



DATE: April 22, 2015

TO: Chairperson and Members of the Community Development Commission

FROM: Development Services Department

SUBJECT: **ADOPTION OF A RESOLUTION APPROVING A TENTATIVE PARCEL MAP, DEVELOPMENT PLAN, CONDITIONAL USE PERMIT, AND REGULAR COASTAL PERMIT FOR THE DEVELOPMENT OF A THREE STORY, THREE UNIT CONDOMINIUM COMPLEX LOCATED AT 508 NORTH TREMONT STREET – NORTH TREMONT CONDOMINIUMS – APPLICANT: RICK LACEY/RYPAX**

SYNOPSIS

Staff and the Downtown Advisory Committee (DAC) recommend that the Community Development Commission adopt a resolution approving Tentative Parcel Map (RP14-00001), Development Plan (RD14-00002), Conditional Use Permit (RCUP14-00003), and Regular Coastal Permit (RRP14-00004) for the construction of a three-unit residential condominium development located at 508 North Tremont Street.

BACKGROUND

The project site is located on the east side of North Tremont Street at 508 North Tremont Street within the non-appealable area of the local coastal zone. The 0.11-acre property has approximately 50.1 feet of frontage on North Tremont Street, and exists with a 424-square-foot single-family bungalow that was constructed in 1921. The existing residence does not retain historical significance, as stated in the historical survey report dated August 8, 2014. (Survey report attached)

The site topography is relatively flat with approximately three to four feet of elevation change over the majority of the site. The slope increases slightly towards the western portion of the site where it fronts North Tremont Street.

Land Use and Zoning: The subject site is located within Townsite Neighborhood area, which consists of a mixture of row homes, newer condominiums, older apartment buildings, and single-family dwellings. It is located within Subdistrict D9 of the "D" Downtown District. Subdistrict D9 is primarily intended to provide opportunities for commercial uses supporting other land uses and residential uses are encouraged where appropriate. Multi-family residences are permitted with a maximum density of 43 dwelling units per acre. The project proposes a density of 26 dwelling units per acre, which is in compliance with the density thresholds for the area.

Project Description: The project application is comprised of four components, a Tentative Parcel Map, Development Plan, Conditional Use Permit, and a Regular Coastal Permit as follows:

Tentative Parcel Map (RP14-00001) represents a request for the following:

The proposed Tentative Parcel Map would allow the development of three condominiums units/parcels, while establishing individual ownership for each unit and common ownership for the internal drive court and exterior open spaces pursuant to Article VI of the Oceanside Subdivision Ordinance. The undergrounding of the over head utilities within the public right-of-way is not required for this project, because the Subdivision Ordinance only requires undergrounding for projects with four or more lots. The proposed subdivision would establish a density of 26 dwelling units per acre, where the permitted density range for the Downtown (D9) District is (29-43) D.U./acre. A total of four parcels would be created as a part of the parcel map as follows: three (3) residential condominiums and one (1) common open space lot.

Development Plan RD14-00002 represents a request for the following:

To construct a 6,871-square-foot condominium complex on a 5,018-square-foot parcel pursuant to Articles 12, of the Downtown Zoning Ordinance. The proposed site layout would be configured in a manner that provides access to the three condominium units through an internal drive/motor court located directly off of the rear alley on the east side of the property. The proposed three-unit condominium complex would be located on a 5,018-square-foot parcel situated in the center of the block between Sportfisher Drive and Surfrider Way along North Tremont Street, within the Townsite Neighborhood area. The demolition of the existing 424-square bungalow and removal of two trees is required for the construction of the condominium complex. The proposed landscaping would be reminiscent of a drought tolerant yet contemporary tropical plant palate scheme, which would include the addition of two queen palms, an evergreen tree, and low lined shrubs.

The proposed three-unit condominium would consist of three stories with the second and third stories established for habitable space purposes. Access to the units would occur from an internal stair well within each garage and through a shared lobby elevator. The proposed condominium units would be developed as follows:

Unit	Unit Size (sq. ft.)	Bedrooms/Baths (BR/Ba)	Private Open Space (Patio/Balconies)	Enclosed Garage	Common Open Space (Patio/Balconies)
A	2,350 sq. ft.	3 BR/2.5 BA	705 sq. ft.	2-car	240 sq. ft.
B	2,408 sq. ft.	2 BR/2.5 BA	922 sq. ft.	2-car	240 sq. ft.
C	2,113 sq. ft.	2 BR/2.5 BA	762 sq. ft.	2-car	240 sq. ft.

Conditional Use Permit RCUP14-00003 represents a request for the following:

Development of a three-unit condominium complex within the Downtown (D9) District. Pursuant to Section 1220 of the Downtown Zoning Ordinance a Conditional Use Permit is required for multi-family developments. The three-unit condominium development would be consistent with the eclectic residential developments within the neighborhood, which consist of a mixture of single-family homes and multi-family developments.

Regular Coastal Permit RRP14-00004 represents a request for the following:

A request to develop a three-unit condominium complex within the Local Coastal Program jurisdictional boundaries. Due to the location within the jurisdictional boundaries of the non-appealable area of the Coastal Zone, a Regular Coastal Permit is required.

ANALYSIS

The General Plan Land Use Map designation for the subject property is Downtown (D9), which permits multi-family residential developments at a density range of (29-43) dwelling units per gross acre. Staff has evaluated the request to demolish the existing building on-site, and construct a three-unit condominium complex with common open space and drive courts being held in common ownership and managed by an association, and has determined that the proposed development is consistent with the goals and objectives of the City's General Plan, Local Coastal Program, and the requirements of the Zoning Ordinance. A detailed analysis for compliance with the General Plan, Local Coastal Program, and Downtown Zoning Ordinance is attached; see DAC Staff Report: (Agenda No. 4C).

Environmental Determination: Planning Division staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA), 1970. Based upon that review, staff finds that the proposed project constitutes in-fill development of property in an urbanized area that is under five acres, is consistent with the applicable zoning and general plan designation, that has no value as habitat, can be adequately served through existing utilities and public services, and that would not result in any significant effects relating to traffic, noise, air quality or water quality, and the project is categorically exempt, Class 32, "In-Fill Development Projects" (Section 15332).

COMMISSION OR COMMITTEE REPORTS

On March 4, 2015, the Downtown Advisory Committee (DAC) reviewed this project and voted unanimously to recommend that the Community Development Commission approve the project.

CITY ATTORNEY'S ANALYSIS

Pursuant to Oceanside Downtown Zoning Ordinance Article 12, and the City of Oceanside Local Coastal Program Land Use Plan, the Community Development Commission is authorized to hold a public hearing and consider the evidence presented at the public hearing. After conducting the public hearing, the Commission shall approve, conditionally approve, or deny the project. The resolution has been reviewed and approved as to form by the City Attorney.

RECOMMENDATION

Staff and the Downtown Advisory Committee recommend that the Community Development Commission adopt a resolution approving Tentative Parcel Map (RP14-000001), Development Plan (RD14-00002), Conditional Use Permit (RCUP14-00003), and Regular Coastal Permit (RRP14-00004) for the construction of a three-unit residential condominium development located at 508 North Tremont Street.

PREPARED BY:

SUBMITTED BY:



Scott Nightingale
Associate Planner



Michelle Skaggs Lawrence
Executive Director

REVIEWED BY:

Peter Weiss, Assistant City Manager
Rick Brown, Interim Development Services Director
Jeff Hunt, Interim City Planner



EXHIBITS/ATTACHMENTS

- 1. Resolution
- 2. Site Plan / Building Elevations / Photos
- 3. DAC Staff Report dated March 4, 2015
- 4. Other Attachments (Application page, Description and Justification, Notice of Exemption, Historical Survey Report)

RESOLUTION NO.

A RESOLUTION OF THE COMMUNITY DEVELOPMENT COMMISSION OF THE CITY OF OCEANSIDE APPROVING A TENTATIVE PARCEL MAP, DEVELOPMENT PLAN, CONDITIONAL USE PERMIT, AND REGULAR COASTAL PERMIT FOR THE CONSTRUCTION OF A 3-UNIT RESIDENTIAL CONDOMINIUM DEVELOPMENT LOCATED AT 508 NORTH TREMONT STREET – APPLICANT: RICK LACEY/RYMAX

WHEREAS, on April 22, 2015, the Community Development Commission held its duly noticed public hearing, considered an application for a Tentative Parcel Map (RP14-00001), Development Plan (RD14-00002), Conditional Use Permit (RCUP14-00003), and Regular Coastal Permit (RRP14-00004) for the construction of a 3-unit residential condominium development located at 508 North Tremont Street;

WHEREAS, the Downtown Advisory Committee of the City of Oceanside did, on March 4, 2015, review and recommend approval of Tentative Parcel Map (RP14-00001), Development Plan (RD14-00002), Conditional Use Permit (RCUP14-00003), and Regular Coastal Permit (RRP14-00004);

WHEREAS, a Categorical Exemption was prepared by the City of Oceanside for this application pursuant to the California Environmental Quality Act of 1970 and the State Guidelines implementing the Act. The project is considered an infill development pursuant to Title 14, Section 15332 and will not have a significant effect on the environment;

WHEREAS, pursuant to Government Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the Project is subject to certain fees, dedications, reservations and other exactions as provided below:

<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation Formula</u>
Parkland Dedication/Fee	Ordinance No. 91-10 Resolution No. 06-R0334-1	\$3,503 per unit
Drainage Fee	Ordinance No. 85-23 Resolution No. 06-R0334-1	Depends on area (range is \$2,843-\$15,964 per acre)
Public Facility Fee	Ordinance No. 91-09 Resolution No. 06-R0334-1	\$2,072 per unit for residential

1	<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or</u>
2			<u>Calculation Formula</u>
3	School Facilities Mitigation	Ordinance No. 91-34	\$3.20 per square foot
4	Traffic Signal Fee	Ordinance No. 87-19 Resolution No. 06-R0334-1	\$15.71 per vehicle trip
5	Thoroughfare Fee	Ordinance No. 83-01	\$255 per vehicle trip (based on SANDAG trip generation table available from staff and from SANDAG)
6	Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 05-OR 0611-1	Fee based on water meter size. Residential is typically \$4,597 per unit.
7	Wastewater System Buy-in fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 05-OR 0610-1	Based on capacity or water meter size. Residential is typically \$6,313 per unit.
8	San Diego County Water Authority Capacity Fees	SDCWA Ordinance No. 2005-03	Based on meter size. Residential is typically \$4,800 per unit.

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WHEREAS, the current fees referenced above are merely fee amount estimates of the impact fees that would be required if due and payable under currently applicable ordinances and resolutions, presume the accuracy of relevant project information provided by the applicant, and are not necessarily the fee amounts that will be owing when such fees become due and payable;

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WHEREAS, unless otherwise provided by this resolution, all impact fees shall be calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside City Code and the City expressly reserves the right to amend the fees and fee calculations consistent with applicable law;

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WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee, dedication, reservation or other exaction to the extent permitted and as authorized by law;

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WHEREAS, pursuant to Government Code §66020(d)(1), NOTICE IS FURTHER GIVEN that the 90-day period to protest the imposition of any fee, dedication, reservation, or

1 other exaction described in this resolution begins on the effective date of this resolution and any
2 such protest must be in a manner that complies with Section 66020; and

3 WHEREAS, pursuant to Oceanside Zoning Ordinance §4603, this resolution becomes
4 effective upon its adoption.

5 NOW, THEREFORE, the Community Development Commission of the City of
6 Oceanside does resolve as follows:

7 FINDINGS:

8 **For the Tentative Parcel Map:**

9 1. The proposed condominium meets the requirement of the Subdistrict D9 zoning
10 designation in that the project creates three condominiums unit/parcels, while establishing
11 individual ownership for each unit and common ownership for the internal drive court and
12 exterior open spaces pursuant to Article VI of the Oceanside Subdivision Ordinance and as
13 stipulated within Article 12 of the Downtown District development standards. The subdivision
14 map is consistent with the General Plan, Redevelopment Plan, Article 12 of the Downtown
District and the Subdivision Ordinance of the City of Oceanside.

15 2. The subdivision complies with all other applicable ordinances, regulations and
16 guidelines of the City. The proposed building on the site will conform to the topography of the
17 site, therefore, making it suitable for residential development. The subject site is physically
18 suitable to allow for the construction of a 3-unit residential condominium development.

19 3. That the design of the subdivision or the proposed improvements will not cause
20 substantial environmental damage or substantially and avoidably injure fish or wildlife or their
21 habitat. The subject property is located in an urbanized and developed area and contains no
sensitive habitat.

22 4. The design of the subdivision or proposed improvements will not conflict with
23 easements, acquired by the public at large, for access through or use of property within the
24 subdivision. There are no easements, acquired by the public at large, for access through or the use
25 of the subject property.

26 5. That the subdivision complies with all other applicable ordinances, regulations
27 and guidelines of the City of Oceanside. The proposed tentative map exhibit accords with the
28 form and content requirements of the City's Subdivision Ordinance (Section 401).

1 **For the Development Plan:**

2 1. The site plan and physical design of the project as proposed is consistent with the
3 purposes of the City's Zoning Ordinance and the "D" Downtown District in that the
4 architectural design of the proposed structure and the proposed landscaping meets or exceeds
5 the minimum development standards of the "D" Downtown District. The proposed project
6 meets the minimum setbacks, landscape, open space, height and parking spaces as stipulated
7 within the "D" Downtown District development standards.

8 2. The Development Plan as proposed conforms to the Downtown Plan and General
9 Plan of the City in that the 3-unit residential condominium development is consistent with the
10 land uses of the Redevelopment Plan and the project meets the minimum setbacks, landscape,
11 open space, height and parking spaces as stipulated within the "D" Downtown District
12 development standards. In addition, the project is compatible with the newer development
located within the surrounding neighborhood.

13 3. The area covered by the Development Plan can be adequately, reasonably and
14 conveniently served by existing and planned public services, utilities and public facilities. The
15 proposed development project will not create public service and facility demands exceeding the
16 capacity of existing and planned infrastructure.

17 4. The proposed project bulk and scale and the proposed unit sizes are compatible
18 with the newer developments within the surrounding neighborhood.

19 5. The site plan and physical design of the project is consistent with Section 1.24 and
20 1.25 of the Land Use Element of the General Plan, and Section 3039 of the Oceanside Zoning
21 Ordinance (Hillside Development Provisions), in that there is 4-6 foot grade differential from the
22 highest and lowest points of the subject site and therefore, the project would not be subject to the
guidelines of the Land Use Element of the General Plan.

23 **For the Conditional Use Permit:**

24 1. The proposed location of the use is in accord with the objectives of this
25 ordinance and the purposes of the district in which the site is located. The proposed Conditional
26 Use Permit for the multi-family development is consistent with the land use objectives of within
27 the Subdistrict "D9" of the Downtown District Zoning Ordinance. The 3-unit multi-family
28 condominium development is compatible with the neighboring multi-family complexes and

1 single family developments within the area. The proposed bulk and scale of the project would
2 be compatible with many of the newer developments within the neighborhood.

3 2. The proposed location of the conditional use permit and the proposed conditions
4 under which it would be operated or maintained will be consistent with the General Plan, will
5 not be detrimental to the public health, safety or welfare of persons residing or working in or
6 adjacent to the neighborhood of such use; and will not be detrimental to properties or
7 improvements in the vicinity or to the general welfare of the city.

8 3. The proposed conditional use will comply with the provisions of this ordinance,
9 including any specific conditions required for the proposed conditional use in the district in
10 which it would be located. The proposed multi-family development and proposed density
11 would be compatible with the neighboring developments within Subdistrict D9 of the
12 Downtown District, in terms of providing Land Use Compatibility and a balanced distribution
13 of land uses.

13 **For the Regular Coastal Permit:**

14 1. The granting of the Regular Coastal Permit is consistent with the purposes of the
15 California Coastal Act of 1976. The proposed 3-unit residential condominium development is
16 consistent with the Mixed-Use and High-Density Land Use as depicted in the Local Coastal
17 Program Land Use Map.

18 2. The proposed project is consistent with the policies of the Local Coastal Program
19 and with the applicable provisions of the City Downtown Zoning Ordinance. The proposed 3-
20 unit residential condominium development is consistent with the High-Density Land Use as
21 depicted in the Local Coastal Program Land Use Map.

22 3. The proposed project will not obstruct any existing or planned public beach
23 access; therefore, the project is in conformance with the policies of Chapter 3 of the Coastal
24 Act. The project does not impede public access to the beach because the subject site is located
25 at least 500 feet from the coastal boundary.

26 SECTION 1. That Tentative Parcel Map (RP14-00001), Development Plan (RD14-
27 00002), Conditional Use Permit (RCUP14-00003), and Regular Coastal Permit (RRP14-00004)
28 are hereby approved subject to the following conditions:

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1 **Building:**

2 1. Applicable Building Codes and Ordinances shall be based on the date of
3 submittal for Building Division plan check (Currently the 2013 California Building Code and
4 2013 California Electrical Code).

5 2. The granting of approval under this action shall in no way relieve the
6 applicant/project from compliance with all State and local building codes.

7 3. The building plans for this project are required by State law to be prepared by a
8 licensed architect or engineer and must be in compliance with this requirement prior to
9 submittal for building plan review.

10 4. Site development, common use areas, access and adaptability of condominiums
11 shall comply with the State's Disabled Accessibility Regulations (2013 California Building
12 Code (CBC) Chapter 11A).

13 5. All electrical, communication, CATV, etc. service lines, within the exterior lines
14 of the property shall be undergrounded. (City Code Sec. 6.30)

15 6. Compliance with the Federal Clean Water Act (BMP's) shall be demonstrated on
16 the plans.

17 7. The developer shall monitor, supervise and control all building construction and
18 supportive activities so as to prevent these activities from causing a public nuisance, including, but
19 not limited to, strict adherence to the following:

20 a) Building construction work hours shall be limited to between 7 a.m. and
21 6 p.m. Monday through Friday, and on Saturday from 7 a.m. to 6 p.m. for work that is not
22 inherently noise-producing. Examples of work not permitted on Saturday are concrete and
23 grout pours, roof nailing and activities of similar noise-producing nature. No work shall be
24 permitted on Sundays and Federal Holidays (New Year's Day, Memorial Day, July 4th, Labor
25 Day, Thanksgiving Day, and Christmas Day) except as allowed for emergency work under the
26 provisions of the Oceanside City Code Chapter 38. (Noise Ordinance)

27 b) The construction site shall be kept reasonably free of construction debris
28 as specified in Section 13.17 of the Oceanside City Code. Storage of debris in approved solid
waste containers shall be considered compliance with this requirement. Small amounts of
construction debris may be stored on-site in a neat, safe manner for short periods of time

1 pending disposal.

2 8. A complete soils report, structural and energy calculations will be required at
3 time of plans submittal to the Building Division for plan check.

4 9. A private sewer system design must be submitted to the Building Division and
5 approved prior to the construction of the sewer system. If a gravity flow system is not used, an
6 engineered mechanical system must be submitted and approved by the Planning, Engineering,
7 Building Divisions and Water Department.

8 10. Separate/unique addresses will/may be required to facilitate utility releases.
9 Verification that the addresses have been properly assigned by the City's Planning Division
10 shall accompany the Building Permit application.

11 11. Fire sprinklers are required for all R-2 occupancies [CBC903.2.7].

12 12. Setbacks and Type of Construction must comply with the 2013 California
13 Building Code. Exterior openings less than five feet from the property line shall be protected
14 per table 704-8 of the CBC code.

14 **Engineering:**

15 13. For the demolition of any existing structure or surface improvements; grading
16 plans shall be submitted and erosion control plans be approved by the City Engineer prior to the
17 issuance of a demolition permit. No demolition shall be permitted without an approved erosion
18 control plan.

