



DATE: April 7, 2015

TO: Chairperson and Members of the Planning Commission

FROM: Development Services Department/Planning Division

SUBJECT: **CONSIDERATION OF A TENTATIVE MAP (T14-00004), DEVELOPMENT PLAN (D14-00007), AND CONDITIONAL USE PERMIT (CUP14-00013) FOR A FIVE-LOT SUBDIVISION AND DEVELOPMENT OF FIVE SINGLE-FAMILY HOMES ON A 1.16-ACRE PARCEL LOCATED AT 2535 IVY ROAD – IVY RIDGE ESTATES – APPLICANT: MAIN STREET PARTNERS, INC.**

RECOMMENDATION

Staff recommends that the Planning Commission by motion;

- (1) Confirm issuance of a Categorical Exemption per CEQA Guidelines Article 19, Section 15332 (In-Fill Development Projects); and
- (2) Approve Tentative Map (T14-00004), Development Plan (D14-00007), Conditional Use Permit (CUP14-00013) by adopting Planning Commission Resolution No. 2015-P11 with findings and conditions of approval attached herein.

PROJECT DESCRIPTION AND BACKGROUND

Site Review and Background: The subject property comprises 1.163 acres at the southeast corner of the intersection of Laurel Road and Ivy Road, within the Fire Mountain Neighborhood Planning Area. The site is presently a vacant lot with some remnants of a previous single-family residence. There is an existing paved private driveway off of Ivy Road opposite Seawind Way. The majority of the existing site has sparse vegetation to bare ground coverage with medium dense vegetative ground coverage along the property boundaries. There are two quonset hut shaped green houses at the southeast corner of the property. The site is bounded by Ivy Road along the northerly property boundary and by existing single-family homes along the east, south and westerly property boundaries.

The subject property bears a land use designation of Single Family Detached Residential (SFD) under the Land Use Element of the City's General Plan (3.6 to 5.9 dwelling units per acre). Per the City's 1992 Zoning Ordinance, the property is zoned RS (Single-Family Density Residential) and requires a minimum lot size of 6,000 square feet.

Development on the subject property is subject to the policies and standards of the following:

1. General Plan
2. 1992 Zoning Ordinance
3. Subdivision Ordinance
4. California Environmental Quality Act (CEQA)

Project Description: The proposed project requires three separate entitlements: a Tentative Map, a Development Plan, and a Conditional Use Permit. The Tentative Map would allow for a five-lot subdivision to provide for the development of five detached single-family homes. The Development Plan would allow for a residential project involving more than three housing units. The Conditional Use Permit would allow for this single-family residential development to exceed the base density permitted of 3.6 dwelling units per acre, allowing a net density within the single-family residential density range of 3.6 to 5.9 dwelling units per acre. The project is proposing a density of 4.45 dwelling units per acre.

The proposed project will include five single-family homes. Lots will vary in size from 7,078 to 8,798 square feet. Homes will be two-story, have three-car garages and vary in size from just over 2,000 to just under 3,000 square feet. The property's land use and zoning designations are consistent with one another.

Tentative Subdivision Map T14-00004 represents a request to:

Create a five-lot subdivision for single-family residential purposes. The Tentative Map/Site Development Plan details a variety of off-site improvements to be effected in conjunction with the proposed project:

- A five-foot wide strip along the frontage of the property dedicated to the City of Oceanside for right-of-way purposes.
- Existing public facilities improved as follows to meet with City requirements:
 - Ivy Road widened along the property frontage with new concrete sidewalk, curb, and gutter on the project side to a paved width of 20 feet from centerline, plus 12 feet of pavement on the north side of Ivy Road.
 - Replacement of the existing six-inch public water main within Ivy Road with an eight-inch PVC water main.
 - Installation of two new fire hydrants, one at the end of the cul-de-sac, and the other on the west side of the project on Ivy Road.
- Existing overhead utilities under-grounded along the property frontage.

Staff finds the proposed tentative map to be complete and the proposed off-site improvements to be consistent with the Subdivision Ordinance and other applicable policies and standards.

Development Plan D13-00008 represents a request under 1992 Zoning Code section 4302(F)(1) to construct five single-family residences. The Code requires a Development Plan for review and approval by the Planning Commission for projects in a residential district involving more than three units. The project is in a residential district and involves five housing units.

Architecture

Two architectural plans have been developed for the project, each taking its inspiration from California's traditional architectural styles. The first, Craftsman style, includes typical architectural elements of this style, including shallow pitched roof lines, overhanging eaves, exposed rafters or decorative brackets under eaves, multi-paned windows, and a mix of stone, shingles, wood, and stucco. The second, California cottage, takes its influence from traditional Spanish/Mediterranean design but updates it with a 21st century aesthetic which includes a roofline with a higher pitch and volume, utilizing a balanced mix of hip and gable roof elements. Exterior detailing includes smoother finish stucco, concrete roof tiles and casing, shutters, and/or trim around the windows on all four sides. Both of these styles are consistent with styles seen throughout Fire Mountain, the area in which the site is located.

The architectural plans reflect five two-story homes, each with an attached three-car garage.

- Plan 1, located on Lots 2, 3 and 5 consists of a four-bedroom, three-bath home with 2,296 square feet.
- Plan 2, located on Lots 1 and 4, consists of a four-bedroom, three-bath home with 2,214 square feet.

The Craftsman architectural style will be incorporated into the homes on Lot 1 (Plan 1) and Lot 3 (Plan 2). The cottage architectural style will be incorporated into the homes on Lot 2 (Plan 1), Lot 4 (Plan 2) and Lot 5 (Plan 1).

The color palette chosen for each of the homes will allow them to complement each other in the overall street scene and to blend in with and enhance the landscaping of the Fire Mountain community. The roofs will be predominantly a mix of browns and grays, with a palette of soft white, natural greens, tans and muted accents. A color board submitted by the project applicant and on file in the Planning Division reflects these colors.

Landscaping

The landscape plan will incorporate slope treatments and erosion control plants which include California native and non-invasive trees, shrubs, and groundcovers. Slope treatment plants will be drought tolerant and fire resistant. Trees will be clustered along slopes to help preserve views out of the site. Trees and shrubs along Ivy Road will help to screen headlights and buffer street noise.

Six-foot fencing shall enclose the back half of each lot. Fencing materials include:

- Six-foot high wooden privacy fence;
- Six-foot high masonry block wall;
- Six-foot high combination of masonry block wall with tubular steel view fence; and
- Six-foot high tubular steel view fence.

Fencing height and/or material may vary depending on view opportunities.

It is staff's position that the site design and architecture of the proposed project meet all of the required findings for Development Plan approval.

Conditional Use Permit (CUP14-00013) represents a request to:

Exceed the base density permitted of 3.6 units per acre and allow a base density of 4.45 dwelling units per acre. According to 1992 Zoning Code Section 1050(B), a conditional use permit is required for single-family residential developments of more than four units which exceed the base density permitted. The development proposed is a five-unit residential development zoned RS. According to the Zoning Code, RS developments are subject to a density range of 3.6 to 5.9 dwelling units per acre and must conform to the provisions of Section 2.3 of the Land Use Element of the General Plan. Section 2.3 indicates, among other things, that residential projects that possess an excellence of design features shall be granted the ability to achieve densities above the base density. Section 2.32 of the Land Use Element of the General Plan lists project characteristics that exceed standards established by City policy. Among the characteristics listed are such items as:

- Lot standards which exceed the minimum standards established by City policy. In the case of this development, the minimum lot size is 6,000 square feet. The project proposes lot sizes between 7,088 and 8,786 square feet.
- Superior architectural design and materials. In the case of this development, the architectural styles and unit configurations provide distinct design features. Two architectural styles have been developed even though this is a small subdivision consisting of only five homes. One style is Craftsman style, the other is Spanish Mediterranean. Having two architectural styles within a small division lends toward greater individual distinction, a desired quality for single-family homes. The finish materials in both styles are of a high quality. In the case of the

craftsman style homes there is a mix of stone, shingles, wood and stucco. In the case of the Spanish Mediterranean homes there is smooth stucco typical of the Spanish Mediterranean architectural style vernacular. There are also casing, shutters, and/or trim around the windows on all four elevations, as opposed to just the front elevation. Both architectural styles are representative of Oceanside, and will not detract from the neighborhood.

- Superior private and/or semi-private open space areas. In the case of this development, the homes have been designed to capture the benefit of the site's elevated location atop a knoll/hill, allowing three of the lots (Lots 1 through 3) to have highly desirable west facing, blue water ocean views and the other two lots (Lots 4 and 5) to have south facing views of north Carlsbad.

It is staff's position that the project meets the threshold required to exceed the base density of 3.6 dwelling units and allow a base density of 4.45 dwelling units per acre, as proposed. For these reasons, staff recommends approval of the Conditional Use Permit.

KEY PLANNING ISSUES

1. General Plan Land Use Element Conformance

Policy 1.13 (A) requires single family residential development between Ivy Road and Vista Way to front and take access on Ivy Road. The project conforms to this policy in that the subdivision has been designed to take access off of Ivy Road. A cul-de-sac created off of Ivy Road provides access to five lots allowing for five detached single family homes.

Policy 2.32 of the Land Use Element of the General Plan allows for the base density of a residential zoning district to be exceeded provided the project possesses an excellence of design features. As discussed above, staff finds the proposed project conforms to the policies and objectives of the City's General Plan Land Use Element.

2. Zoning Ordinance Conformance

Section 1010 of the 1992 Zoning Ordinance describes the purpose of residential districts and lists 8 items to be achieved as well as specific goals for the RS zoning district which is the district in which this project is located. Among the 8 items considered by this development, are A, B, and F, as described below:

- A. To provide appropriately located areas for residential development that are consistent with the General Plan and with standards of public health and safety established by the City Code.

The area proposed for development is zoned residential, consistent with the General Plan. The homes proposed for development are subject to the Uniform Building

Code thereby ensuring public health and safety standards established by the City Code are met.

- B. Ensure adequate light, air, privacy, and open space for each dwelling, and protect residents from the harmful effects of excessive noise, population density, traffic congestion, and other adverse environmental effects.

The design of the subdivision has been designed to meet and/or exceed required zoning setback standards as well as density standards permitted by the General Plan. Together these standards, when utilized, ensure this policy is met.

- F. Achieve design compatibility with surrounding neighborhoods.

Surrounding neighborhoods display similar architectural style vernaculars as the styles proposed by this development, including Craftsman style and Spanish/Mediterranean, although each with its particular and distinct quality.

The goals of the RS Single-Family Residential District are to provide opportunities for single-family residential land use in neighborhoods, subject to appropriate standards. This section indicates that in the RS District, the base density is 3.6 dwelling units per gross acre and the maximum potential density is 5.9 dwelling units per gross acre. The project has been designed within the range of density parameters. The subject subdivision has been designed at a gross density of 4.45 dwelling units per acre, which is within the density range permitted within the RS parameters. Designing the subdivision at this density will provide for the creation of five lots each capable of supporting a detached single family home.

Per the 1992 Zoning Ordinance ('92 ZO), development zoned single-family residential (RS) must meet minimum development standards. It is staff's position that the project meets the parameters established by City policy for approving a Development Plan and Conditional Use Permit. Table 1 below outlines the proposed project's conformance to applicable development standards.

**Table1
R-S Development Standards**

Standard	Requirement	Proposal
Minimum Lot Area	6,000 sq. ft.	7,088 to 8,786 sq. ft.
Minimum Front Yard	20 feet	20 feet
Minimum Street Side Yard	7.5 feet	7.5 feet
Minimum Rear Yard	15 feet	15 to 28 feet
Maximum Height	36 feet	28 feet
Maximum Lot Coverage	45%	Does not exceed 31.2%
Minimum Off-Street Parking	3 enclosed spaces for single family units in excess of 2,500 square feet.	3 enclosed spaces per unit, although units are between 2,200 and 2,300 square feet.

3. Subdivision Ordinance Compliance

The proposed project is subject to the Subdivision Map Act and the Oceanside Subdivision Ordinance (Article IV Tentative Subdivision Maps - Five or More Parcels). Pursuant to Section 401 of the Subdivision Ordinance, this proposed Tentative Subdivision Map has been prepared in a manner acceptable to the Engineering Division. The property is a legally subdivided lot with the minimum lot area and dimensions to accommodate five single-family homes. The proposed subdivision generally holds an interest in common areas and facilities and will establish CC&Rs in conformance with state law.

4. Drainage Basin Design

In keeping with State-mandated Storm Water Management Plan (SWMP) requirements, the applicant proposes to place a drainage basin in the front yards of each single-family home. Planning staff has expressed concern over the aesthetic, safety, and land use impacts the proposed drainage basins may have on each lot. As an alternative, staff has presented design alternatives to the applicant but agrees that SWMP requirements can be met with the drainage basins located and designed as proposed. To ensure they are maintained in perpetuity, staff has added conditions of approval requiring that areas devoted to drainage basins be deed restricted to preclude any structures from being placed over and/or within the parameters of the drainage basins so as to render them non-compliant with the SWMP.

Alternative 1

The first alternative recommended by staff is to place an underground drainage basin adjacent to the curb and within the cul-de-sac. This alternative would not impact each individual property or property owner. Rather, it would allow for the drainage basins to be owned and maintained in perpetuity by a Homeowners Association. This in turn would allow for a more secure and long-term maintenance plan without creating a direct impact on each individual homeowner. This alternative would support the applicant's request to exceed the base density permitted of 3.6 units per acre and allow 4.45 dwelling units per acre as proposed. Placing the drainage basins underground would support the policy to exceed the base density permitted. The policy to exceed the base density is offered to residential projects that possess an excellence of design features. Although this project does possess some excellent architectural design features, requiring the undergrounding of the drainage basins is a land development design feature that would further assure the thresh-hold for excellence is met.

Undergrounding the drainage basins would not impact the front yard of each individual owner as currently proposed; on the contrary, undergrounding the drainage basins would give homeowners full right to their front yards. Staff recommends the Planning Commission implement this alternative and requires the drainage basins be undergrounded as recommended by Planning staff. Staff recommends a condition be added requiring the drainage basins be undergrounded and maintained in perpetuity by a Homeowners Association. This condition shall require revision to the tract map subject

to review and approval by the City Engineering and Director of Community Development. This revision shall also be expressed in a document referred to as CC&R's which shall be subject to review and approval by the City Attorney and shall be recorded with the approved subdivision tract map.

Alternative 2

Alternative 2 would be to place the drainage basins in the rear yard of each lot since this would minimize aesthetic view impacts to the streetscape. As with the proposal by the applicant, this alternative would require the drainage areas be deed restricted to preclude any structures from being placed over and/or within the parameters of the drainage basins so as to render them non-compliant with the SWMP.

ENVIRONMENTAL DETERMINATION

In accordance with Section 15332 of the Guidelines for Implementation of the California Environmental Quality Act (CEQA), the proposed project qualifies for a Class 32 categorical exemption, being an in-fill development project that:

- conforms to applicable land use and zoning standards;
- occurs on a property of less than five acres surrounded by urban uses;
- occurs on a property having no value as habitat for endangered, rare, or threatened species;
- does not result in any significant effects relating to traffic, noise, air quality, or water quality; and
- is adequately served by all required utilities and public services.

Thus, staff finds that the proposed project qualifies for the Class 32 categorical exemption.

PUBLIC NOTIFICATION

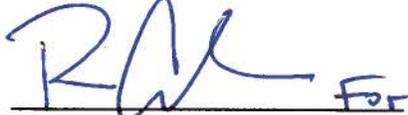
In accordance with the 1992 Zoning Code Section 4104, legal notice was published in the newspaper and notices were mailed to property owners of record within a 300-foot radius of the project site. Notices were also mailed to individuals/organizations requesting notification, as well as to the applicant.

SUMMARY

Staff finds that the proposed project is consistent with the applicable objectives and policies of the City's General Plan as well as the applicable standards of the City's Zoning Ordinance and Subdivision Ordinance. Staff thus recommends that the Planning Commission approve the proposal. The Commission's action should be to:

- (1) Confirm issuance of Categorical Exemption per CEQA Guidelines Article 19, Section 15332, (In-Fill Development Projects); and
- (2) Approve Tentative Map (T14-00004), Development Plan (D14-00007), and Conditional Use Permit (CUP 14-00013) by adopting Planning Commission Resolution No. 2015-P11 with findings and conditions of approval attached herein.

PREPARED BY:



Marie Luna
Consultant Senior Planner

SUBMITTED BY:



Jeff Hunt
Interim City Planner

JH/RC/ML/fil

Attachments:

1. Tentative Map, Development Plans, Conceptual Landscape Plan
2. Photos
3. Planning Commission Resolution No. 2015-P11
4. Other Attachments (Application Page, Description and Justification, Legal Description, Notice of Exemption)

Landscape Concept Plan for: Ivy Road Project (#T14-00004)

2535 Ivy Road, Oceanside CA

Owner / Developer:
Main Street Partners Inc.
10 Pinehurst Lane,
Newport Beach, Ca. 92660
310.871.4146

Site Address:
2535 Ivy Road
Oceanside, Ca. 92054



LANDSCAPE CONCEPT STATEMENT:

The landscape treatments to be installed by the developer shall address roadway landscaping for Ivy Road, including all slopes and (open) construction areas. Due to tight site conditions, the landscape plan shall be designed to provide maximum canopy coverage for the site with larger trees proposed for the existing areas, with trees from seed trees to be installed in hydro-mulched basins. The landscape plan shall also address the slope planting, irrigation and erosion control on site. Individual property owners are responsible for front and backyard landscape areas. A homeowners association will be responsible for maintaining the down slopes and pathways within the site-de-sac.

GENERAL NOTES:

- 1) All landscaping shall be in accordance with the City of Oceanside's Landscape Design Guidelines.
- 2) Final landscape plans shall accurately show placement of trees, shrubs, and groundcovers.
- 3) Landscape Architect shall verify utility, sewer, storm drain easements, and planting shall meet City of Oceanside requirements.
- 4) All pathways, the landscape wall, the planting above the landscape wall and the down slopes behind lots 3, 4 and 5 shall be maintained by a homeowners association. Such areas shall have a common and independent irrigation system. All other remaining landscape areas shall be maintained by the individual property owners.

IRRIGATION NOTE:

An automatic irrigation system shall be installed to provide coverage for all planting areas shown on the plan. Low volume equipment shall provide sufficient water for plant growth with a minimum water loss due to water runoff. Irrigation systems shall use high quality, automatic, contact valves, controllers, and other necessary irrigation equipment. All components shall be of non-composite materials. All city systems shall be adequately filtered and regulated per the manufacturer's recommended design parameters. All landscaping to be irrigated by individual lot owners. All irrigation improvements shall follow the City of Oceanside Guidelines and Water Conservation Ordinance.

