



DATE: June 8, 2015 (Continued from the April 20, 2015 Planning Commission meeting)

TO: Chairperson and Members of the Planning Commission

FROM: Development Services Department/Planning Division

SUBJECT: **CONSIDERATION OF REGULAR COASTAL PERMITS (RC12-00020 AND RC12-00021) FOR THE DEMOLITION OF AN EXISTING SINGLE-FAMILY DWELLING AND CONSTRUCTION OF TWO NEW SINGLE-FAMILY DETACHED DWELLINGS ON TWO PARCELS AT 1631 SOUTH PACIFIC STREET WITHIN THE SOUTH OCEANSIDE NEIGHBORHOOD AND THE COASTAL ZONE – KCS PROPERTIES LLC @ 1631 SOUTH PACIFIC STREET – APPLICANT: KCS PROPERTIES LLC**

**RECOMMENDATION**

Staff recommends that the Planning Commission by motion:

- (1) Confirm issuance of a Class 3 Categorical Exemption per Section 15303(a), for New Construction or Conversion of Small Structures of the California Environmental Quality Act; and
- (2) Approve Regular Coastal Permits (RC12-00020 and RC12-00021) by adopting Planning Commission Resolution Nos. 2015-P14 and 2015-P15 with findings and conditions of approval attached herein.

**PROJECT DESCRIPTION AND BACKGROUND**

On April 20, 2015, the Planning Commission considered a development proposal for the construction of two detached single-family dwellings at 1631 South Pacific Street. Bearing a Residential Tourist (R-T) zoning designation, a High Density Residential Local Coastal Program land use designation and Urban High Density Residential (UHD-R) General Plan designation, the project site is situated within the Coastal Zone and the South Oceanside Neighborhood Planning Area. The subject property is comprised of two existing legal parcels each having a 30-foot (approx.) street frontage and extending seaward to the mean high tide line. The parcels slope downward (approximately 18 feet

along the south property line and 19.5 feet along the north property line) from the South Pacific Street frontage to the rear yard area, landward of an existing quarry stone revetment. An existing two-story single-family dwelling straddles the common property line between the two parcels.

The Commission evaluated the applicant's proposal to demolish the existing two-story single-family dwelling and construct the two-story over habitable basement and storage building design dwellings. The single-family detached residential units, were sited in a "mirrored image" layout along the common property line and each one was designed to include approximately 3,947 square feet of habitable area, 183 feet of storage area and a two-car garage. The habitable portions of the building improvements were proposed landward of the coastal stringline setback, with balcony projections of 3 feet (max.) seaward of the stringline and deck improvements, not exceeding 2.5 feet (finished floor height) on the perched beach area.

After hearing staff's presentation and considering public testimony, the Planning Commission continued the item to June 8, 2015, to allow the applicant time to address concerns primarily related to the encroachment of balconies west of the coastal stringline setback.

The project under consideration is subject to the City's General Plan, Local Coastal Program (LCP), 1986 Zoning Ordinance, Subdivision Ordinance and the California Environmental Quality Act (CEQA).

## **ANALYSIS**

### **KEY PLANNING ISSUES**

The development proposal was previously analyzed for consistency with General Plan and Local Coastal Plan policies as well as the 1986 certified zoning ordinance (see April 20, 2015 Planning Commission staff report - Attachment 3). Additional discussion regarding the project's compliance with Coastal Stringline Setback provisions of the zoning ordinance follows.

#### **Coastal Stringline Setback**

Rear yard setbacks on oceanfront lots are determined by the City's "Stringline Setback Map". The "stringline" in this case is defined as a line on a map generally following the line of development on the beach-fronting homes along the City's coast.

The certified "Stringline Setback Map" was developed in 1983 by overlaying an imaginary stringline on aerial photos of the shoreline. The stringline map was based on existing building patterns, as well as anticipated future development and remodels/expansions.

This "Stringline Setback Map", comprised of multiple segments, was certified by the Commission in 1986 as part of the City's Local Coastal Program. These maps are kept on file in the City's Planning Division and are used to determine the westernmost boundary for any proposed development along the shoreline.

The goal of limiting new development no further seaward than the stringline is to restrict encroachment onto the shoreline and preserve private and public views along the shoreline. The location of the stringline coastal setback for the subject site is shown on the Stringline Plan dated Jan 29, 2015, prepared by Tait Consulting Inc. The Plan depicts the stringline's most southerly and northerly location traversing the site at 89.4 feet and 89.5 feet west of the Pacific Street right-of-way respectively.

Section 1703 of the certified (1986 Local Coastal Program) City of Oceanside Zoning Ordinance references the stringline setback as follows:

***Rear yards. The following rear yard setbacks shall be met:  
[....]***

***(e) Notwithstanding any other provision of this Section, buildings or structures located on lots contiguous to the shoreline shall be compatible in scale with existing development and shall not extend further seaward than the line established in the "Stringline Setback Map" which is kept on file in the Planning Division. Appurtenances such as open decks, patios, and balconies may be allowed to extend seaward of the Stringline Setback line, provided that they do not substantially impair the views from adjoining properties.***

As indicated under the background section of this report, the subject proposal originally included balcony extensions (max. 3 ft.) spanning west of the coastal stringline and deck improvements, not exceeding 2.5 feet (finished floor height), on the perched beach area. During the April 20, 2015, Planning Commission hearing the Commission directed the applicant to re-evaluate the project design to address community concerns over its compliance with the intent of stringline setback provisions (Section 1703 of the zoning ordinance) and encouraged the applicant to reconsider the balcony projections seaward of the stringline.