19 14. Design and construction of all improvements shall be in accordance with the City
20 of Oceanside Engineers Design and Processing Manual, City Ordinances, and Standard
21 Engineering and Specifications of the City of Oceanside and subject to approval by the City
22 Engineer.

23 15. All right-of-way alignments, street dedications, exact geometrics and width shall
24 be dedicated and constructed or replaced as required by the City Engineer.

25 16. Pursuant to the State Map Act, improvements shall be required at the time of
26 development. A covenant, reviewed and approved by the City Attorney, shall be recorded
27 attesting to these improvement conditions and a certificate setting forth the recordation shall be
28 placed on the map.

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1 17. Prior to approval of the parcel map or any increment, all improvement
2 requirements, within such increment or outside of it if required by the City Engineer, shall be
3 covered by a Subdivision Improvement Agreement and secured with sufficient improvement
4 securities or bonds guaranteeing performance and payment for labor and materials, setting of
5 monuments, and warranty against defective materials and workmanship.

6 18. A traffic control plan shall be prepared according to the City traffic control
7 guidelines and approved to the satisfaction of the City Engineer prior to the start of work within
8 the public right-of-way. Traffic control during construction of streets that have been opened to
9 public traffic shall be in accordance with construction signing, marking and other protection as
10 required by the Caltrans Traffic Manual and City Traffic Control Guidelines. Traffic control
11 plans shall be in effect from 8:00 a.m. to 3:30 p.m. unless approved otherwise.

12 19. Vehicular access rights to Tremont Street shall be relinquished to City along
13 property frontage.

14 20. Tremont Street shall provide a minimum of 10 feet parkway between the face of
15 curb and the right of way line. Sidewalk improvements shall comply with ADA requirements.

16 21. Tremont Street shall be grinded 2 inch deep and replaced with rubberized asphalt
17 along the property frontage to the satisfaction of the City Engineer. The limit of the replacement
18 shall be half street plus 12 feet.

19 22. The existing public sidewalk, curb and gutter adjacent to the project boundary shall
20 be replaced to the satisfaction of City Engineer. The new sidewalk shall be constructed per the
21 ADA standards.

22 23. The existing alley asphalt pavement section adjacent to the property line including
23 longitudinal concrete gutter shall be reconstructed in full width in accordance with the City of
24 Oceanside Engineers Design and Processing Manual, the City Standards plans and specifications
25 as approved by the City Engineer.

26 24. The new alley gutter must be extended south up to the existing concrete gross gutter
27 at Sportfisher Street. The construction cost for this portion of the alley gutter beyond the property
28 line will be reimbursed by City of Oceanside upon approval by the City.

29 25. This project's driveway shall remain private and shall be maintained by an
30 association. The pavement sections, traffic indices shall be based on approved geotechnical report

1 and in compliance with the City of Oceanside Engineers Design and Processing Manual. The
2 private project driveway alignments and geometric layouts shall meet the City of Oceanside
3 Engineers Design and Processing Manual.

4 26. A CC&R is required and shall be recorded concurrent with the parcel map.
5 The CC&R shall include and define the maintenance responsibility of the project driveways and
6 all common areas for the benefit of future home owners.

7 27. A precise grading and private improvement plan shall be prepared, reviewed,
8 secured and approved prior to the issuance of any building permits. The plan shall reflect all
9 pavement, flatwork, landscaped areas, special surfaces, curbs, and gutters, footprints of all
10 structures, walls, drainage devices and utility services. Parking lot striping and any on site traffic
11 calming devices shall be shown on all precise grading and private improvement plans.

12 28. This project shall provide year-round erosion control including measures for the site
13 required for the phasing of grading. Prior to the issuance of grading permit, an erosion control
14 plan, designed for all proposed stages of construction, shall be reviewed, secured by the
15 owner/developer with cash securities or a letter of credit and approved by the City Engineer.

16 29. Prior to the issuance of a grading permit, the owner/developer shall notify and
17 host a neighborhood meeting with all of the area residents located within 300 feet of the project
18 site, to inform them of the grading and construction schedule, and to answer questions.

19 30. The owner/developer shall monitor, supervise and control all construction and
20 construction-supportive activities, so as to prevent these activities from causing a public nuisance,
21 including but not limited to, insuring strict adherence to the following:

22 a) Dirt, debris and other construction material shall not be deposited on any
23 public street or within the City's storm water conveyance system.

24 b) All grading and related site preparation and construction activities shall
25 be limited to the hours of 7 AM to 6 PM, Monday through Friday. No engineering related
26 construction activities shall be conducted on Saturdays, Sundays or legal holidays unless written
27 permission is granted by the City Engineer with specific limitations to the working hours and types
28 of permitted operations. All on-site construction staging areas shall be as far as possible
(minimum 100 feet) from any existing residential development. Because construction noise
may still be intrusive in the evening or on holidays, the City of Oceanside Noise Ordinance also

1 prohibits “any disturbing excessive or offensive noise which causes discomfort or annoyance to
2 reasonable persons of normal sensitivity.”

3 c) The construction site shall accommodate the parking of all motor vehicles
4 used by persons working at or providing deliveries to the site. An alternate parking site can be
5 considered by the City Engineer in the event that the lot size is too small and cannot accommodate
6 parking of all motor vehicles.

7 d) The owner/developer shall complete a haul route permit application (if
8 required for import/export of dirt) and submit to the City of Oceanside Engineering Division
9 forty eight hours (48) in advance of beginning of work. Hauling operations (if required) shall
10 be 8:00 A.M. to 3:30 P.M. unless approved otherwise.

11 31. It is the responsibility of the owner/developer to evaluate and determine that all
12 soil imported as part of this development is free of hazardous and/or contaminated material as
13 defined by the City and the County of San Diego Department of Environmental Health.
14 Exported or imported soils shall be properly screened, tested, and documented regarding
15 hazardous contamination.

16 32. The approval of the tentative parcel map shall not mean that proposed grading or
17 improvements on adjacent properties (including any City properties/right-of-way or easements)
18 is granted or guaranteed to the owner/developer. The owner/developer is responsible for
19 obtaining permission to grade to construct on adjacent properties. Should such permission be
20 denied, the tentative map shall be subject to going back to the public hearing or subject to a
21 substantial conformity review.

22 33. Prior to any grading of any part of project, a comprehensive soils and geologic
23 investigation shall be conducted of the soils and formations in the project. All necessary measures
24 shall be taken and implemented to assure erosion control, and soil integrity. No grading shall occur
25 until a detailed grading plan, to be prepared in accordance with the Grading Ordinance and Zoning
26 Ordinance is approved by the City Engineer.

27 34. Landscaping plans, including plans for the construction of walls, fences or other
28 structures near the driveway access, must conform to intersection sight distance requirements.
Landscape and irrigation plans for disturbed areas shall be submitted to the City Engineer prior to
the issuance of a preliminary grading permit and approved by the City Engineer prior to the

1 issuance of building permits. Frontage landscaping shall be installed and established prior to the
2 issuance of any certificates of occupancy. Securities shall be required only for landscape items in
3 the public right-of-way. Any project fences, sound or privacy walls and monument entry
4 walls/signs shall be shown on, bonded for and built from the landscape plans. These features shall
5 also be shown on the precise grading plans for purposes of location only. Plantable, segmental
6 walls shall be designed, reviewed and constructed by the grading plans and landscaped/irrigated
7 through project landscape plans. All plans must be approved by the City Engineer and a pre-
8 construction meeting held, prior to the start of any improvements.

9 35. The drainage design shown on the preliminary grading and the drainage report for
10 this tentative parcel map is conceptual only. The final drainage report and drainage design shall be
11 based upon a hydrologic/hydraulic study that is in compliance with the latest San Diego County
12 Hydrology and Drainage Manual to be approved by the City Engineer during final engineering.
13 All drainage picked up in an underground system shall remain underground until it is discharged
14 into an approved channel, or as otherwise approved by the City Engineer. All public storm drains
15 shall be shown on City standard plan and profile sheets. All storm drain easements shall be
16 dedicated where required. The owner/developer shall be responsible for obtaining any off-site
17 easements for storm drainage facilities.

18 36. The owner/developer shall place a covenant on the non-title sheet of the parcel
19 map and the grading plan agreeing to the following: "The present or future owner/developer
20 shall indemnify and save the City of Oceanside, its officers, agents, and employees harmless
21 from any and all liabilities, claims arising from any flooding that occurs on this site, and any
22 flooding that is caused by this site impacting adjacent properties".

23 37. Storm drain facilities shall be designed and located such that the inside travels lanes
24 on streets with collector or above design criteria shall be passable during conditions of a 100-year
25 frequency storm.

26 38. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and
27 disposed of in accordance with all state and federal requirements, prior to stormwater discharge
28 either off-site or into the City drainage system.

39. This project requires a Storm Water Management-Standard Development Plan
(SWMP-SDP). Prior to approval of a grading plan and issuance of any grading permit the

1 owner/developer shall submit a deemed complete title sheet of the SWMP-SDP.

2 40. All existing overhead utility lines within the property and all new extension services
3 for the development of this project, including but not limited to, electrical, cable and telephone,
4 shall be placed underground per Section 901.G. of the Subdivision Ordinance (R91-166) and as
5 required by the City Engineer and current City policy.

6 41. Where proposed off-site improvements, including but not limited to public utility
7 facilities, and drainage facilities, are to be constructed, the owner/developer shall, at his own
8 expense, obtain all necessary easements or other interests in real property and shall dedicate the
9 same to the City of Oceanside as required. The owner/developer shall provide documentary proof
10 satisfactory to the City of Oceanside that such easements or other interest in real property have
11 been obtained prior to the approval of the parcel map. Additionally, the City of Oceanside, may at
12 its sole discretion, require that the owner/developer obtain at his sole expense a title policy insuring
13 the necessary title for the easement or other interest in real property to have vested with the City of
14 Oceanside or the owner/developer, as applicable.

15 42. The owner/developer shall obtain any necessary permits and clearances from all
16 public agencies having jurisdiction over the project due to its type, size, or location, including but
17 not limited to the U. S. Army Corps of Engineers, California Department of Fish & Game, U. S.
18 Fish and Wildlife Service and/or San Diego Regional Water Quality Control Board (including
19 NPDES), San Diego County Health Department, prior to the issuance of grading permits.

20 43. The owner/developer shall comply with all the provisions of the City's cable
21 television ordinances including those relating to notification as required by the City Engineer.

22 44. Approval of this development project is conditioned upon payment of all applicable
23 impact fees and connection fees in the manner provided in chapter 32B of the Oceanside City
24 Code. All traffic signal fees and contributions, highway thoroughfare fees, park fees,
25 reimbursements, and other applicable charges, fees and deposits shall be paid prior to recordation
26 of the map or the issuance of any building permits, in accordance with City Ordinances and
27 policies. The owner/developer shall also be required to join into, contribute, or participate in any
28 improvement, lighting, or other special district affecting or affected by this project. Approval of
the tentative map (project) shall constitute the owner/developer's approval of such payments, and
his agreement to pay for any other similar assessments or charges in effect when any increment is

1 submitted for final map or building permit approval, and to join, contribute, and/or participate in
2 such districts.

3 45. Upon acceptance of any fee waiver or reduction by the owner/developer, the
4 entire project will be subject to prevailing wage requirements as specified by Labor Code
5 section 1720(b) (4). The owner/developer shall agree to execute a form acknowledging the
6 prevailing wage requirements prior to the granting of any fee reductions or waivers.

7 46. The approval of the tentative parcel map shall not mean that closure, vacation, or
8 abandonment of any public street, right-of-way, easement, or facility is granted or guaranteed to
9 the owner/developer. The owner/developer is responsible for applying for all closures,
10 vacations, and abandonments as necessary. The application(s) shall be reviewed and approved
11 or rejected by the City of Oceanside under separate process (es) per codes, ordinances, and
12 policies in effect at the time of the application. The City of Oceanside retains its full legislative
discretion to consider any application to vacate a public street or right-of-way.

13 47. In the event that the conceptual plan does not match the conditions of approval,
14 the resolution of approval shall govern.

15 **Fire:**

16 48. Building must be fire sprinklered per NFPA 13 or 13R.

17 49. Public fire hydrant must be located on Tremont Street on the same side of the
18 street as the proposed project.

19 50. Fire department connection (FDC) must be located as far away from the building
20 as possible and must be located on the Tremont side of the building.

21 51. A Knox key storage box is required at the main entrance to the building.

22 52. Provide a fire extinguisher in the first floor lobby and third floor common area.

23 53. Provide a letter from the fire sprinkler contractor stating that the proposed fire
24 service underground supply line is adequate to supply the anticipated fire sprinkler system
25 demand.

26 54. Complete underground fire line plans must be submitted to the Fire Department
27 for review prior to installation of the private underground fire line. The private underground
28 fire line is the portion of fire line from the sprinkler system side of the DCDA to the building.

1 55. Fire sprinkler system must be electronically monitored.

2 56. In order to access rescue windows, provide pavers on both sides of the building
3 in the building set back area. To provide a stable base for rescue ladders, pavers must be
4 located as far away from the building as possible adjacent to the property line. Elevator must be
5 sized to accommodate an emergency gurney 24 inches by 84 inches with not less than 5 inch
6 radius corners in the horizontal, open position.

7 57. Provide minimum 4 inches high building address numbers visible from Tremont
8 Street.

8 **Landscaping:**

9 58. Landscape plans, shall meet the criteria of the City of Oceanside Landscape
10 Guidelines and Specifications for Landscape Development (latest revision), Water Conservation
11 Ordinance No.(s) 91-15 and 10-Ordinance 0412, Engineering criteria, City code and ordinances,
12 including the maintenance of such landscaping, shall be reviewed and approved by the City
13 Engineer prior to the issuance of building permits. Landscaping shall not be installed until
14 bonds have been posted, fees paid, and plans signed for final approval. In addition, a refundable
15 cash deposit for the preparation of the final As-built/ Maintenance Guarantee shall be secured
16 with the City prior to the final approval of the landscape construction plan. A landscape pre-
17 construction meeting shall be conducted by the landscape architect of record, Public Works
18 Inspector, developer or owner's representative and landscape contractor prior to commencement
19 of the landscape and irrigation installation. The following landscaping items shall be required
20 prior to plan approval and certificate of occupancy:

21 a) Final landscape plans shall accurately show placement of all plant
22 material such as but not limited to trees, shrubs, and groundcovers.

23 b) Landscape Architect shall be aware of all utility, sewer, gas, water, and
24 storm drain lines and utility easements and place planting locations accordingly to meet City of
25 Oceanside requirements.

26 c) All required landscape areas shall be maintained by owner, project
27 association, homeowner association or successor of the project (including public rights-of-way
28 (parkways) parallel with Tremont Street). The landscape areas shall be maintained per City of
Oceanside requirements.

1 d) The As-built/ Maintenance Guarantee (refundable cash deposit) shall not
2 be released until the as-built drawings have been approved on the original approved Mylar
3 landscape plan and the required maintenance period has been successfully terminated.

4 e) Proposed landscape species shall fit the site and meet climate changes
5 indicative to their planting location. The selection of plant material shall also be based on
6 cultural, aesthetic, and maintenance considerations. In addition proposed landscape species
7 shall be low water users as well as meet all fire department requirements.

8 f) All planting areas shall be prepared and implemented to the required
9 depth with appropriate soil amendments, fertilizers, and appropriate supplements based upon a
10 soils report from an agricultural suitability soil sample taken from the site.

11 g) Ground covers or bark mulch shall fill in between the shrubs to shield the
12 soil from the sun, evapotranspiration and run-off. All the flower and shrub beds shall be
13 mulched to a 3" depth to help conserve water, lower the soil temperature and reduce weed
14 growth.

15 h) The shrubs shall be allowed to grow in their natural forms. All landscape
16 improvements shall follow the City of Oceanside Guidelines.

17 i) Root barriers shall be installed adjacent to all paving surfaces, where a
18 paving surface is located within 6 feet of a trees trunk on site (private) and within 10 feet of a
19 trees trunk in the right-of-way (public). Root barriers shall extend 5 feet in each direction from
20 the centerline of the trunk, for a total distance of 10 feet. Root barriers shall be 24 inches in
21 depth. Installing a root barrier around the tree's root ball is unacceptable.

22 j) All fences, gates, walls, stone walls, retaining walls, and plantable walls
23 shall obtain Planning Division approval for these items in the conditions or application stage
24 prior to 1st submittal of working drawings.

25 k) For the planting and placement of trees and their distances from
26 hardscape and other utilities/ structures the landscape plans shall follow the City of Oceanside's
27 (current) Tree Planting Distances and Spacing Standards.

28 l) An automatic irrigation system shall be installed to provide coverage for
all planting areas shown on the plan. Low volume equipment shall provide sufficient water for
plant growth with a minimum water loss due to water run-off.

1 m) Irrigation systems shall use high quality, automatic control valves,
2 controllers and other necessary irrigation equipment. All components shall be of non-corrosive
3 material. All drip systems shall be adequately filtered and regulated per the manufacturer's
4 recommended design parameters.

5 n) All irrigation improvements shall follow the City of Oceanside
6 Guidelines and Water Conservation Ordinance.

7 o) The landscape plans shall match all plans affiliated with the project.

8 p) Landscape construction drawings are required to implement approved
9 Fire Department regulations, codes, and standards at the time of plan approval.

10 q) Landscape plans shall comply with Biological and/or Geotechnical
11 reports, as required, shall match the grading and improvement plans, comply with SWMP Best
12 Management Practices and meet the satisfaction of the City Engineer.

13 r) Existing landscaping on and adjacent to the site shall be protected in
14 place and supplemented or replaced to meet the satisfaction of the City Engineer.

15 59. All landscaping, fences, walls, enhanced hardscape etc. on the site, along the
16 northern landscape planter against the building facing the alley way, and within any adjoining
17 public parkways shall be permanently maintained by the owner, project association, homeowner
18 association his assigns or any successors-in-interest in the property. The maintenance program
19 shall include: a) normal care and irrigation of the landscaping b) repair and replacement of plant
20 materials (including interior trees and street trees) c) irrigation systems as necessary d) general
21 cleanup of the landscaped and open areas e) parking lots and walkways, walls, fences, etc. f)
22 pruning standards for street trees shall comply with the International Society of Arboriculture
23 (ISA) Standard Practices for Tree Care Operations – ANSI A300, Appendix G: Safety
24 Standards, ANSI Z133; Appendix H; and Tree Pruning Guidelines, Appendix F (most current
25 edition). Failure to maintain landscaping shall result in the City taking all appropriate
26 enforcement actions including but not limited to citations. This maintenance program condition
27 shall be recorded with a covenant as required by this resolution.

28 60. In the event that the conceptual landscape plan (CLP) does not match the
conditions of approval, the resolution of approval shall govern.

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1 **Planning:**

2 61. This Tentative Parcel Map (RP14-00001), Development Plan (RD14-00002),
3 Conditional Use Permit (RCUP14-00003), and Regular Coastal Permit (RRP14-00004) shall
4 expire on April 22, 2017, unless implemented as required by the Zoning Ordinance.

5 62. This Tentative Parcel Map, Development Plan, Conditional Use Permit, and
6 Regular Coastal Permit approve only the development of a 3-unit residential condominium
7 development as shown on the plans and exhibits presented to the Community Development
8 Commission for review and approval. No deviation from these approved plans and exhibits
9 shall occur without City Planner approval. Substantial deviations shall require a revision to the
10 Tentative Parcel Map, Development Plan, Conditional Use Permit, and Regular Coastal Permit
11 or a new Tentative Parcel Map, Development Plan, Conditional Use Permit, and Regular
12 Coastal Permit.