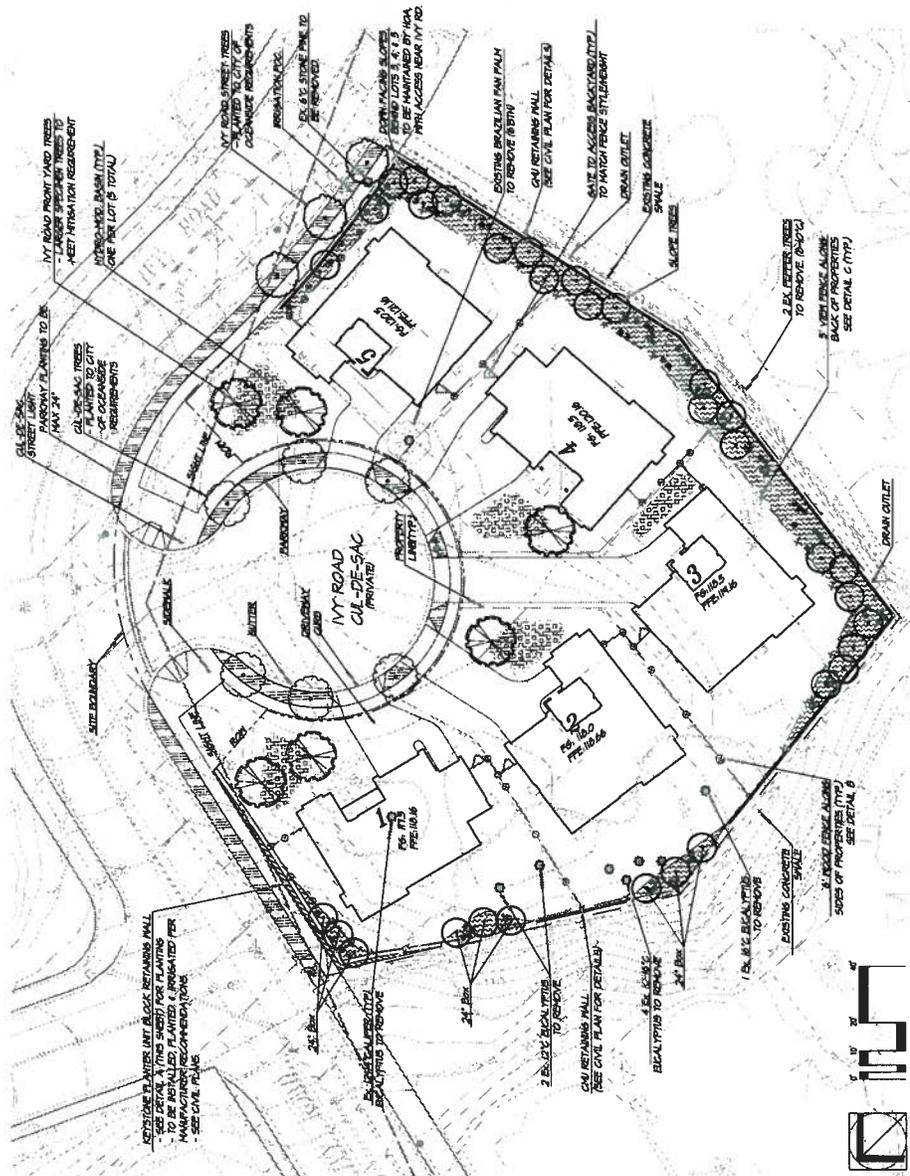
PLANTING NOTES:

The Selection of plant material is based on cultural, aesthetic and maintenance considerations. All planting areas shall be prepared with appropriate soil amendment, fertilizers, and appropriate amendments based upon a soil report from an agricultural suitability soil sample taken from the site. Ground covers or bark mulch shall be installed for slopes to shield the soil from the sun, impede evaporation and runoff. All flower and shrub beds shall be installed with a minimum of 2" of mulch. All plants shall be installed in a grid pattern. All plants shall be allowed to grow in their natural form. All Landscape improvements shall follow the City of Oceanside Ordinance, codes and guidelines.

Landscape Improvement plan set and installation are required to implement approved Fire Department regulations, codes and standards at the time of project approval.

PROPOSED TREE PLACEMENT NOTES:

- All proposed trees shall be located per the City of Oceanside requirements as follows:
- 8' from foundations, cable and fuel boxes.
 - 5' from the hydrants
 - 10' from assessment boundaries
 - 15' from street lights and other utility poles
 - 15' from street lights and other utility poles
 - The proposed trees shall be installed per the City Engineer approval.
 - 5' from all electric, collector and local streets shall be recommended determined by Traffic Engineer.
 - Minimum 15' straight and stop sign or clearance by determined specifications.



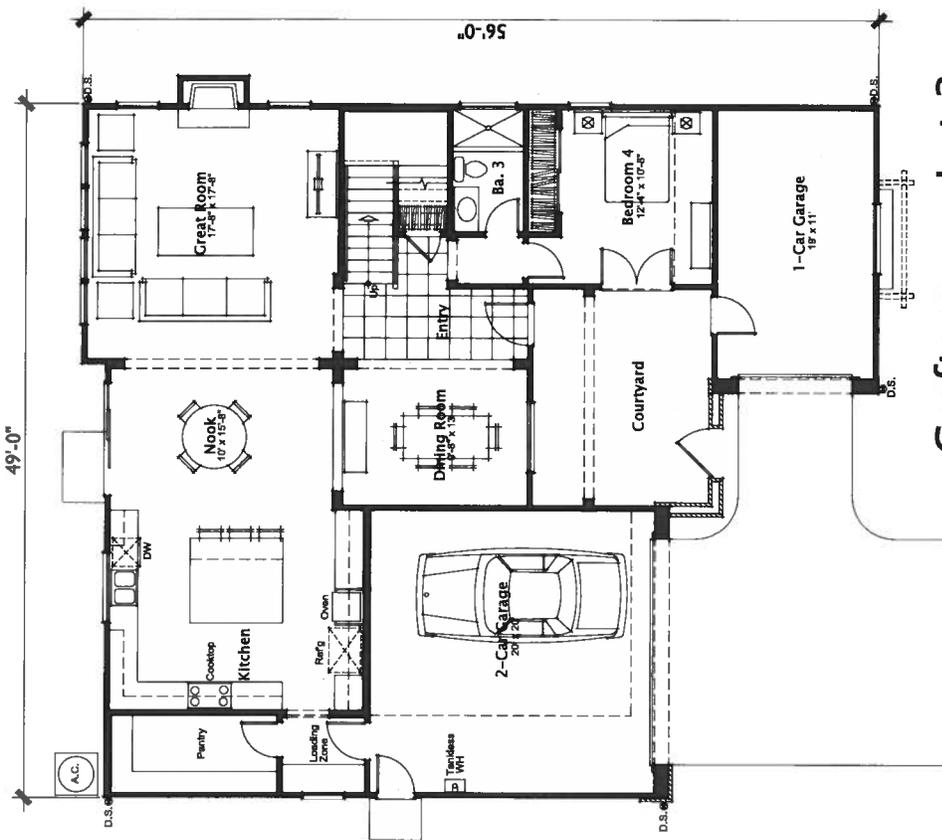
- ### CONCEPTUAL PLANT PALETTE
- Plants such as:
- TREES**
 - (30" Box) *Podocarpus grandis* (Fern Pine)
 - (30" Box) *Pyralis laevigata* (Evergreen Pear)
 - (40" Box) *Platanus occidentalis* (London Plane)
 - SHRUBS** (20% gallon & 40% 5 gallon)
 - Agave CY Blue Flame*
 - Dianella caerulea* (Cassia Blue)
 - Laymus condensatus* (Canyon Pines)
 - Lomandra longifolia* (Straw)
 - Rhus integrifolia* (Lanternberry)
 - PAVING GROUNDCOVERS** (1 Gal & 5 gal)
 - Cortaderia ssp.* (Cortado)
 - Trechasparrum* (Sedum)
 - Muhlenbergia* (Muhlenberg)
 - SLOPE GROUNDCOVERS** (1 Gal & 5 gal)
 - Myoporum laetifolium* (Myoporum)
 - Romulea officinalis* (Pheasant's Crowing)
 - Muhlenbergia* (Muhlenberg)
 - BASIN TREATMENT PALETTE** (1 Gal)
 - Rhus integrifolia* (Lanternberry)
 - Zauschneria californica* (California Fuchsia)
 - Canex* (Sage)
 - Lomandra longifolia* (Straw)
- Existing tree or shrubs to be removed (Typical)
Existing tree DBH(871) to be removed - 10"
Alternative planting to replace DBH(871) = 10"

ADL
PLANNING
ASSOCIATES, INC.
3270 STATE STREET SUITE 101
SARASOTA, FL 34238
TEL: 941-552-1111 FAX: 941-552-1114

JAN 08 2015

B. 6' HOOD PLANTER WALL

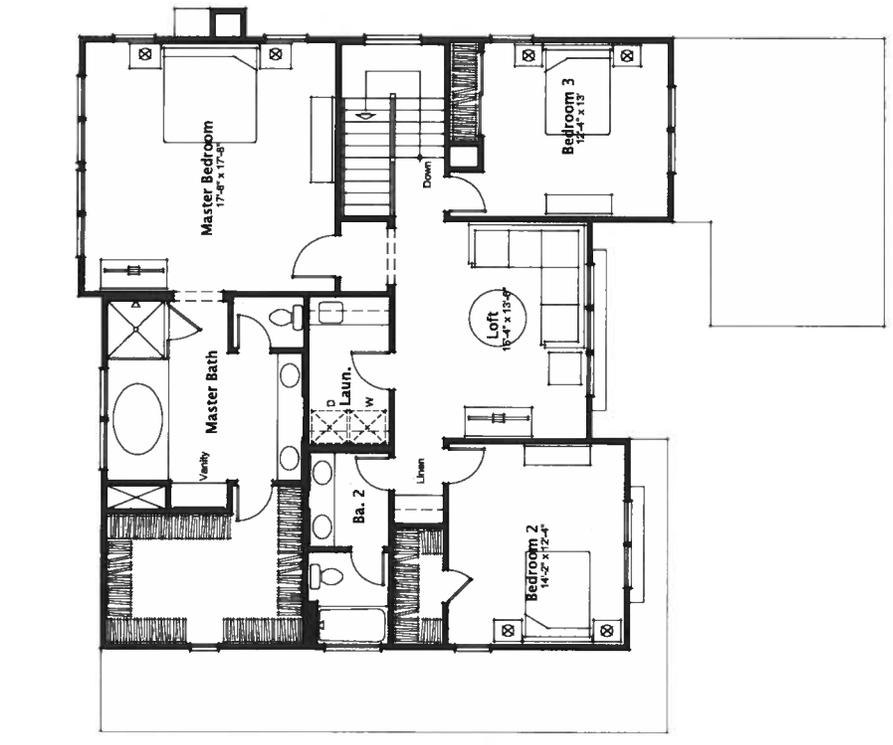
CITY OF OCEANSIDE
DEVELOPMENT SERVICES



**Craftsman - Lot 3
First Floor Plan**

total: 2,988 sq. ft.
2-Car Garage: 430 sq. ft.
1-Car Garage: 233 sq. ft.

Scale: 1/4" = 1'-0"



Second Floor Plan

1,549 sq. ft.

**Cottage - Lots 2 & 5
First Floor Plan**

1-Car Garage
18' x 11'



Mark Gross & Associates, Inc.
8881 Research Dr., Irvine, California 92618
(949) 387-0000 Fax (949) 387-7800
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My Ridge Estates - Oceanside
Main Street Partners, Inc.
10 Pheasant Lane, Newport Beach, California 92660
(910) 871-4146

Plan 1
Floor Plans
Lots 2, 3 & 5

Sheet No. 1 Of 8
Date: 5/25/11
Project Number: 2238
Scale: 1/4" = 1'-0"
Revision:



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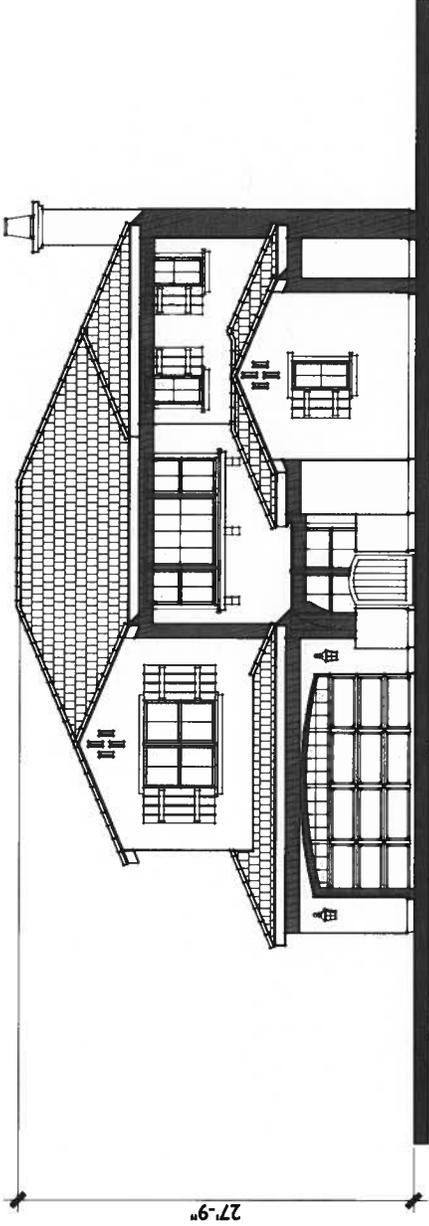
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Ivy Ridge Estates - Oceanside
 Main Street Partners, Inc.
 10 Pheasant Lane, Newport Beach, California 92660
 (310) 871-4146

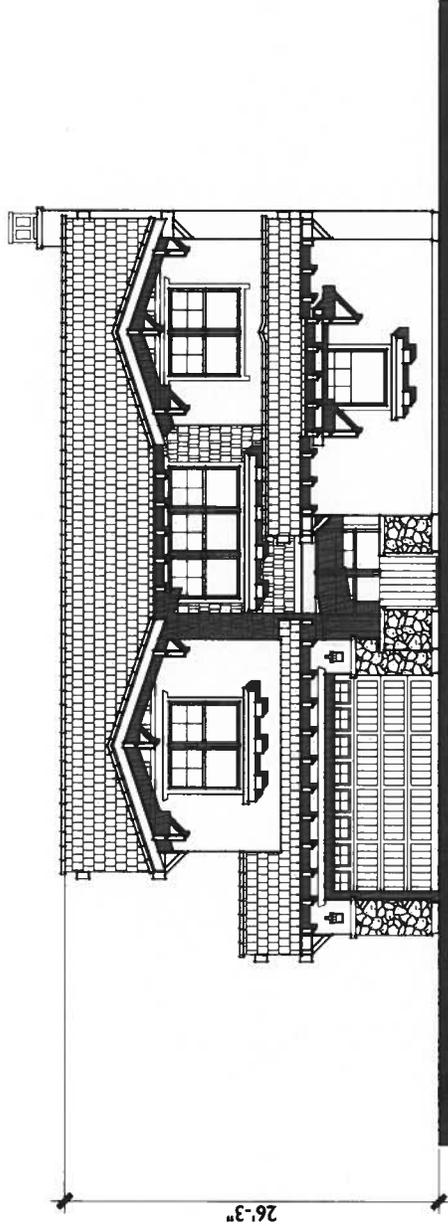
Plan 1
 Front
 Elevations
 Lots 2, 3 & 5

Sheet No. 42381
 Project Number 149
 1/4" = 1'-0"

Revision
 Sheet No. 2 Of 8



Cottage Front Elevation - Lots 2 & 5



Craftsman Front Elevation - Lot 3

Lot 2 - Cottage Scheme 1:

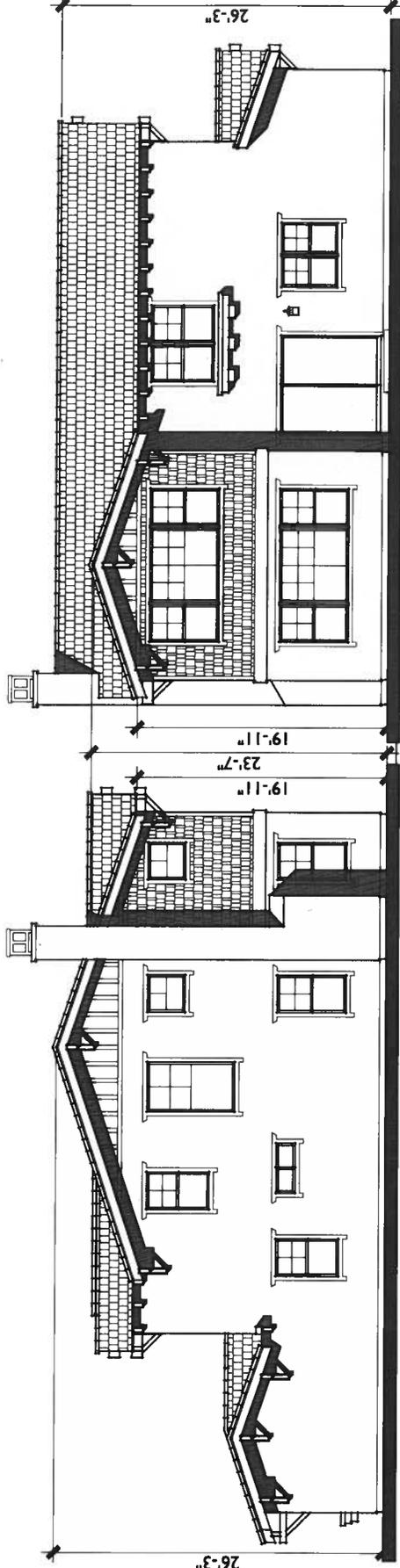
- 1 4887 Concrete Roof Tile By "Eagle Roof Tile".
- 2 Shocco Finish By "Merlex", 1520 Sand Finish.
- 3 P-100 Glacier White.
- 4 Fascia, Eave, Trim & Wood Post Color By "Duinn Edwards", DEW036 Lightness.
- 5 Garage Door Color By "Duinn Edwards", DE8228 Calico Rock.
- 6 Entry Door & Shutter Color By "Duinn Edwards", DE8357 Black Tile.

Lot 3 - Craftsman Scheme 5:

- 1 "Flair" Concrete Roof Tile By "Eagle Roof Tile".
- 2 SCP1804 Hampshire Blend.
- 3 Shocco Finish By "Merlex", 1520 Sand Finish.
- 4 P-479 Humboldt.
- 5 Synthetic Stone Veneer By "El Dorado Stone".
- 6 Shingled Siding Color By "Duinn Edwards", DE8222 Weather Board.
- 7 Gable, Inset & Garage Door Color By "Duinn Edwards", DE8216 Barnet Stone.
- 8 Entry Door & Shutter Color By "Duinn Edwards", DE8204 Tile White.
- 9 Entry Door & Shutter Color By "Duinn Edwards", DE8217 Ancient Earth.

Lot 5 - Cottage Scheme 3:

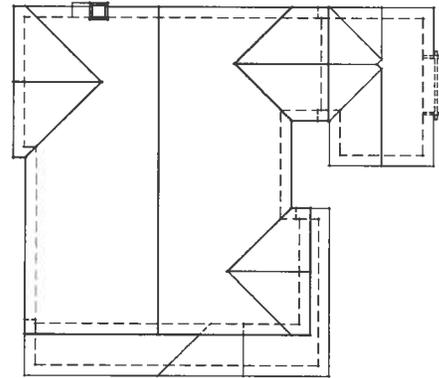
- 1 "Flair" Concrete Roof Tile By "Eagle Roof Tile".
- 2 4889 Brown Range.
- 3 Shocco Finish By "Merlex", 1520 Sand Finish.
- 4 P-472 Mystic Pine.
- 5 Fascia, Eave, Trim & Wood Post Color By "Duinn Edwards", DE8272 Norek White.
- 6 Garage Door Color By "Duinn Edwards", DE8062 Tie Bag.
- 7 Entry Door & Shutter Color By "Duinn Edwards", DE8201 Shutter Only.