The applicant has modified the development proposal by: a) shifting the proposed structures toward the Pacific Street frontage, while still maintaining the applicable adjusted front yard setback, and; b) reducing the size of the proposed balconies, thus eliminating all balcony projections seaward of the stringline. As modified, the western most habitable portions of the proposed dwellings were also shifted further to the east and located as follows:

**House 1:** Upper Level: 18.5 feet east of the stringline (appx. 71 feet from front PL)  
Street Level: 13.75 feet east of the stringline (appx. 75.75 feet from front PL)  
Beach Level: 4 feet east of the stringline (appx. 85.5 feet from PL)

House 2: Upper Level: 18 feet east of the stringline (appx. 71.5 feet from front PL)  
Street Level: 13.25 feet east of the stringline (appx. 76.25 feet from front PL)  
Beach Level: 3.25 feet east of the stringline (appx. 86.25 feet from front PL)

Staff finds the revised project compatible with surrounding development and in compliance with applicable Section 1703 pertaining to coastal stringline setbacks.

## **ENVIRONMENTAL DETERMINATION**

The development proposal has been reviewed pursuant to the California Environmental Quality Act (CEQA) and has been found to be exempt as a Class 3 15303 (a), Categorical Exemption "New Construction or Conversion of Small Structures".

## **PUBLIC NOTIFICATION**

Prior to the April 20, 2015 public hearing, a legal notice was published in the newspaper and notices were sent to the applicant, property owners of record within 300-foot radius of the property, occupants within 100-foot radius of the property and interested parties. On April 20, 2015, the project was continued to a day certain – June 8, 2015. No additional notification was provided for the June 8, 2015, hearing.

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## **SUMMARY**

Regular Coastal Permits (RC12-00020 and RC12-00021) as conditioned are consistent with the requirements of the Zoning Ordinance, the land use policies of the General Plan and the policies of the Local Coastal Program. The project will comply with applicable development standards for the district in which it is situated. The project's scale and architecture are compatible with the surrounding neighborhood. Accordingly, staff recommends that the Planning Commission:

- Approve Regular Coastal Permit RC12-00020 and RC12-00021) by adopting Planning Commission Resolution No. 2015-P14 and 2015-P15 with findings and conditions of approval attached herein.

PREPARED BY:

SUBMITTED BY:

  
\_\_\_\_\_  
Amy Fousekis  
Principal Planner

  
\_\_\_\_\_  
Jeff Hunt  
City Planner

JH/AF/fil

Attachments:

1. Planning Commission Resolution Nos. 2015-P14 and 2015-P15
2. Site Plan, Floor Plan, Elevations, Landscape Plan, dated May 4, 2015
3. April 20, 2015 Planning Commission staff report
4. Wave Runup, Coastal Hazard, and Shore Protection Study, dated July 25, 2012
5. Written communication from public (Email from Ms. Susan Parker, dated April 29, 2013)
6. Other Attachments (Application Page, Description and Justification, Legal Description, Notice of Exemption)

1 PLANNING COMMISSION  
2 RESOLUTION NO. 2015-P14

3 A RESOLUTION OF THE PLANNING COMMISSION OF THE  
4 CITY OF OCEANSIDE, CALIFORNIA APPROVING A  
5 REGULAR COASTAL PERMIT ON CERTAIN REAL  
PROPERTY IN THE CITY OF OCEANSIDE

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6 APPLICATION NO: RC12-00020  
7 APPLICANT: KCS Properties LLC.  
8 LOCATION: 1631 S. Pacific Street

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9 THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES  
10 RESOLVE AS FOLLOWS:

11 WHEREAS, there was filed with this Commission a verified petition on the forms  
12 prescribed by the Commission requesting a Regular Coastal Permit (RC12-00020) under the  
13 provisions of the City of Oceanside Local Coastal Program to permit the following:

14 demolition of an existing single-family dwelling and construction of a two-story over  
basement single-family dwelling;

15 on certain real property described in the project description;

16 WHEREAS, the Planning Commission, after giving the required notice, did on the 20<sup>th</sup>  
17 day of April, 2015, conduct a duly advertised public hearing as prescribed by law to consider said  
18 application and continued the hearing on this matter to the 8<sup>th</sup> day of June, 2015;

19 WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State  
20 Guidelines thereto; this project has been found to be exempt per Article 19, Class 3 15303 (a),  
21 "New Construction or Conversion of Small Structures" Categorical Exemption from  
22 environmental review;

23 WHEREAS, there is hereby imposed on the subject development project certain fees,  
dedications, reservations and other exactions pursuant to state law and city ordinance;

24 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the  
25 project is subject to certain fees, dedications, reservations and other exactions as provided below:

26 //////////////

27 //////////////

28 //////////////

29 //////////////

1	Description	Authority for Imposition	Current Estimate Fee or Calculation Formula
2			
3	Parkland Dedication/Fee	Ordinance No. 91-10 Resolution No. 06-R0334-1	\$3,503 per unit
4			
5	Drainage Fee	Ordinance No. 85-23 Resolution No. 06-R0334-1	Depends on area (range is \$2,843-\$15,964 per acre)
6			
7	Public Facility Fee	Ordinance No. 91-09 Resolution No. 06-R0334-1	\$2,072 per unit for residential
8			
9	School Facilities Mitigation Fee	Ordinance No. 91-34	\$2.97 per square foot residential (Oceanside, Vista, Fallbrook and Bonsall) \$3.20 per sq. ft. (Carlsbad)
10			
11			
12	Traffic Signal Fee	Ordinance No. 83-01 Resolution No. 06-R0334-1	\$15.71 per vehicle trip
13			
14	Thoroughfare Fee	Ordinance No. 83-01	\$255 per vehicle trip (based on SANDAG trip generation table available from staff and from SANDAG)
15			
16			
17	Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 09-OR 0093-1	Fee based on water meter size. Residential is typically \$4,597 per unit.
18			
19			
20	Wastewater System Buy-in fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 09-OR 0092-1	Based on capacity or water meter size. Residential is typically \$6,313 per unit.
21			
22			
23	San Diego County Water Authority Capacity Fees	SDCWA Ordinance No. 2005-03	Based on meter size. Residential is typically \$4,492 per unit.
24			
25	Inclusionary housing in lieu fees – Residential only	Chapter 14-C of the City Code	\$1,000 per development project, \$100 per unit, plus \$1.31 per square foot of livable area.
26			
27			
28			
29	WHEREAS, the current fees referenced above are merely fee amount estimates of the impact fees that would be required if due and payable under currently applicable ordinances and		