13 63. The applicant, permittee or any successor-in-interest shall defend, indemnify and
14 hold harmless the City of Oceanside, its agents, officers or employees from any claim, action or
15 proceeding against the City, its agents, officers, or employees to attack, set aside, void or annul
16 an approval of the City, concerning Tentative Parcel Map (RP14-00001), Development Plan
17 (RD14-00002), Conditional Use Permit (RCUP14-00003), and Regular Coastal Permit (RRP14-
18 00004). The City will promptly notify the applicant of any such claim, action or proceeding
19 against the City and will cooperate fully in the defense. If the City fails to promptly notify the
20 applicant of any such claim action or proceeding or fails to cooperate fully in the defense, the
21 applicant shall not, thereafter, be responsible to defend, indemnify or hold harmless the City.

22 64. All mechanical rooftop and ground equipment shall be screened from public
23 view as required by the Zoning Ordinance. The roof jacks, mechanical equipment, screen and
24 vents shall be painted with non-reflective paint to match the roof. This information shall be
25 shown on the building plans.

26 65. Front yard landscaping with a complete irrigation system, in compliance with
27 Water Conservation Ordinance No. 91-15, shall be required.

28 66. All multi-family unit dwelling projects shall dispose of or recycle solid waste in
a manner provided in City Ordinance 13.3.

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1 67. A letter of clearance from the affected school district in which the property is
2 located shall be provided as required by City policy at the time building permits are issued.

3 68. A covenant or other recordable document approved by the City Attorney shall be
4 prepared by the applicant developer and recorded prior to the issuance of building permits. The
5 covenant shall provide that the property is subject to this resolution, and shall generally list the
6 conditions of approval.

7 69. Prior to the issuance of building permits, compliance with the applicable
8 provisions of the City's anti-graffiti (Ordinance No. 93-19/Section 20.25 of the City Code) shall
9 be reviewed and approved by the Development Services Department. These requirements,
10 including the obligation to remove or cover with matching paint all graffiti within 24 hours,
11 shall be noted on the Landscape Plan and shall be recorded in the form of a covenant affecting
12 the subject property.

13 70. Prior to the transfer of ownership and/or operation of the site the owner shall
14 provide a written copy of the applications, staff report and resolutions for the project to the new
15 owner and or operator. This notification's provision shall run with the life of the project and
16 shall be recorded as a covenant on the property.

17 71. Failure to meet any conditions of approval for this development shall constitute a
18 violation of the Tentative Parcel Map (RP14-00001), Development Plan (RD14-00002),
19 Conditional Use Permit (RCUP14-00003), and Regular Coastal Permit (RRP14-00004).

20 72. Unless expressly waived, all current zoning standards and City ordinances and
21 policies in effect at the time building permits are issued are required to be met by this project.
22 The approval of this project constitutes the applicant's agreement with all statements in the
23 Description and Justification, and other materials and information submitted with this
24 application, unless specifically waived by an adopted condition of approval.

25 73. The developer's construction of all walls associated with the project shall be in
26 conformance with the approved Development Plan. Any substantial change in any aspect of
27 wall design from the approved Development Plan shall require a revision to the Development
28 Plan or a new Development Plan.

 74. If any aspect of the project fencing and walls is not covered by an approved
Development Plan, the construction of fencing and walls shall conform to the development

1 standards of the City Zoning Ordinance. In no case, shall the construction of fences and walls
2 (including combinations thereof) exceed the limitations of the zoning code, unless expressly
3 granted by a Variation or other development approval.

4 75. A set of building plans shall be reviewed and approved by the Development
5 Services Department prior to the issuance of building permits.

6 76. Elevations, siding materials, colors, roofing materials, unit types and floor plans
7 shall be substantially the same as those approved by the Community Development Commission.
8 These shall be shown on plans submitted to the Building Division and Development Services
9 Department.

10 77. An association of homeowners (HOA) shall be formed and Covenants,
11 Conditions and Restrictions (CC&R's) shall provide for the maintenance of all common open
12 space, and commonly owned fences and walls and adjacent parkways. The maintenance shall
13 include normal care and irrigation of landscaping, repair and replacement of plant material and
14 irrigation systems as necessary; and general cleanup of the landscaped and open area, parking
15 lots and walkways. The CC&R's shall be subject to the review and approval of the City
16 Attorney prior to the approval of the final map. The CC&R's are required to be recorded prior
17 to or concurrently with the final map. Any amendments to the CC&R's in which the association
18 relinquishes responsibility for the maintenance of any common open space shall not be
19 permitted without the specific approval of the City of Oceanside. Such a clause shall be a part
20 of the CC&R's. The CC&R's shall also contain provisions for the following:

21 a) The individual garage parking units shall be exclusive to the residential
22 occupancy of the site and shall not be shared or used by any other occupancy.

23 b) Prohibition of parking or storage of recreational vehicles, trailers, or boats.

24 c) Maintenance of all common areas, and on-site and frontage landscaping.

25 d) Trash collection either at street level or within a subterranean garage and the
26 funding mechanism.

27 78. The project shall prepare a Management Plan. The Management Plan is subject to
28 the review and approval of the City Planner and the Police Chief prior to the occupancy of the
project, and shall be recorded as CC&R's against the property. The Management Plan shall cover
the following:

1 a) Security - The Management Plan, at a minimum, shall address on-site
2 management, hours-of-operation and measures for providing appropriate security for the project
3 site.

4 b) Maintenance - The Management Plan shall cover, but not be limited to anti-
5 graffiti and site and exterior building, landscaping, parking lots, sidewalks, walkways and overall
6 site maintenance measures and shall ensure that a high standard of maintenance at this site exists at
7 all times. The maintenance portion of the management plan shall include a commitment for the
8 sweeping and cleaning of parking lots, sidewalks and other concrete surfaces at sufficient intervals
9 to maintain a "like new" appearance. Wastewater, sediment, trash or other pollutants shall be
10 collected on site and properly disposed of and shall not be discharged off the property or into the
11 City's storm drain system.

12 c) Any graffiti within the center shall be removed by the center management
13 or its designated representative within 24 hours of occurrence. Any new paint used to cover
14 graffiti shall match the existing color scheme.

14 **Water Utilities:**

15 79. The developer will be responsible for developing all water and sewer utilities
16 necessary to develop the property. Any relocation of water and/or sewer utilities is the
17 responsibility of the developer and shall be done by an approved licensed contractor at the
18 developer's expense.

19 80. All Water and Wastewater construction shall conform to the most recent edition of
20 the *Water, Sewer, and Reclaimed Water Design and Construction Manual* or as approved by the
21 Water Utilities Director.

22 81. For residences with 3 or more dwelling units, an in-lieu fee for water and sewer
23 upsized to the standard minimum 8-inch diameter is required as part of engineering plan submittal.
24 The in-lieu fee based on 25 percent of City calculated design and construction cost estimate for
25 upsized the pipe fronting the property. This shall be paid prior to engineering plan approval.

26 82. The property owner shall maintain private water and wastewater utilities located on
27 private property.

28 83. Water services and sewer laterals constructed in existing right-of-way locations are
to be constructed by approved and licensed contractors at developer's expense.

- 1 84. Each residential unit shall be metered individually.
- 2 85. One sewer lateral connection for property.
- 3 86. Per the latest approved California Fire Code, all new residential units shall be
4 equipped with fire sprinkler system.
- 5 87. Change direction of sewer flow of existing 6" VCP sewer on Preliminary Grading
6 and Development Plan, Sheet PGP. 1 to all flow northwest. Plans currently show existing sewer
7 line as having a highpoint.
- 8 88. Any water and/or sewer improvements required to develop the proposed property
9 will need to be included in the improvement plans and designed in accordance with the *Water,
10 Sewer, and Reclaimed Water Design and Construction Manual*.
- 11 89. No trees, structures or building overhang shall be located within any water or
12 wastewater utility easement.
- 13 90. All lots with a finish pad elevation located below the elevation of the next upstream
14 manhole cover of the public sewer shall be protected from backflow of sewage by installing and
15 maintaining an approved type backwater valve, per the latest approved California Plumbing Code.
- 16 91. The developer shall construct a public reclamation water system that will serve
17 each lot and or parcels that are located in the proposed project in accordance with the City of
18 Oceanside Ordinance No. 91-15. The proposed reclamation water system shall be located in the
19 public right-of-way or in a public utility easement. The developer may elect to pay an in-lieu fee by
20 submitting a formal letter requesting the City to determine this fee that is based on 75 percent of
21 the design and construction cost to construct a reclaimed water line fronting the property.
- 22 92. Sewer lateral connections shall be at right angle to public sewer main per Section
23 3.4 G. of *Water, Sewer, and Reclaimed Water Design and Construction Manual*.
- 24 93. A separate irrigation meter and approved backflow prevention device is required
25 and shall be displayed on the plans. Average irrigation flow and peak flows by irrigation zone shall
26 be provided on plans.
- 27 94. Provide dedicated fire service connection with double check detector assembly
28 backflow device. Location of backflow device shall be coordinated with City Fire Department.
95. Provide separate water meter for each residential unit. Each meter shall have a dual
check assembly per Oceanside Standard Drawing W-30 in below ground landscape box located

1 downstream of meter.

2 96. Water service lines shall have same diameter as meter size on either side of meter
3 or one City of Oceanside meter size increment larger.

4 97. Provide irrigation flow per zone or control valve to size irrigation meter and
5 reduced pressure principle backflow device on Landscape Plans. Show service connection size,
6 irrigation meter size and backflow device per Oceanside Standard Drawing W-29 on Grading
7 and/or Improvement Plans.

8 98. Provide stationing and offsets for existing and proposed meters and sewer laterals
9 on Grading and/or Improvement Plans.

10 99. Show existing 5/8-inch residential water meter off of existing 6-inch AC water
11 main in Alley that serves existing home on property.

12 100. Show existing 12-inch AC water main in Tremont Street on plans.

13 101. Pay water and sewer in-lieu fee to upsize existing 6-inch water and sewer mains
14 fronting property prior to engineering (grading and improvement) plan approval.

15 102. Provide existing and proposed fixture count and flow calculations in existing and
16 new addition to residence per latest California Plumbing Code to size water meter size and service
17 lines on Building Plans.

18 103. If a larger water meter is required, then the incremental increase in water and sewer
19 buy-in fees from the existing meter to proposed meter size will be charged. Owner will also be
20 required to abandon the existing water service and hire a contractor to construct new water service
21 connection to main to accommodate the larger meter if it is not adequately sized.

22 104. Water and Wastewater Buy-in fees and the San Diego County Water Authority
23 Fees are to be paid to the City and collected by the Water Utilities Department at the time of
24 Building Permit issuance.

25 105. All Water Utilities Fees are due at the time of building permit issuance per City
26 Code Section 32B.7.

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106. All new development of single-family and multi-family residential units shall include hot water pipe insulation and installation of a hot water recirculation device or design to provide hot water to the tap within 15 seconds in accordance with City of Oceanside Ordinance No. 02-OR126-1.

PASSED AND ADOPTED by the Oceanside Community Development Commission of the City of Oceanside this _____ day of _____ 2015 by the following

vote:

AYES:

NAYS:

ABSENT:

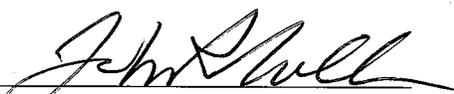
ABSTAIN:

Chairman

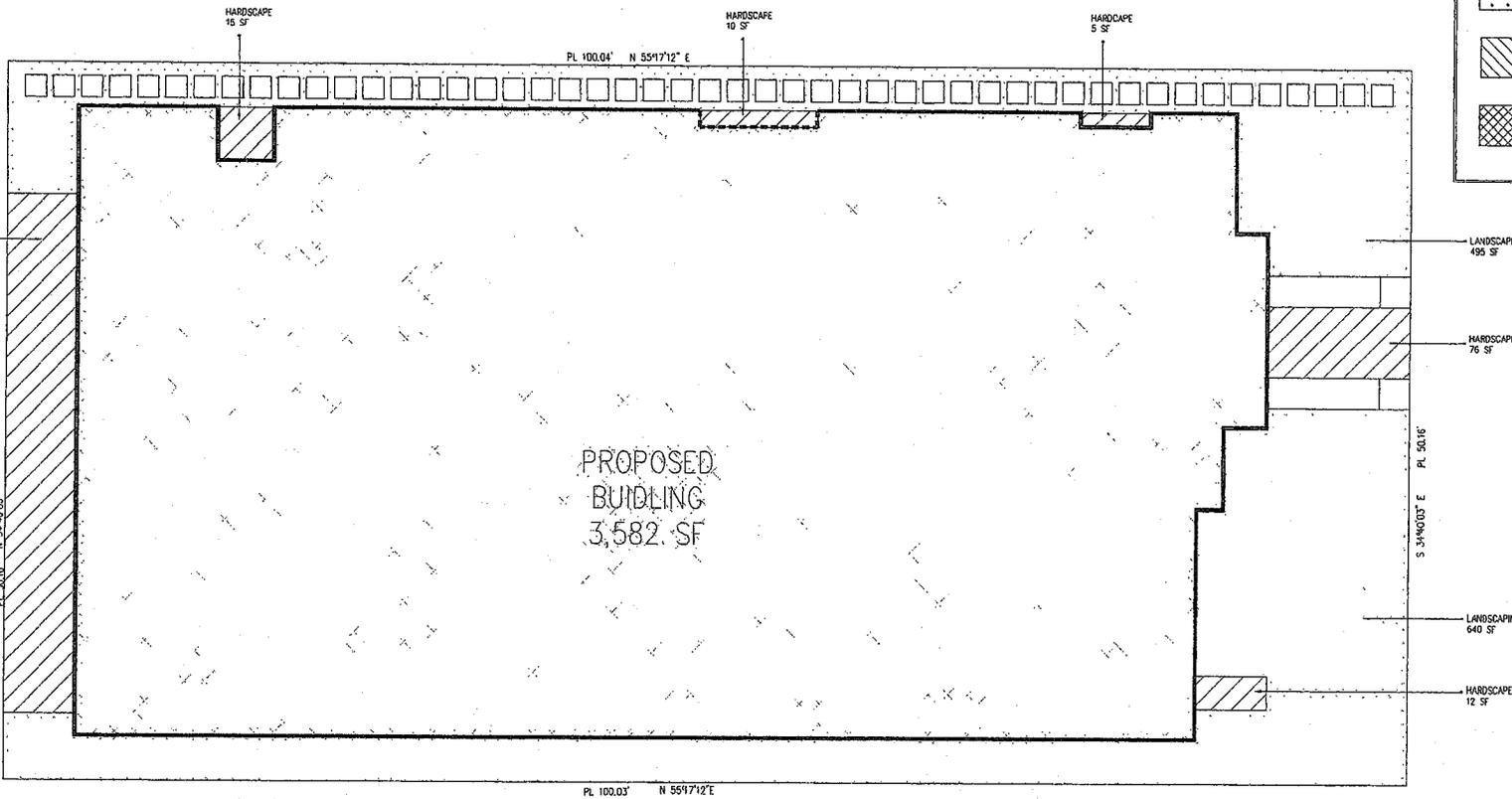
ATTEST:

Secretary

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY

by 
General Counsel

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HATCHING NOTE

- HATCH INDICATES AREA TO BE LANDSCAPED
- HATCH INDICATES AREA TO BE PAVED
- HATCH INDICATES AREA TO BE BUILDING FOOTPRINT



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TREMONT CUSTOM CONDOMINIUMS
508 N TREMONT STREET
OCEANSIDE, CA 92054

REVISIONS

NO.	DATE	DESCRIPTION
1	08/20/14	SUBMITAL

Prepared by: EOS ARCHITECTURE, INC.
 Name: 7342 FAX COT 92037
 Address: LA JOLLA, CA 92037
 Phone: (858) 459-0575
 Email: TORREY@EOSARCH.COM
 Project Address: 508 N. TREMONT ST., OCEANSIDE, CA.
 Project Name: TREMONT CUSTOM CONDOMINIUMS
 APN: 147-081-07
 LEGAL: LOT 8 IN BLOCK 1 OF OCEANSIDE

Phase: **PLANNING**

Date: 08/20/14

Reviewed by: JB

Drawn by: JB

Job No.: 14-18

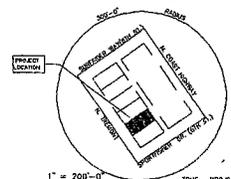
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REVISION 13:	_____
REVISION 12:	_____
REVISION 11:	_____
REVISION 10:	_____
REVISION 09:	_____
REVISION 08:	_____
REVISION 07:	_____
REVISION 06:	_____
REVISION 05:	_____
REVISION 04:	_____
REVISION 03:	_____
REVISION 02:	_____
REVISION 01:	_____

SITE CALCULATIONS

AREA SUMMARY

LOT AREA:	5,018 SF
BUILDING AREA:	3,582 SF (71.4 % OF LOT)
PAVING AREA:	110 SF (2.3% OF LOT)
LANDSCAPING AREA:	1,318 SF (26.3% OF LOT)

SCALE: 1/4" = 1'-0"

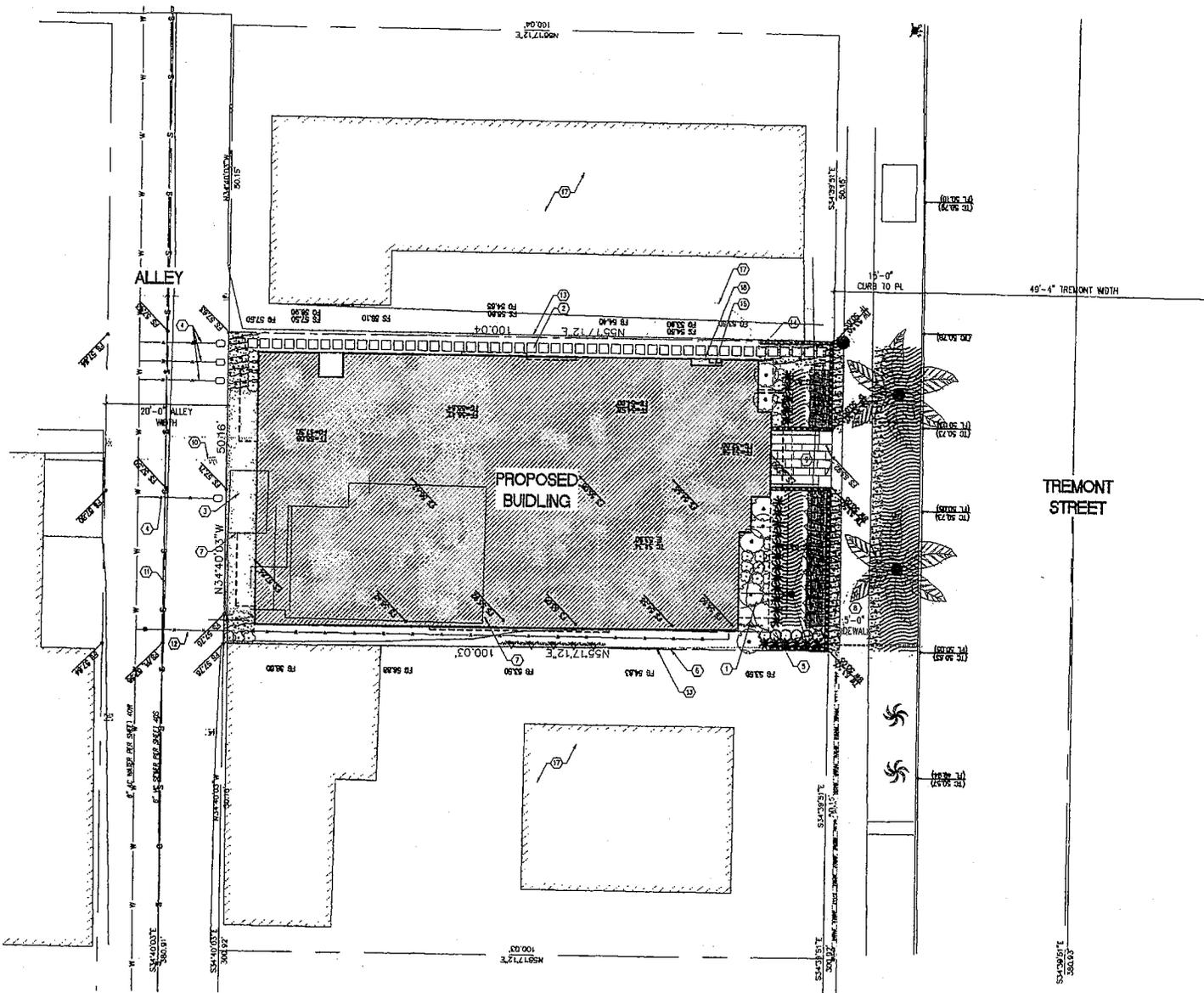


TREMONT CUSTOM CONDOMINIUMS
508 N TREMONT STREET
OCEANSIDE, CA 92054

Sheet Name: **ZONING COMPLIANCE SITE PLAN**

Sheet: **Z.1**

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SITE PLAN NOTES

- ① LANDSCAPE PER LANDSCAPE PLANS
- ② COLORED CONCRETE PAVERS PER LANDSCAPE PLANS
- ③ NEW DRIVEWAY WITH GRASSCRETE PAVER
- ④ NEW WATER METERS PER CIVIL PLANS
- ⑤ SETBACK LINE TYP.
- ⑥ PROPERTY LINE, TYP.
- ⑦ LINE OF EXISTING BUILDING AND SHED TO BE REMOVED
- ⑧ SIDEWALK CURB AND OUTER IN PUBLIC ROW PER CIVIL PLANS
- ⑨ ADD ETCHED CONCRETE WALKWAY
- ⑩ EXISTING WATER METERS PER CIVIL
- ⑪ LINE OF SEWER PER CIVIL PLANS
- ⑫ NEW LINE OF WATER PER CIVIL PLANS
- ⑬ NEW FENCE PER LANDSCAPE DRAWINGS
- ⑭ NEW RETAINING WALL PER CIVIL DRAWINGS
- ⑮ LINE OF PROPOSED BUILDING
- ⑯ LINE OF BUILDING COVERAGE
- ⑰ TREE TO BE REMOVED, TYP.
- ⑱ ADJACENT PROPERTY, NAP

PROJECT DESCRIPTION:
 CONSTRUCTION OF A 3 UNIT RESIDENTIAL CONDOMINIUM BUILDING, NEW LANDSCAPING AND AT GRADE PARKING.