Right Elevation

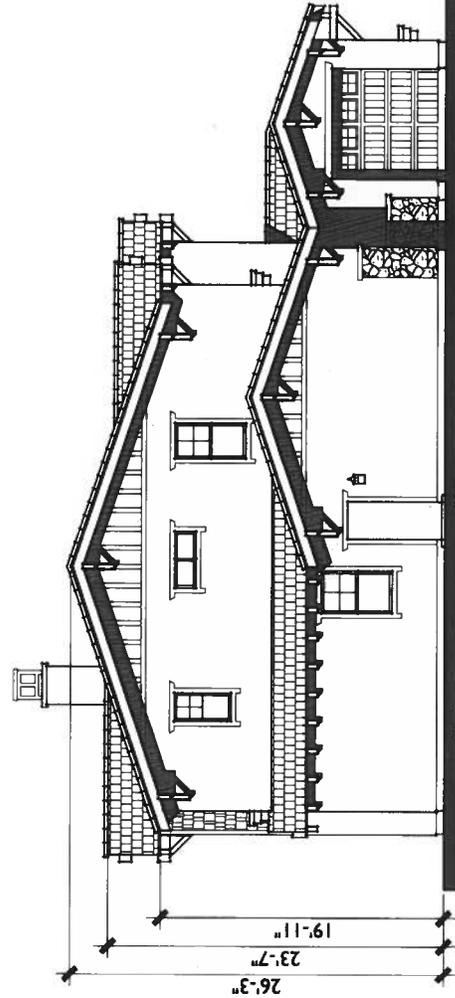
Rear Elevation

Scale: 1/4" = 1'-0"

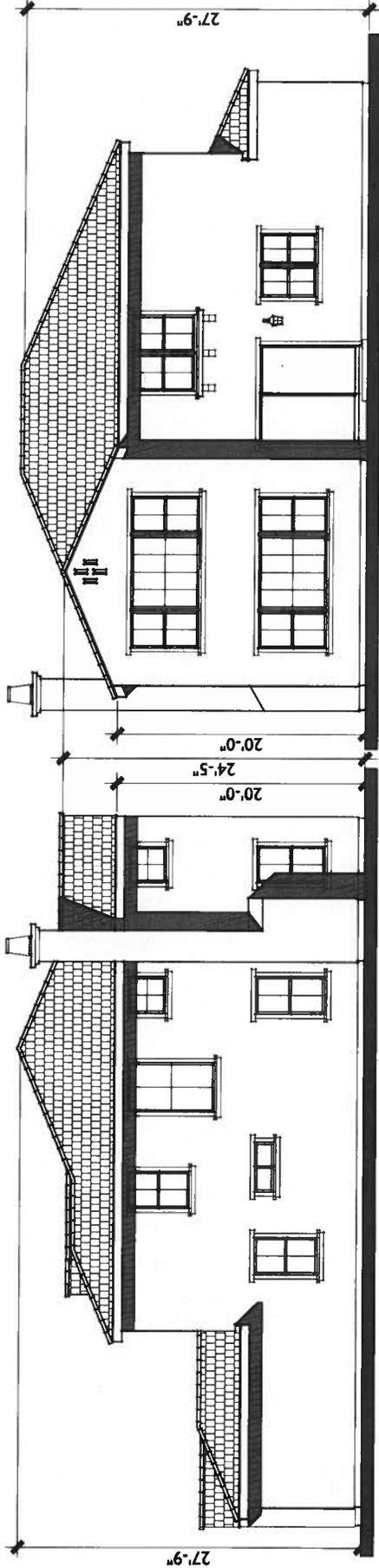


Roof Plan

Scale: 1/8" = 1'-0"

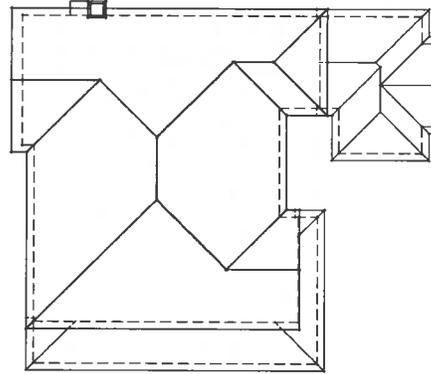


Left Elevation

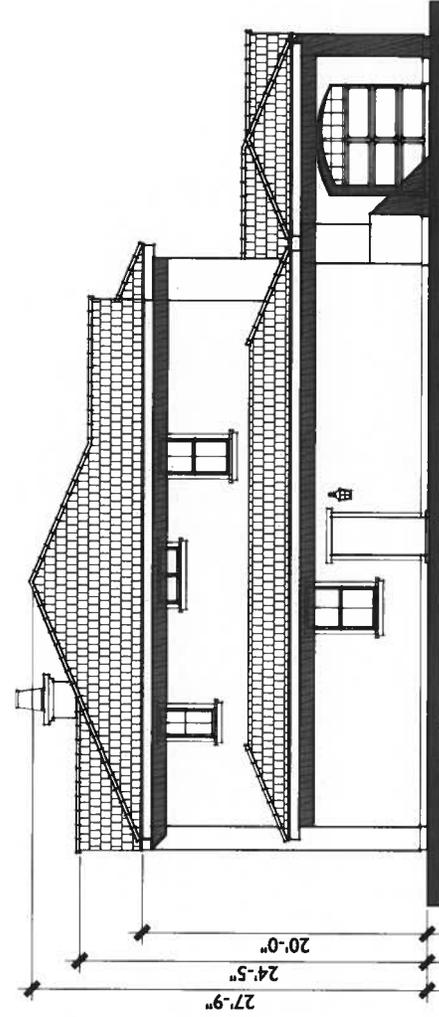


Right Elevation

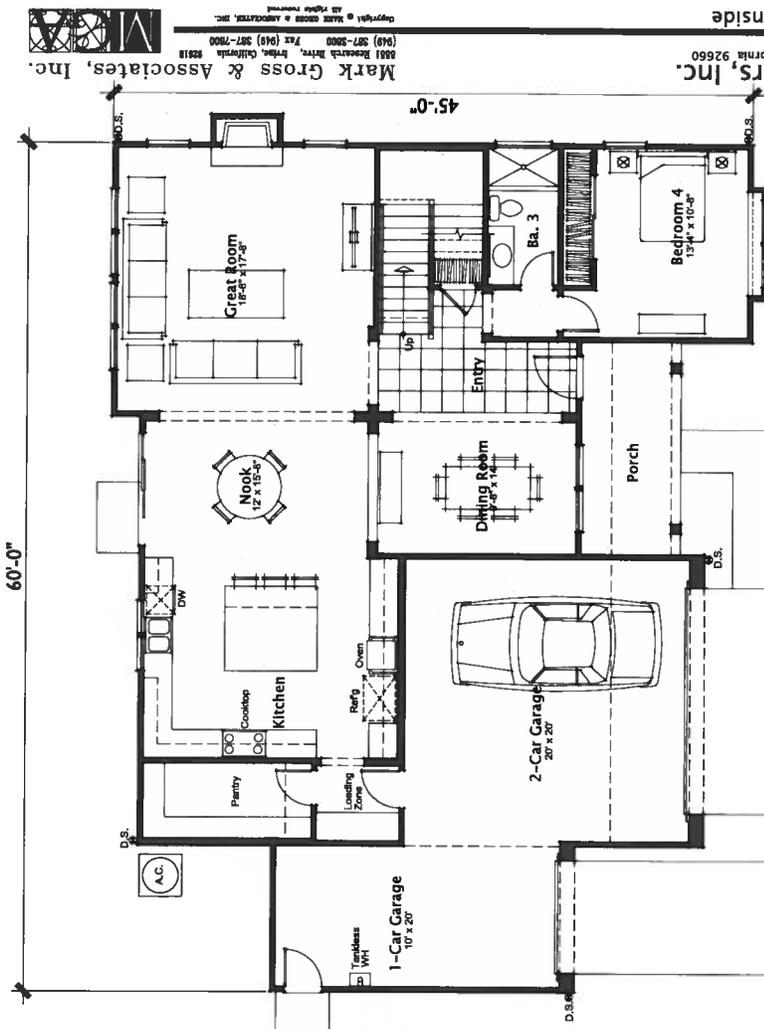
Rear Elevation
Scale: 1/4" = 1'-0"



Roof Plan
Scale: 1/8" = 1'-0"



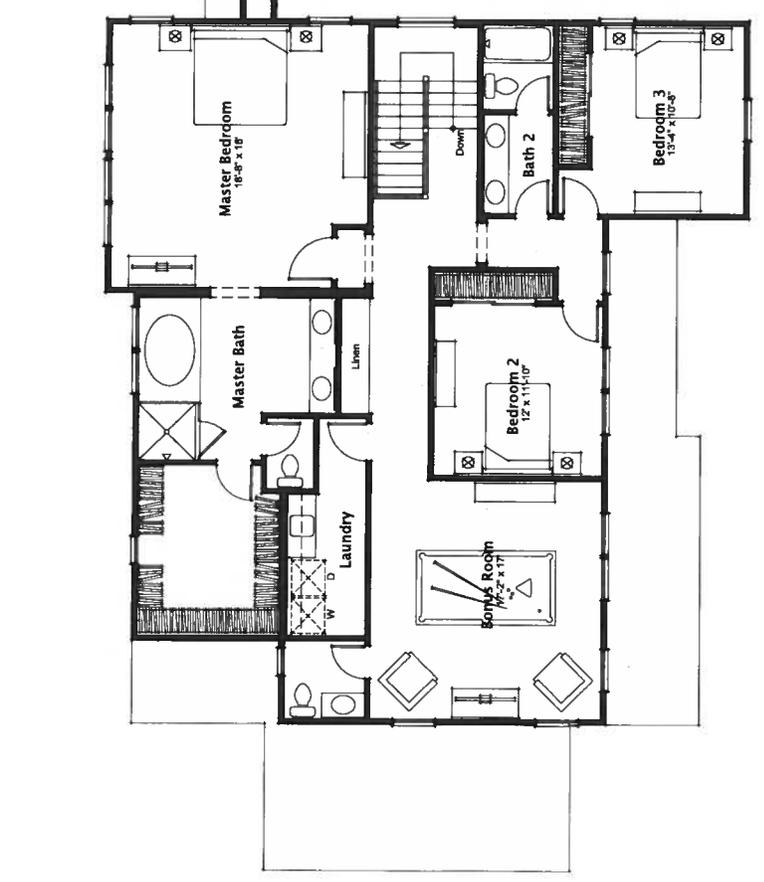
Left Elevation



Cottage - Lot 4 First Floor Plan

total: 3,188 sq. ft.
2-Car Garage: 420 sq. ft.
1-Car Garage: 215 sq. ft.

Scale: 1/4" = 1'-0"



Second Floor Plan

1,692 sq. ft.



Craftsman - Lot 1 First Floor Plan

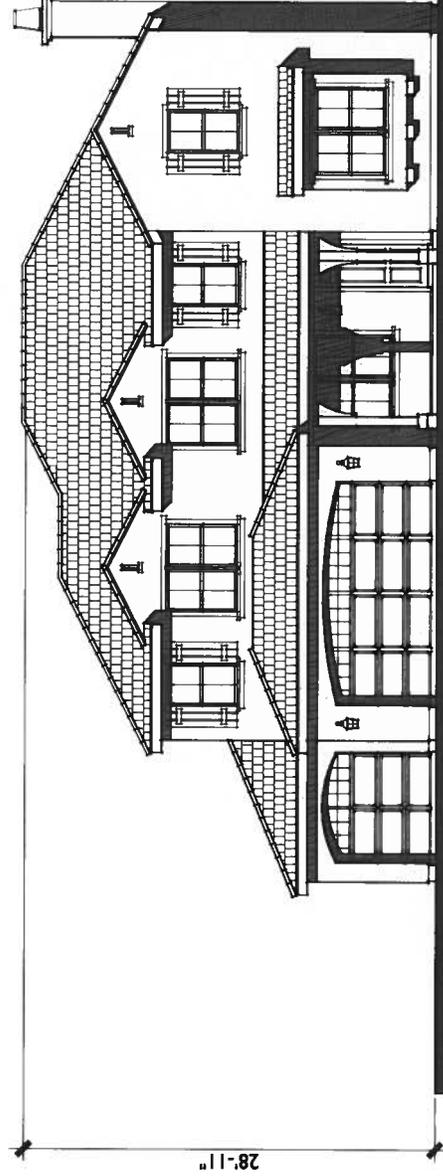
Second Floor Plan



Craftsman Front Elevation – Lot 1

Lot 1 - Craftsman Scheme 4:

- 1 Thin Concrete Roof Tile By "Eagle Roof Tile", 5807 Brown, Or. Co.
- 2 Stucco Finish By "Merlex", 1520 Sand Finish
- 3 P-1658 Mint Chip
- 4 Synthetic Stone Vanner By "El Dorado Stone", 1520 Sand Finish
- 5 Shingle Siding Color By "Dunn Edwards", DER235 Northgate Green
- 6 Gable Insert & Garage Door Color By "Dunn Edwards", DEE027 Coconut Shell
- 7 Entry Door & Shutter Color By "Dunn Edwards", DER105 Weathered Leather



Cottage Front Elevation – Lot 4

Lot 4 - Cottage Scheme 2:

- 1 Thin Concrete Roof Tile By "Eagle Roof Tile", 4071 Village Blend
- 2 Stucco Finish By "Merlex", 1520 Sand Finish
- 3 P-171 Fritridge
- 4 Shingle Siding Color By "Dunn Edwards", DER235 Northgate Green
- 5 Entry Door & Shutter Color By "Dunn Edwards", DEC765 Bone
- 6 Entry Door & Shutter Color By "Dunn Edwards", DEC765 Bone
- 7 Entry Door & Shutter Color By "Dunn Edwards", DEC765 Bone



Mark Gross & Associates, Inc.

8881 Research Drive, Irvine, California 92618
(949) 397-3000 Fax (949) 397-7900

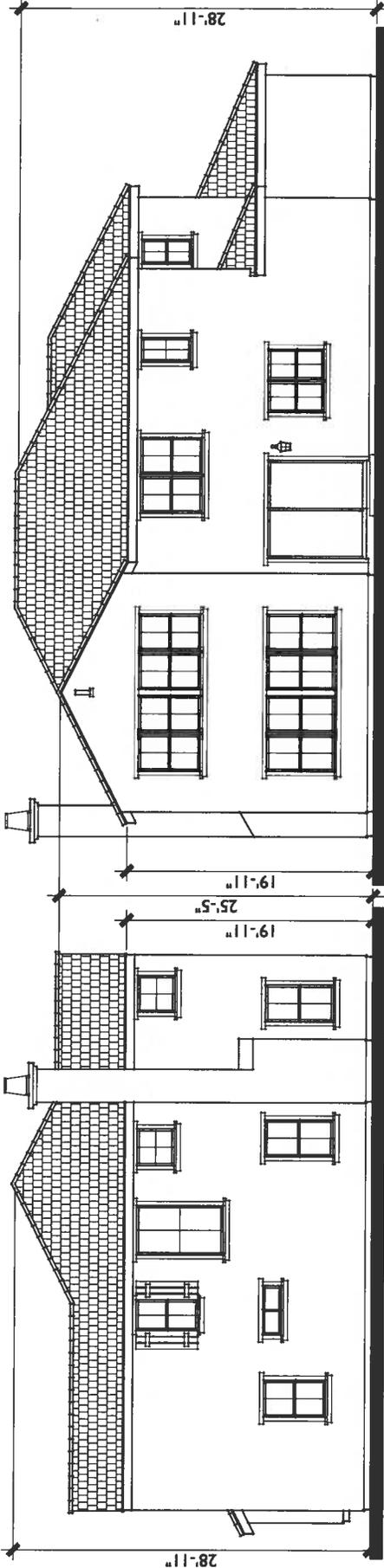
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Ivy Ridge Estates - Oceanside
Main Street Partners, Inc.
10 Pinhurst Lane, Newport Beach, California 92660
(310) 871-4146

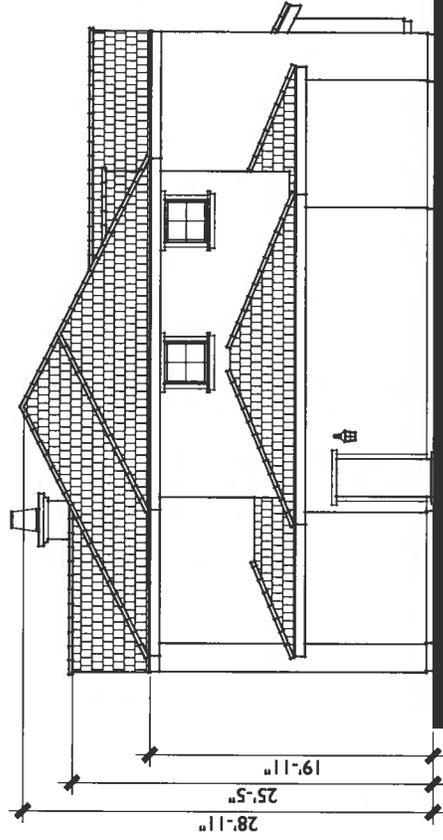
Plan 2
Cottage
Elevations
Lot 4

Sheet No. 4236
Project Number
1/8" = 1'-0"
Revision

Sheet No.
7 Of 8

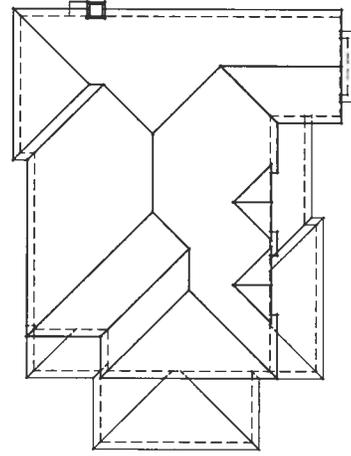


Rear Elevation
Scale: 1/4" = 1'-0"

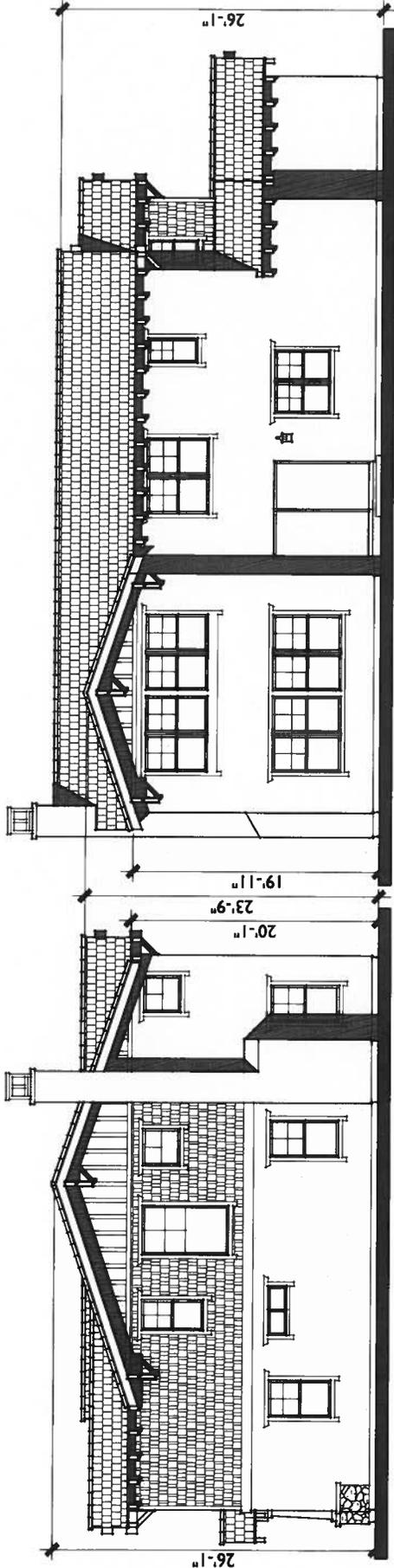


Left Elevation

Right Elevation

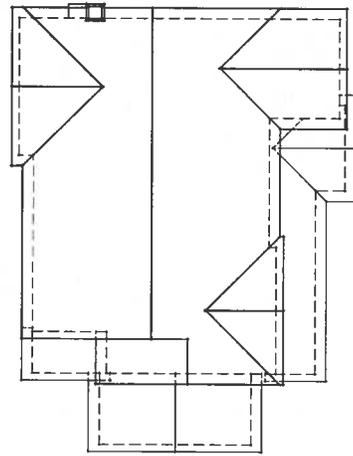


Roof Plan
Scale: 1/8" = 1'-0"