1 resolutions, presume the accuracy of relevant project information provided by the applicant, and  
2 are not necessarily the fee amount that will be owing when such fee becomes due and payable;

3 WHEREAS, unless otherwise provided by this resolution, all impact fees shall be  
4 calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside  
5 City Code and the City expressly reserves the right to amend the fees and fee calculations  
6 consistent with applicable law;

7 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,  
8 dedication, reservation or other exaction to the extent permitted and as authorized by law;

9 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that  
10 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction  
11 described in this resolution begins on the effective date of this resolution and any such protest must  
12 be in a manner that complies with Section 66020;

13 WHEREAS, action on this resolution becomes final 10 days after its adoption, unless  
14 appealed to the City Council, and shall become effective after the 10 working-day appeal period to  
15 the Coastal Commission has expired; and

16 WHEREAS, studies and investigations made by this Commission and in its behalf reveal  
17 the following facts:

18 FINDINGS:

19 For the Regular Coastal Permit:

- 20 1. The proposed development, as conditioned, is consistent with the land use policies of the  
21 Local Coastal Program as implemented through the Zoning Ordinance. Specifically, the  
22 project, as conditioned, will not substantially alter or impact existing public views of the  
23 coastal zone area or from adjoining properties and the physical aspects of the project are  
24 consistent with existing development on neighboring sites. No seaward extension of the  
25 habitable building envelope or balconies beyond the coastal stringline setback will be  
26 constructed. Design, permitting, use, construction, maintenance, work, and repair of the  
27 project's shoreline protection structure(s) shall conform to Chapter 19A of the  
28 Oceanside City Code.
- 29 2. The proposed development, as conditioned, will not obstruct an existing, planned, or  
required public beach access and conforms to the public access and recreation policies of  
Chapter 3 of the Coastal Act.

1 3. The portion of the existing single-family dwelling structure on the subject property does  
2 not include a garage. The new single-family dwelling will provide a two-car garage,  
3 thus offsetting the loss of on-street parking fronting the project site.

4 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby  
5 approve Regular Coastal Permit (RC12-00020) subject to the following conditions:

6 **Building:**

7 1. The granting of approval under this action shall in no way relieve the  
8 applicant/project from compliance with all Current State and local building codes.

9 **2013 Triennial Edition of CCR, Title 24**

10 The 2013 triennial edition of the California Code of Regulations, Title 24 (California  
11 Building Standards Code) applies to all occupancies that applied for a building permit  
12 on or after January 1, 2014, and remains in effect until the effective date of the 2016  
13 triennial edition which will be January 1, 2017. The California Building Standards  
14 Commission website at <http://www.bsc.ca.gov/codes.aspx> has links to where the  
15 codes can be viewed online as well as information on where the codes can be  
16 purchased; Parts 6, 11, and 12 can be directly downloaded for free.

17 There are 12 parts to Title 24 and the applicable parts for most Building Division  
18 permit applications are listed below.

- 19 • Part 2: The 2013 California Building Code (CBC) is based on the 2012 IBC, but  
20 includes numerous State of California amendments.
- 21 • Part 2.5: The 2013 California Residential Code (CRC) is based on the 2012 IRC,  
22 but includes numerous State of California amendments and does not include the  
23 electrical, energy, mechanical, or, plumbing portions of the IRC, and instead parts  
24 3 through 6 of Title 24 as listed below apply.
- 25 • Part 3: The 2013 California Electrical Code (CEC) is based on the 2011 NEC with  
26 State of California amendments.
- 27 • Part 4: The 2013 California Mechanical Code (CMC) is based on the 2012 UMC  
28 with State of California amendments.
- 29 • Part 5: The 2013 California Plumbing Code (CPC) is based on the 2012 UPC with  
State of California amendments.

- Part 6: The 2013 California Energy Code is currently based on the 2013 Building Energy Efficiency Standards, and please visit the California Energy Commission website at <http://www.energy.ca.gov/title24/2013standards/> where additional information can be found and Compliance manuals can be downloaded for free. Effective Date July 1, 2014.
- Part 9: The 2013 California Fire Code (CFC) is based on the 2012 IFC with State of California amendments.
- Part 11: The 2013 California Green Building Standards Code (CALGreen Code) This Part is known as the California Green Building Standards Code, and it is intended that it shall also be known as the CALGreen Code.
- Amendments to the City of Oceanside Administrative Code for Building Regulations Ordinance No. 13-ORO752-1 Effective Date 01/01/2014 a copy of which can be downloaded from the Building Division website at <http://www.ci.oceanside.ca.us/gov/dev/bldg/codes.asp>.

2. The building plans for this project shall be prepared by a licensed architect or engineer and shall be in compliance with this requirement prior to submittal for building plan review.
3. Compliance with the Federal Clean Water Act (BMP's) shall be demonstrated on the plans. Separate/unique addresses may be required to facilitate utility releases. Verification that the addresses have been properly assigned by the City's Planning Division shall accompany the Building Permit application.
4. A complete Soils Report, Structural Calculations, & Energy Calculations / documentation shall be required at time of plans submittal to the Building Division for plan check.
5. All exterior wall construction shall comply with California Residential Code Section 302 Fire-Resistant Construction Table R302.1.
  - a) Less than 3'-0" to a property line, shall be of one hour fire resistance construction. No openings allowed.
6. The project shall comply with Building Division Procedure I-10 Survey requirement-Coastal Zone. A California Licensed Surveyor shall perform verification of

1 construction in progress at the following points of construction: foundation, each  
2 floor, roof and final (prior to final building inspection approval).

