing town. It would have been close enough to walk to the town center to purchase necessary goods or services, but far enough away to avoid town bustle.

The subject resource is typical of some of the smaller, more modest homes found in this neighborhood, constructed after the initial settling of the area. Over time, Victorian styles were joined by Craftsman and Craftsmanesque dwellings, and then by Post-World War II styles, such as Ranch and Modern Contemporary. The neighborhood also became denser, with multiple-family structures added after the war.

The subject resource is of simple vernacular Craftsman (Craftsmanesque) design, the most common of its era and still prevalent in Oceanside. The house is not associated with any known significant historic event or events. While the property was once owned by historically significant individuals, no one of historical importance is directly associated with the house. Its design is not distinctive, it does not represent the work of a master architect or craftsman, and it is not constructed of rare or unique materials. The building is unlikely to yield important information relevant to local, state or national history. Its locational workmanship, design, feeling, workmanship and lack of associational integrity are intact. The setting, while still residential, has been altered by the introduction of multiple-family, multiple story dwellings to the neighborhood and by nearby commercial venues. Once considered on the edge of town, the City has long since grown up around it.

B11. Additional Resource Attributes: (List attributes and codes) None

\*B12. References: Assessor's records, San Diego County; Hawthorne, K., Oceanside, Where Life is Worth Living, 2001. Donning Company Publishers, Virginia Beach, Virginia; McAlester, V. and L., A Field Guide to American Houses, 2000. Alfred A. Knopf, New York.

B13. Remarks:

\*B14. Evaluator: Ruth C. Alter, Archaeos, 7340 Rondel Court, San Diego, CA 92119

Date of Evaluation: 8/11/14

(This space reserved for official comments.)