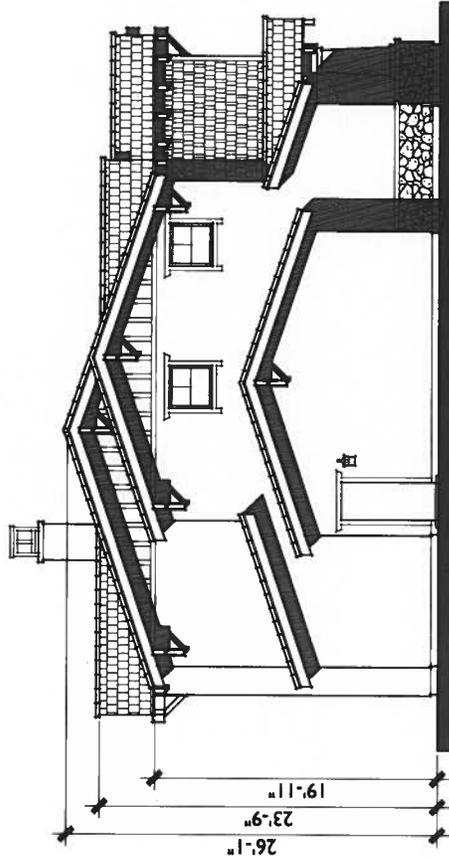


Right Elevation

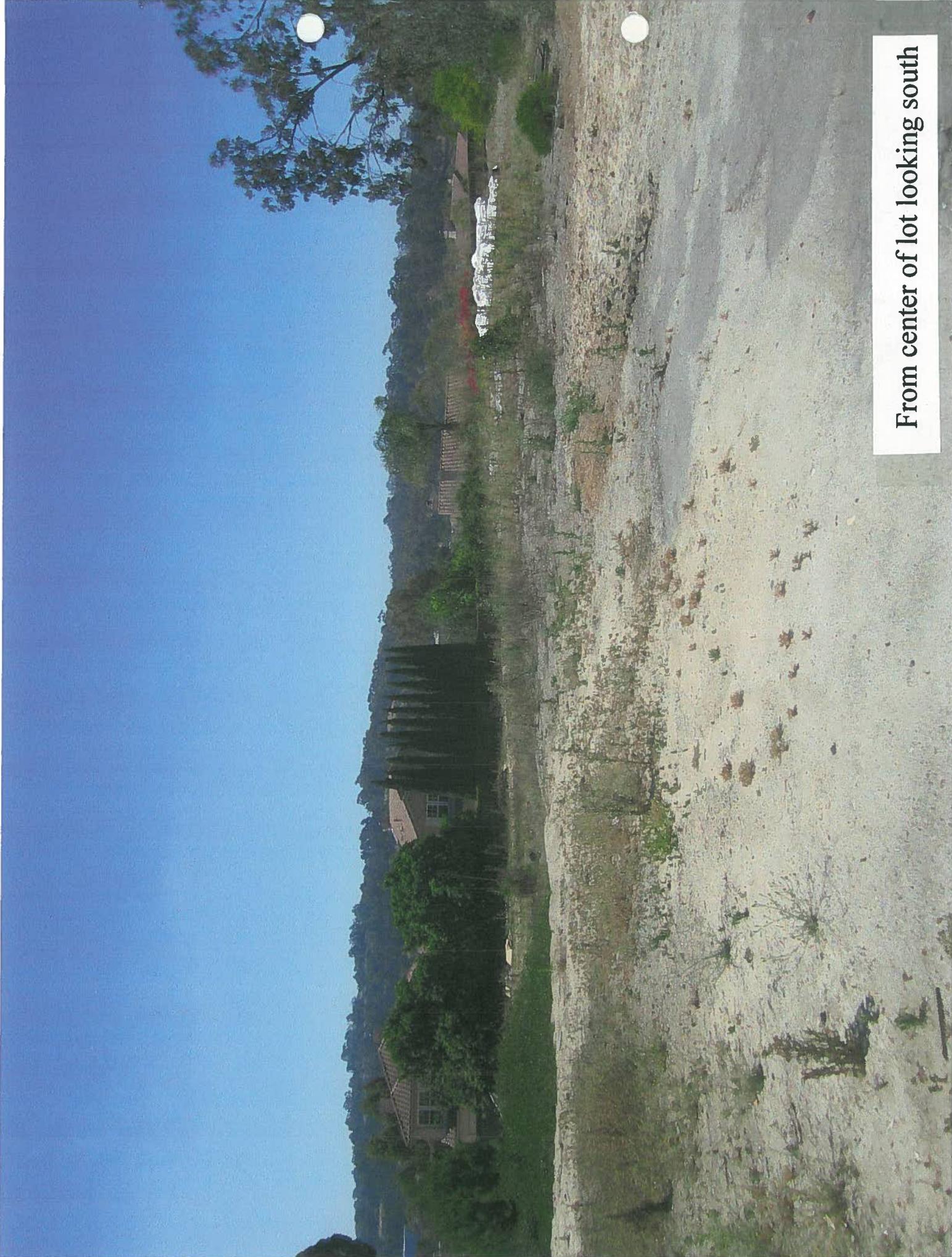
Rear Elevation
Scale: 1/4" = 1'-0"



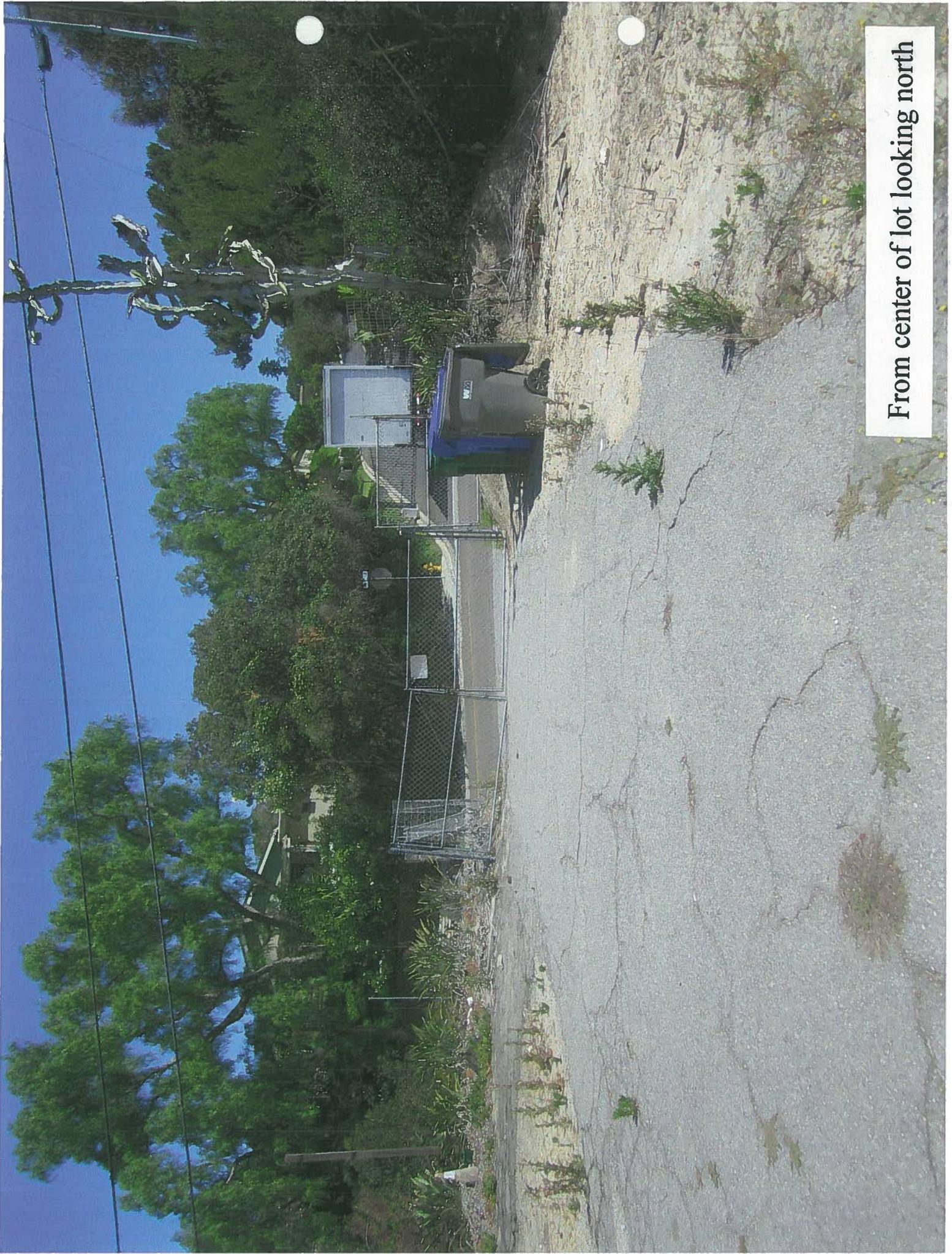
Roof Plan
Scale: 1/8" = 1'-0"