3 7. The developer shall monitor, supervise and control all building construction and  
4 supportive activities so as to prevent these activities from causing a public nuisance,  
5 including, but not limited to, strict adherence to the following:

6 a) Building construction work hours shall be limited to between 7:00 a.m. and 6:00  
7 p.m. Monday through Friday, and on Saturday from 7:00 a.m. to 6:00 p.m. for  
8 work that is not inherently noise-producing. Examples of work not permitted on  
9 Saturday are concrete and grout pours, roof nailing and activities of similar  
10 noise-producing nature. No work shall be permitted on Sundays and Federal  
11 Holidays (New Year's Day, Memorial Day, July 4th, Labor Day, Thanksgiving  
12 Day, Christmas Day) except as allowed for emergency work under the  
13 provisions of the Oceanside City Code Chapter 38 (Noise Ordinance).

14 b) The construction site shall be kept reasonably free of construction debris as  
15 specified in Section 13.17 of the Oceanside City Code. Storage of debris in  
16 approved solid waste containers shall be considered compliance with this  
17 requirement. Small amounts of construction debris may be stored on-site in a  
18 neat, safe manner for short periods of time pending disposal.

18 **Planning:**

19 8. Regular Coastal Permit (RC12-00020) shall expire on June 8, 2017, unless implemented  
20 per the Zoning Ordinance or unless the Planning Commission grants a time extension.

21 9. This Regular Coastal Permit, as conditioned, approves a series of building and site  
22 improvements for a two-story over basement single-family dwelling, as presented to the  
23 Planning Commission for review and approval. No deviation from these approved plans  
24 and exhibits shall occur without Planning Division approval. Substantial deviations shall  
25 require a revision to the Regular Coastal Permit.

26 10. Habitable building envelope and balconies shall be limited to the coastal stringline setback,  
27 as indicated on the "Stringline Plan" dated January 29, 2015, prepared by Tait Consulting  
28 Inc.  
29

- 1 11. The project shall comply with the 1986 Zoning Ordinance, Section 1720, Permitted  
2 intrusions, into required yards. Any encroachments into the minimum 3'-0" side yard shall  
3 maintain a minimum 30-inch clearance from side yard lot lines.
- 4 12. A Declaration of Covenants, Conditions and Restrictions (DCC&Rs) shall be submitted for  
5 review and approval to the City Attorney prior to issuance of building permits.
- 6 13. All mechanical rooftop and ground equipment shall be screened from public view as  
7 required by the Zoning Ordinance that is, on all four sides and top. The roof jacks,  
8 mechanical equipment, screen and vents shall be painted with non-reflective paint to match  
9 the roof. This information shall be shown on the building plans.
- 10 14. Prior to the issuance of building permits, compliance with the applicable provisions of the  
11 City's anti-graffiti ordinance (Ordinance No. 93-19/Section 20.25 of the City Code) shall be  
12 reviewed and approved by the Planning Division. These requirements, including the  
13 obligation to remove or cover with matching paint all graffiti within 24 hours, shall be  
14 noted on the Architectural Site Plan and shall be recorded in the form of a covenant  
affecting the subject property.
- 15 15. Prior to the transfer of ownership and/or operation of the site the owner shall provide a  
16 written copy of the applications, staff report and resolutions for the project to the new  
17 owner and or operator. This notification's provision shall run with the life of the project  
18 and shall be recorded as a covenant on the property.
- 19 16. Failure to meet any conditions of approval for this development shall constitute a violation  
20 of the Regular Coastal Permit.
- 21 17. Unless expressly waived, all current zoning standards and City ordinances and policies  
22 in effect at the time building permits are issued are required to be met by this project.  
23 The approval of this project constitutes the applicant's agreement with all statements in  
24 the Description and Justification and other materials and information submitted with this  
application, unless specifically waived by an adopted condition of approval.
- 25 18. Elevations, siding materials, colors, roofing materials and floor plans shall be  
26 substantially the same as those approved by the Planning Commission. These shall be  
27 shown on plans submitted to the Building Division and Planning Division.  
28  
29

- 1 19. Prior to issuance of a building permit, the applicant and landowner shall execute and  
2 record a covenant, in a form and content acceptable to the City Attorney, providing that  
3 the property is subject to this resolution and all conditions of approval.
- 4 20. Photo documentation of existing building resources on-site shall be completed in  
5 compliance with OHPAC Policy 1, prior to issuance of demolition permits for the  
6 existing structure on the subject property.
- 7 21. Any/all design, permitting, use, construction, maintenance, work, and repair of the  
8 project's shoreline protection structure(s) shall conform to Chapter 19A of the  
9 Oceanside City Code.
- 10 22. All existing and/or proposed shoreline protection structure(s) for this project shall be  
11 monumented sufficiently to accurately record horizontal location and elevation of said  
12 structure(s). Monument locations and survey control points/network shall be approved  
13 by the City Engineer prior to placement of monuments. Monument data shall be  
14 recorded on a final/parcel map, record of survey, or other acceptable document (as  
15 approved by the City Engineer). The shoreline protection structure monuments will  
16 serve as baseline control points to be used as reference for future repair or maintenance  
17 activities which require a coastal development permit. Future seaward extension of  
18 approved shoreline protection structures shall not be permitted.
- 19 23. The applicant, permittee or any successor-in-interest shall defend, indemnify and hold  
20 harmless the City of Oceanside, its agents, officers or employees from any claim, action  
21 or proceeding against the City, its agents, officers, or employees to attack, set aside, void  
22 or annul an approval of the City, concerning Regular Coastal Permit (RC12-00020).  
23 The City will promptly notify the applicant of any such claim, action or proceeding  
24 against the City and will cooperate fully in the defense. If the City fails to promptly  
25 notify the applicant of any such claim action or proceeding or fails to cooperate fully in  
26 the defense, the applicant shall not, thereafter, be responsible to defend, indemnify or  
27 hold harmless the City.
- 28 24. By acceptance of this permit the applicant acknowledges and agrees (i) that the site may  
29 be subject to hazards from wave overtopping and flooding; (ii) to assume the risks to the  
applicant and the property that is the subject of this permit of injury and damage from  
such hazards in connection with this permitted development; (iii) to unconditionally