APR#: 147-081-07
CONSTRUCTION TYPE: TYPE V 1-HOUR, FULLY SPRINKLED
OCCUPANCY: R-1
NUMBER OF STORES: THREE STORES
EXISTING ZONING: DOWNTOWN
PROPOSED ZONING: DOWNTOWN
EXISTING GENERAL PLAN DESCRIPTION: REDEVELOPMENT
SUB-DISTRICT: 9
PROPOSED GENERAL PLAN DESCRIPTION: REDEVELOPMENT
SUB-DISTRICT: 9
TOTAL SITE SQUARE FOOTAGE: 5,018 SF / 0.115 ACRES
NUMBER OF LOTS: ONE
NUMBER OF DWELLING UNITS: 3
ACTUAL DENSITY: 26.0 DWELLING UNITS PER 1 ACRE
FAR: 1.37 ACTUAL
TOTAL BUILDING COVERAGE: 71.38 X (3,582 SF)
LANDSCAPE: 26.3% (1,318 SF)
PAVING: 2.3% (118 SF)

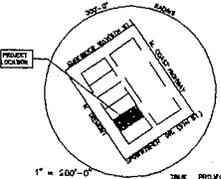
SETBACKS:
 FRONT: 15'-0"
 SIDES: 3'-0"
 REAR: 10'-0"

OFF STREET PARKING REQUIRED: 6 TOTAL
OFF STREET PARKING PROVIDED: 6 TOTAL

TOTAL PARKING AREA: 1,324 SF

NOTE
 SEE ZONING COMPLIANCE PLANS FOR SITE AREA CALCULATION.

Prepared by:
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 Project Address: 508 N. TREMONT ST., OCEANSIDE, CA
 Project Name: TREMONT CUSTOM CONDOMINIUMS
 APR#: 147-081-07
 LEGAL: LOT 8 IN BLOCK 1 OF OCEANSIDE



REVISION 14:	
REVISION 13:	
REVISION 12:	
REVISION 11:	
REVISION 10:	
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REVISION 06:	
REVISION 05:	
REVISION 04:	
REVISION 03:	
REVISION 02:	
REVISION 01:	

SITE PLAN

SCALE 1/8"=1'-0"



TREMONT CUSTOM CONDOMINIUMS
 508 N TREMONT STREET
 OCEANSIDE, CA 92054

REVISIONS

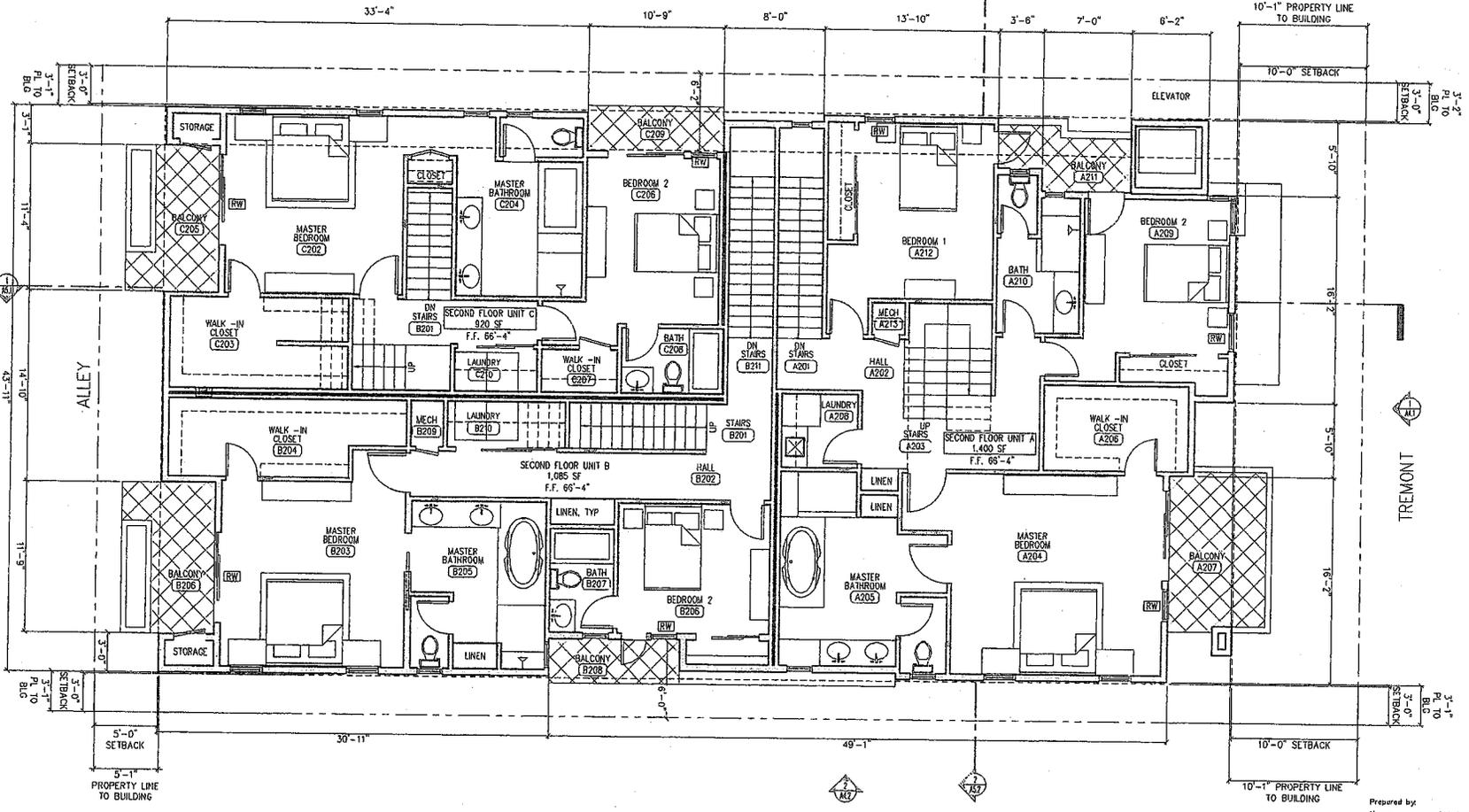
1st REVISION	08/13/14

PLANNING
 Date: 08/13/14
 Reviewed by: JB
 Drawn: JB
 Job No.: 14-18

Sheet Name:
SITE PLAN

Sheet:
SD1
 of Sheets

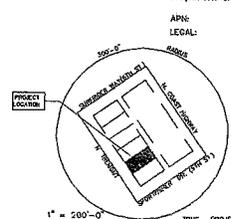
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SECOND FLOOR PLAN

SCALE 1/4"=1'-0"

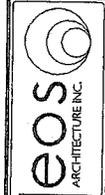
- NOTE**
SEE SHEET Z.1 TO Z.4 FOR AREA CALCULATION
- NOTE**
SEE SHEET S01 FOR SITE PLAN INFORMATION
- NOTE**
RW - INDICATES REQUIRED WINDOW.



Prepared by: EOS ARCHITECTURE, INC.
 Address: 7542 TAY AVE LA JOLLA, CA 92037
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 Email: TORRE.V@EOSARC.COM
 Project Address: 508 N TREMONT ST., OCEANSIDE, CA
 Project Name: TREMONT CUSTOM CONDOMINIUMS
 APN: 147-081-07
 LEGAL: LOT 8 IN BLOCK 1 OF OCEANSIDE

REVISION 14:	
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REVISION 01:	

ORIGINA: 08/20/14
 Sheet 2 of 18
 DCP #



508 N TREMONT ST.
 OCEANSIDE, CA 92054

TREMONT CUSTOM CONDOMINIUMS
 508 N TREMONT STREET
 OCEANSIDE, CA 92054

REVISIONS

1st REVISION SUBMIT 08/20/14	

PLANNING

Date: 08/20/14
 Reviewed by: JB
 Drawn: JB

Job No.: 14-18

SECOND FLOOR PLAN

Sheet:

A1.2

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144 459-459-0275
7542 Fay Ave.
Irvine, CA 92618

TREMONT CUSTOM CONDOMINIUMS
508 N TREMONT STREET
OCEANSIDE, CA 92054

REVISIONS
10/17/2014
SUBMITTAL 08/28/14

Phase:
PLANNING

Date: 08/20/14

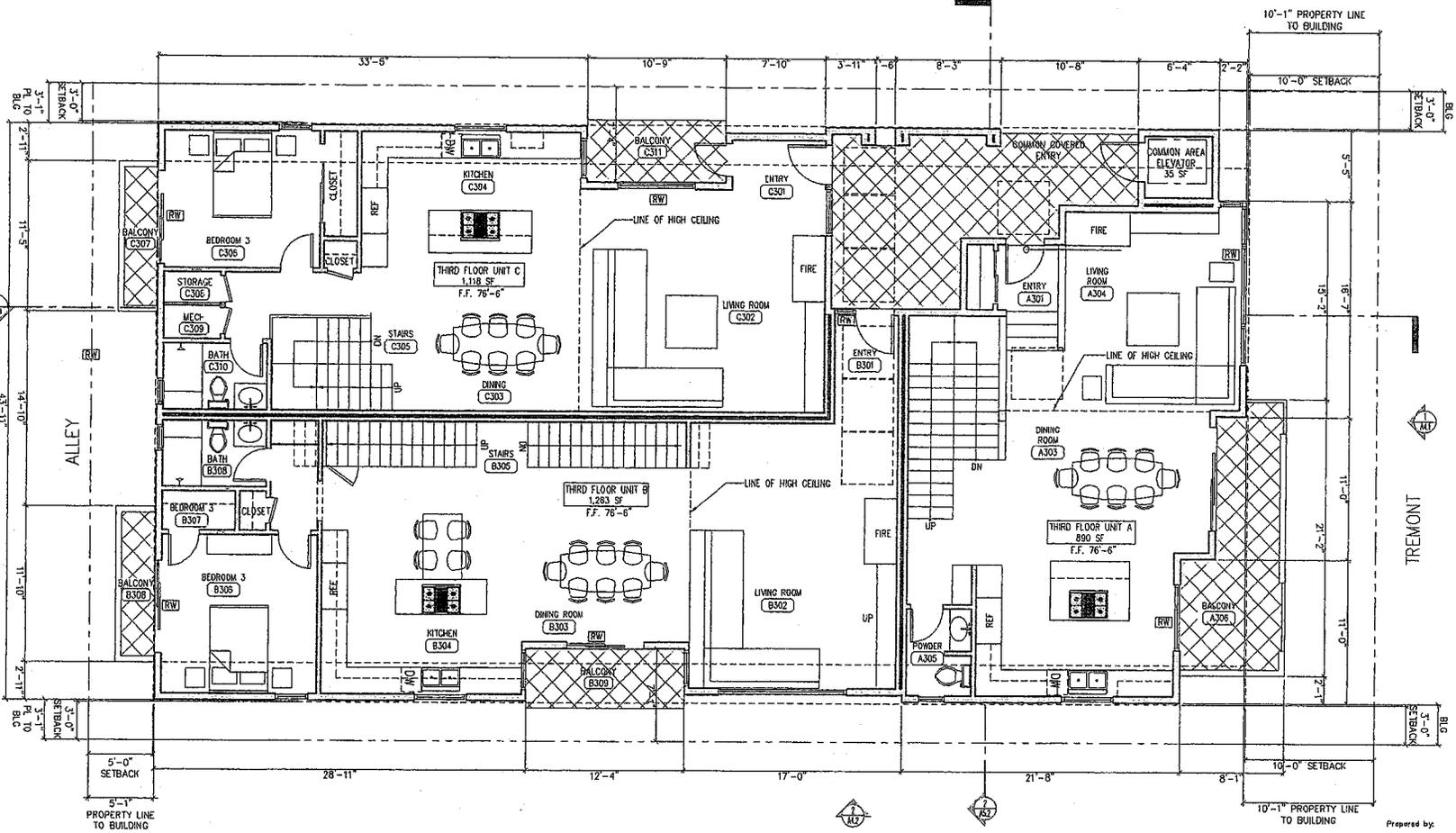
Reviewed by: JB

Drawn: JB

Job No.: 14-18

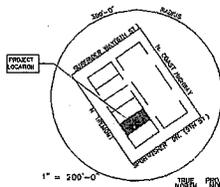
Sheet Name:
THIRD FLOOR PLAN

Sheet:
A1.3



THIRD FLOOR PLAN

SCALE 1/4"=1'-0"



- NOTE**
SEE SHEET 2.1 TO 2.4 FOR AREA CALCULATION
- NOTE**
SEE SHEET SIX FOR SITE PLAN INFORMATION
- NOTE**
RW: INDICATES REQUIRED WINDOW.

Prepared by:
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Project Address: 508 N. TREMONT ST., OCEANSIDE, CA
Project Name: TREMONT CUSTOM CONDOMINIUMS
APN: 147-081-07
LEGAL: LOT 6 IN BLOCK 1 OF OCEANSIDE

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ORIGINAL:	08/20/14
Sheet 3 of 15	
DEP #	

REVISIONS

1ST REVISION	SUBMITAL 08/20/14

Phase: **PLANNING**

Date: 08/20/14
Reviewed by: JB

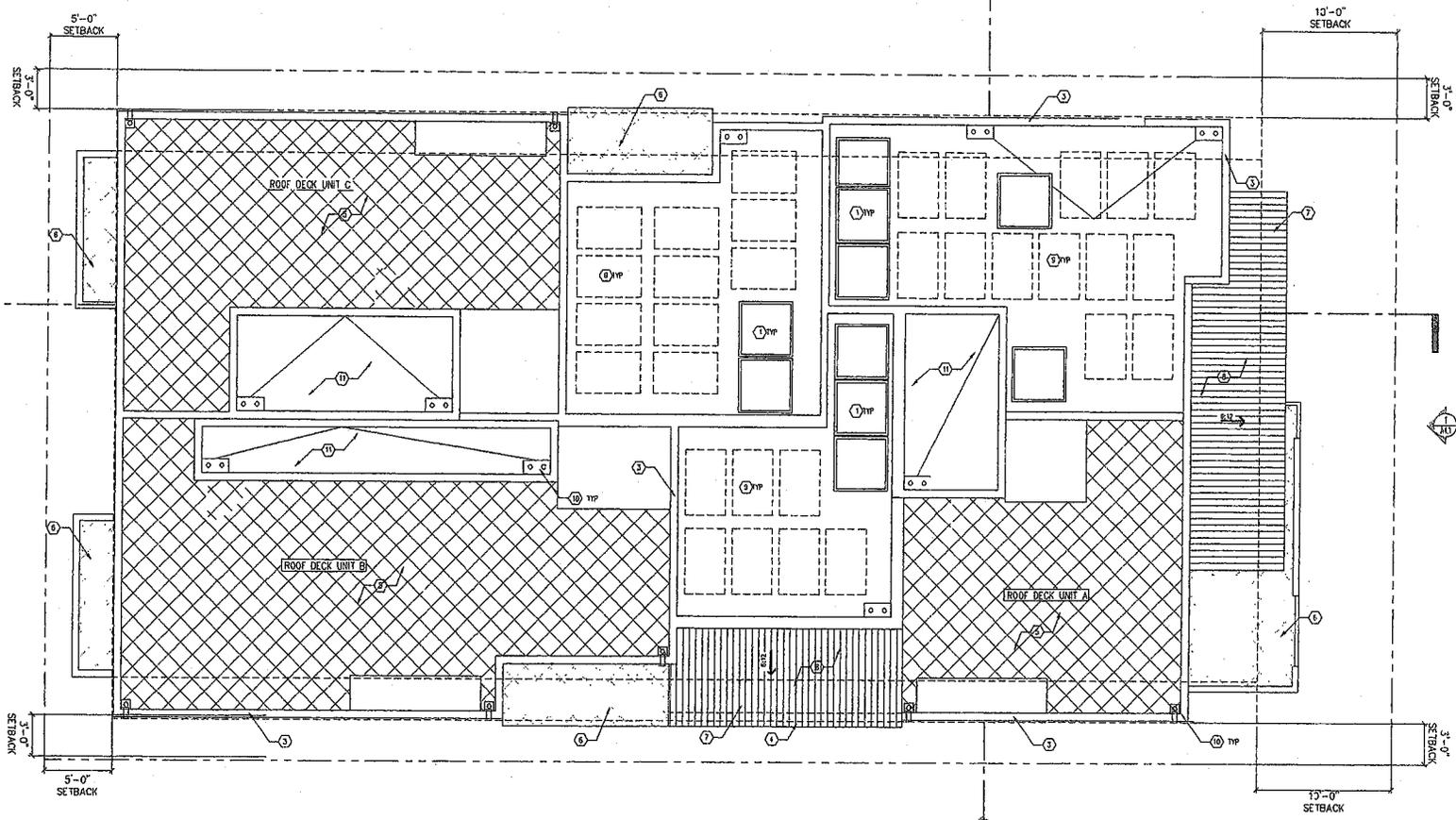
Drawn: JB

Job No.: 14-18

Sheet Name: **ROOF PLAN**

Sheet: A3.0

Scale: 1/4" = 1'-0"