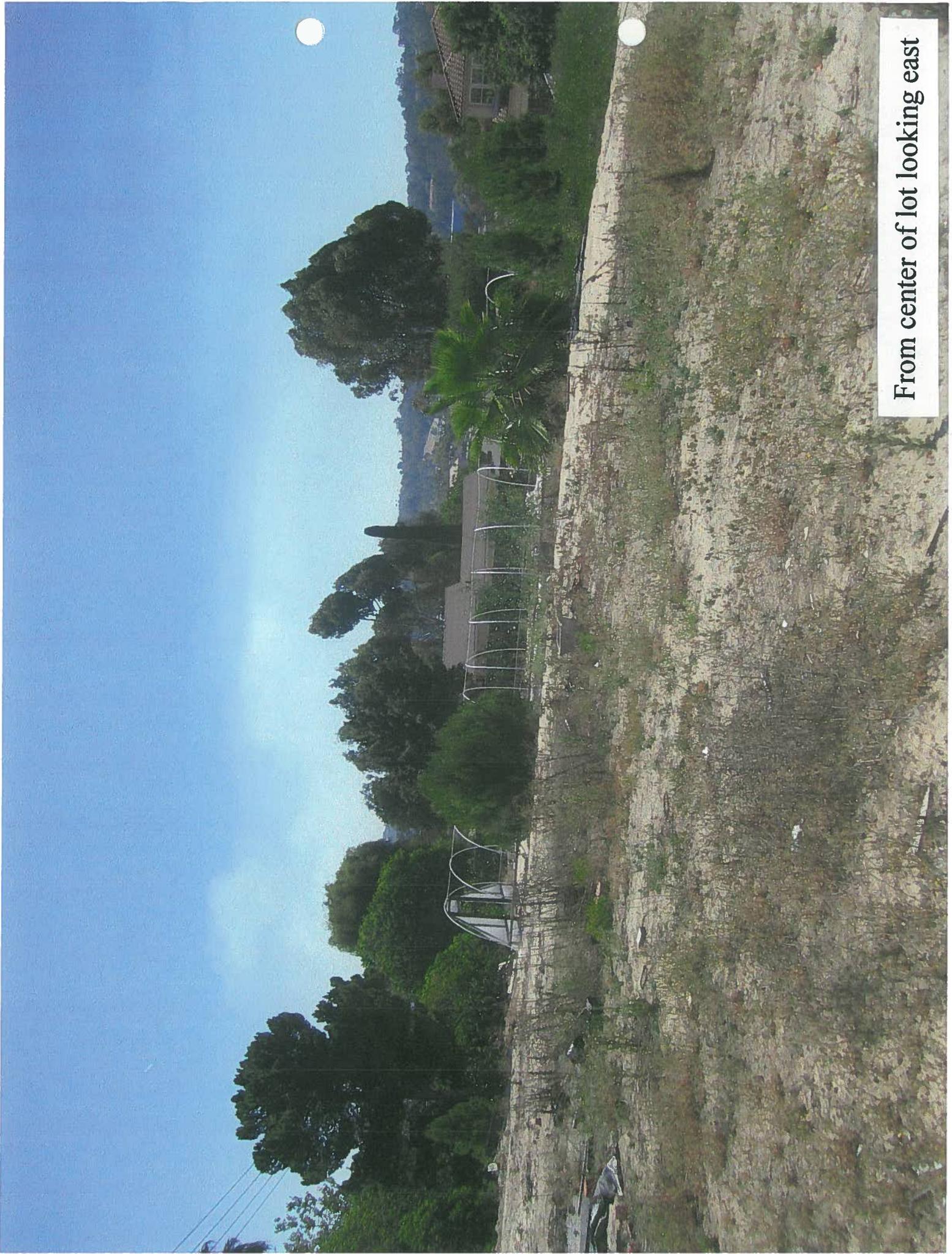
Left Elevation



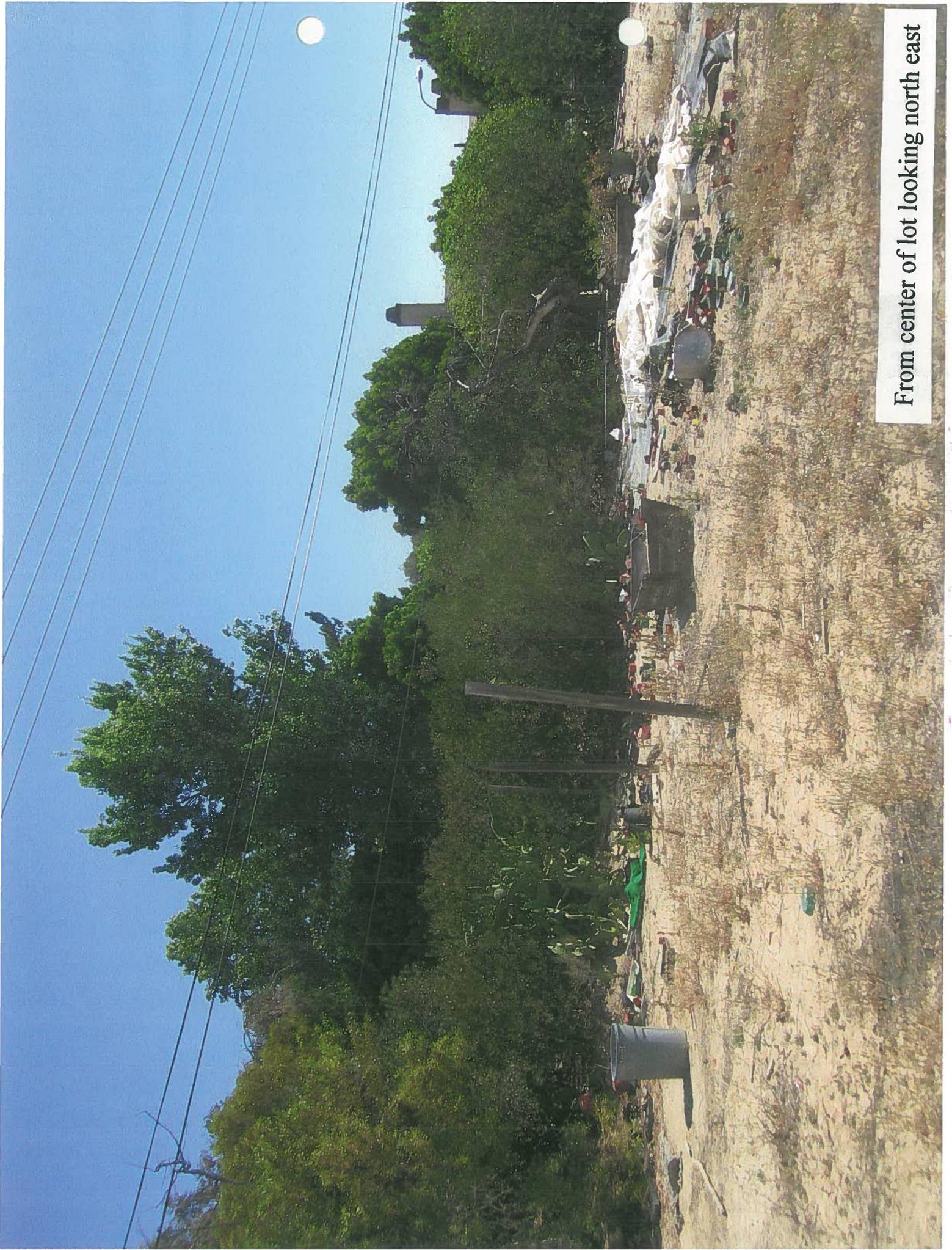
From center of lot looking south



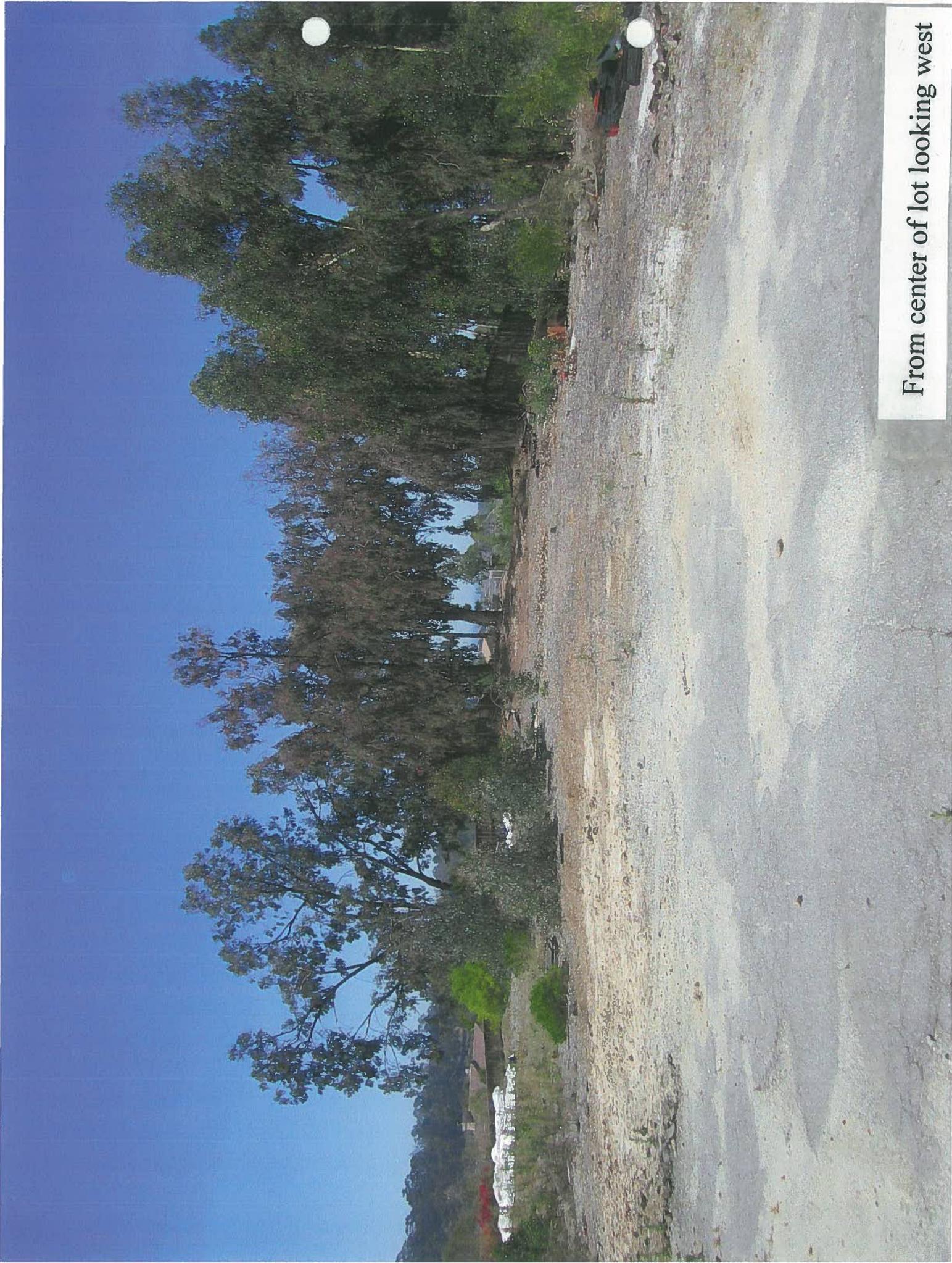
From center of lot looking north



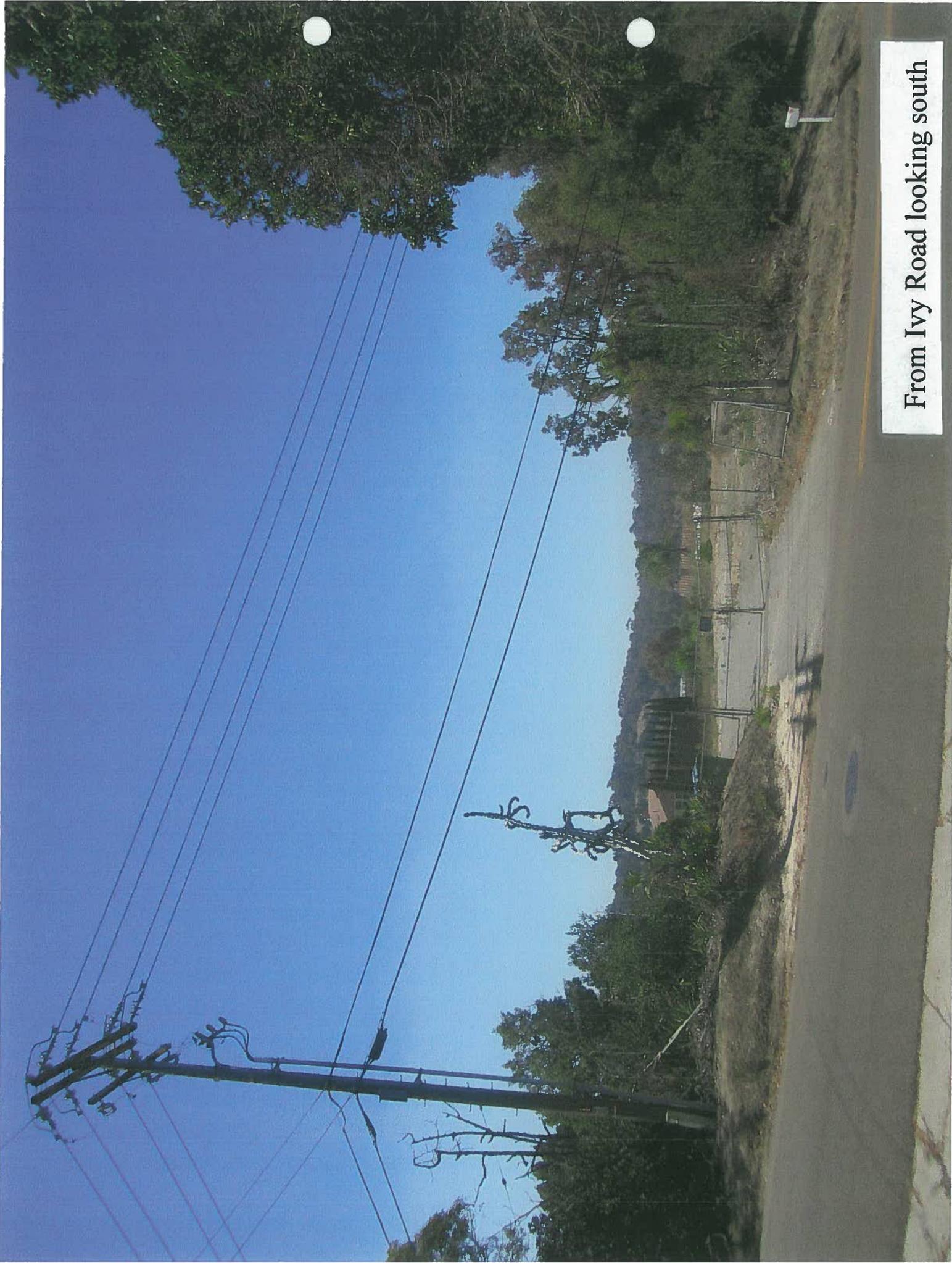
From center of lot looking east



From center of lot looking north east



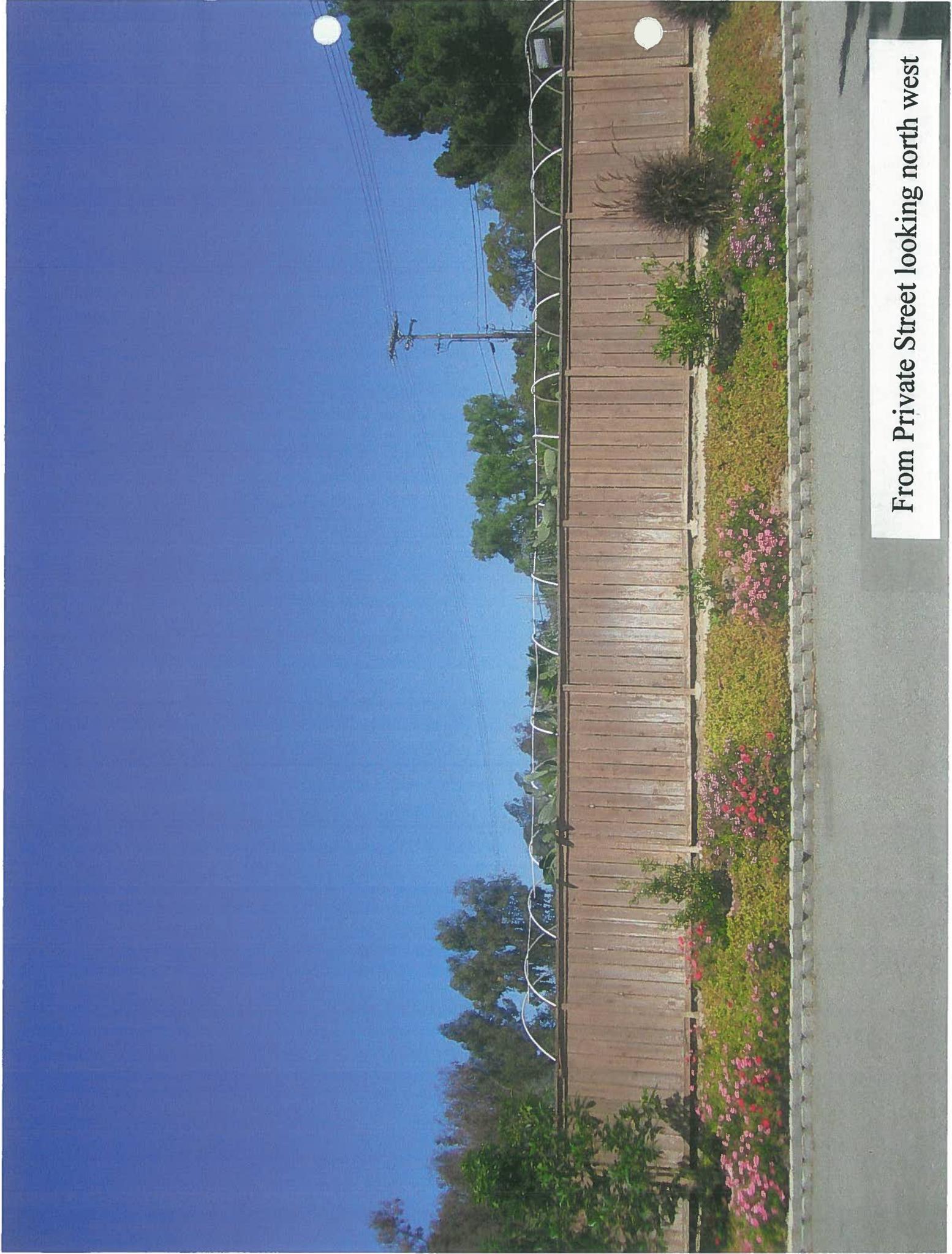
From center of lot looking west



From Ivy Road looking south



From Ivy Road looking south west



From Private Street looking north west



From Ivy Road looking south east

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PLANNING COMMISSION
RESOLUTION NO. 2015-P11

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA APPROVING A TENTATIVE MAP, DEVELOPMENT PLAN, AND CONDITIONAL USE PERMIT ON CERTAIN REAL PROPERTY IN THE CITY OF OCEANSIDE

APPLICATION NO: T14-00004, D14-00007, CUP 14-00013
APPLICANT: Main Street Partners Inc. – Buccola Engineering, Inc.
LOCATION: 2535 Ivy Road
(APN 165-240-32)

THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES RESOLVE AS FOLLOWS:

WHEREAS, there was filed with this Commission a verified petition on the forms prescribed by the Commission requesting a Tentative Map, Development Plan, and Conditional Use Permit, and under the provisions of Articles 10 and 43 of the Zoning Ordinance and Article IV of the Subdivision Ordinance, to permit the following:

a five-lot subdivision for single-family residential purposes and construction of five single family detached homes, each with associated on-site parking facilities and landscaping; on certain real property described in the project description.

WHEREAS, the Planning Commission, after giving the required notice, did on the 7th day of April, 2015 conduct a duly advertised public hearing as prescribed by law to consider said application.

WHEREAS, pursuant to the California Environmental Quality Act and State Guidelines thereto; this project is categorically exempt from CEQA per Article 19, Section 15332 (In-Fill Development Projects);

WHEREAS, there is hereby imposed on the subject development project certain fees, dedications, reservations and other exactions pursuant to state law and city ordinance;

WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the project is subject to certain fees, dedications, reservations and other exactions as provided below:

1	<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
2			
3	Parkland Dedication/Fee	Ordinance No. 91-10 Resolution No. 06-R0334-1	\$3,503 per unit
4			
5	Drainage Fee	Ordinance No. 85-23 Resolution No. 06-R0334-1	Depends on area (range is \$2,843-\$15,964 per acre)
6			
7	Public Facility Fee	Ordinance No. 91-09 Resolution No. 06-R0334-1	\$2,072 per unit for residential
8			
9	School Facilities Mitigation Fee	Ordinance No. 91-34	\$3.20 per square foot residential
10			
11	Traffic Signal Fee	Ordinance No. 87-19 Resolution No. 06-R0334-1	\$15.71 per vehicle trip
12			
13	Thoroughfare Fee	Ordinance No. 83-01	\$255 per vehicle trip (based on SANDAG trip generation table available from staff and from SANDAG)
14			
15	Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 09-OR 0093-1	Fee based on water meter size. Residential is typically \$4,597 per unit.
16			
17			
18	Wastewater System Buy-in fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 05-OR 0092-1	Based on capacity or water meter size. Residential is typically \$6,313 per unit.
19			
20			
21	San Diego County Water Authority Capacity Fees	SDCWA Ordinance No. 2005-03	Based on meter size. Residential is typically \$4,492 per unit.
22			
23			
24	Inclusionary housing in lieu fees—Residential only.	Chapter 14-C of the City Code	\$1,000 per development project, \$100 per unit, plus \$2.11 per square foot.
25			
26			
27	//////////		
28	//////////		
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1 WHEREAS, the current fees referenced above are merely fee amount estimates of the
2 impact fees that would be required if due and payable under currently applicable ordinances and
3 resolutions, presume the accuracy of relevant project information provided by the applicant, and
4 are not necessarily the fee amount that will be owing when such fee becomes due and payable;

5 WHEREAS, unless otherwise provided by this resolution, all impact fees shall be
6 calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside
7 City Code and the City expressly reserves the right to amend the fees and fee calculations
8 consistent with applicable law;

9 WHEREAS, the City expressly reserves the right to establish, modify, or adjust any fee,
10 dedication, reservation or other exaction to the extent permitted and as authorized by law;

11 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that
12 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction
13 described in this resolution begins on the effective date of this resolution and any such protest must
14 be in a manner that complies with Section 66020;

15 WHEREAS, pursuant to Oceanside Zoning Ordinance §2115, this resolution becomes
16 effective 20 days from its adoption in the absence of the filing of an appeal or call for review;

17 WHEREAS, studies and investigations made by this Commission and in its behalf reveal
18 the following facts:

19 FINDINGS:

20 For Tentative Map (T13-00003):

- 21 1. That the proposed Tentative Map is consistent with the General Plan of the City by
22 meeting and exceeding lot size requirements and other applicable provisions of the
23 Zoning Ordinance and the Subdivision Ordinance. The subject property bears a zoning
24 designation of Single-Family Residential (R-S), which requires a minimum lot size of
25 6,000 square feet. The lot sizes created by this subdivision map exceed the 6,000
26 square-foot minimum, ranging in size between 7,088 and 8,786 gross square feet.
- 27 2. The 1.163-acre site is physically suitable for the proposed type of development. The
28 design of the subject subdivision will provide parcels with pad areas of sufficient size
29 and dimension to accommodate five residential lots. Moreover, the site design, will
allow for proper separation between the homes, adequate vehicle circulation and parking
as well as ample landscape coverage. That the design of the subdivision or the proposed

1 improvements will not cause substantial environmental damage or substantially and
2 avoidably injure fish or wildlife or their habitat. The subject property is located in an
3 urbanized and developed area and contains no sensitive habitat.

4 4. That the design of the subdivision or the type of improvements meets City standards and
5 will not conflict with easements, acquired by the public at large, for access through or
6 the use of property within the proposed subdivision. There are no easements, acquired
7 by the public at large, for access through or the use of the subject property.

8 5. That the subdivision complies with all other applicable ordinances, regulations and
9 guidelines of the City of Oceanside. The proposed tentative map exhibit accords with
10 the form and content requirements of the City's Subdivision Ordinance (Section 401).

11 For the Development Plan (D14-00007):

12 1. The site plan and physical design of the project is consistent with the Zoning Ordinance
13 and the underlying Single Family Density Residential zone (SFD), as well as the policies
14 contained within Sections 1.24 and 1.25 of the Land Use Element of the General Plan.
15 Remedial grading to provide slope stabilization will not require modifications to the
16 previously approved project inconsistent with the project's original site planning and
17 physical design.

18 2. The Development Plan conforms to the General Plan of the City. With approval of the
19 Conditional Use Permit indicated herein, the five-lot single-family subdivision would be
20 permitted to exceed the base density of 3.6 dwelling units per acre, thereby resulting in a
21 density of 4.45 dwelling units per acre. As such, it will not conflict with any General
22 Plan policies, including the goals and objectives of Community Values Section 1.13(H)
23 and Community Development Sections 2.0, 2.02, 2.3, and 2.32 of the Land Use Element
24 of the General Plan.

25 3. The project site can be adequately served by existing public facilities, services and
26 utilities.

27 4. The project, as proposed, is compatible with existing and potential development on
28 adjoining properties and in the surrounding neighborhood.

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1 For the Conditional Use Permit (CUP14-00013):

- 2 1. The proposed location of the use is in accord with the objectives of the Zoning
3 Ordinance and the purposes of the Single-Family Residential (RS) zoning district in
4 which the site is located. In accordance with Zoning Code Section 1050 (B), the
5 Conditional Use Permit would allow a net density of 4.45 dwelling units per acre, which
6 is within the density range permitted of 3.6 to 5.9 dwelling units per acre. Moreover, as
7 required by Zoning Code Section 1050 (B), the project would conform with Section 2.3
8 of the Land Use Element of the General Plan, which allows densities above 3.6 dwelling
9 units per acre for residential projects possessing an excellence of design features. The
10 proposed project includes lot areas which exceed the 6,000 minimum required,; setbacks
11 and lot coverage which exceed minimum standards, and superior architectural design
12 and materials.
- 13 2. The proposed five-lot single-family residential project will be consistent with the pattern
14 of development found throughout the Fire Mountain neighborhood. The develop consists
15 of lots which exceed the minimum 6,000 square-foot standard size for the RS district, in
16 much the same way as other single family residential developments in the area. The lots
17 created by this subdivision are between 7,000 to nearly 9,000 square feet. Also, like
18 similar developments in the area, the single family homes will be two story and over
19 2,000 square feet. Physical improvements to the site will include the undergrounding of
20 utilities as well as installation of public sidewalks.
- 21 3. The proposed conditional use will comply with the provisions of the Zoning Ordinance,
22 in that it will fall within the allowable density range of 3.6 and 5.9 dwelling units per
23 acre, conform to all applicable development standards, and posses an excellence of
24 design features..

25 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby
26 approve Tentative Parcel Map (T14-00004), Development Plan (D14-00007), and Conditional
27 Use Permit (CUP14-00013), subject to the following conditions:

28 ////////////////

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1 **Building:**

- 2 1. Construction shall comply with the current addition edition of the California Codes.
- 3 2. California Residential Code requires each new one and two family dwellings to install
- 4 an Automatic Fire Sprinkler System designed and installed in accordance with CRC
- 5 Section R 313.3 or NFPA 13D.
- 6 3. All new one and two family dwellings shall comply with the current California Green
- 7 Code.
- 8 4. The granting of approval under this action shall in no way relieve the applicant/project
- 9 from compliance with all state and local building codes.
- 10 5. The building plans for this project are required by state law to be prepared by a licensed
- 11 architect or engineer and must comply with this requirement prior to submittal for building
- 12 plan review.
- 13 6. All electrical, communication, CATV, etc. service lines within the exterior lines of the
- 14 property shall be underground (City Code Sec. 6.30).
- 15 7. The developer shall monitor, supervise and control all building construction and supporting
- 16 activities so as to prevent these activities from causing a public nuisance, including, but not
- 17 limited to, strict adherence to the following:
- 18 a) Building construction work hours shall be limited to between 7:00 a.m. and 6:00
- 19 p.m. Monday through Friday, and on Saturday from 7:00 a.m. to 6:00 p.m. for work
- 20 that is not inherently noise-producing. Examples of work not permitted on
- 21 Saturday are concrete and grout pours, roof nailing and activities of similar noise-
- 22 producing nature. No work shall be permitted on Sundays and Federal Holidays
- 23 (New Year's Day, Memorial Day, July 4th, Labor Day, Thanksgiving Day, and
- 24 Christmas Day) except as allowed for emergency work under the provisions of the
- 25 Oceanside City Code Chapter 38 (Noise Ordinance).
- 26 b) The construction site shall be kept reasonably free of construction debris as
- 27 specified in Section 13.17 of the Oceanside City Code. Storage of debris in
- 28 approved solid waste containers shall be considered compliance with this
- 29 requirement. Small amounts of construction debris may be stored on-site in a neat,
- safe manner for short periods of time pending disposal.

- 1 8. Separate/unique addresses will be required to facilitate utility releases. Verification that the
2 addresses have been properly assigned by the City's Planning Division must accompany
3 the Building Permit application.
- 4 9. A complete Soils Report, Structural Calculations, & Energy Calculations/documentation
5 will be required at time of plans submittal to the Building Division for plan check.

6 **Engineering:**

- 7 10. For the demolition of any existing structure or surface improvements; grading plans shall
8 be submitted and erosion control plans be approved by the City Engineer prior to the
9 issuance of a demolition permit. No demolition shall be permitted without an approved
10 erosion control plan.
- 11 11. Design and construction of all improvements shall be in accordance with the City of
12 Oceanside Engineers Design and Processing Manual, City Ordinances, and standard
13 engineering and specifications of the City of Oceanside and subject to approval by the
14 City Engineer.
- 15 12. All right-of-way alignments, street dedications, exact geometrics and width shall be
16 dedicated and constructed or replaced as required by the City Engineer.
- 17 13. All improvements shall be under construction to the satisfaction of the City Engineer prior
18 to the issuance of any building permits. All improvements shall be completed prior to
19 issuance of any certificates of occupancy.
- 20 14. The tract shall be recorded and developed as one. The City Engineer shall require the
21 dedication and construction of necessary utilities, streets and other improvements outside
22 the area of this final map, if such is needed for circulation, parking, access or for the
23 welfare or safety of future occupants of the development.
- 24 15. Prior to the issuance of any grading, improvement or building permits for a model
25 complex, all improvements shall be under construction to the satisfaction of the City
26 Engineer prior to the issuance of any building permits, including any model home. All
27 public and private improvements including landscaping and off-site streets that are
28 found to be required to serve the model complex shall be completed prior to the issuance
29 of any certificates of occupancy.
16. Provide the City of Oceanside with a certification from each public utility and each
public entity owning easements within the proposed project stating that: (a) they have

1 received from the owner/developer a copy of the proposed map; (b) they object or do not
2 object to the filing of the map without their signature; (c) in case of a street dedication
3 affected by their existing easement, they will sign a "subordination certificate" or "joint-
4 use certificate" on the map when required by the governing body. In addition, the
5 owner/developer shall furnish proof to the satisfaction of the City Engineer that no new
6 encumbrances have been created that would subordinate the City's interest over areas to
7 be dedicated for public road purposes since submittal of the project.

8 17. Pursuant to the State Map Act, improvements shall be required at the time of development.
9 A covenant, reviewed and approved by the City Attorney, shall be recorded attesting to
10 these improvement conditions and a certificate setting forth the recordation shall be placed
11 on the map.

12 18. Prior to approval of the final map or any increment, all improvement requirements, within
13 such increment or outside of it if required by the City Engineer, shall be covered by a
14 Subdivision Improvement Agreement and secured with sufficient improvement securities
15 or bonds guaranteeing performance and payment for labor and materials, setting of
16 monuments, and warranty against defective materials and workmanship.

17 19. The owner/developer shall provide five feet (5') public street dedication for Ivy Road along
18 property frontage to serve the property.

19 20. If a subdivider is required under this division or any other provision of law to make a
20 dedication for specified public purposes on a final map, the local agency shall specify
21 whether the dedication is to be in fee for public purposes or an easement for public
22 purposes.