1 waive any claim of damage or liability against the City, its officers, agents, and  
2 employees for injury or damage from such hazards; and (iv) to indemnify and hold  
3 harmless the City, its officers, agents, and employees with respect to the City's approval  
4 of the project against any and all liability, claims, demands, costs (including costs and  
5 fees incurred in defense of such claims) expenses, and amounts paid in settlement  
6 arising from any injury or damage due to such hazards.

7 25. Fences and gates in the side yard setback areas shall be designed to maintain views to  
8 the ocean and shall have at least 50 percent of its surface area open to light.

9 26. Ocean front deck railing systems, fences, screen walls and gates subject to this permit  
10 shall use materials designed to minimize bird-strikes with the deck railing, fence or gate.  
11 Such materials may consist, all or in part, of wood; wrought iron; frosted or partially  
12 frosted glass; Plexiglass or other visually permeable barriers that are designed to prevent  
13 creation of a bird-strike hazard. Clear glass or Plexiglass shall not be installed unless  
14 appliques (e.g. stickers/decals) designed to reduce bird-strikes by reducing reflectivity  
15 and transparency are also used. Any appliques used shall be installed to provide  
16 coverage consistent with manufacturer specifications (e.g. one applique for every 3 foot  
17 by 3 foot area). All materials and appliques shall be maintained throughout the life of the  
18 development to ensure continued effectiveness at addressing bird-strikes and shall be  
19 maintained at a minimum in accordance with manufacturer specifications.

20 27. All proposed deck and stair railing systems seaward of the stringline which are not  
21 required to be installed for safety reasons by Building Code shall be removed.

22 28. All proposed landscaping (except trees) in the side and front yard areas shall be  
23 maintained at a height of three feet or lower (including raised planters) for the life of the  
24 proposed development.

25 29. Outdoor patios, decks, and other similar fixed accessory improvements shall not exist in  
26 a hazardous condition. Repair, replacement or removal construction activities require  
27 that all relevant permits be obtained from the City and all other applicable agencies.

28 30. Prior to issuance of building permits, the property owner shall execute and record  
29 against the project property a Declaration of Restrictive Covenants designed to preserve  
lateral public access and passive recreational use along the shoreline adjacent to the  
property. The document shall provide that the property shall be held, transferred,

1 conveyed, leased or otherwise disposed of, occupied, and used subject to lawful public  
2 access to and passive recreational use of the entire width of the property line. The  
3 Declaration of Restrictive Covenants shall be recorded free of prior liens and free of any  
4 other encumbrances which may affect said interest, and shall run with the land and be  
5 binding on Declarant's heirs, successors in interest, administrators, assigns, lessees, and  
6 other occupiers and users of the property or any portion of it. The location and  
7 geometrics of the restrictive covenant shall be in accordance with the City's Local  
8 Coastal Program (LCP).

- 9 31. This project is subject to payment of an in-lieu fee toward the Beach Sand Mitigation  
10 Program.

11 **Fire:**

- 12 32. Dwellings must be fire sprinklered per NFPA 13D. Water meter supplying domestic and  
13 fire sprinkler needs must be a minimum ¾ inch.

14 **Water:**

15 **General conditions:**

- 16 33. The developer will be responsible for developing all water and sewer utilities necessary to  
17 develop the property. Any relocation of water and/or sewer utilities shall be the  
18 responsibility of the developer and shall be done by an approved licensed contractor at the  
19 developer's expense.
- 20 34. The property owner shall maintain private water and wastewater utilities located on private  
21 property.
- 22 35. Water services and sewer laterals constructed in existing right-of-way locations shall be  
23 constructed by an approved and licensed contractors at developer's expense.
- 24 36. All Water and Wastewater construction shall conform to the most recent edition of the  
25 Water, Sewer, and Reclaimed Water Design and Construction Manual or as approved by  
26 the Water Utilities Director.
- 27 37. Per the latest approved California Fire Code, all new residential units shall be equipped  
28 with fire sprinkler system.
- 29 38. Each new single-family residential dwelling unit shall be water metered separately and  
shall have a separate sewer lateral.

1 The following conditions shall be met prior to the approval of engineering design plans.

- 2 39. All public water and/or sewer facilities not located within the public right-of-way shall be  
3 provided with easements sized according to the Water, Sewer, and Reclaimed Water  
4 Design and Construction Manual. Easements shall be constructed for all weather access.
- 5 40. No trees, structures or building overhang shall be located within any water or wastewater  
6 utility easement.
- 7 41. Show size and location of existing and proposed water services and sewer laterals on  
8 engineering plans.
- 9 42. Water services shall not be located in driveway.
- 10 43. Proposed water service lines shall have water meter sizes that are the same size as the  
11 service line or one City of Oceanside water meter size down.
- 12 44. Existing water service shall be abandoned in accordance with the City of Oceanside's  
13 Water, Sewer, and Reclaimed Water Design and Construction Manual.
- 14 45. Existing sewer lateral that would need to be abandoned per developer's design shall be  
15 disconnected and capped at sewer main in South Pacific Street and ends of sewer lateral  
16 plugged.
- 17 46. Since the building has been defined as two stories instead of three stories, a separate  
18 dedicated fire service connection with a double check detector assembly is not required.
- 19 47. Provide stationing and offsets for existing and proposed water service connections and  
20 sewer laterals on plans.
- 21 48. All lots with a finish pad elevation located below the elevation of the next upstream  
22 manhole cover of the public sewer shall be protected from backflow of sewage by installing  
23 and maintaining an approved type backwater valve, per the latest approved California  
24 Plumbing Code.
- 25 49. Sewer lateral connections shall be at right angle to public sewer main per Section 3.4 G. of  
26 Water, Sewer, and Reclaimed Water Design and Construction Manual. Show size and  
27 station location of existing and proposed sewer laterals on plans.
- 28 50. Provide dual check valve per City of Oceanside Standard Drawing W-30 after water meter.  
29 Check valve shall be owned and maintained by property owner.