ROOF PLAN

ROOF PLAN NOTES

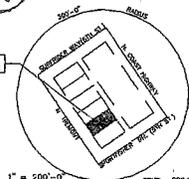
- ① SKYLIGHT
- ② BUILT-UP ROOFING
- ③ PARAPETS PER ELEVATIONS/SECTIONS
- ④ WALLS BELOW PER FLOOR PLANS
- ⑤ ROOFTOP DECK
- ⑥ BALCONIES BELOW PER FLOOR PLANS
- ⑦ ROOF BELOW
- ⑧ STANDING SEAM METAL ROOF
- ⑨ SOLAR PANEL ARRAY
- ⑩ DECK DRAINS, TYP.
- ⑪ STAIR TOWERS W/GLASS

NOTE
SEE SHEET Z1/Z4 FOR AREA CALCULATION

NOTE
SEE SHEET S01 FOR SITE PLAN INFORMATION



SCALE 1/4" = 1'-0"



1" = 200'-0"

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Project Name: TREMONT CUSTOM CONDOMINIUMS
APN: 147-081-07
LEGAL: LOT 8 IN BLOCK 1 OF OCEANSIDE

REVISION 14:	
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REVISION 02:	
REVISION 01:	

DATE: 08/20/14
SHEET 10 OF 19
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TREMONT CUSTOM CONDOMINIUMS
508 N. TREMONT STREET
OCEANSIDE, CA 92054

REVISIONS

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50	REVISIONS

PLANNING

Date: 08/20/14

Reviewed by: [Signature]

Drawn by: [Signature]

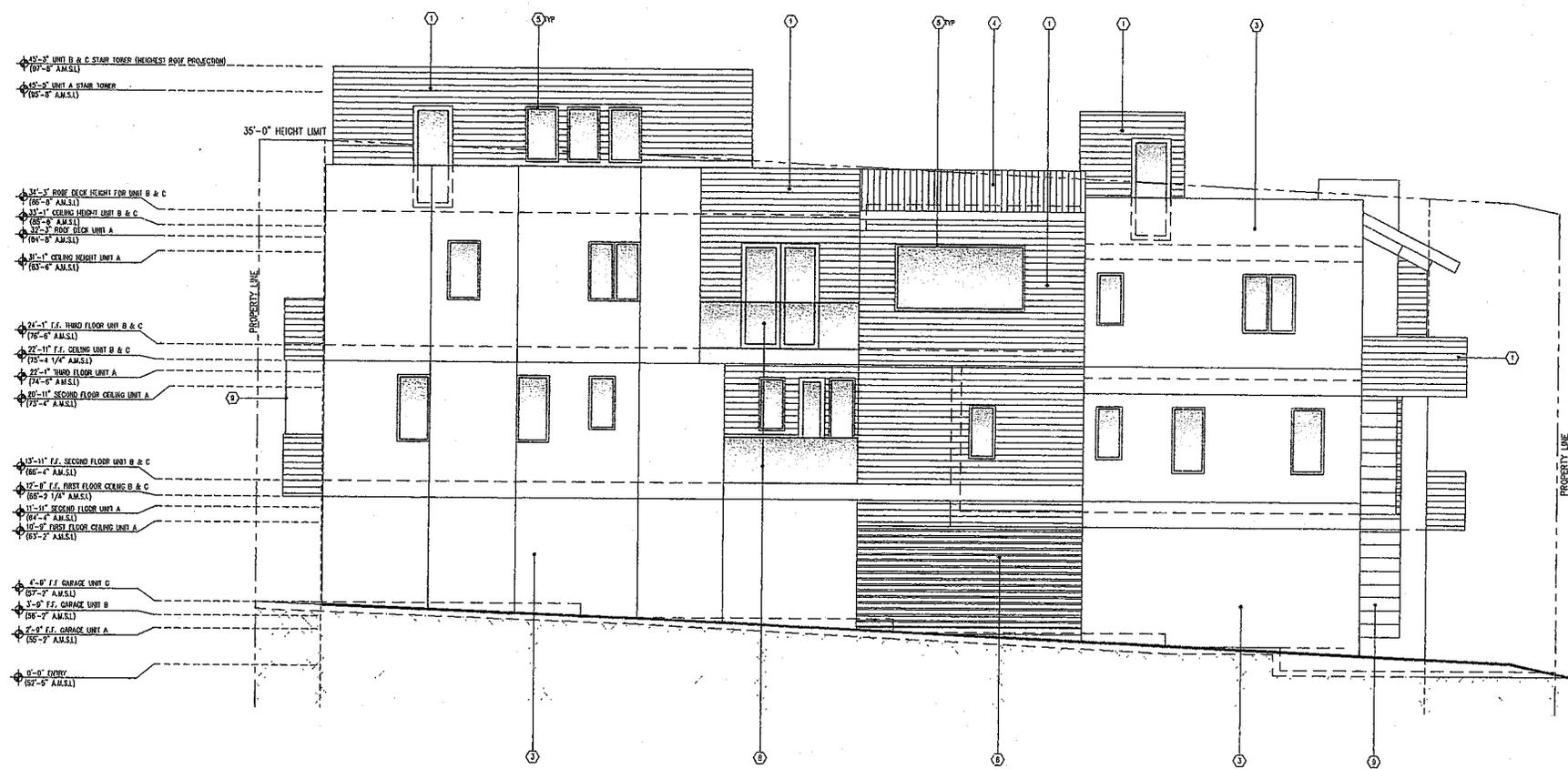
Job No.: 14-18

Sheet Name:

EXTERIOR ELEVATIONS

Sheet

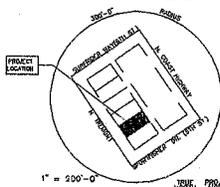
A4.2



2 NORTH SIDE ELEVATION

ELEVATION NOTES	
① HARDI SIDING	⑦ SS CABLE RAIL
② PORCELAIN TILE WALL CLADDING	⑧ GLASS RAIL
③ STUCCO	⑨ SS CABLE FOR VERTICAL PLANTING WALL
④ STANDING SEAM METAL ROOF	⑩ DECORATIVE LIGHT FIXTURE
⑤ ALUMINUM WINDOWS	⑪ GARAGE DOOR PER PLAN
⑥ THIN GRADE CUSTOM WOOD SCREEN	⑫ WOOD GATE PER PLAN

FIRE DEPARTMENT NOTES:
1) IN ACCORDANCE WITH UNIFORM FIRE CODE SECTION 901.1.4.4 APPROVED ADDRESSES FOR COMMERCIAL, INDUSTRIAL AND RESIDENTIAL OCCUPANCES SHALL BE PLACED ON THE STRUCTURE IN SUCH A POSITION AS TO BE PLAINLY VISIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
2) COMMERCIAL BUILDINGS AND MULTIFAMILY DWELLINGS REQUIRE 6" ADDRESS NUMBERS.



SCALE 1/4"=1'-0"

Prepared by:

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508 N. TREMONT ST.,
OCEANSIDE, CA
TREMONT CUSTOM
CONDOMINIUMS
147-081-07
LOT 6 IN BLOCK 1 OF
OCEANSIDE

APN:

LEGAL:

DATE:

REVISION 14:

REVISION 13:

REVISION 12:

REVISION 11:

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REVISION 01:

ORIGIN: 08/20/14

SHEET 12 OF 12

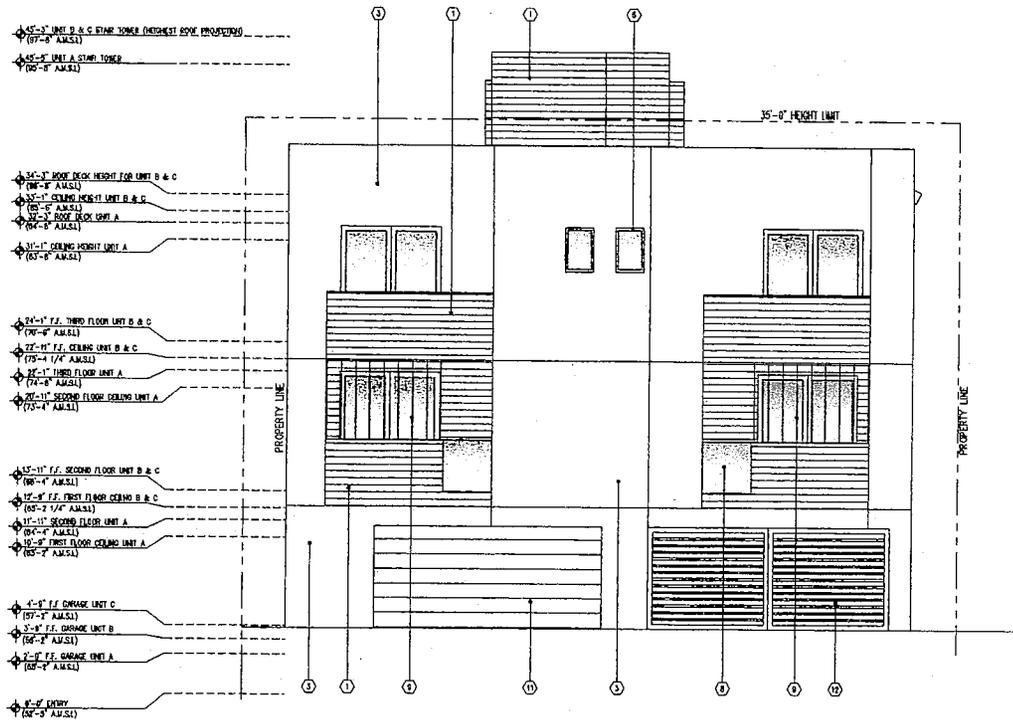
DEP #

1" = 50'-0"

EXTERIOR ELEVATIONS



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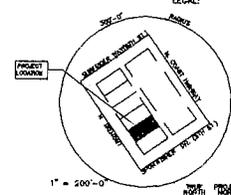
4 WEST REAR ELEVATION

SCALE 1/4"=1'-0"

ELEVATION NOTES

- | | |
|---------------------------------|---------------------------------------|
| ① HARD SIDING | ⑦ SS CABLE RAIL |
| ② PORCELAIN TILE WALL CLADDING | ⑧ GLASS RAIL |
| ③ STUCCO | ⑨ SS CABLE FOR VERTICAL PLANTING WALL |
| ④ STANDING SEAM METAL ROOF | ⑩ DECORATIVE LIGHT FIXTURE |
| ⑤ ALUMINUM WINDOWS | ⑪ GARAGE DOOR PER PLAN |
| ⑥ THIN GRADE CUSTOM WOOD SCREEN | ⑫ WOOD GATE PER PLAN |

FIRE DEPARTMENT NOTES:
 1) IN ACCORDANCE WITH UNIFORM FIRE CODE SECTION 901.1.4.4 APPROVED ADDRESSES FOR COMMERCIAL, INDUSTRIAL AND RESIDENTIAL OCCUPANCES SHALL BE PLACED ON THE STRUCTURE IN SUCH A POSITION AS TO BE PLAINLY VISIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
 2) COMMERCIAL BUILDINGS AND MULTIFAMILY DWELLINGS REQUIRE 6" ADDRESS NUMBERS.



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 OCEANSIDE, CA.
 Project Name: TREMONT CUSTOM
 CONDOMINIUMS
 AIA #: 147-081-07
 LEGAL: LOT 18 IN BLOCK 1 OF
 OCEANSIDE

REVISION 14:	
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DATE: 08/20/14
 SHEET: 11 OF 15
 DEP #



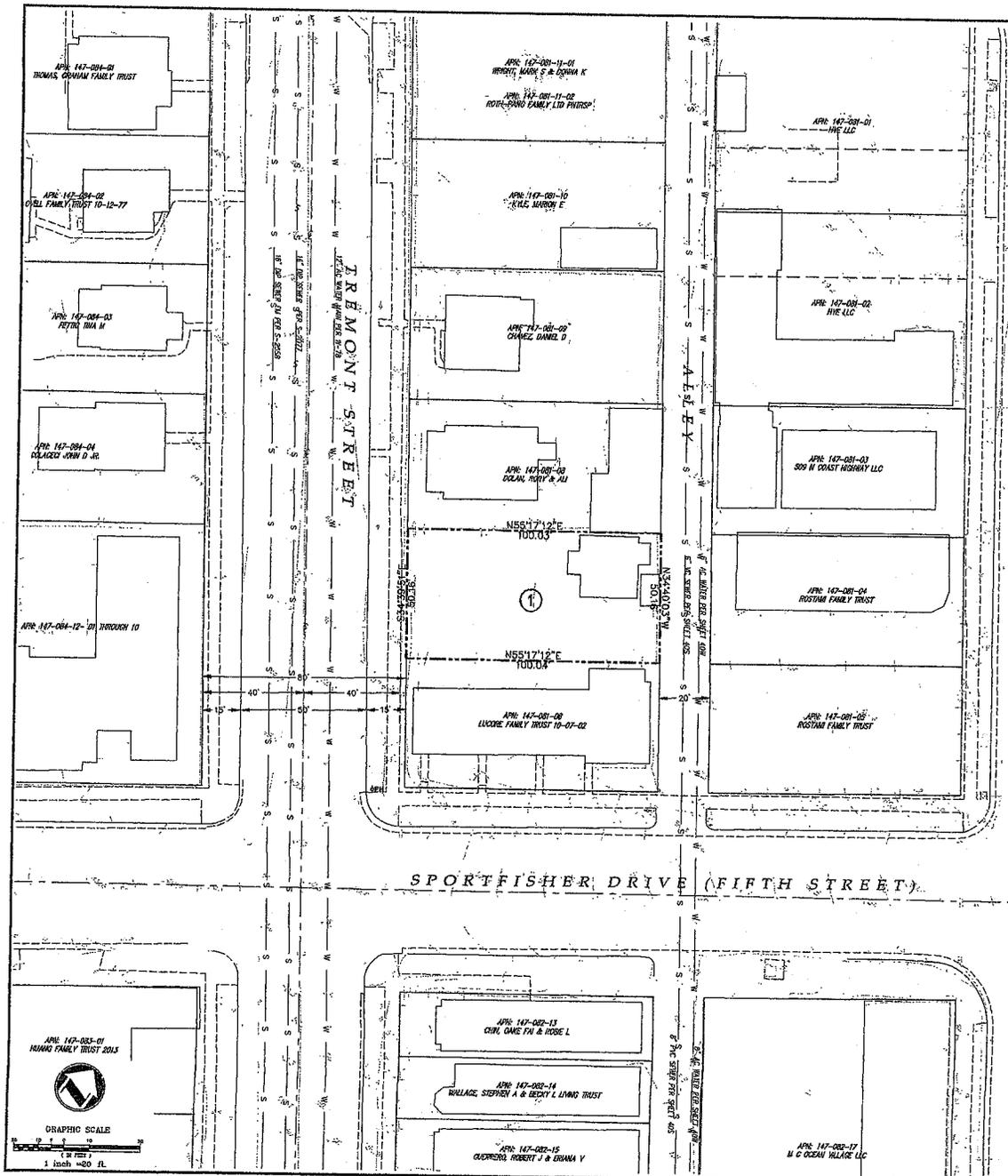
PH: 858.458.0575
 7502 Fay Ave.
 La Jolla, CA 92037

TREMONT CUSTOM CONDOMINIUMS
 508 N TREMONT STREET
 OCEANSIDE, CA 92054

REVISIONS

NO.	DATE	DESCRIPTION
1	08/20/14	ISSUED FOR PERMITS

Project:	PLANNING
Date:	08/20/14
Reviewed by:	JB
Drawn by:	JB
Job No.:	14-10
Sheet Name:	EXTERIOR ELEVATIONS
Sheet:	A4.4



TENTATIVE PARCEL MAP FOR CONDOMINIUM PURPOSES

508 North Tremont Street, Oceanside, CA

THIS TENTATIVE PARCEL MAP IS FOR A CONDOMINIUM PROJECT AS DEFINED IN SUBDIVISION (b) OF SECTION 4125 OF THE CALIFORNIA CIVIL CODE, PER SECTION 66424 OF THE SUBDIVISION MAP ACT FOR A MAXIMUM OF THREE (3) RESIDENTIAL UNITS.

LEGEND	SYMBOL	GENERAL INFORMATION AND SUMMARY
SUBDIVISION BOUNDARY	---	ADDRESS: 508 NORTH TREMONT STREET
PARCEL LINE	---	ASSESSOR'S PARCEL NO: 141-081-07-00
PARCEL NUMBER	①	SITE AREA: 5,018 SQUARE FEET (0.115 ACRES)
EXISTING CONTOURS	---	EXISTING PARCELS: ONE (1)
EXISTING WATER MARK	---	PROPOSED PARCELS: ONE (1)
EXISTING FIRE HYDRANT	⊙	PROPOSED NUMBER OF UNITS: THREE (3)
EXISTING POWER POLE	⊙	PROPOSED SPACES: 6 SPACES
EXISTING GRADE	---	PROPOSED DENSITY: 28 DU/ACRE
EXISTING SEWER LINE	---	EXISTING ZONING: "D" DOWNTOWN - SUBDISTRICT 5
		NO CHANGE
		GENERAL PLAN DESIGNATION: RESIDENTIAL
		EXISTING LOT COVERAGE: 16%
		PROPOSED LOT COVERAGE: 74%
		SETBACKS:
		FRONT YARD: 10' MIN.
		REAR YARD: 5' - AND AS REQUIRED FOR COURTS
		SIDE YARD: 3' - AND AS REQUIRED FOR COURTS
		MAXIMUM HEIGHT: 45 FEET
		NUMBER OF STORES: THREE (3)
		DRIVEWAYS: 1,924 SQ. FT.
		PARKING: 1,324 SQ. FT.
		BUILDING COVERAGE: 3,722 SQ. FT.
		LANDSCAPE SQUARE FOOTAGE: 1,010 SQ. FT.
		PLANNING AREA: 85 SQ. FT.
		DECORATIVE CONIC PATIOS: 1,105 SQ. FT.
		TOTAL LANDSCAPE AREA: 22%
		PERCENT LANDSCAPE:
		FEMA FIRM PANEL NO: 0807300761G (REVISED MAY 16, 2012)
		FLOOD ZONE: X

FIRE NOTE
NEAREST FIRE HYDRANT IS LOCATED 50 FEET SOUTH OF THE SOUTHERLY PROPERTY BOUNDARY AT THE CORNER OF TREMONT STREET AND SPORTFISHER DRIVE.