23 21. A traffic control plan shall be prepared according to the City traffic control guidelines
24 and approved to the satisfaction of the City Engineer prior to the start of work within the
25 public right-of-way on Ivy Road. Traffic control during construction of streets that have
26 been opened to public traffic shall be in accordance with construction signing, marking
27 and other protection as required by the Caltrans Traffic Manual and City Traffic Control
28 Guidelines. Traffic control plans shall be in effect from 8:00 a.m. to 3:30 p.m. unless
29 approved otherwise.

29 22. Vehicular access rights to Ivy Road shall be relinquished to the City from all abutting
lots except for the proposed private Street.

- 1 23. Ivy Road shall be constructed with curbs and gutters and sidewalk. Ivy Road shall provide
2 a minimum of 10 feet parkway between the face of curb and the right-of-way line.
3 Sidewalk improvements shall comply with ADA requirements. Publicly maintained
4 pedestrian ramps (maintained by the City of Oceanside must be fully located within public
5 right-of-way. Minimum curb return radius shall comply with the City of Oceanside
6 Engineers Design and Processing Manual.
- 7 24. Sight distance requirements at the intersection of the proposed private street on Ivy Road
8 shall conform to the corner sight distance criteria as provided by SDRSD DS-20A and or
9 DS-20B. Minimum intersectional sight distance is required based on the posted regulatory
10 speed sign (or 85th percentile speed survey) multiplied by 10.
- 11 25. Ivy Road shall be paved and constructed half plus twelve along the property frontage as
12 required the satisfaction of the City Engineer.
- 13 26. Any existing public or private pavement, concrete curb, gutter, driveways, pedestrian
14 ramps and sidewalk within the project, or adjacent to the project boundary that are already
15 damaged or damaged during construction of the project, shall be repaired or replaced as
16 directed by the City Engineer.
- 17 27. Streetlights shall be maintained and installed on Ivy Road if required) per City Standards to
18 the satisfaction of the City Engineer. The system shall provide uniform lighting, and be
19 secured prior to occupancy. The owner/developer shall pay all applicable fees, energy
20 charges, and/or assessments associated with City-owned (LS-2 rate schedule) streetlights
21 and shall also agree to the formulation of, or the annexation to, any appropriate street
22 lighting district.
- 23 28. This project's street shall remain private and shall be maintained by an association. The
24 pavement sections, traffic indices shall be based on approved geotechnical report and in
25 compliance with the City of Oceanside Engineers Design and Processing Manual. The
26 private project street and driveway alignments and geometric layouts shall meet the City
27 of Oceanside Engineers Design and Processing Manual.
- 28 29. Pavement sections for Ivy Road and the proposed private street, driveways and parking
29 areas shall be based upon approved soil tests and traffic indices. The pavement design is
to be prepared by the owner/developer's soil engineer and must be in compliance with the

1 City of Oceanside Engineers Design and Processing Manual and be approved by the City
2 Engineer, prior to paving.

3 30. Prior to approval of the grading plans, the owner/developer shall contract with a
4 geotechnical engineering firm to perform a field investigation of the existing pavement on
5 Ivy Road adjacent to the project boundary. The limits of the study shall be half-street plus
6 12 feet along the project's frontage. The field investigation shall include a minimum of one
7 pavement boring per 50 linear feet of street frontage. Should the existing AC thickness be
8 determined to be less than the current minimum standard for AC and Class II Base as set
9 forth in the table for City of Oceanside Pavement Design Guidelines in the City of
10 Oceanside Engineers Manual, the owner/developer shall remove and reconstruct the
11 pavement section as determined by the pavement analysis submittal process detailed in the
12 condition listed below:

13 31. Upon review of the pavement investigation, the City Engineer shall determine whether the
14 owner/developer shall: 1) Repair all failed pavement sections, header cut and grind per the
15 direction of the City Engineer, and construct a two-inch thick rubberized AC overlay; or 2)
16 Perform R-value testing and submit a study that determines if the existing pavement meets
17 current City standards/traffic indices. Should the study conclude that the pavement does
18 not meet current requirements, rehabilitation/mitigation recommendations shall be provided
19 in a pavement analysis report, and the owner/developer shall reconstruct the pavement per
20 these recommendations, subject to approval by the City Engineer.

21 32. The responsibility of private road maintenance shall be included in the CC&R of this
22 tentative map and shall be recorded concurrent or prior to the recordation of the final
23 map, and be included in the grant deed title of the future home owners.

24 33. Where proposed off-site improvements, including but not limited to slopes, public utility
25 facilities, and drainage facilities, are to be constructed, the owner/developer shall, at his
26 own expense, obtain all necessary easements or other interests in real property and shall
27 dedicate the same to the City of Oceanside as required. The owner/developer shall provide
28 documentary proof satisfactory to the City of Oceanside that such easements or other
29 interest in real property have been obtained prior to the approval of the final map (or)
/issuance of any grading, building or improvement permit for this development/project.
Additionally, the City of Oceanside, may at its sole discretion, require that the

1 owner/developer obtain at his sole expense a title policy insuring the necessary title for the
2 easement or other interest in real property to have vested with the City of Oceanside or the
3 owner/developer, as applicable.

4 34. A precise grading and private improvement plan shall be prepared, reviewed, secured and
5 approved prior to the issuance of any building permits. The plan shall reflect all pavement,
6 flatwork, landscaped areas, special surfaces, curbs, gutters, medians, striping, and signage,
7 footprints of all structures, walls, drainage devices and utility services. Parking lot striping
8 and any on-site traffic calming devices shall be shown on all precise grading and private
9 improvement plans.

10 35. This project shall provide year-round erosion control including measures for the site
11 required for the phasing of grading. Prior to the issuance of grading permit, an erosion
12 control plan, designed for all proposed stages of construction, shall be reviewed, secured by
13 the owner/developer with **cash securities or a letter of credit** and approved by the City
14 Engineer.

15 36. Prior to the issuance of a grading permit, the owner/developer shall notify and host a
16 neighborhood meeting with all of the area residents located within 300 feet of the project
17 site, to inform them of the grading and construction schedule, and to answer questions.

18 37. The owner/developer shall monitor, supervise and control all construction and
19 construction-supportive activities, so as to prevent these activities from causing a public
20 nuisance, including but not limited to, insuring strict adherence to the following:

21 a) Dirt, debris and other construction material shall not be deposited on any public
22 street or within the City's stormwater conveyance system.

23 b) All grading and related site preparation and construction activities shall be
24 limited to the hours of 7:00 a.m. to 6:00 p.m. Monday through Friday. No
25 engineering related construction activities shall be conducted on Saturdays,
26 Sundays or legal holidays unless written permission is granted by the City Engineer
27 with specific limitations to the working hours and types of permitted
28 operations. All on-site construction staging areas shall be as far as possible
29 (minimum 100 feet) from any existing residential development. Because
construction noise may still be intrusive in the evening or on holidays, the City of
Oceanside Noise Ordinance also prohibits "any disturbing excessive or offensive

1 noise which causes discomfort or annoyance to reasonable persons of normal
2 sensitivity.”

3 c) The construction site shall accommodate the parking of all motor vehicles used by
4 persons working at or providing deliveries to the site. An alternate parking site can
5 be considered by the City Engineer in the event that the lot size is too small and
6 cannot accommodate parking of all motor vehicles.

7 d) The owner/developer shall complete a haul route permit application (if required
8 for import/export of dirt) and submit to the City of Oceanside Engineering
9 Division 48 hours in advance of beginning of work. Hauling operations (if
10 required) shall be 8:00 a.m. to 3:30 p.m.. unless approved otherwise.

11 38. It is the responsibility of the owner/developer to evaluate and determine that all soil
12 imported as part of this development is free of hazardous and/or contaminated material
13 as defined by the City and the County of San Diego Department of Environmental
14 Health. Exported or imported soils shall be properly screened, tested, and documented
regarding hazardous contamination.

15 39. The approval of the tentative map shall not mean that proposed grading or improvements
16 on adjacent properties (including any City properties/right-of-way or easements) is
17 granted or guaranteed to the owner/developer. The owner/developer is responsible for
18 obtaining permission to grade to construct on adjacent properties. Should such
19 permission be denied, the tentative map shall be subject to going back to the public hearing
20 or subject to a substantial conformity review.

21 40. Prior to any grading of any part of this tract, a comprehensive soils and geologic
22 investigation shall be conducted of the soils, slopes, and formations in the project. All
23 necessary measures shall be taken and implemented to assure slope stability, erosion
24 control, and soil integrity. No grading shall occur until a detailed grading plan, to be
25 prepared in accordance with the Grading Ordinance and Zoning Ordinance is approved by
the City Engineer.

26 41. Landscaping plans, including plans for the construction of walls, fences or other structures
27 at or near intersections, must conform to intersection sight distance requirements.
28 Landscape and irrigation plans for disturbed areas shall be submitted to the City Engineer
29 prior to the issuance of a preliminary grading permit and approved by the City Engineer

1 prior to the issuance of building permits. Frontage landscaping shall be installed and
2 established prior to the issuance of any certificates of occupancy. Securities shall be
3 required only for landscape items in the public right-of-way. Any project fences, sound or
4 privacy walls and monument entry walls/signs shall be shown on, bonded for and built
5 from the landscape plans. These features shall also be shown on the precise grading plans
6 for purposes of location only. Plantable, segmental walls shall be designed, reviewed and
7 constructed by the grading plans and landscaped/irrigated through project landscape plans.
8 All plans must be approved by the City Engineer and a pre-construction meeting held,
9 prior to the start of any improvements.

10 42. Advisory condition - Unless an appropriate barrier is approved on a landscape plan, a
11 minimum 42-inch high barrier, approved by the City Engineer, shall be provided at the
12 top of all slopes whose height exceeds 20 feet or where the slope exceeds 4 feet and is
13 adjacent to any streets, an arterial street or state highway.

14 43. The drainage design shown on the tentative map, site plan or preliminary grading plan, and
15 the drainage report for this tentative map/development plan is conceptual only. The final
16 drainage report and drainage design shall be based upon a hydrologic/hydraulic study that
17 is in compliance with the latest San Diego County Hydrology and Drainage Manual to be
18 approved by the City Engineer during final engineering. All drainage picked up in an
19 underground system shall remain underground until it is discharged into an approved
20 channel, or as otherwise approved by the City Engineer. All public storm drains shall be
21 shown on City standard plan and profile sheets. All storm drain easements shall be
22 dedicated where required. The owner/developer shall be responsible for obtaining any off-
23 site easements for storm drainage facilities.

24 44. Drainage facilities shall be designed and installed to adequately accommodate the local
25 storm water runoff and shall be in accordance with the San Diego County Hydrology and
26 Design Manual and in compliance with the City of Oceanside Engineers Design and
27 Processing Manual to the satisfaction of the City Engineer.

28 45. The owner/developer shall place a covenant on the non-title sheet of the final map
29 agreeing to the following: "The present or future owner/developer shall indemnify and
save the City of Oceanside, its officers, agents, and employees harmless from any and all

1 liabilities, claims arising from any flooding that occurs on this site, and any flooding that
2 is caused by this site impacting adjacent properties”.

3 46. Storm drain facilities shall be designed and located such that the inside travel lanes on Ivy
4 Road shall be passable during conditions of a 100-year frequency storm.

5 47. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and disposed
6 of in accordance with all state and federal requirements, prior to stormwater discharge
7 either off-site or into the City drainage system.

8 48. The owner/developer shall comply with the provisions of National Pollution Discharge
9 Elimination System (NPDES) General Permit for Storm Water Discharges Associated
10 with Construction Activity (General Permit) Water Quality Order 2009-0009-DWQ.
11 The General Permit continues in force and effect until a new General Permit is issued or
12 the SWRCB rescinds this General Permit. Only those owner/developers authorized to
13 discharge under the expiring General Permit are covered by the continued General
14 Permit. Construction activity subject to the General Permit includes clearing, grading,
15 and disturbances to the ground such as stockpiling, or excavation that results in land
16 disturbances of equal to or greater than one acre. The owner/developer shall obtain
17 coverage under the General Permit by submitting a Notice of Intent (NOI) and obtaining
18 a Waste Discharge Identification Number (WDID#) from the State Water Resources
19 Control Board (SWRCB). In addition, coverage under the General Permit shall not
20 occur until an adequate SWPPP is developed for the project as outlined in Section A of
21 the General Permit. The site specific SWPPP shall be maintained on the project site at
22 all times. The SWPPP shall be provided, upon request, to the United States
23 Environmental Protection Agency (USEPA), SWRCB, Regional Water Quality Control
24 Board (RWQCB), City of Oceanside, and other applicable governing regulatory
25 agencies. The SWPPP is considered a report that shall be available to the public by the
26 RWQCB under section 308(b) of the Clean Water Act. The provisions of the General
27 Permit and the site specific SWPPP shall be continuously implemented and enforced
28 until the owner/developer obtains a Notice of Termination (NOT) for the SWRCB. The
29 owner/developer is required to retain records of all monitoring information, copies of all
reports required by this General Permit, and records of all data used to complete the
NOT for all construction activities to be covered by the General Permit for a period of at

1 least three years from the date generated. This period may be extended by request of the
2 SWRCB and/or RWQCB.

3 49. Following the City Engineer's determination that Storm Water Mitigation Plan (SWMP)
4 is deemed complete and prior to issuance of grading permits, the owner/developer shall
5 submit and obtain approval of an Operation & Maintenance (O&M) Plan, prepared to
6 the satisfaction of the City Engineer. The O&M Plan shall include an approved and
7 executed Maintenance Mechanism pursuant to Section 5 of the Standard Urban Storm
8 Water Mitigation Plan (SUSMP). The O&M shall satisfy the minimum Maintenance
9 Requirements pursuant to Section 5 of the SUSMP. At a minimum the O&M Plan shall
10 include the designated responsible party to manage the storm water BMP(s), employee
11 training program and duties, operating schedule, maintenance frequency, routine service
12 schedule, specific maintenance activities, copies of resource agency permits, cost
13 estimate for implementation of the O&M Plan, a non-refundable **cash security** to
14 provide maintenance funding in the event of noncompliance to the O&M Plan, and any
15 other necessary elements. The owner/developer shall provide the City with access to
16 site for the purpose of BMP inspection and maintenance by entering into an Access
17 Rights Agreement with the City. The owner/developer shall complete and maintain
18 O&M forms to document all operation, inspection, and maintenance activities. The
19 owner/developer shall retain records for a minimum of 5 years. The records shall be
20 made available to the City upon request.

21 50. The owner/developer shall enter into a City-Standard Stormwater Facilities Maintenance
22 Agreement (SWFMA) with the City obliging the owner/developer to maintain, repair
23 and replace the Storm Water Best Management Practices (BMPs) identified in the
24 project's deemed complete SWMP, as detailed in the O&M Plan into perpetuity. The
25 Agreement shall be approved by the City Attorney prior to issuance of any precise
26 grading permit and shall be recorded at the County Recorder's Office prior to issuance
27 of any building permit. A non-refundable **security in the form of cash** shall be required
28 prior to issuance of a precise grading permit. The amount of the non-refundable security
29 shall be equal to 10 years of maintenance costs, as identified by the O&M Plan, but not
to exceed a total of \$25,000. The owner/developer's civil engineer shall prepare the
O&M cost estimate.

- 1 51. At a minimum, maintenance agreements shall require the staff training, inspection and
2 maintenance of all BMPs on an annual basis. The owner/developer shall complete and
3 maintain O&M forms to document all maintenance activities. Parties responsible for the
4 O&M plan shall retain records at the subject property for at least 5 years. These
5 documents shall be made available to the City for inspection upon request at any time.
- 6 52. The Agreement shall include a copy of executed on-site and off-site access easement and
7 or access rights necessary for the operation and maintenance of BMPs that shall be
8 binding on the land throughout the life of the project to the benefit of the party
9 responsible for the O&M of BMPs, satisfactory to the City Engineer. The agreement
10 shall also include a copy of the deemed complete O&M Plan.
- 11 53. The BMPs described in the project's deemed complete SWMP shall not be altered in
12 any way, unless reviewed and approved to the satisfaction of the City Engineer. The
13 determination of whatever action is required for changes to a project's deemed complete
14 SWMP shall be made by the City Engineer.
- 15 54. The owner/developer shall provide a copy of the title/cover page of a deemed complete
16 SWMP with the first engineering submittal package. If the project triggers the City's
17 Stormwater requirements but no deemed complete Stormwater document (SWMP)
18 exists, the appropriate document shall be submitted to the City Engineer for review. The
19 SWMP shall be prepared by the owner/developer's Civil Engineer. All Stormwater
20 documents shall be in compliance with the latest edition of submission requirements.
- 21 55. Prior to any occupancy permit, the developer/owner shall construct each and all of the
22 structural BMPs and operating in compliance with all of its specifications, plan, permits,
23 Ordinances, and the requirement of the State Regional Water Quality Control Board
24 (RWQCB), Order No. R9-2013-0001.
- 25 56. Open space areas and down-sloped areas visible from a collector-level or above roadway
26 and not readily maintained by the property owner, shall be maintained by a homeowners'
27 association that will insure installation and maintenance of landscaping in perpetuity.
28 These areas shall be indicated on the final map and reserved for an association. Future
29 buyers shall be made aware of any estimated monthly costs. The disclosure, together with
the CC&R's, shall be submitted to the City Engineer for review prior to the recordation of
final map.

- 1 57. All existing overhead utility lines within this subdivision/development and/or within any
2 full width street or right-of-way on Ivy Road abutting this new subdivision, and all new
3 extension services for the development of the project, including but not limited to,
4 electrical, cable and telephone, shall be placed underground per Section 901.G. of the
5 Subdivision Ordinance (R91-166) and as required by the City Engineer and current City
6 policy.
- 7 58. The owner/developer shall obtain any necessary permits and clearances from all public
8 agencies having jurisdiction over the project due to its type, size, or location, including but
9 not limited to the U. S. Army Corps of Engineers, California Department of Fish & Game,
10 U. S. Fish and Wildlife Service and/or San Diego Regional Water Quality Control Board
11 (including NPDES), San Diego County Health Department, prior to the issuance of grading
12 permits.
- 13 59. The owner/developer shall comply with all the provisions of the City's cable television
14 ordinances including those relating to notification as required by the City Engineer.
- 15 60. Approval of this development project is conditioned upon payment of all applicable impact
16 fees and connection fees in the manner provided in chapter 32B of the Oceanside City
17 Code. All traffic signal fees and contributions, highway thoroughfare fees, park fees,
18 reimbursements, and other applicable charges, fees and deposits shall be paid prior to
19 recordation of the map or the issuance of any building permits, in accordance with City
20 Ordinances and policies. The owner/developer shall also be required to join into,
21 contribute, or participate in any improvement, lighting, or other special district affecting or
22 affected by this project. Approval of the tentative map shall constitute the
23 owner/developer's approval of such payments, and his agreement to pay for any other
24 similar assessments or charges in effect when any increment is submitted for final map or
25 building permit approval, and to join, contribute, and/or participate in such districts.
- 26 61. Prior to issuance and approval of a final grading plan, said grading plan showing a drainage
27 basin in each of the front yards in compliance with SWMP requirements, shall be submitted
28 for review and approval by the City Engineer. A note shall be added to said map, and a
29 covenant submitted for review and approval by the City Attorney, indicating that the front
yard drainage basis shall be maintained in perpetuity by each property owner and shall be

1 deed restricted to preclude any structures being placed over and/or within their parameters
2 that would lead them to be non-compliant with the SWMP approved by the City Engineer.

3 62. Prior to issuance and approval of a final grading plan, a final landscape plan which includes
4 the final drainage basin design in compliance with SWMP requirements and as approved
5 by the City Engineer shall be submitted for review and approval by the City's Landscape
6 Architect.

7 63. Prior to issuance of the final tract map, a note shall be added to the Final Map indicating the
8 drainage basins in compliance with SWMP requirements and located in each front yard
9 shall be the responsibility of each homeowner and shall be maintained in perpetuity by each
10 homeowner. The area within the front yards of each lot and identified in the Planning
11 Commission approved tract map as "drainage basin" shall be deed restricted to preclude
12 any structures from being placed over and/or within their parameters so as to ensure
13 compliance with SWMP requirements.