1 51. Subterranean parking structures shall be designed with a drainage system that conveys  
2 runoff to the City's Storm Drain System and shall comply with the California Regional  
3 Water Quality Control Board order No. 2007-0001.

4 The following conditions of approval shall be met prior to building permit issuance.

5 52. The existing single-family home is supplied by an existing 5/8-inch water meter off of the  
6 8-inch AC water main in South Pacific Street. Show the location and meter size of existing  
7 and proposed meter on building plans to determine the exchange and incremental increase  
8 in buy-in fees for the new meter.

9 53. The residential unit shall provide irrigation demand through the domestic water meter.

10 54. The first floor plan for each residential unit is shown as having a sleeping area, eating area,  
11 living area, and wet bar. Should the wet bar area be converted to a kitchen and used as a  
12 separate dwelling, then it is no longer a single-family residence and will be billed as multi-  
13 family or be separately metered.

14 55. Provide table of proposed fixture count and flow calculations per latest California  
15 Plumbing Code to size water meter size for new residential building on Building Plans and  
16 verify water service line sizes proposed in engineering plans.

17 56. Existing and proposed water service line size, meter size, and connection to public water  
18 main shall be shown on building plans.

19 57. Water service line shall have water meter size that is the same size as the service line or one  
20 City of Oceanside water meter size down.

21 58. Water and Wastewater Buy-in fees and the San Diego County Water Authority Fees are to  
22 be paid to the City and collected by the Water Utilities Department at the time of Building  
23 Permit issuance.

24 59. All Water Utilities Fees are due at the time of building permit issuance per City Code  
25 Section 32B.7.

26 The following conditions of approval shall be met prior to occupancy.

27 60. All new development of single-family and multi-family residential units shall include hot  
28 water pipe insulation and installation of a hot water recirculation device or design to  
29 provide hot water to the tap within 15 seconds in accordance with City of Oceanside  
Ordinance No. 02-OR126-1.

1 **Engineering:**

- 2 61. For the demolition of any existing structure or surface improvements; grading plans shall  
3 be submitted and erosion control plans be approved by the City Engineer prior to the  
4 issuance of a demolition permit. No demolition shall be permitted without an approved  
5 erosion control plan.
- 6 62. Design and construction of all improvements shall be in accordance with the City of  
7 Oceanside Engineers Design and Processing Manual, City Ordinances, and standard  
8 engineering and specifications of the City of Oceanside and subject to approval by the City  
9 Engineer.
- 10 63. All right-of-way alignments, street dedications, exact geometrics and width shall be  
11 dedicated and constructed or replaced as required by the City Engineer.
- 12 64. Pursuant to the State Map Act, improvements shall be required at the time of development.  
13 A covenant, reviewed and approved by the City Attorney, shall be recorded attesting to  
14 these improvement conditions and a certificate setting forth the approval shall be placed on  
the grading and improvement plan.
- 15 65. Prior to approval of the grading plan or any increment, all improvement requirements,  
16 within such increment or outside of it if required by the City Engineer, shall be covered by  
17 a Development Improvement Agreement, and secured with sufficient improvement  
18 securities or bonds guaranteeing performance and payment for labor and materials, setting  
19 of monuments, and warranty against defective materials and workmanship.
- 20 66. The owner/developer shall provide public street dedication on South Pacific Street (if  
21 required) to serve the property.
- 22 67. A traffic control plan shall be prepared according to the City traffic control guidelines and  
23 approved to the satisfaction of the City Engineer prior to the start of work within the public  
24 right-of-way. Traffic control during construction of streets that have been opened to public  
25 traffic shall be in accordance with construction signing, marking and other protection as  
26 required by the Caltrans Traffic Manual and City Traffic Control Guidelines. Traffic  
control plans shall be in effect from 8:00 a.m. to 3:30 p.m. unless approved otherwise.
- 27 68. South Pacific Street shall be constructed with curbs and gutters and sidewalk with a  
28 minimum of 5 feet parkway between the face of curb and the right of way line. Sidewalk  
29 improvements shall comply with ADA requirements.