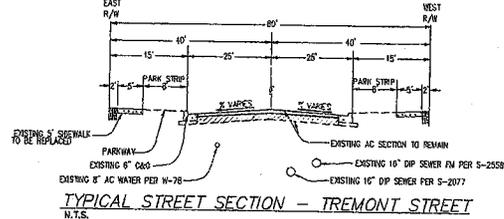
BASIS OF BEARINGS
BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM 83, ZONE 8 AS DETERMINED LOCALLY BY THE LINE BETWEEN HORIZONTAL SURVEY CONTROL NETWORK FIRST ORDER STATION 071 AND 072 AS SHOWN ON RECORD OF SURVEY NO. 18709 I.E. 83454507'W

BENCHMARK
CITY OF OCEANSIDE, BENCHMARK #F-51 FOUND CHISELED BOX ON TOP OF CURB NORTHERLY P.C. NORTHEASTERLY CURB RETURN OF HILL AND 8TH STREET, PER CITY DATUM BOOK 152-5, 1984 ADJUSTED ELEVATION = 59.151 FEET

SOURCE OF TOPOGRAPHY
AREA TOPOGRAPHY SHOWN ON THIS MAP WAS GENERATED BY PHOTOGRAMMETRY DATED FEBRUARY 2, 2008 BY PHOTO GEODETIC, INC. SITE TOPOGRAPHY UPDATED IN SURVEY BY SPIRO SURVEYING, MAY 2014

REFERENCE REPORTS
PRELIMINARY GEOTECHNICAL REPORT, 508 NORTH TREMONT STREET RESIDENCES, OCEANSIDE, CA, PREPARED BY TAYLOR GROUP, INC., TD PROJECT NO. 14.00089, AUGUST 10, 2014.
PRELIMINARY GRANNAGE STUDY, 508 NORTH TREMONT STREET RESIDENCES, OCEANSIDE, CA, PREPARED BY TAYLOR GROUP, INC., TD PROJECT NO. 14.00089, AUGUST 10, 2014.

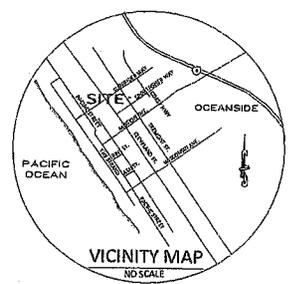
LEGAL DESCRIPTION
LOT 4 OF BLOCK 1 OF OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 344, LADY BY C.L. COOTE IN JUNE 1985 AND FILED FOR RECORD IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 1, 1985.



APPLICANT/DEVELOPER
AT&M ROCK LACEY
RETAIL DEVELOPMENT, LLC
2577 16A MARINA
CARLSBAD, CA 92015
761.988.0940

OWNER/SUBDIVIDER:
THOMAS P. KELLY
355 VAN NESS AVENUE, 3208
TORRANCE, CA 90501

ENGINEER OF WORK:
LARRY R. TAYLOR
R.C.E. 58274, EXPIRES 06-30-2016



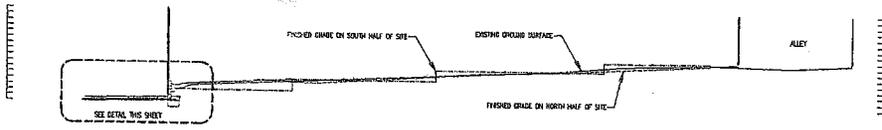
Taylor Group, Inc.
301 Anderson Avenue, Suite 201
Oceanside, CA 92054
Tel: 760.731.9999
Fax: 760.731.9999
www.tginc.com



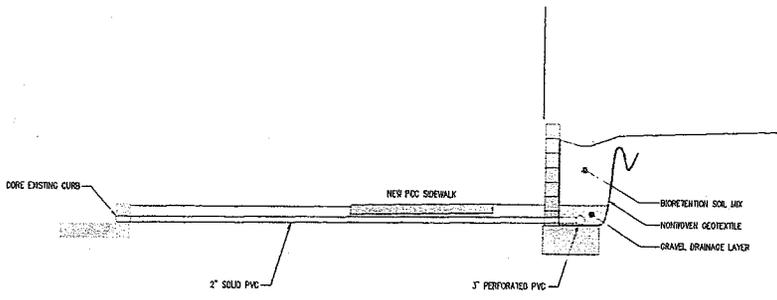
TREMONT CUSTOM CONDOMINIUMS
508 North Tremont Street, Oceanside, CA

REVISION	DATE

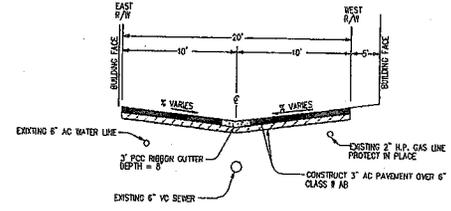
TENTATIVE PARCEL MAP
SHEET NUMBER: **TPM.1**



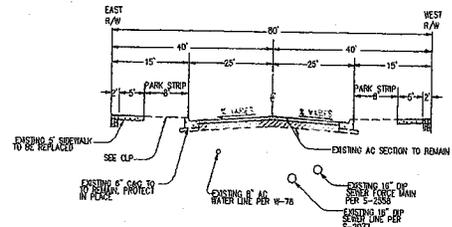
SITE CROSS SECTION A-A'
SCALE: 1 INCH = 10 FEET



FLOW-THROUGH PLANTER CROSS SECTION
NO SCALE



TYPICAL SECTION -- ALLEY
N.T.S.



**TYPICAL STREET SECTION
TREMONT STREET**
N.T.S.

tgi TAYLOR GROUP, INC.
CONSULTING ENGINEERS
301 Mission Street, Suite 201
Oakland, CA 94612
Tel: 415.771.9950
Fax: 415.771.0991
www.tgig.com



TREMONT CUSTOM CONDOMINIUMS
508 North Tremont Street, Oceanside, CA

REVISIONS	DATE

OWNER DATE: 08/12/2014
DRAWN BY: L. TAYLOR
PROJECT NUMBER: 1420029

SHEET TITLE:
**PRELIMINARY
GRADING AND
DEVELOPMENT
PLAN**

SHEET NUMBER:
PGP.2

TAYLOR GROUP, INC.

LANDSCAPE CONCEPT STATEMENT

THE LANDSCAPING IS REMINISCENT OF A DROUGHT-TOLERANT YET CONTEMPORARY TROPICAL STYLE LANDSCAPE WITH A MIXTURE OF EVERGREEN AND PALM TREES, LUSH SHRUBS, AND GROUNDCOVERS. THE HARDSCAPE WILL BE A CENTRAL DESIGN FEATURE COMPLEMENTING THE UNIQUE ARCHITECTURAL DESIGN. RETAINING WALLS WITH A STONE ACCENT VENEER WILL MATCH THE BUILDING ARCHITECTURE. VARIOUS GROUNDCOVER AND OTHER DECORATIVE SHRUBS WILL PROVIDE FOR AN INTERESTING AND AESTHETICALLY PLEASING LANDSCAPE.

OTHER LANDSCAPING WILL INCLUDE VARIOUS FLOWERS AND SHRUBS SUCH AS BIRD OF PARADISE, DARK DELIGHT FLAX, LITTLE REV, FLAX LILY, OLIVA CANNA AND OTHERS. A MIX OF AGAVE AND ECHVEVERIA SUCкулANTS WILL ADD INTEREST AND GROUNDCOVERS SUCH AS STAR JASMINE AND LIROPE WILL BE USED THROUGHOUT THE SITE.

THE LANDSCAPING HAS BEEN DESIGNED WITH WATER CONSERVATION IN MIND. AS WELL, IT WILL CREATE AN INTERESTING STREETSCAPE WHICH WILL BE A BENEFIT TO THE OVERALL COMMUNITY ATMOSPHERE.

LANDSCAPE NOTE

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF OCEANSIDE LANDSCAPE STANDARDS MANUAL AND ALL OTHER APPLICABLE STANDARDS AS OF THE APPROVED DATE OF THESE PLANS.
2. TREES PLANTED WITHIN 5 FEET OF WALKS, CURBS OR PAVING SHALL BE PLANTED WITH A "BIO-BARRIER" ROOT BARRIER.
3. ALL PLANTING AREAS SHALL BE FINISHED WITH A 2 INCH LAYER OF SHERDED BARK MULCH AVAILABLE THROUGH BUTLERS HILL, INC. (949-269-6181) OR A 4" LAYER OF GRAVEL MULCH.
4. IF ANY EXISTING HARDSCAPE OR LANDSCAPE INDICATED ON THE APPROVED PLANS ARE DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED PLANS BY THE OWNER/PERMITEE.
5. ALL LANDSCAPE MATERIALS SHALL BE PERMANENTLY MAINTAINED IN A GROWING AND HEALTHY CONDITION AT ALL TIMES, INCLUDING TRIMMING AS APPROPRIATE TO MAINTAIN APPROVED LANDSCAPE MATERIALS.

IRRIGATION NOTE

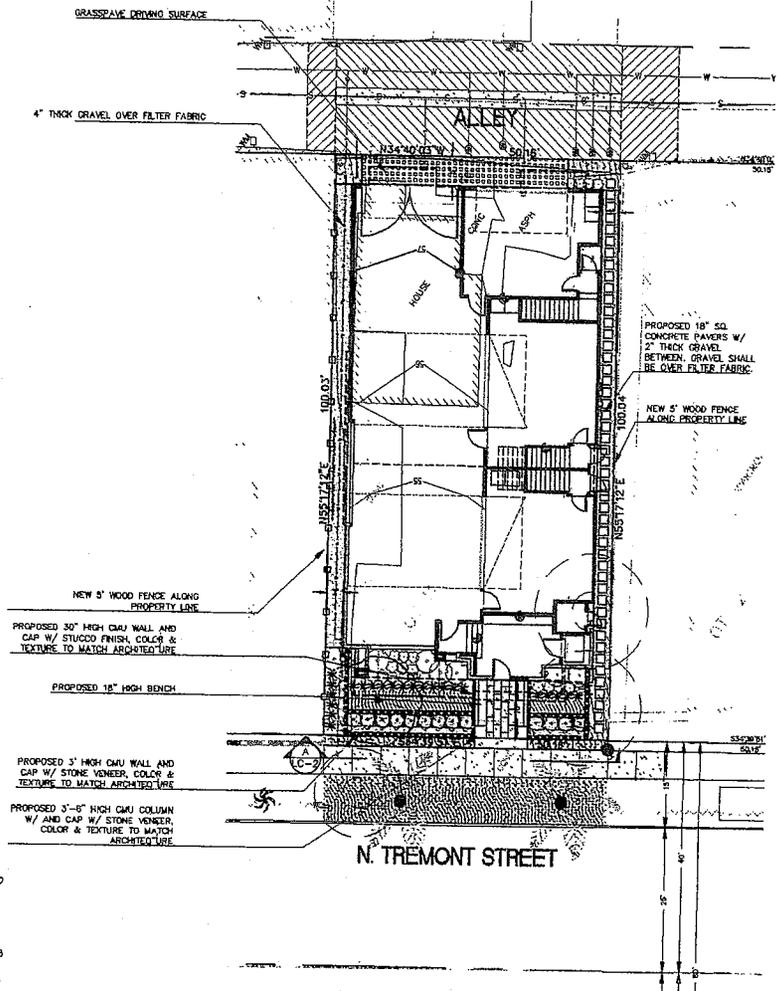
ALL PLANTING AREAS SHALL BE IRRIGATED ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE. ALL IRRIGATED AREAS SHALL RECEIVE UNIFORM COVERAGE BY MEANS OF AN AUTOMATICALLY CONTROLLED, ELECTRICALLY ACTIVATED, UNDERGROUND PIPED IRRIGATION SYSTEM FOR WATER CONSERVATION AND TO MINIMIZE EROSION. STATE-OF-THE-ART AUTOMATIC CONTROLLER WITH MASTER VALVE AND RAIN SHUT-OFF CAPABILITIES SHALL BE INSTALLED. A REDUCED PRESSURE BACKFLOW PREVENTER SHALL BE USED IN ACCORDANCE WITH LOCAL AND REGIONAL STANDARDS. REMOTE CONTROL VALVES SHALL BE UTILIZED WITH LOW PRECIPITATION RATE EQUIPMENT SHALL BE USED WHERE APPLICABLE. ALL PRESSURIZED MAINLINE AND LATERAL LINES WILL BE PVC, INSTALLED BELOW GRADE PER LOCAL AND REGIONAL STANDARDS. AN AUTOMATIC, WATER EFFICIENT IRRIGATION SYSTEM SHALL BE PROVIDED TO ESTABLISH AND MAINTAIN LANDSCAPING.

MAINTENANCE RESPONSIBILITY NOTE

THE PROPERTY OWNERS ARE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL LANDSCAPED AREAS ON SITE. ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. PLANTINGS SHALL BE MAINTAINED IN A HEALTHY, VISUALLY GRACIOUS CONDITION AND SHALL RECEIVE REGULAR PRUNING, FERTILIZING, MOISTURE AND TRIMMING. IRRIGATION SYSTEMS SHALL BE REGULARLY INSPECTED AND KEPT IN FULLY OPERATIONAL CONDITION ACCORDING TO MANUFACTURERS' DESIGN STANDARDS AT ALL TIMES.

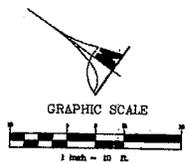
STREET TREES AND OTHER TREE PLACEMENT:

- 7 FEET FROM TRANSFORMERS, CABLE, AND DOUBLE CHECK DETECTORS
- 5 FEET FROM MAILBOXES
- 5 FEET FROM FIRE HYDRANTS (ALL SIDES)
- 10 FEET FROM CENTERLINE OF ALL UTILITY LINES (WITHOUT EASEMENT) (SEWER, WATER, STORM DRAINS)
- 10 FEET FROM BASEMENT BOUNDARIES (SEWER, WATER, STORM DRAINS, ACCESS OR OTHER UTILITIES)
- 10 FEET FROM DRIVEWAYS (UNLESS A LINE OF SITE IS DETERMINED BY THE TRAFFIC DIVISION TO BE OTHERWISE)
- 15 FEET, MINIMUM, FROM STREETLIGHTS, OTHER UTILITY POLES AND PULL BOXES
- STREET TREES SHALL BE PLANTED 5' OUTSIDE RIGHT-OF-WAY OF THE RIGHT-OF-WAY DOES NOT ALLOW SPACE, SUBJECT TO THE CITY ENGINEER'S APPROVAL.
- LINE OF SIGHT AT ARTERIALS, COLLECTOR AND LOCAL STREETS SHALL BE REVIEWED AND DETERMINED BY TRAFFIC ENGINEER. A MINIMUM OF 25 FEET FROM STREET INTERSECTION OR AS APPROVED BY THE TRAFFIC ENGINEER.
- MINIMUM 15 FEET STREET LIGHT AND STOP SIGN OR CLEARANCE DETERMINED BY SPECIFICATIONS.
- SCREEN ALL UTILITIES ACCORDING TO SPECIFIC AGENCY REQUIREMENTS.



CONCEPT PLANT SCHEDULE

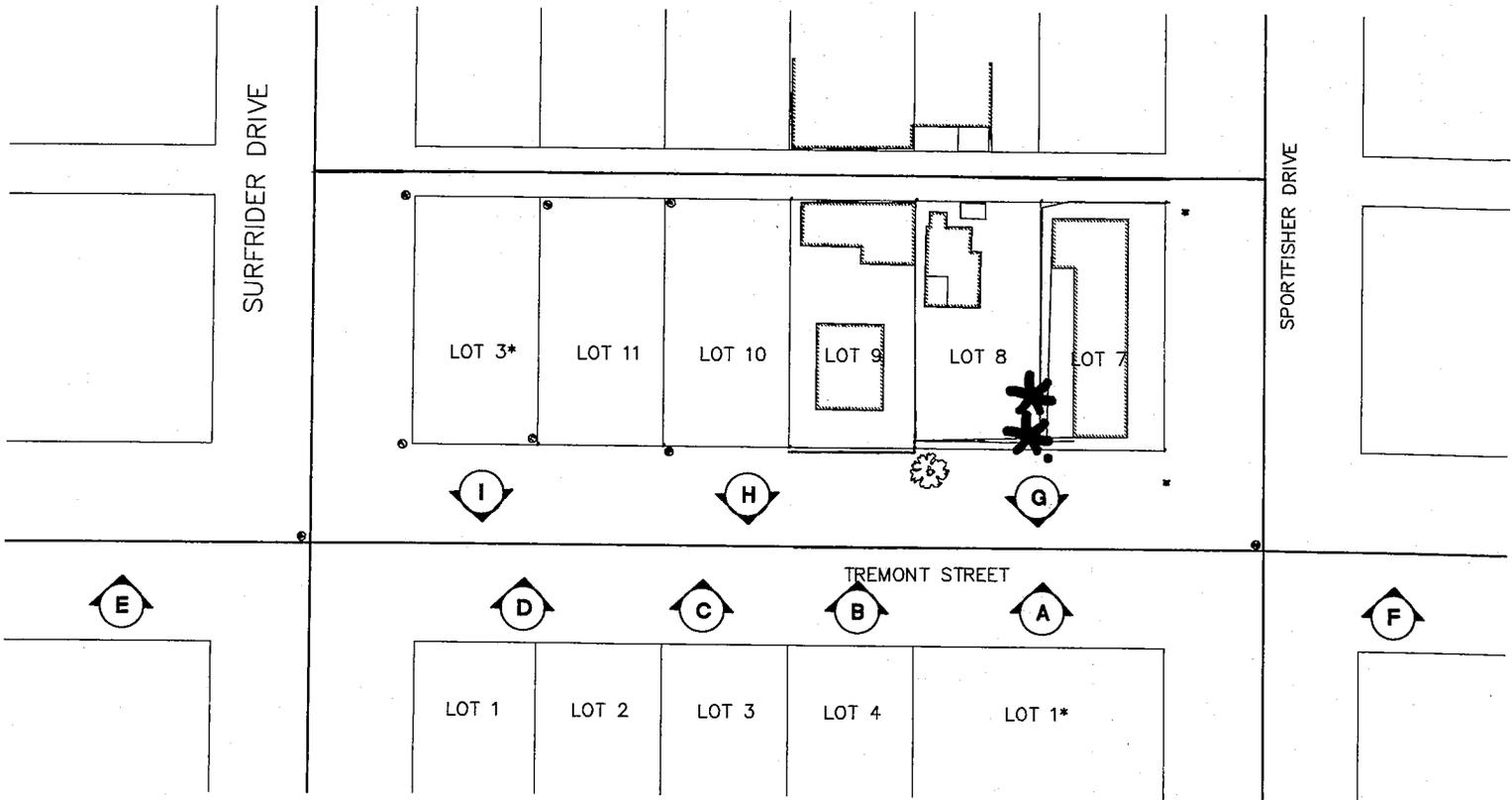
	EXISTING TREE TO BE REMOVED	
	TREE - EVERGREEN (100% 3/8" BOX) HYDROSPORIUM FLAVUM / SWEETSHADE	1
	TREE - STREET TREE (100% 24" BOX) SYAGRUS ROMANOFFIANA / QUEEN PALM	2
	SHRUBS/SPALLERS CALLIANDRA NAEMATOCEPHALA / PINK POWDER PUFF DETICTIS BUCHANANIA / BLOOD RED TRUMPET VINE	6
	ACCENT SHRUBS - LARGE ENSEE VENTRICOSUM / ABBYSSINIAN BANANA PHORMIUM TENAX 'DARK DELIGHT' / DARK DELIGHT FLAX STRELTZIA REGINAE / BIRD OF PARADISE	7
	ORNAMENTAL GRASSES JUNCUS PATENS / CALIFORNIA GRAY RUSH LEYARUS CONDENSATUS 'CANYON PRINCE' / NATIVE BLUE RYE LOMANDRA LONGICOLA / MAT RUSH MEGACRATUS SWENSEN 'GRACILIMUS' / MAIDEN GRASS	13
	ACCENT SHRUBS - SMALL ADIANE X BLUE GLOW / BLUE GLOW AGAVE ECHVEVERIA X 'AFTERGLOW' / AFTERGLOW ECHVEVERIA PHORUM TENAX 'TINY TREE' / DWARF FLAX	23
	ACCENT SHRUB - MEDIAN DIANELLA REVOLUTA 'LITTLE REV' / LITTLE REV FLAX LILY JUNCUS PATENS / CALIFORNIA GRAY RUSH	8
	SHADE SHRUBS - MEDIAN CANNA HYBRIDS / CANNA OLIVA MINUTA / KAFFIR LILLY LIROPE GRANITEA / GRANT LIROPE	24
	ORNAMENTAL GRASS - MASSING CAREX TUMULOSA / BERKELEY SEDGE FESTUCA MAURD / AVAL FESCUE HELIOTROPION SEMPERVIRENS / BLUE OAT GRASS	96 SF
	GROUNDCOVER - COLOR LIROPE MUSCARI / LILY TURF TRADESCANTIA SPATHACEA / BOAT LILY	228 SF
	GRASSPAVE ALPHA SEASHORE PASPALUM / SEASONAL SALT GRASS	141 SF
	GROUNDCOVER - ACCENT TRACHELOSPORIUM JASMINOIDES / CHINESE STAR JASMINE	389 SF