14 **Landscaping:**

15 64. Landscape plans, shall meet the criteria of the City of Oceanside Landscape Guidelines
16 and Specifications for Landscape Development (latest revision), Water Conservation
17 Ordinance No.(s) 91-15 and 10-Ordinance 0412, Engineering criteria, City code and
18 ordinances, including the maintenance of such landscaping, shall be reviewed and
19 approved by the City Engineer prior to the issuance of building permits. Landscaping
20 shall not be installed until bonds have been posted, fees paid, and plans signed for final
21 approval. A landscape pre-construction meeting shall be conducted by the landscape
22 architect of record, Public Works Inspector, developer or owner's representative and
23 landscape contractor prior to commencement of the landscape and irrigation installation.
24 The following landscaping requirements shall be required prior to plan approval and
25 certificate of occupancy:

- 26 a) Final landscape plans shall accurately show placement of all plant material such
27 as but not limited to trees, shrubs, and groundcovers.
28 b) Landscape Architect shall be aware of all utility, sewer, gas and storm drain lines
29 and utility easements and place planting locations accordingly to meet City of
Oceanside requirements.

- c) All required landscape areas shall be maintained by owner, project association or successor of the project (including public rights-of-way (parkways) adjacent to the Ivy Road Cul-De-Sac - private). The landscape areas shall be maintained per City of Oceanside requirements.
- d) Proposed landscape species shall fit the site and meet climate changes indicative to their planting location. The selection of plant material shall also be based on cultural, aesthetic, and maintenance considerations. In addition proposed landscape species shall be low water users as well as meet all Fire Department requirements.
- e) All planting areas shall be prepared and implemented to the required depth with appropriate soil amendments, fertilizers, and appropriate supplements based upon a soils report from an agricultural suitability soil sample taken from the site.
- f) Ground covers or bark mulch shall fill in between the shrubs to shield the soil from the sun, evapotranspiration and run-off. All the flower and shrub beds shall be mulched to a 3" depth to help conserve water, lower the soil temperature and reduce weed growth.
- g) The shrubs shall be allowed to grow in their natural forms. All landscape improvements shall follow the City of Oceanside Guidelines.
- h) Root barriers shall be installed adjacent to all paving surfaces, where a paving surface is located within 6 feet of a trees trunk on-site (private) and within 10 feet of a trees trunk in the right-of-way (public). Root barriers shall extend 5 feet in each direction from the centerline of the trunk, for a total distance of 10 feet. Root barriers shall be 24 inches in depth. Installing a root barrier around the tree's root ball is unacceptable.
- i) All fences, gates, walls, stone walls, retaining walls, and plantable walls shall obtain planning department approval for these items in the conditions or application stage prior to 1st submittal of working drawings.
- j) For the planting and placement of trees and their distances from hardscape and other utilities/ structures the landscape plans shall follow the City of Oceanside's (current) Tree Planting Distances and Spacing Standards.

- 1 k) An automatic irrigation system shall be installed to provide coverage for all
2 planting areas shown on the plan. Low volume equipment shall provide
3 sufficient water for plant growth with a minimum water loss due to water run-
4 off.
- 5 l) Irrigation systems shall use high quality, automatic control valves, controllers
6 and other necessary irrigation equipment. All components shall be of non-
7 corrosive material. All drip systems shall be adequately filtered and regulated
8 per the manufacturer's recommended design parameters.
- 9 m) All irrigation improvements shall follow the City of Oceanside Guidelines and
10 Water Conservation Ordinance.
- 11 n) The landscape plans shall match all plans affiliated with the project.
- 12 o) Landscape construction drawings are required to implement approved Fire
13 Department regulations, codes, and standards at the time of plan approval.
- 14 p) Landscape plans shall comply with Biological and/or Geotechnical reports, as
15 required, shall match the grading and improvement plans, comply with SWMP
16 Best Management Practices and meet the satisfaction of the City Engineer.
- 17 q) Existing landscaping on and adjacent to the site shall be protected in place and
18 supplemented or replaced to meet the satisfaction of the City Engineer.

19 65. All landscaping, fences, walls, etc. on the site, in medians within the public right-of-way
20 and within any adjoining public parkways shall be permanently maintained by the
21 owner, his assigns or any successors-in-interest in the property. The maintenance
22 program shall include: a) normal care and irrigation of the landscaping b) repair and
23 replacement of plant materials (including interior trees and street trees) c) irrigation
24 systems as necessary d) general cleanup of the landscaped and open areas e) parking lots
25 and walkways, walls, fences, etc. f) pruning standards for street trees shall comply with
26 the International Society of Arboriculture (ISA) *Standard Practices for Tree Care*
27 *Operations – ANSI A300, Appendix G: Safety Standards, ANSI Z133; Appendix H; and*
28 *Tree Pruning Guidelines, Appendix F* (most current edition). Failure to maintain
29 landscaping shall result in the City taking all appropriate enforcement actions including
but not limited to citations. This maintenance program condition shall be recorded with
a covenant as required by this resolution.

1 66. In the event that the conceptual landscape plan (CLP) does not match the conditions of
2 approval, the resolution of approval shall govern.

3 **Fire:**

4 67. All proposed and existing fire hydrants within 400 feet of the project shall be shown on
5 the site plan.

6 68. The fire hydrants shall be installed and tested prior to placing any combustible materials
7 on the job site.

8 69. Provide on-site hydrants and mains capable of supplying the required fire flow.

9 70. Blue hydrant identification markers shall be placed as per Oceanside's Engineers Design
10 and Processing Manual Standard Drawing No. M-13.

11 71. All weather access roads shall be installed and made serviceable prior to and maintained
12 during time of construction.

13 72. Parking permitted on the street in marked parking spots only. All other curbs must be
14 posted "NO PARKING FIRE LANE" per Vehicle Code Section 22500.1. Any
15 markings, signs and/or fire lane identification shall be in accordance with the Fire
16 Department Standard Guidelines for Emergency Access.

17 73. Single-family dwellings require 4 inch address numbers.

18 74. Plans shall be submitted to the Fire Prevention Bureau for plan check review and
19 approval prior to the issuance of building permits.

20 75. Fire sprinkler system installed per NFPA 13 D required in all dwellings.

21 **Planning:**

22 76. This Tentative Map, Development Plan, and Conditional Use Permit shall expire 36
23 months from its approval, unless this time period is extended by the provisions of
24 Section 408 or 409 of the Subdivision Ordinance.

25 77. This Tentative Map, Development Plan, and Conditional Use Permit approve only a 5-
26 lot residential subdivision as shown on the plans and exhibits presented to the Planning
27 Commission for review and approval. No deviation from these approved plans and
28 exhibits shall occur without Planning Division approval. Substantial deviations shall
29 require a revision to the Tentative Map, Development Plan, and Conditional Use Permit
or a new Tentative Map, Development Plan, and Conditional Use Permit.

- 1 78. The applicant, permittee, or any successor-in-interest shall defend, indemnify and hold
2 harmless the City of Oceanside, its agents, officers or employees from any claim, action
3 or proceeding against the City, its agents, officers, or employees to attack, set aside, void
4 or annul an approval of the City, concerning Tentative Map (T14-00004), Development
5 Plan (D14-00013), and Conditional Use Permit (CUP14-00013). The City will promptly
6 notify the applicant of any such claim, action or proceeding against the City and will
7 cooperate fully in the defense. If the City fails to promptly notify the applicant of any
8 such claim action or proceeding or fails to cooperate fully in the defense, the applicant
9 shall not, thereafter, be responsible to defend, indemnify or hold harmless the City.
- 10 79. All single-family dwelling units shall dispose of or recycle solid waste in a manner
11 provided in City Code Section 13.3.
- 12 80. Outdoor lighting shall be low emission, shielded, and directed away from neighboring
13 properties.
- 14 81. All rear wood fences adjacent to public right-of-way and/or visible from the public right-
15 of-way will be stained or otherwise finished with a waterproof material.
- 16 82. Adjacent homeowners shall be notified of planned construction activities and times
17 approximately one week prior to the start of work.
- 18 83. All required Resource Agency permits shall be obtained prior to issuance of grading
19 permits, for the subdivision or any related improvements. Hard copies of these permits
20 must be submitted to the Planning Division.
- 21 84. A covenant or other recordable document approved by the City Attorney shall be
22 prepared by the property owner and recorded prior to the approval of the final map. The
23 covenant shall provide that the property is subject to this resolution, and shall generally
24 list the conditions of approval.
- 25 85. Prior to the transfer of ownership and/or operation of the site the owner shall provide a
26 written copy of the applications, staff report and resolutions for the project to the new
27 owner and or operator. This notification's provision shall run with the life of the project
28 and shall be recorded as a covenant on the property.
- 29 86. Failure to meet any conditions of approval shall constitute a violation of the Tentative
Map, Development Plan, and Conditional Use Permit..

- 1 87. Unless expressly waived, all current zoning standards and City ordinances and policies
2 in effect at the time building permits are issued. The approval of this project constitutes
3 the applicant's agreement with all statements in the Description and Justification and
4 other materials and information submitted with this application, unless specifically
5 waived by an adopted condition of approval.
- 6 88. The developer's construction of all fencing and walls associated with the project shall be
7 in conformance with the approved Development Plan. Any substantial change in any
8 aspect of fencing or wall design from the approved Development Plan shall require a
9 revision to the Development Plan or a new Development Plan.
- 10 89. If any aspect of the project fencing and walls is not covered by an approved
11 Development Plan, the construction of fencing and walls shall conform to the
12 development standards of the City Zoning Ordinance. In no case, shall the construction
13 of fences and walls (including combinations thereof) exceed the limitations of the
14 zoning code, unless expressly granted by a Variance or other development approval.
- 15 90. Prior to the issuance of building permits, compliance with the applicable provisions of the
16 City's anti-graffiti (Ordinance No. 93-19/Section 20.25 of the City Code) shall be reviewed
17 and approved by the Planning Division. These requirements, including the obligation to
18 remove or cover with matching paint all graffiti within 24 hours, shall be noted on the
19 Landscape Plan and shall be recorded in the form of a covenant affecting the subject
20 property.
- 21 91. Elevations, siding materials, colors, roofing materials, and floor plans shall be
22 substantially the same as those approved by the Planning Commission. These shall be
23 shown on plans submitted to the Building Division and Planning Division.
- 24 92. This project is subject to the provisions of Chapter 14C of the City Code regarding
25 Inclusionary Housing.
- 26 93. Garages shall be kept available and useable for the parking of tenant's automobiles at all
27 times.
- 28 94. All mechanical rooftop and ground equipment shall be screened from public view as
29 required by the Zoning Ordinance. That is, on all four sides and top. The roof jacks,
mechanical equipment, screen and vents shall be painted with non-reflective paint to match
the roof. This information shall be shown on the building plans.

1 95. An association shall be formed and Covenants, Conditions and Restrictions (C.C. & R's)
2 shall provide for the maintenance of all common open space and commonly owned fences
3 and walls. The maintenance shall include normal care and irrigation of landscaping, repair
4 and replacement of plant material and irrigation systems as necessary; and general cleanup
5 of the landscaped and open area, parking lots and walkways. The C.C. & R's shall be
6 subject to the review and approval of the City Attorney prior to the approval of the Final
7 Map/Final Parcel Map (delete as appropriate). The C.C. & R's are required to be recorded
8 prior to or concurrently with the Final Map. Any amendments to the C.C. & R's in which
9 the association relinquishes responsibility for the maintenance of any common open space
10 shall not be permitted without the specific approval of the City of Oceanside. Such a clause
11 shall be a part of the C.C. & R's. The C.C. & R's shall also contain provisions for the
12 following:

- 13 a) Prohibition of parking or storage of recreational vehicles, trailers or boats.
- 14 b) Provisions regulating individual patio covers, prohibiting room additions, and other
15 appurtenances.
- 16 c) Provisions for the maintenance of all common open space and open space
17 easements on private lots, including provisions establishing mechanisms to ensure
18 adequate and continued monetary funding for such maintenance by the
19 homeowners' association.
- 20 d) Provisions that restrict any private use of open space easement areas. Restrictions
21 shall include, but are not limited to, removing retaining walls, installing structures
22 such as trellises, decks, retaining walls and other hardscape and any individual
23 landscape improvements.
- 24 e) Provisions prohibiting the homeowners association from relinquishing its obligation
25 to maintain the common open space and open space easement areas without prior
26 consent of the City of Oceanside.
- 27 f) An acknowledgement that the City of Oceanside does not have a view preservation
28 ordinance and that views may be subject to change with maturing off-site landscape
29 and the potential for future off-site building.

- 1 96. At all times, the sidewalk shall be free of obstructions, including private vehicles and other
2 objects. Vehicles, or other objects, parked in the driveway shall not project over or obstruct
3 the sidewalk.
- 4 97. Any project entrance signs shall meet the requirements of the Sign Ordinance and be
5 approved by the City Planner.
- 6 98. The developer is prohibited from entering into any agreement with a cable television
7 franchisee of the City, which gives such franchisee exclusive rights to install, operate, and
8 or maintain its cable television system in the development.
- 9 99. This project shall comply with all provisions of the City's Affirmative Fair Housing
10 Marketing Agreement policy. Such agreement shall be submitted to and approved by the
11 Housing and Neighborhood Services Director prior to the recordation of a Final Map or the
12 issuance of a building permit for the project, whichever comes first.
- 13 100. A letter of clearance from the affected school district in which the property is located
14 shall be provided as required by City policy at the time building permits are issued.
- 15 101. In the event any subsurface archaeological resources are encountered during grading or
16 construction activities, such activities in the locality of the find shall be halted
17 immediately. An archaeologist, certified by the Society of Professional Archaeologists
18 (SOPA), shall be brought in to determine the significance of the archaeological
19 resources and implement appropriate mitigations prior to recommencing earthwork.
- 20 102. Landscape plans, meeting the criteria of the City's Landscape Guidelines and Water
21 Conservation Ordinance No. 91-15, including the maintenance of such landscaping, shall
22 be reviewed and approved by the City Engineer and City Planner prior to the issuance of
23 building permits. Landscaping shall not be installed until bonds have been posted, fees
24 paid, and plans signed for final approval.
- 25 103. Front yard landscaping with a complete irrigation system, in compliance with Water
26 Conservation Ordinance No. 91-15, shall be required.
- 27 104. Side and rear elevations and window treatments shall be trimmed to substantially match
28 the front elevations. A set of building plans shall be reviewed and approved by the
29 Planning Division prior to the issuance of building permits.
105. Construction of the proposed project should comply with the California Administrative
Code. The building must be for a minimum exterior-to-interior noise reduction resulting

1 in interior noise levels, due to exterior sources, of 45 dBA CNEL or less. This noise
2 reduction could be achieved using standard construction methods, including but not
3 limited to mechanical ventilation, double-paned windows and acoustically insulated
4 doors where they face roadways.

5 106. Any trash, debris, or waste material found onsite during grading or cleanup operations
6 shall be disposed of off-site in accordance with local, state, and federal regulations. Any
7 buried trash/debris or materials containing petroleum encountered shall be evaluated
8 prior to removal and disposal.

9 107. The entity managing the biological open space over the long-term shall implement a pest
10 management program targeting snails.

11 **Water Utilities:**

12 108. The developer will be responsible for developing all water and sewer utilities necessary to
13 develop the property. Any relocation of water and/or sewer utilities is the responsibility of
14 the developer and shall be done by an approved licensed contractor at the developer's
15 expense.

16 109. All Water and Wastewater construction shall conform to the most recent edition of the
17 Water, Sewer, and Reclaimed Water Design and Construction Manual or as approved by
18 the Water Utilities Director.

19 110. The property owner shall maintain private water and wastewater utilities located on private
20 property.

21 111. Water services and sewer laterals constructed in existing right-of-way locations are to be
22 constructed by an approved and licensed contractor at developer's expense.

23 112. Residential units shall be metered individually.

24 113. Each residential unit shall have a private sewer lateral connection to public sewer main.

25 114. Per the latest approved California Fire Code, all new residential units shall be equipped
26 with fire sprinkler system.

27 **The following conditions shall be met prior to the approval of engineering design plans.**

28 115. All public water and/or sewer facilities not located within the public right-of-way shall be
29 provided with easements sized according to the *Water, Sewer, and Reclaimed Water
Design and Construction Manual*. Easements shall be constructed for all weather access.

- 1 116. Any water and/or sewer improvements required to develop the proposed property will need
2 to be included in the improvement plans and designed in accordance with the *Water,*
3 *Sewer, and Reclaimed Water Design and Construction Manual.*
- 4 117. No trees, structures or building overhang shall be located within any water or wastewater
5 utility easement.
- 6 118. All lots with a finish pad elevation located below the elevation of the next upstream
7 manhole cover of the public sewer shall be protected from backflow of sewage by installing
8 and maintaining an approved type backwater valve, per the latest approved California
9 Plumbing Code.
- 10 119. The developer shall construct a public reclamation water system that will serve each lot and
11 or parcels that are located in the proposed project in accordance with the City of Oceanside
12 Ordinance No. 91-15. The proposed reclamation water system shall be located in the
13 public right-of-way or in a public utility easement. The developer may elect to pay an in-
14 lieu fee by submitting a formal letter requesting the City to determine this fee that is based
15 on 75 percent of the design and construction cost to construct a reclaimed water line
16 fronting the property.
- 17 120. Show all water services and sewer lateral sizes. Identify between proposed and existing.
18 If existing, note on plans whether they are to be removed/abandoned or protected during
19 construction.
- 20 121. Connections to public sewer main with 6-inch or larger sewer lateral will require a new
21 sewer manhole for connection to main per Section 3.3 of *Water, Sewer, and Reclaimed*
22 *Water Design and Construction Manual.*
- 23 122. A separate irrigation meter and approved backflow prevention device is required for
24 common areas and shall be displayed on the plans. Average irrigation flow and peak flows
25 by irrigation zone shall be provided on landscape plans to determine proposed water meter
26 and reduced pressure principle backflow device size. Indicate in CC&Rs if a homeowner's
27 association will be responsible for landscaped area and irrigation water.
- 28 123. Provide stationing and offsets for existing and proposed water services and sewer laterals
29 on plans.
124. Provide plan and profile of proposed public water and sewer mains including utility
crossings in Ivy Road.

1 125. Show on engineering plans 3 valves at each tee connection, such as, connection at Ivy
2 Road.

3 126. Show on preliminary plans a minimum 30-ft wide public utility easement for water and
4 sewer facilities in new private cul-de-sac. Easement shall include water meters.

5 **The following conditions of approval shall be met prior to building permit issuance.**

6 127. Provide existing and proposed fixture count and flow calculations in existing and new
7 addition to residence per latest California Plumbing Code to size water meter size and
8 service lines on Building Plans. Show water meter locations and sizes on building plans.

9 128. City records show an existing 5/8" single-family residential water meter servicing 2535 Ivy
10 Road property. If developer plans to keep this existing water meter for one of the lots, then
11 a larger water meter may be required. Developer must pay the incremental increase in
12 water and sewer buy-in fees from the existing meter prior to building permit issuance.
13 Owner must verify if existing water service line is adequately sized for larger meter. If a
14 larger service is required, then a new water service and connection to public main will be
15 required.

16 129. New water and sewer buy-in fees for remaining 4 residential lots and water buy-in fees for
17 new irrigation meter must be paid.

18 130. Water and Wastewater Buy-in fees and the San Diego County Water Authority Fees are to
19 be paid to the City and collected by the Water Utilities Department at the time of Building
20 Permit issuance.

21 131. All Water Utilities Fees are due at the time of building permit issuance per City Code
22 Section 32B.7.

23 ///////////////
24 ///////////////
25 ///////////////
26 ///////////////
27 ///////////////
28 ///////////////
29 ///////////////

1 **The following conditions of approval shall be met prior to occupancy.**

2 132. All new development of single-family and multi-family residential units shall include hot
3 water pipe insulation and installation of a hot water recirculation device or design to
4 provide hot water to the tap within 15 seconds in accordance with City of Oceanside
5 Ordinance No. 02-OR126-1.