- 1 69. Sight distance requirements at the intersection of two proposed project driveways along  
2 South Pacific Street for each direction of traffic shall conform to the corner sight distance  
3 criteria as provided by SDRSD DS-20A and or DS-20B.
- 4 70. The private driveway alignments and geometric layouts shall meet the City of Oceanside  
5 Engineers Design and Processing Manual.
- 6 71. Pavement sections for South Pacific Street and the proposed driveway and parking area  
7 shall be based upon approved soil tests and traffic indices. The pavement design is to be  
8 prepared by the owner/developer's soil engineer and must be in compliance with the City  
9 of Oceanside Engineers Design and Processing Manual and be approved by the City  
10 Engineer, prior to paving.
- 11 72. Any existing public or private pavement, concrete curb, gutter, driveways, pedestrian  
12 ramps and sidewalk within the project that are already damaged or damaged during  
13 construction of the project, shall be repaired or replaced as directed by the City Engineer.
- 14 73. A precise grading and private improvement plan shall be prepared, reviewed, secured and  
15 approved prior to the issuance of any building permits. The plan shall reflect all pavement,  
16 flatwork, landscaped areas, special surfaces, curbs, gutters, medians, striping, and signage,  
17 footprints of all structures, walls, drainage devices and utility services. Parking lot striping  
18 and any on-site traffic calming devices shall be shown on all precise grading and private  
19 improvement plans.
- 20 74. This project shall provide year-round erosion control including measures for the site  
21 required for the phasing of grading. Prior to the issuance of grading permit, an erosion  
22 control plan, designed for all proposed stages of construction, shall be reviewed, secured by  
23 the owner/developer with cash securities or a letter of credit and approved by the City  
24 Engineer.
- 25 75. Prior to the issuance of a grading permit, the owner/developer shall notify and host a  
26 neighborhood meeting with all of the area residents located within 300 feet of the project  
27 site, to inform them of the grading and construction schedule, and to answer questions.
- 28 76. The owner/developer shall monitor, supervise and control all construction and  
29 construction-supportive activities, so as to prevent these activities from causing a public  
nuisance, including but not limited to, insuring strict adherence to the following:

- 1 77. Dirt, debris and other construction material shall not be deposited on any public street or  
2 within the City's storm water conveyance system.
- 3 78. All grading and related site preparation and construction activities shall be limited to the  
4 hours of 7:00 a.m. to 6:00 p.m., Monday through Friday. No engineering related  
5 construction activities shall be conducted on Saturdays, Sundays or legal holidays unless  
6 written permission is granted by the City Engineer with specific limitations to the working  
7 hours and types of permitted operations. All on-site construction staging areas shall be as  
8 far as possible from any existing residential development. Because construction noise may  
9 still be intrusive in the evening or on holidays, the City of Oceanside Noise Ordinance also  
10 prohibits "any disturbing excessive or offensive noise which causes discomfort or  
11 annoyance to reasonable persons of normal sensitivity."
- 12 79. The construction site shall accommodate the parking of all motor vehicles used by persons  
13 working at or providing deliveries to the site. An alternate parking site can be considered  
14 by the City Engineer in the event that the lot size is too small and cannot accommodate  
15 parking of all motor vehicles.
- 16 80. The owner/developer shall complete a haul route permit application (if required for  
17 import/export of dirt) and submit to the City of Oceanside Engineering Division 48 hours in  
18 advance of beginning of work. Hauling operations (if required) shall be 8:00 a.m. to 3:30  
19 p.m. unless approved otherwise.
- 20 81. It is the responsibility of the owner/developer to evaluate and determine that all soil  
21 imported as part of this development is free of hazardous and/or contaminated material as  
22 defined by the City and the County of San Diego Department of Environmental Health.  
23 Exported or imported soils shall be properly screened, tested, and documented regarding  
24 hazardous contamination.
- 25 82. The approval of the development plan shall not mean that proposed grading or  
26 improvements on adjacent properties (including any City properties/right-of-way or  
27 easements) is granted or guaranteed to the owner/developer. The owner/developer is  
28 responsible for obtaining permission to grade to construct on adjacent properties. Should  
29 such permission be denied, the development plan shall be subject to going back to the  
public hearing or subject to a substantial conformity review.

- 1 83. Prior to any grading of this project, a comprehensive soils and geologic investigation shall  
2 be conducted of the soils, slopes, and formations in the project. All necessary measures  
3 shall be taken and implemented to assure slope stability, erosion control, and soil integrity.  
4 No grading shall occur until a detailed grading plan, to be prepared in accordance with the  
5 Grading Ordinance and Zoning Ordinance is approved by the City Engineer.
- 6 84. The owner/developer shall place a covenant on the non-title sheet of the grading plan  
7 agreeing to the following: "The present or future owner/developer shall indemnify and  
8 save the City of Oceanside, its officers, agents, and employees harmless from any and all  
9 liabilities, claims arising from any landslide on this site".
- 10 85. Where proposed off-site improvements, including but not limited to slopes, public utility  
11 facilities, and drainage facilities, are to be constructed, the owner/developer shall, at his  
12 own expense, obtain all necessary easements or other interests in real property and shall  
13 dedicate the same to the City of Oceanside as required. The owner/developer shall provide  
14 documentary proof satisfactory to the City of Oceanside that such easements or other  
15 interest in real property have been obtained prior to the approval of the issuance of any  
16 grading, building or improvement permit for this development plan. Additionally, the City  
17 of Oceanside, may at its sole discretion, require that the owner/developer obtain at his sole  
18 expense a title policy insuring the necessary title for the easement or other interest in real  
19 property to have vested with the City of Oceanside or the owner/developer, as applicable.
- 20 86. Landscaping plans, including plans for the construction of walls, fences or other structures  
21 at or near intersections, shall conform to intersection sight distance requirements.  
22 Landscape and irrigation plans for disturbed areas shall be submitted to the City Engineer  
23 prior to the issuance of a preliminary grading permit and approved by the City Engineer  
24 prior to the issuance of building permits. Frontage and landscaping shall be installed and  
25 established prior to the issuance of any certificates of occupancy. Securities shall be  
26 required only for landscape items in the public right-of-way. Any project fences, sound or  
27 privacy walls and monument entry walls/signs shall be shown on, bonded for and built  
28 from the landscape plans. These features shall also be shown on the precise grading plans  
29 for purposes of location only. Plantable, segmental walls shall be designed, reviewed and  
constructed by the grading plans and landscaped/irrigated through project landscape plans.

1 All plans must be approved by the City Engineer and a pre-construction meeting held, prior  
2 to the start of any improvements.

3 87. Unless an appropriate barrier is approved on a landscape plan, a minimum 42-inch high  
4 barrier, approved by the City Engineer, shall be provided at the top of all slopes whose  
5 height exceeds 20 feet or where the slope exceeds 4 feet and is adjacent to any streets, an  
6 arterial street or state highway.