APPROVED CHANGES	
Δ	DATE

JOB# 2014-37
JAMES P. BENEDETTI
 LANDSCAPE ARCHITECT
 4403 MANCHESTER AVE, STE. 201
 ENCINITAS, CA 92024
 760.478.0084 FAX 760.478.0085

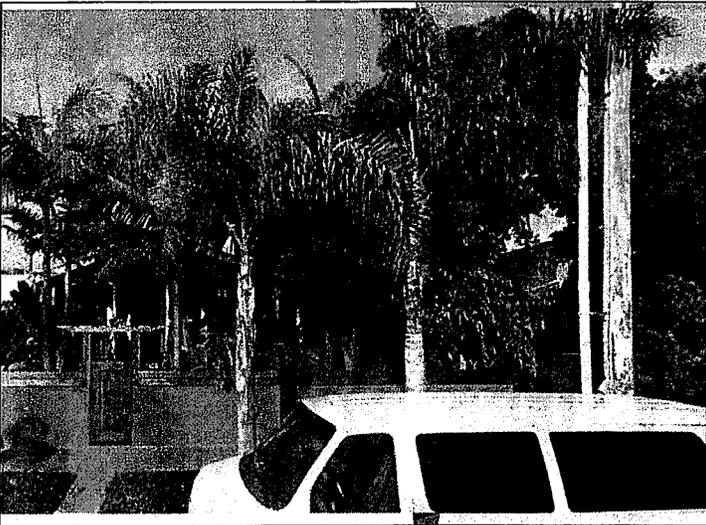
SHEET 1	CITY OF OCEANSIDE ENGINEERING DEPARTMENT	2 SHEETS
LANDSCAPE CONCEPT PLAN FOR: 508 N. TREMONT AVE. OCEANSIDE, CA 92054		
LANDSCAPE ARCHITECT OF WORK JAMES P. BENEDETTI P.L.A. #0000	Checked By Approval Date	00000



TREMONT CONDOMINIUMS
508 N TREMONT, OCEANSIDE, CA 92054



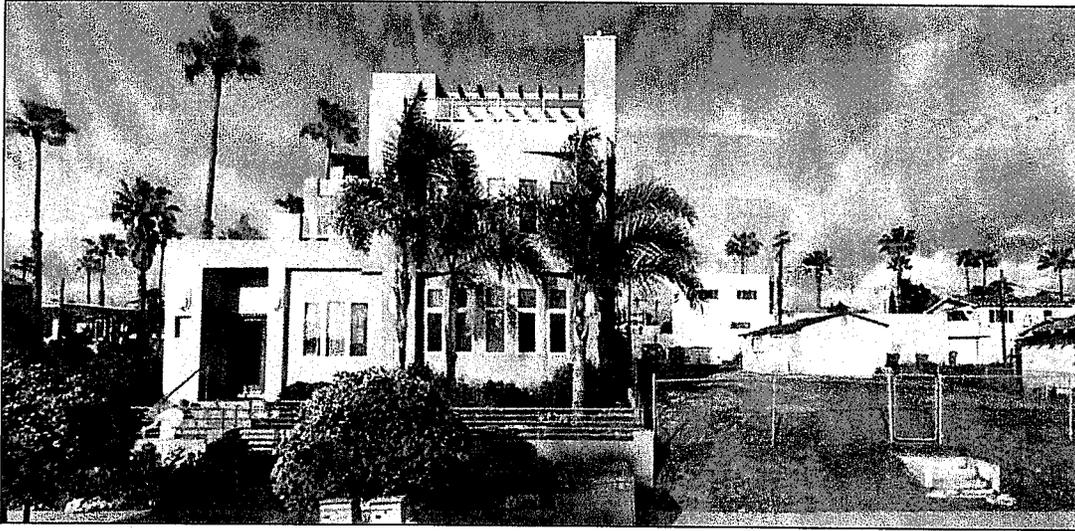
A LOOKING AT SITE EAST
AND LOT 7



B LEFT NEIGHBOR TO N 508
TREMONT LOOKING EAST
LOT 9



C LOT 10 LOOKING EAST



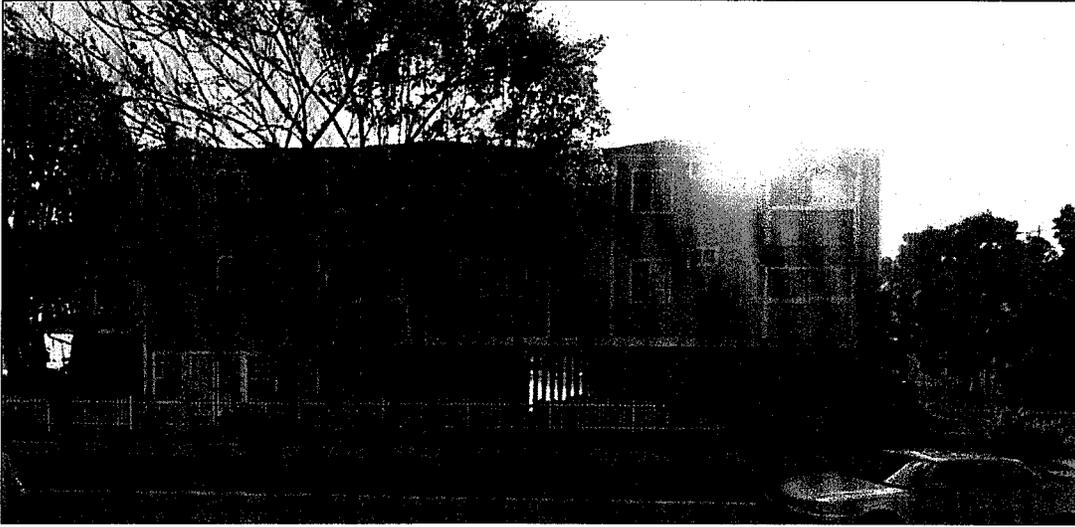
D LOT 3 + 11 LOOKING EAST



E NORTH OF SURFRIDER
LOOKING



F SOUTH OF SPORTFISHER
LOOKING EAST



G

LOT 1* LOOKING WEST



H

LOTS 4 + 3 + 2 LOOKING WEST



I

LOT 1 LOOKING WEST

City of Oceanside
Development Services Department
Memorandum

DATE: March 4, 2015

TO: Development Advisory Committee

FROM: Development Services Department-Planning Division

SUBJECT: Consideration of a Tentative Parcel Map (RP14-00001), Development Plan (RD14-00002), Conditional Use Permit (RCUP14-00003), and Regular Coastal Permit (RRP14-00004) for the development of a three story, three unit condominium complex with garage parking available at the ground level located at 508 North Tremont Street within the "D" (Downtown) District Sub district (D9) – 508 N. Tremont Condos

RECOMMENDATION

Staff has analyzed the proposed project for consistency with the City Local Coastal Program (LCP), the Redevelopment Zoning Ordinance, and the City's General Plan, and has determined that this project as proposed is consistent with pattern of redevelopment in the Downtown District boundaries. The project would contribute to the City's economic development and housing stock by establishing a quality multi-family development within an area that is under utilized for housing needs and would benefit from redevelopment and the addition of multi-family housing stock. Staff further determines that this project is consistent with all applicable development standards of the zoning ordinance and objectives of the Local Coastal Program. Staff recommends that the Development Advisory Committee review, comment, and forward a recommendation of approval to the Community Development Commission for final action.

PROJECT DESCRIPTION AND BACKGROUND

The proposed project is a request to demolish an existing 424-square-foot single family residence that was constructed in 1921, and allow the construction of a three unit condominium complex located at 508 North Tremont Street. The existing residence does not retain historical significance, as stated in the historical survey report dated August 8, 2014. (Attachment 1)

The project application is comprised of four components, a Tentative Parcel Map, Development Plan, Conditional Use Permit, and a Regular Coastal Permit as follows:

Tentative Parcel Map (RP14-00001) represents a request for the following:

The proposed Tentative Parcel Map would allow the development of three

condominiums units/parcels, while establishing individual ownership for each unit and common ownership for the internal drive court and exterior open spaces pursuant to Article VI of the Oceanside Subdivision Ordinance. The proposed subdivision would establish a density of 26 dwelling units per acre (3 condominium units), where the permitted density range for the Downtown (D9) District is (29-43) D.U./acre. A total of four parcels would be created as a part of the parcel map as follows: three (3) residential condominiums and one (1) common open space lot.

Development Plan RD14-00002 represents a request for the following:

To construct a 6,871-square-foot condominium complex on a 5,018-square-foot parcel pursuant to Articles 12, of the Downtown Zoning Ordinance.

The proposed site layout would be configured in a manner that provides access to the three condominium units through an internal drive/motor court located directly off of the rear alley on the east side of the property. The proposed 3-unit condominium complex would be located on a 5,018-square-foot parcel situated in the center of the block between Sportfisher Drive and Surfrider Way along North Tremont Street, within the Townsite Planning Neighborhood area. The land use designation is Redevelopment and has a zoning classification of D9 (Commercial/Residential/Single Family and Multi-family).

The proposed three unit condominium would consists of three stories with the second and third stories established for habitable space purposes. Access to the units would occur from an internal stair well within each garage and a via shared lobby elevator. The proposed condominium units would be developed as follows:

Unit	Unit Size (sq. ft.)	Bedrooms/Baths (BR/Ba)	Private Open Space (Patio/Balconies)	Enclosed Garage	Common Open Space (Patio/Balconies)
A	2,350 sq. ft.	3 BR/2.5 BA	705 sq. ft.	2-car	240 sq. ft.
B	2,408 sq. ft.	2 BR/2.5 BA	922 sq. ft.	2-car	240 sq. ft.
C	2,113 sq. ft.	2 BR/2.5 BA	762 sq. ft.	2-car	240 sq. ft.

Conditional Use Permit RCUP14-00003 represents a request for the following:

Development of a 3-unit condominium complex within the Downtown (D9) District. Pursuant to Section 1220 of the Downtown Zoning Ordinance a Conditional Use Permit is required for multi-family developments.

Regular Coastal Permit RC14-00004 represents a request for the following:

A request to develop a 3-unit condominium complex within the Local Coastal Program jurisdictional boundaries. Due to the location within the jurisdictional boundaries of the

non-appealable area of the Coastal Zone, a Regular Coastal Permit is required.

ANALYSIS

1. General Plan Compliance

The General Plan Land Use Map designation for the subject property is Downtown (D9), which permits multi-family residential developments at a density range of (29-43) dwelling units per gross acre. Staff has evaluated the request to demolish the existing building on-site, and construct a three unit condominium complex with common open space and drive courts being held in common ownership and managed by an association, and has determined that the proposed development is consistent with the goals and objectives of the City's General Plan as follows:

A. Land Use Element

Goal 1.23: Architecture

Objective: The architectural quality of all proposed projects shall enhance neighborhood and community values and City image.

Policy A: Architectural form, treatments, and materials shall serve to significantly improve on the visual image of the surrounding neighborhood.

Relative to existing development throughout the immediate area of the Townsite neighborhood, the proposed project would constitute a significant architectural improvement to the area. The architectural design of the complex would consist of a contemporary architectural theme, with elements similar to the eclectic mix of multi-family complexes and older single-family homes within the neighborhood.

Articulated elevations lend visual interest to the facade and reduce the massing of the development. A mix of windows, the use of earth tone colors, and the proposed balconies have been incorporated into the design to add visual quality and interest to the proposed development, which would enhance the existing neighborhood. Development of the site should encourage redevelopment within the neighborhood and improve the overall visual image of the area.

2. Zoning Compliance

The proposed project is subject to the provisions of the Downtown Zoning Ordinance Article 12, Downtown District. The proposed condominium development shall meet all of the development regulations of the underlying Downtown (D9) district per the Downtown Zoning Ordinance. Such projects are reviewed for compatibility with existing and surrounding development, as well as applicable public beach access regulations. The purpose of the (D9) district is to provide opportunities for tourist and year-round visitor-serving facilities, including permanent, transient residential, single family residential within the City's Coastal Zone.

Table 1 summarizes the proposed and applicable development regulations for the project site.

Table 1. Section 1230 Residential Development Regulations

Lots	Required	Proposed
Minimum Lot Area	5,000 square feet	5,018 square feet
Minimum Lot Width	50 feet	50.16 feet
Front Yard	10 feet	10.1 feet
Side Yard	3 feet	3.0 feet
Rear Yard on Alley	5 feet	5 feet
Maximum Height	35 feet (Habitable) 45 feet (Non-Habitable Exceptions, per Sect. 3018)*	35 feet (Habitable) 45 feet (Non-Habitable Exceptions, per Sect. 3018)

* As listed in Section 3018, non-habitable structures may exceed the district height limit by 10-feet covering no more than 10 percent of the ground area covered by the structure to which they are accessory to.

In summary, the proposed project meets or exceeds the development requirements and the development would be consistent with the surrounding neighborhood. The project provides a three (3) unit condominium complex that would provide additional residential ownership opportunities and encourages further redevelopment of the surrounding neighborhood.

3. Local Coastal Program Compliance

The proposed project is within the Local Coastal Zone and as designed, would comply will all provisions of the Local Coastal Program (LCP). Projects within the Coastal Zone are required to meet the provisions of the adopted Local Coastal Program and the underlying Downtown district. Such projects must provide sensitive development in order to promote and achieve compatibility with surrounding development. The existing and evolving character of the neighborhood within the Coastal Zone, and site-specific design elements have been considered at length throughout the design and review of this project.

The Coastal Act requires that the visual qualities of the Coastal Zone shall be protected and that new development be sited and designed to be visually compatible with the character of surrounding areas. All improvements to the property will not impact the surrounding areas, neighbors, or coastal views from public right of ways. Development of the proposed condominium complex would be consistent with the existing neighborhood in design, materials, colors, and type, and respects adjacent properties view sheds by establishing a maximum height and finished pad that is similar to many of the adjacent multi-family and single family residences within the Townsite Neighborhood.

ENVIRONMENTAL DETERMINATION

Planning Division staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA), 1970. Based upon that review, staff finds that the proposed project constitutes in-fill development of property in an urbanized area that is under five acres, is consistent with the applicable zoning and general plan designation, that has no value as habitat, can be adequately served through existing utilities and public services, and that would not result in any significant effects relating to traffic, noise, air quality or water quality, and the project is categorically exempt, Class 32, "In-Fill Development Projects" (Section 15332). In the event the project is ultimately approved, the applicant will be issued a Notice of Exemption (NOE) for posting with the San Diego County Clerk-Recorder.

PUBLIC NOTIFICATION

Public notification of the Development Advisory Committee meeting has been provided consistent with State law and local requirements through the posting of the meeting agenda.

PREPARED BY:



Scott Nightingale
Associate Planner

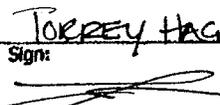
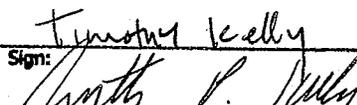
SUBMITTED BY:

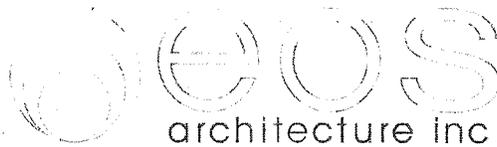


Jeffrey Hunt
Interim City Planner

Attachments:

1. Project Description and Justification
2. Site plans and elevations
3. Photo Survey
4. Primary Record Survey

 <p>Application for Discretionary Permit Development Services Department / Planning Division (760) 435-3520 Oceanside Civic Center 300 North Coast Highway Oceanside, California 92054-2885</p>			<p>RECEIVED</p> <p>STAFF USE ONLY</p> <p>ACCEPTED</p> <p style="text-align: center;">AUG 26 2014</p> <p style="text-align: center;">CITY OF OCEANSIDE DEVELOPMENT SERVICES</p>		<p>BY</p> 
			<p>Please Print or Type All Information</p>		
PART I - APPLICANT INFORMATION			GPA		
1. APPLICANT BICK LACEY / EYMAX		2. STATUS OWNER'S REP.	MASTER/SP.PLAN		
3. ADDRESS 2517 VIA NARANJA CARLSBAD, CA 92010		4. PHONE/FAX/E-mail 760-688-6949	TENT. MAP		
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing) Torrey Hager		6. ADDRESS 7542 FAX AVE	7. PHONE/FAX/E-mail torrey@eos circ.com		PAR. MAP R114-00001
PART II - PROPERTY DESCRIPTION			DEV. PL 2014-00002		C.U.P. 2014-00003
8. LOCATION 508 N TREMONT			9. SIZE 5,018 SF		VARIANCE
10. GENERAL PLAN REDEVELOPMENT DOWNTOWN	11. ZONING DOWNTOWN	12. LAND USE RES/MULTIFAM	13. ASSESSOR'S PARCEL NUMBER 147-081-07		COASTAL KRCM-00004
14. LATITUDE N 54° 44' 37" E	15. LONGITUDE N 35° 14' 53" W				
PART III - PROJECT DESCRIPTION					
16. GENERAL PROJECT DESCRIPTION LOT 8 N BLOCK 1 OF OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP HEREOF NO 344, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 1, 1885					
17. PROPOSED GENERAL PLAN DOWNTOWN	18. PROPOSED ZONING DOWNTOWN	19. PROPOSED LAND USE 3 UNITS	20. NO. UNITS 3	21. DENSITY 26	
22. BUILDING SIZE 3,871 SF	23. PARKING SPACES 6	24. % LANDSCAPE 20%	25. % LOT COVERAGE or FAR FAR: 1.37 COVERAGE: .71		
PART IV - ATTACHMENTS					
<input checked="" type="checkbox"/> 26. DESCRIPTION/JUSTIFICATION	<input checked="" type="checkbox"/> 27. LEGAL DESCRIPTION	<input checked="" type="checkbox"/> 28. TITLE REPORT			
<input checked="" type="checkbox"/> 29. NOTIFICATION MAP & LABELS	<input checked="" type="checkbox"/> 30. ENVIRONMENTAL INFO FORM	<input checked="" type="checkbox"/> 31. PLOT PLANS			
<input checked="" type="checkbox"/> 32. FLOOR PLANS AND ELEVATIONS	<input checked="" type="checkbox"/> 33. CERTIFICATION OF POSTING	<input type="checkbox"/> 34. OTHER (See attachment for required reports)			
PART V - SIGNATURES					
SIGNATURES FROM ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).					
35. APPLICANT OR REPRESENTATIVE (Print): TORREY HAGER / EOS ARCH.		36. DATE 8/19/14	37. OWNER (Print): Timothy Kelly		38. DATE 8/20/14
Sign: 		Sign: 			
<p>I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. FURTHER, I UNDERSTANDING THAT SUBMITTING FALSE STATEMENTS OR INFORMATION IN THIS APPLICATION MAY CONSTITUTE FRAUD, PUNISHABLE IN CIVIL AND CRIMINAL PROCEEDINGS.</p> <p>I HAVE READ AND AGREE TO ABIDE BY THE CITY OF OCEANSIDE DEVELOPMENT SERVICES DEPARTMENT AND ECONOMIC AND COMMUNITY DEVELOPMENT DEPARTMENT POLICY NO. 2011-01/POLICY AND PROCEDURE FOR DEVELOPMENT DEPOSIT ACCOUNT ADMINISTRATION.</p>					



Three new condominium homes
Playa Capris Villas

August 20th, 2014

Located at:
508 North Tremont Street
Oceanside, California

APN #147-081-07

Description and Justification

Parcel Map, Development Plan, Regular Coastal Permit, Conditional Use Permit

Introduction

This application is for the development of a three unit three story condominium complex on the East side of North Tremont Street between Surfrider Way and Sportfisher Drive on an existing abandoned lot with an existing house to be demolished located at 508 North Tremont Street. The proposed homes will have individual two car garage parking on the first floor, with the living spaces located on the second and third floors accessed via an elevator lobby. The proposed three units will consist of 2,350 square feet for Unit A, with three bedrooms two and one half baths, 2,408 sf for Unit B with three bedrooms three baths and 2,113 sf for Unit C with three bedrooms three baths. Each home will have private roof top decks and enlarged patio/ balconies. The discretionary approvals necessary for this project include a Parcel Map, a Development Plan, a Regular Coastal Permit and a Conditional Use Permit. A conditional use permit is required for multi-family dwellings in the D-9 zone.