6 PASSED AND ADOPTED Resolution No. 2015-P11 on April 7, 2015, by the following
7 vote, to wit:

8 AYES:

9 NAYS:

10 ABSENT:

11 ABSTAIN:

12 _____
13 Robert Neal, Chairperson
14 Oceanside Planning Commission

15 ATTEST:

16 _____
17 Jeff Hunt, Secretary

18 I, JEFF HUNT, Secretary of the Oceanside Planning Commission, hereby certify that this is a
19 true and correct copy of Resolution No. 2015-P11.

20 Dated: April 7, 2015

21 Applicant accepts and agrees with all conditions of approval and acknowledges impact fees may
22 be required as stated herein:
23

24 _____
25 Applicant/Representative

26 _____
27 Date
28
29

 <p>Application for Public Hearing Community Development Department / Planning Division (760) 435-3520 Oceanside Civic Center 300 North Coast Highway Oceanside, California 92054-2885 <i>Ivy Ridge Estates</i></p>			STAFF USE ONLY ACCEPTED  JUN 10 2014 CITY OF OCEANSIDE DEVELOPMENT SERVICE		BY RC ML Dhw
			Please Print or Type All Information		
PART I – APPLICANT INFORMATION			GPA		
1. APPLICANT Main Street Parters Inc.		2. STATUS Owner	MASTER/SP.PLAN		
3. ADDRESS 10 Pinehurst Lane, Newport Beach, CA		4. PHONE/FAX/E-mail (310) 871-4146	ZONE CH.		
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing) Buccola Engineering inc. <i>PHIL@BUCCOLAENG.COM</i>		6. ADDRESS 3142 Vista Way, Oceanside, Ca, 92056	7. PHONE/FAX/E-mail (760)721-2000		
PART II – PROPERTY DESCRIPTION			TENT. MAP <i>T14-00004</i> PAR. MAP DEV. PL. <i>D14-00007</i> C.U.P. <i>CUP14-00013</i> VARIANCE COASTAL O.H.P.A.C.		
8. LOCATION 2535 Ivy Road, Oceanside, CA			9. SIZE		
10. GENERAL PLAN SFD	11. ZONING RS	12. LAND USE Vacant	13. ASSESSOR'S PARCEL NUMBER 165-240-32		
PART III – PROJECT DESCRIPTION					
14. GENERAL PROJECT DESCRIPTION Subdivision of one parcel into 5 residential lots. Portion of the parcel is to be dedicated to the City for use as Public Street.					
15. PROPOSED GENERAL PLAN SFD	16. PROPOSED ZONING RS	17. PROPOSED LAND USE RS	18. NO. UNITS 5	19. DENSITY 4.3 D.U./Acre	
20. BUILDING SIZE 3,639 to 3,837 SF	21. PARKING SPACES 15 Spaces	22. % LANDSCAPE 51.3%	23. % LOT COVERAGE or FAR 21.8% Lot coverage		
PART IV – ATTACHMENTS					
<input checked="" type="checkbox"/> 24. DESCRIPTION/JUSTIFICATION	<input checked="" type="checkbox"/> 25. LEGAL DESCRIPTION	<input checked="" type="checkbox"/> 26. TITLE REPORT			
<input checked="" type="checkbox"/> 27. NOTIFICATION MAP & LABELS	<input checked="" type="checkbox"/> 28. ENVIRONMENTAL INFO FORM	<input checked="" type="checkbox"/> 29. PLOT PLANS			
<input checked="" type="checkbox"/> 30. FLOOR PLANS AND ELEVATIONS	<input checked="" type="checkbox"/> 31. CERTIFICATION OF POSTING	<input type="checkbox"/> 32. OTHER (See attachment for required reports)			
PART V – SIGNATURES					
33. APPLICANT OR REPRESENTATIVE (Print):  Sign: <i>Andrew Hadra, PRES.</i>		34. DATE	SIGNATURES OF ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).		
			35. OWNER (Print) ANDREW HADRA, PRES	36. DATE MAY 27, 2014	
I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.			Sign:		

Ivy Ridge Estates

Tentative Tract Map, Development Plan

Description and Justification

June 10, 2014

INTRODUCTION

This application is for a Tentative Map & Development Plan for 5 single family detached residential homes. The project site is in the Fire Mountain area on the southeast corner of the intersection of Laurel Road & Ivy Road.

The site is currently vacant with two greenhouse structures and a short asphalt access driveway off Ivy Road. The majority of the site slopes towards the southeast and storm water surface flows are currently intercepted by off-site concrete lined brow ditches that flow to the south. The topography on the smaller western portion of the lot slopes towards the north west and storm water sheet flows into an off-site concrete lined brow ditch along the western boundary and discharges onto Ivy Road.

TENTATIVE MAP

The Ivy Ridge Estates project is proposed on one existing lot (APN 165-240-32). The parcel currently has a general plan land use designation of Single Family Detached (3.6 to 5.9 du/ac). The underlying zoning is Single-Family Residential that requires a minimum lot size of 6,000 square feet. The proposed project will be Single-Family Residential. Lots which vary in size from 7,078 sf to 8,798 sf.

The proposed project will comply with all zoning requirements and setbacks.

The development site plan has made good use of the land available with the inclusion of a short cul de sac. The graded lots will follow the natural slope of the street topography and finished pad elevations will gently step down between units to minimize the use of retaining structures, although small retaining walls will be required they will vary in height from 1ft to 4 feet and will be required along the rear property lines of lot 3 & 4, and the rear and a portion of the north east side of lot 5 to maximize the lot areas.

Storm water flows will generally mimic existing surface drainage patterns, the exception being that storm drain flows from lot 2 will be treated on site and piped through a private storm drain easement over lot 3 and into the existing concrete lined brow ditch. Each lot will be graded to direct surface flows to the rear yard area where inlets will collect the storm water into an underground BMP on each lot. Each BMP outlet structure will be

specifically designed to control the discharge of treated storm water piped to the existing concrete lined brow ditch along the southeast boundary.

The proposed site plan combined with the architecture of the homes will create a sense of unity with existing surrounding homes, incorporating some subtle key forms of the current eclectic architecture of the area while establishing its own individual character.

PROJECT DESCRIPTION

The 5 Lot Ivy Ridge Estates development is proposed on 1.163 acres of land. The proposed project density is 4.3 dwelling units per acre (du/ac).

The Single Family Residential density range is 3.6 to 5.9 du/ac, therefore a Conditional Use permit will be a part of this application as the density of the proposed project exceeds the base density of 3.6 du/ac.

All lots will have individual driveways taking access directly from the proposed public cul de sac.

Ivy Road currently has a Right of Way width of 55 ft., (Ultimate R.O.W. width is 60 ft.). A 5 ft wide strip along the frontage of the property is to be dedicated to the City of Oceanside for Right of Way purposes. The existing public facilities will be improved as follows to meet with City requirements:

Ivy Road will be widened along the property frontage with new concrete sidewalk, curb and gutter on the project side to a paved width of 20 ft from centerline plus 12 ft of pavement on the north side of Ivy Road. The existing curb and gutter on the north side of Ivy Road will provide a total road width from curb to curb of 40 ft.

The existing 6" public water main in Ivy Road will be replaced with an 8" PVC water main. A new 8" public water main will be extend into the proposed cul de sac. Individual water services and meters will be installed for each lot and two new fire hydrants will be installed, one at the end of the cul de sac and the other on the west side of the project on Ivy Road.

The existing 6" public sewer main in Ivy Road will be replaced with an 8" PVC main from Laurel Road to the project entrance. A new sewer manhole and approx. 111 ft of 8" PVC public sewer main will be constructed in the cul de sac. Individual sewer laterals will serve each lot.

Existing overhead utilities will be under-grounded along the property frontage.

ARCHITECTURE

Two architectural plans have been developed for the project, each taking its inspiration from California's traditional architectural styles, and each reflecting Oceanside's (and Fire Mountain's) increasingly desirable reputation as a coastal housing alternative in San Diego County.

These generously sized homes were further designed to capture the benefit of the site's elevated location atop a knoll/hill, allowing three of the lots (Lots #1-3) to have highly desirable west facing, blue water ocean views and the other two lots (Lots #4-5) to have beautiful south facing views to the hills of North Carlsbad. Thoughtful site planning and home design are combined to create an enclave of sophisticated, executive homes which complement and will enhance the existing architectural character of Fire Mountain and providing each of the homes in the project with a sense of open space, light, and air. In short, the subject homes have been thoughtfully designed to rival or exceed the highest quality homes that have ever been available in Fire Mountain.

Floor Plan Descriptions

Plan 1 is a 4-bedroom, 3-bath home with 2,988 square feet. With only minor differences (principally the 3-car garage configuration) Plan 1 and Plan 2 share a similar downstairs. In the case of the Plan 1, the three-car garage requirement is accomplished by splitting the needs into a two-car 'straight in' portion, and a one-car 'side entry' garage on the opposite side of the driveway. The Plan 2 handles parking with a three-car 'straight in' garage configuration, split into a two-car section and a distinct one-car garage that is set back from the other to provide relief to the plane of the elevation and thus visually enhance the exterior elevation of the home.

Downstairs, each of the homes are entered through either a porch or courtyard at the front of the house. Each plan contains a formal dining room, open 'country kitchen', oversized pantry, breakfast nook area, and generous family room with gas burning fireplace and surrounding hearth. The family room and kitchen/nook area dominate the rear of the home, employing today's highly desired "open" architectural design to provide a spacious but intimate setting. The kitchen features hardwood cabinets, a large island, and high end stainless steel appliances all set off by granite counter tops. Important for today's demographics, each home has a downstairs bedroom with an adjacent full bath that would serve guests, an elderly parent, or a "boomerang" returning child. This 4th bedroom is also well suited for use as a home office, a feature increasingly in demand in today's modern homes.

Both the front and the back of each home has sizable dual paned windows to maximize the entry of light, and to take advantage of the open, airy feeling the site configuration

affords, as well as providing the ability to capture the site's very special views. Occupants from both the first and second floors will be able to take advantage of these tremendous coastal and/or distant hillside views, from both the kitchen and family rooms (downstairs) and out the back of the home across the length of the master suite, including the master bathroom (upstairs). Within the upstairs master suite, the owners of the house can enjoy a leisurely and relaxing bath while taking in the sunset or watching the shadows fall on the nearby North Carlsbad hillside. The master bathroom also contains a separate walk-in shower.

Both the Plan 1 and Plan 2 enjoy 'four sided architecture', wherein all of the windows are trimmed out to provide a more upscale, finished appearance to the neighborhood. In another deliberate and thoughtful planning element, the rear of the homes were extended by a few feet into the back yard in both the downstairs (family room) as well as the upstairs (master bedroom) to not only provide for better overall dimensions for furniture layout and room efficiency, but also to allow the rear elevation of the home to be broken up visually, so that the back wall of the home wasn't only on a single vertical plane. These simple but visually important architectural details add to the feeling that the homes will have a upscale and custom, as opposed to a tract, feel.

Arriving upstairs in the Plan 1, the homeowner encounters an oversized, true master "suite" through a small entry vestibule. This vestibule formally distinguishes the master bedroom suite from the rest of the upstairs, and provides a luxurious sense of entry and arrival. Windows from the master bedroom afford the homeowner a wonderful view, from whichever lot upon which the home is plotted. The master bathroom includes dual sinks with a separate "sit down" vanity and huge walk-in closet. Outside of the master suite, the upstairs is completed with two generously sized secondary bedrooms, an upstairs laundry room, and an open and inviting loft area filled with light from the large bank of front-facing windows, providing a highly desirable second gathering spot for the family or a place to simply retreat and relax while other activity is underway downstairs.

Plan 2 is a 3,209 square foot, two-story home.

As noted earlier, Plan 2 shares the same basic downstairs floor plan as Plan 1, with the exception of the garage configuration. The Plan 2 manages its 3-car garage requirement with a two-car bay and a separate one-car bay adjacent to it, but set back from the other to vary the front elevation of the home. Each of the Plan 2 homes has been plotted on a somewhat wider and/or shallower lot to accommodate this garage distinction, which also serves to add visual interest to the cul-de-sac and add further differentiate the two floor plans. For the Plan 2 downstairs, please refer back to the description of the downstairs in Plan 1 above for detail of this richly appointed space.

Upstairs, the ability for the Plan 2 to extend the second floor partially over the side garage allows the inclusion in the home of a large "bonus room", with its own powder bath. The bonus room offers flexible space that suits any number of potential family

needs and uses. Similar to that in the Plan 1, the master suite in Plan 2 carries across the entire rear portion of the upstairs, and is once again extremely spacious and luxurious. As with the Plan 1, the master suite in the Plan 2 is also entered through a small vestibule which further adds to the sense of arrival and luxury to the suite. The inviting master bath also contains his-and-her sinks and a separate seated vanity. The master suite in the Plan 2 also contains an extremely large walk-in closet, addressing one of the most important homebuyer desires -- adequate closet space. Once again, the upstairs contains the laundry room accessed off the upstairs hallway, and a large hallway linen closet. Two secondary bedrooms complete the plan. This truly elegant 4 bedroom, 3-1/2 bath home with its bonus room is designed to appeal to a sophisticated buyer.

Architectural Styles

The project will incorporate two distinct but complementary architectural styles for the five homes, and each will have its own unique and extremely tasteful and sophisticated color scheme, with the goal to maximize the visual variety and beauty of the street scene.

The first architectural style is immediately recognizable as being from the historic "Craftsman" architectural heritage. Originally developed in the late 1800's and practiced in Southern California since the early 20th century, the popular craftsman style and its influence is seen in countless homes both in the Fire Mountain community and across San Diego County. The importance of the style in California's history is significant and increasingly recognized. In 2011, for example, the City of San Diego formally designated the North Park Dryden Historic District, which includes a high concentration of craftsman styled homes from renowned Arts and Crafts era architect/builder David Own Dryden. Typical architectural elements of this style (and our homes) include lower pitched roof lines, overhanging eaves, exposed rafters or decorative brackets under eaves, multi-paned windows, and a mix of stone, shingles, wood and stucco. The craftsman style is a timeless and proven "classic" that is the perfect choice for the community and which will delightfully stand the architectural test of time.

The "Craftsman" architectural style will be incorporated into the homes on Lot #1 (Plan 1) and Lot #3 (Plan 2).

The craftsman style will be complemented on the remaining 3 homes that will incorporate an updated California "Cottage" architectural style. This architectural style takes its influence from the traditional Spanish/Mediterranean design but updates it with a more elegant and sophisticated 21st century aesthetic.

The Cottage architectural style includes a roofline with a higher pitch and volume, utilizing a balanced mix of hip and gable roof elements, adding mass to the house and presenting a grand overall visual presentation. Exterior detailing includes smoother finish stucco, concrete roof tiles, and casing, shutters, and/or trim around the windows on all

four sides of the home. As in the Craftsman elevation, large windows allow the residents to enjoy the tremendous view opportunities. High internal 9' and 10' ceiling plates create extra 3-dimensional volumes inside the house, adding to the feeling of space and luxury.

The "Cottage" architectural style will be incorporated into the homes on Lot #2 (Plan 1), Lot #4 (Plan 2), and Lot #5 (Plan 1).

The sensitive color palette chosen for each of the homes on the five lots allows them to complement each other in the overall street scene and to blend in with and enhance -- rather than stand apart from or in opposition to -- the rich, mature landscaping and natural beauty of the Fire Mountain community. The roofs are predominantly a mix of browns and grays, with a palette of soft white, natural greens, tans, and muted accents (see color board).

The combination of meticulously refined floor plans, varied and highly attractive four-sided elevations using classic Californian architectural influences, and thoughtful variation of color schemes over the plans and elevations will combine to create a remarkably beautiful enclave of homes in one of Oceanside's premiere neighborhoods.

Lot	Plan	Garage(s)	Beds	Baths	Other	Size	Garage	Total
1	2	3 car	4	3.5	Bonus	3,209 sf	628 sf	3,837 sf
2	1	2/1 car	4	3	Loft	2,988 sf	651 sf	3,639 sf
3	1	2/1 car	4	3	Loft	2,988 sf	651 sf	3,639 sf
4	2	3 car	4	3.5	Bonus	3,209 sf	628 sf	3,837 sf
5	1	2/1 car	4	3	Loft	2,988 sf	651 sf	3,639 sf

LANDSCAPE CONCEPT PLAN

Slope treatments/erosion control plants will consist of trees (24"box), shrubs (5gal minimum) and groundcovers (70% flats and 30% 1gal) that are California native and non invasive. Furthermore, slope treatment plants will be drought tolerant and there will be thoughtful consideration to use plants with fire resistance. Trees will be clumped along slopes to help preserve views out from the site.

Trees (24"box), shrubs (5gal minimum) and groundcovers (70% flats 30% 1gal) located within the projects parkways will be California native and ornamental specimens that will be low maintenance and may use more water than plants located in the slope treatment areas. Care will be used to blend a similar aesthetic to existing streetscapes located along the Ivy Road and adjacent to project site. Trees and shrubs along Ivy Road will help to screen head lights and buffer street noise.

All fencing shown in concept plan shall enclose the back half of each lot at a 6' high maximum and be one of the following materials:

- 6 ft. wooden privacy fence
- 6' masonry block wall

- 6' combination masonry block wall with tubular steel view fence
- 6' tubular steel view fence

(Fencing height and/or material may change depending on view opportunities).

REQUIRED FINDINGS

Development Plan:

The City of Oceanside Zoning Ordinance stipulates that specific findings must be made before a Development Plan can be adopted. This proposal meets those conditions as follows:

1. The lot layout and physical design of the proposed project is consistent with the purposes of the Zoning Ordinance, because it meets the intent of the development regulations and design standards over the entire site, and does not require a variance from those regulations, and it provides amenities that meet requirements.
 2. The proposed Development Plan conforms to the City's General Plan, because the proposed residential product type and density are consistent with the Land Use Element requirements established for the site. The project proposes a density of 4.3 du/ac which is above the base density, although it is within the established range for the site of 3.6 to 5.9 du/ac.
 3. The proposed development can be adequately, reasonably and conveniently served by the existing, and the planned public services and utilities, because provisions have been incorporated into the proposed design.
 4. The proposed development is compatible with existing surrounding land use because the site is proposed to be developed under the regulations of the City previously established for the site.
- 1.

Your favorable consideration is appreciated.

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

A PORTION OF LOT 4 IN BLOCK "E" OF NORTH CARLSBAD ANNEX, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF No. 1888, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 1, 1926. (APN 165-240-32)



NOTICE OF EXEMPTION

City of Oceanside, California

Post Date:
Removal:
(180 days)

1. **APPLICANT:** Buccola Engineering, Inc.
2. **ADDRESS:** 3142 Vista Way, Oceanside, CA 92056
3. **PHONE NUMBER:** (760) 721-2000
4. **LEAD AGENCY:** City of Oceanside
5. **PROJECT MGR.:** Marie Luna
6. **PROJECT TITLE:** Ivy Ridge Estates (T14-00004, D14-00007, CUP14-00013)
7. **DESCRIPTION:** Consideration of a TENTATIVE TRACT MAP (T14-00004), CONDITIONAL USE PERMIT (CUP14-00013), and DEVELOPMENT PLAN (D14-00007) for the development of five two-story single family residences each between 2,000 and 3,000 square feet and each with a three-car garage, at a density of 4.45 dwelling units per acre on a 1.16-acre vacant parcel at the southeast corner of the intersection of Laurel Road and Ivy Road in the Fire Mountain area, at 2535 Ivy Road. The subdivision map proposed to subdivide the 1.16 acre parcel into five separate single family residential lots measuring between 7,487 to 8,786 square feet. The subject property has a Single Family Development Residential (SFD) General Plan and Single Family Residential (RS) zoning designation. The project is in compliance with applicable R-S residential land use and zoning development standards and is surrounded by urban uses.

ADMINISTRATIVE DETERMINATION: Planning Division staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA), 1970. Therefore, the staff has determined that further environmental evaluation is not required because:

- [x] The project is categorically exempt, Class 32, In Fill Development Projects (Section 15332); or,
- [] The activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA (Section 15061(b)(3)); or,
- [] The project is statutorily exempt, Section , <name> (Sections 15260-15277); or,
- [] The project does not constitute a "project" as defined by CEQA (Section 15378).


Marie Luna, Contract Senior Planner

Date: January 16, 2015

cc: [x] Project file [x] Counter file [] Library
Posting: [] County Clerk \$50.00 Admin. Fee