Parcel Map and Development Plan

As noted above, this is a residential project containing three townhome style condominium homes. The average unit size is 2,290 sf. The project will include amenities such as private rooftop terraces, balconies on the second floor and exterior outdoor patios at the third floor.

The project provides high quality design, materials and an open floor plan as well as design elements which bring natural light into the interior spaces of the condominium homes through the use of skylights and large windows.

Access and Parking

The Tremont Custom condominiums project meets the parking requirements for this zone and type of project. One two car garage has been provided for each unit. Entrance to the garages will be taken directly from the alley.



Architecture

The architecture for the proposed project is of a California modern style. Glass rails, integral color precast concrete trim and columns, metal standing seam roof, modern glass/ painted wood doors and balconies lend visual interest to the façade and create a sense of home which helps to create a community feel for the surrounding neighborhood. The front entry approach has been delineated with landscape a beautiful simple entry with benches, and the parking has been screened with modern horizontal wood slat screening and vertical planting walls.

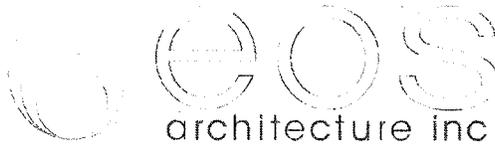
The external appearance/building elevations have been well designed, with particular care taken in the selection of materials and proportioning of the façade elements.

The highest roof structure is 45'-5", which exceeds than the 35-foot maximum height as permitted for 10% of the roofed area (for stair and storage towers) to provide access to the roof. Compliance to this requirement has been demonstrated in the zoning compliance plans in the drawings submitted to the City of Oceanside. The average structure height is 35'-0", in conformance with the 35'-0" allowable. The area which exceeds the height limit is for stair access and storage has previously been approved for projects of similar use and similar zone in the City of Oceanside. The building height has been measured from the lowest of existing or proposed grades. Finish grade will be slightly modified to provide level parking, pedestrian access and accommodate site drainage for the condominium homes.

Unit	Unit Size (sq. ft.)	Bedrooms / Baths	Private Open Space*	Enclosed Garage	Common Open Space
A	2,350 sf livable	3 BR / 2.5 BA	705 sf	2-car	240 sf
B	2,408 sf livable	2 BR / 2.5 BA	922 sf	2-car	240 sf
C	2,113 sf livable	2 BR / 2.5 BA	762 sf	2-car	240 sf

* Includes rooftop decks and patios measuring a minimum of 6'-0 in any direction, additional balconies have also been provided

Landscape Concept Plan



Summary

The 508 North Tremont Street Tremont custom condominium homes will provide an attractive, well-designed project in a location that will enhance the long-term general well-being of the neighborhood and the community. Your favorable consideration of this project is requested.

Sincerely,

Jennifer Bolyn
Principal Architect



August 20, 2014

Three new condominium homes
Tremont Condominiums

Located at:
508 North Tremont Street
Oceanside, California

APN #147-081-07

508 N Tremont Legal Description

Lot 8 in block 1 of Oceanside, County of San Diego, State of California. According to map thereof No. 334, filed in the office of the County Recorder of San Diego County, July 1 1885.

RECEIVED

OFFICE OF OCEANSIDE
DEVELOPMENT SERVICES



NOTICE OF EXEMPTION

City of Oceanside, California

Post Date:
Removal:
(180 days)

1. **APPLICANT:** Rick Lacey/RYMAX
2. **ADDRESS:** 2517 Via Naranja, Carlsbad, CA. 92010
3. **PHONE NUMBER:** (760) 688-6949
4. **LEAD AGENCY:** City of Oceanside
5. **PROJECT PLANNER:** Scott Nightingale, Associate Planner
6. **PROJECT TITLE:** RP14-00001, RD14-00002, RCUP14-00003, RRC14-00004

7. **DESCRIPTION:** A proposed Tentative Parcel Map (RP14-0001), Development Plan (RD14-00002), Conditional Use Permit (RCUP14-00003), and Regular Coastal Permit (RRP14-00004) to allow the development of a three story, three unit condominium complex with two car garages per each unit. The proposed three unit condominium complex would be located on a 5,018-square-foot parcel at 508 North Tremont Street, within the Townsite Planning Neighborhood area. The land use designation is Redevelopment and has a zoning classification of D9 (Commercial/Residential/Single Family and Multi-family).

ADMINISTRATIVE DETERMINATION: Planning Division staff has completed a preliminary review of this project in accordance with the California Environmental Quality Act (CEQA). Based on this review, the City has determined that further environmental evaluation is not required because:

- The project qualifies for a Class 32 categorical exemption under Section 15332 (In-Fill Development Projects);
- "The activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA" (Section 15061(b)(3)); or,
- The project is statutorily exempt, Section, ____ (Sections 15260-15277); or,
- The project does not constitute a "project" as defined by CEQA (Section 15378).



Scott Nightingale, Associate Planner

Date: April 23, 2015

cc: Project file Counter file Library Posting: County Clerk \$50.00 Admin. Fee

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 2 of 7 *Resource Name or # (Assigned by recorder) 508 N. Tremont Street
*Recorded by Ruth C. Alter *Date 8/11/14 Continuation Update

CRAFTSMAN ARCHITECTURE

Craftsman style is the American residential counterpart of the English/Scottish Arts and Crafts movement. The key components of the style are simplicity of structural form, natural materials, hand craftsmanship, open planning, and a blending of the architecture with the natural environment (Covington 1997:88). In 1909, Gustav Stickley described the Craftsman house as a home reduced to its simplest form, "one that never fails to harmonize with its surroundings." The horizontality of the style and its simplicity evoked an Oriental aesthetic and was a response to the decorative excesses of Victorian architecture (Poppeliers, et al 1983).

The Craftsman phase was championed by popular magazines of the day, principally *Ladies Home Journal* and the *Craftsman*, which often provided designs for modest-sized, accessible homes. Plans for these snug and cozy homes could be purchased inexpensively, and for as little as \$1,000.00, a house often complete with specifications for prefabricated frames, fireproofing, electricity, plumbing, and gas ranges, could be built. Sears, Roebuck, along with numerous other enterprises, offered ready-to-build kit houses and would deliver crafted materials, fixtures, and assembly instructions to the nearest railroad station. Such houses could be quickly and inexpensively assembled (Clark 1986; Curl 1999).

Craftsman was the dominant architectural style for smaller houses built after 1905. The style, however, reached it's highest expression in the work of Pasadena, California-based architects Greene and Greene, whose Gamble house is sometimes offered as an example of the finest of Craftsmen style (Carley 1994).

Craftsman style buildings feature low-medium pitched gabled or sometimes hipped roof planes, wide, unenclosed eaves, exposed rafters, false beams or braces located under the gables, full or partial width porches, tapered square column roof supports, and full length columns or pedestals (McAlester and McAlester, 2000:453). Wood clapboard siding and wood shingles are the most common types of cladding.

Craftsman doors are often wider than standard single doors. They frequently feature decorative divided lite insets and side lites. Craftsman windows often have a single lower with divided lite uppers; decorative uppers can be leaded as well. Windows are often grouped within a single surround. Their ornamentation is the result of the blending of structural or natural elements, rather than deliberation or planning, such as in the exposure of rafters and knee braces or the use of rounded cobblestones in chimneys and foundations.

ARCHITECTURE OF 208 N. TREMONT STREET

The subject resource exhibits the following key defining characteristics of the Craftsman genre:

- Frame construction
- Gabled roof planes
- Wood clapboard cladding
- Unenclosed eaves
- Exposed rafters

At best, the subject resource is considered a vernacular, rudimentary example of Craftsman design. While the basic elements are present, the house lacks the refining elements that raise a structure from basic to good. The dearth of detailing disqualifies the resource as an example of Craftsmanesque style. Craftsmanesque style is not recognized as an important type of architecture. The house is clearly an example of a carpenter-built interpretation of the genre.

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According to the chain of title prepared by California Lot Book, Inc., the United States of America granted a deed of patent for this lot, along with much of the surrounding area, to Oceanside pioneer Herbert Crouch in December, 1880. A native of England, Mr. Crouch came to the San Luis Rey Valley in 1869 and became a partner with Major Utt in the latter's sheep ranching venture. He married Martha Avenell at the Horton House in San Diego in 1876, and the couple was widely respected throughout their lifetimes.

Mr. Crouch and his wife sold his large holding to Andrew Jackson Myers, the founder of Oceanside, and capitalist Freeman McComber, for four thousand dollars five years later, in December, 1885. Sometime around 1886, Harriet Wright, a resident of San Diego, purchased the subject Lot 8 from Mr. Myers and Mr. McComber. The deed recording this transaction appears to be lost. Wright seems to have held the property for about six years, before selling it to James Mull in May, 1892.

Probably a speculative purchase, Mr. Mull, who lived in Carlsbad, sold the lot just four months later to Etta Hecox for two hundred dollars. Mrs. Hecox was the wife of local builder O.S. Hecox. The property remained in the Hecox family until December 1911, when it was acquired by Otis Longley. By that time, Mr. and Mrs. Hecox had moved to Fresno and had divested themselves of their land holdings by selling them to Mr. Longley, also a resident of Fresno.

Longley and his wife Della deeded all the lots to Fred Hayes, a year later, in December, 1912. Mr. Hayes, a member of the Hayes family real estate business, sold the subject lot to Jens Askelund, Odin V. Askeland, and Barbro Askeland (later Barbro Mattiesen) in September, 1913. Ten years later, in August, 1923, they sold the property to Alton L. Morse, a bachelor. In April, 1928, following Mr. Morse's death, his executor E.G. Morse, settled the estate, deeding the property to Edna C. Bailey, who also owned the adjacent Lot 7.

J.C. Kullmann (variously Kullman) acquired both lots for \$800.00 from Maurice Myers, the executor of Bailey's estate, following her death in 1941. In a series of rapid transactions, in June, 1941, Kullmann deeded the subject property and Lot 7 to Jack Noorda the same day; three months later, in September, 1941, Noorda, a widower, transferred title to both properties to Robert Seabranck. Mr. Seabranck resided in the house and retained title until his death; in November, 1949, Bertha Hall, a widower of Coffeyville, Kansas acquired Lot 8, along with its contents, described as an iron bed, gas stove, gas heater, a chair, and kitchen dishes and utensils.

The property remained in Hall's family until December, 1965. when Donald and Virginia Newman acquired title. Rudolph and Virginia Carpenter purchased the lot in September, 1972, selling it to Richard and Diane Eisendrath in November, 1985.

The Eisendrath's deeded the property to Thomas and Doris Gonzalez in June, 1988, who sold it to Marita Platon in October, 1989. The house was lost to foreclosure in April, 1994 and was acquired by David L. Harper six months later, in October, 1994. Timothy Kelley, one of the current owners, took title in March, 2014. John Law and Colm Walsh were added to the title in July, 2014.

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ELIGIBILITY CRITERIA

California Environmental Quality Act. Under the California Environmental Quality Act (CEQA) and the City of Escondido's Historical Resource Guidelines, a significant historic resource is one that is eligible for listing in the California Register of Historical Resources/National Register of Historic Places or other local historic register, or is deemed significant in a historical resource survey (Section 5024.1(g) of the Public Resources Code).

In order to be eligible for listing under the California Register/National Register (the standards of which are both very similar), a resource must be significant within a historic context and must also meet one or more of the following criteria:

- Criterion A: Be associated with an event, or series of events, that have made a significant contribution to the broad pattern of history.
- Criterion B: Have an unequivocal association with the lives of people significant in the past.
- Criterion C: Embody the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values, or represents a significant, distinguishable entity whose components lack individual distinction.
- Criterion D: Have yielded or may be likely to yield information important in local, state or national prehistory or history.

Additionally, under both the California Register and the National Register, a resource must not only meet at least one of the above criteria, but must also possess integrity, the various aspects of which include location, design, setting, materials, workmanship, feeling, and association (National Register Bulletin 15, 1991: 11,44).

CALIFORNIA REGISTER OF HISTORICAL RESOURCES STANDARDS

When evaluated within its historic context, under CEQA a property must be shown to be significant for one or more of the four Criteria for Evaluation - A, B, C, or D. The Criteria describe how properties are significant for their association with important events or persons, for their importance in design or construction, or for their information potential. In addition, a property must not only be shown to be significant under the California Register criteria, but it also must have integrity.

Criterion A: Event. To be considered for listing under Criterion A, a property must be associated with one or more events important in the defined historic context. The event or trends must clearly be important within the associated context. Mere association with historic events or trends is not enough, in and of itself, to qualify under Criterion A, the property's specific association must be considered important as well.

Criterion B: Person. Criterion B applies to properties associated with individuals whose specific contributions to history can be identified and documented. Persons "significant in our past" refers to individuals whose activities are demonstrably important within a local, state, or national historic context. The criterion is generally restricted to those properties that illustrate (rather than commemorate) a person's important achievements. The persons associated with the property must be individually significant within a historic context. Significant individuals must be directly associated with the nominated property. Properties eligible under Criterion B

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are usually those associated with a person's productive life, reflecting the time period when he or she achieved significance. Speculative associations are not acceptable. Documentation must make clear how the nominated property represents an individual's significant contributions. A property must retain integrity from the period of its significant historic associations. Architects are often represented by their works, which are eligible under Criterion C. Their homes, however, can be eligible for consideration under Criterion B, if these properties were personally associated with the individual.

Criterion C: Design/Construction. Properties may be eligible under Criterion C if they embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction. Properties which embody the distinctive characteristics of a type, period, or method of construction refer to the way in which a property was conceived, designed, or fabricated by a people or culture in past periods of history. Distinctive characteristics are the physical features or traits that commonly recur in individual types, periods, or methods of construction. To be eligible, a property must clearly contain enough of those characteristics to be considered a true representative of a particular type, period, or method of construction.

A master is a figure of generally recognized greatness in a field, a known craftsman of consummate skill, or an anonymous craftsman whose work is distinguishable from others by its characteristic style and quality. The property must express a particular phase in the development of the master's career, an aspect of his or her work, or a particular theme in his or her craft.

Criterion D: Information Potential. Properties may be eligible under Criterion D if they have yielded, or may be likely to yield, information important in prehistory or history.

Integrity. Integrity is the ability of a property to convey and maintain its significance. A property must not only be shown to be significant under the California Register criteria, but it also must have integrity. To retain historic integrity, a property will always possess several, and usually most, of the aspects. The seven key aspects of integrity include: location, design, setting, materials, workmanship, feeling, and association.

**APPLICATION OF CRITERIA
508 N. TREMONT STREET**

Criterion A (association with a significant historical event): Significant historic events are not associated with the building and no known significant historic events occurred on the property before the building was constructed. The resource is not significant under Criterion A.

Criterion B (association with a historic person or persons): None of the owners directly associated with the property has held historic standing. The resource is not significant under Criteria B.

Criterion C (represent a significant design or style of construction): The subject resource is not architecturally important. It is not constructed of rare or unusual materials, it does not possess high artistic values, and it does not represent a significant, distinguishable entity whose components lack individual distinction. The resource is not significant under Criterion C.

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Criterion D (ability to yield further information): The building has not been identified as significant under any of the preceding criteria. Therefore, it is unlikely that any further information of importance would be revealed with additional study. The resource is not significant under Criteria D.

Integrity: The location of the resource has not moved since its construction in 1921 and therefore is intact. However, the design integrity and the feeling of the building has been significantly altered, as have the materials, association, and workmanship. The once rural setting has been compromised by residential development around the property. No one of direct historical importance is associated with the resource and therefore there is no associative significance.

*NRHP Status Code 6Z
 *Resource Name or # (Assigned by recorder) 508 N. Tremont Street

B1. Historic Name: Jens H. Askeland, Odin V. Askeland, and Barbro Askeland House
 B2. Common Name: None
 B3. Original Use: Single-family residence B4. Present Use Vacant single-family residence
 *B5. Architectural Style: Craftsmanesque Bungalow

*B6. Construction History: (Construction date, alternations, and date of alterations)
 The house was constructed in 1921 per the Residential Building Record. Additions are present on the west and south sides of the house.

*B7. Moved? No Yes Unknown Date: _____ Original Location: _____
 *B8. Related Features: Detached building behind the main residence, a tool shed or a chicken coop.

B9a. Architect: None b. Builder: Unknown

*B10. Significance: Residential development Area Oceanside, California
 Period of Significance 1921 Property Type Single-family Applicable Criteria N/A
 (Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The resource is located in the A.J.Myers, one of the oldest in the city. Located north of downtown Oceanside, this is an area that saw early residential development. The original houses here tended to be smaller single-family dwellings or vacation residences constructed in Victorian era style, principally Folk Victorian. The neighborhood was situated in a quiet portion of the developing town. It would have been close enough to walk to the town center to purchase necessary goods or services, but far enough away to avoid town bustle.

The subject resource is typical of some of the smaller, more modest homes found in this neighborhood, constructed after the initial settling of the area. Over time, Victorian styles were joined by Craftsman and Craftsmanesque dwellings, and then by Post-World War II styles, such as Ranch and Modern Contemporary. The neighborhood also became denser, with multiple-family structures added after the war.

The subject resource is of simple vernacular Craftsman (Craftsmanesque) design, the most common of its era and still prevalent in Oceanside. The house is not associated with any known significant historic event or events. While the property was once owned by historically significant individuals, no one of historical importance is directly associated with the house. Its design is not distinctive, it does not represent the work of a master architect or craftsman, and it is not constructed of rare or unique materials. The building is unlikely to yield important information relevant to local, state or national history. Its locational workmanship, design, feeling, workmanship and lack of associational integrity are intact. The setting, while still residential, has been altered by the introduction of multiple-family, multiple story dwellings to the neighborhood and by nearby commercial venues. Once considered on the edge of town, the City has long since grown up around it.

B11. Additional Resource Attributes: (List attributes and codes) None

*B12. References: Assessor's records, San Diego County; Hawthorne, K., Oceanside, Where Life is Worth Living, 2001. Donning Company Publishers, Virginia Beach, Virginia; McAlester, V. and L., A Field Guide to American Houses, 2000. Alfred A. Knopf, New York.

B13. Remarks:
 *B14. Evaluator: Ruth C. Alter, Archaeos, 7340 Rondel Court, San Diego, CA 92119

Date of Evaluation: 8/11/14

(This space reserved for official comments.)