7 88. Shoring is required for the construction of the proposed development. The shoring design  
8 plans and structural calculations shall be submitted concurrently with the precise grading  
9 plan.

10 89. The drainage design shown on the conceptual grading/site plan and the drainage report for  
11 this development plan are conceptual only. The final drainage report and drainage design  
12 shall be based upon a hydrologic/hydraulic study that is in compliance with the latest San  
13 Diego County Hydrology and Drainage Manual to be approved by the City Engineer  
14 during final engineering. All drainage picked up in an underground system shall remain  
15 underground until it is discharged into an approved channel, or as otherwise approved by  
16 the City Engineer. All public storm drains shall be shown on City standard plan and profile  
17 sheets. All storm drain easements shall be dedicated where required. The owner/developer  
18 shall be responsible for obtaining any off-site easements for storm drainage facilities.

19 90. Drainage facilities shall be designed and installed to adequately accommodate the local  
20 storm water runoff and shall be in accordance with the San Diego County Hydrology and  
21 Design Manual and in compliance with the City of Oceanside Engineers Design and  
22 Processing Manual to the satisfaction of the City Engineer.

23 91. The owner/developer shall place a covenant on the non-title sheet of the grading plan  
24 agreeing to the following: "The present or future owner/developer shall indemnify and save  
25 the City of Oceanside, its officers, agents, and employees harmless from any and all  
26 liabilities, claims arising from any flooding that occurs on this site, and any flooding that is  
27 caused by this site impacting adjacent properties".

28 92. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and disposed  
29 of in accordance with all state and federal requirements, prior to stormwater discharge  
either off-site or into the City drainage system.

1 93. The owner/developer shall comply with the provisions of National Pollution Discharge  
2 Elimination System (NPDES) General Permit for Storm Water Discharges Associated with  
3 Construction Activity (General Permit) Water Quality Order 2009-0009-DWQ. The  
4 General Permit continues in force and effect until a new General Permit is issued or the  
5 SWRCB rescinds this General Permit. Only those owner/developers authorized to  
6 discharge under the expiring General Permit are covered by the continued General Permit.  
7 Construction activity subject to the General Permit includes clearing, grading, and  
8 disturbances to the ground such as stockpiling, or excavation that results in land  
9 disturbances of equal to or greater than one acre. The owner/developer shall obtain  
10 coverage under the General Permit by submitting a Notice of Intent (NOI) and obtaining a  
11 Waste Discharge Identification Number (WDID#) from the State Water Resources Control  
12 Board (SWRCB). In addition, coverage under the General Permit shall not occur until an  
13 adequate SWPPP is developed for the project as outlined in Section A of the General  
14 Permit. The site specific SWPPP shall be maintained on the project site at all times. The  
15 SWPPP shall be provided, upon request, to the United States Environmental Protection  
16 Agency (USEPA), SWRCB, Regional Water Quality Control Board (RWQCB), City of  
17 Oceanside, and other applicable governing regulatory agencies. The SWPPP is considered  
18 a report that shall be available to the public by the RWQCB under section 308(b) of the  
19 Clean Water Act. The provisions of the General Permit and the site specific SWPPP shall  
20 be continuously implemented and enforced until the owner/developer obtains a Notice of  
21 Termination (NOT) for the SWRCB. The owner/developer is required to retain records of  
22 all monitoring information, copies of all reports required by this General Permit, and  
23 records of all data used to complete the NOT for all construction activities to be covered by  
24 the General Permit for a period of at least three years from the date generated. This period  
25 may be extended by request of the SWRCB and/or RWQCB.

26 94. Following the City Engineer's determination that Storm Water Mitigation Plan (SWMP) is  
27 deemed complete and prior to issuance of grading permits, the owner/developer shall  
28 submit and obtain approval of an Operation & Maintenance (O&M) Plan, prepared to the  
29 satisfaction of the City Engineer. The O&M Plan shall include an approved and executed  
Maintenance Mechanism pursuant to Section 5 of the Standard Urban Storm Water  
Mitigation Plan (SUSMP). The O&M shall satisfy the minimum Maintenance

1 Requirements pursuant to Section 5 of the SUSMP. At a minimum the O&M Plan shall  
2 include the designated responsible party to manage the stormwater BMP(s), employee  
3 training program and duties, operating schedule, maintenance frequency, routine service  
4 schedule, specific maintenance activities, copies of resource agency permits, cost estimate  
5 for implementation of the O&M Plan, a non-refundable cash security to provide  
6 maintenance funding in the event of noncompliance to the O&M Plan, and any other  
7 necessary elements. The owner/developer shall provide the City with access to site for the  
8 purpose of BMP inspection and maintenance by entering into an Access Rights Agreement  
9 with the City. The owner/developer shall complete and maintain O&M forms to document  
10 all operation, inspection, and maintenance activities. The owner/developer shall retain  
11 records for a minimum of 5 years. The records shall be made available to the City upon  
12 request.

13 95. The owner/developer shall enter into a City-Standard Stormwater Facilities Maintenance  
14 Agreement (SWFMA) with the City obliging the owner/developer to maintain, repair and  
15 replace the Storm Water Best Management Practices (BMPs) identified in the project's  
16 deemed complete SWMP, as detailed in the O&M Plan into perpetuity. The Agreement  
17 shall be approved by the City Attorney prior to issuance of any precise grading permit and  
18 shall be recorded at the County Recorder's Office prior to issuance of any building permit.  
19 A non-refundable Security in the form of cash shall be required prior to issuance of a  
20 precise grading permit. The amount of the non-refundable security shall be equal to 10  
21 years of maintenance costs, as identified by the O&M Plan, but not to exceed a total of  
22 \$25,000. The owner/developer's civil engineer shall prepare the O&M cost estimate.

23 96. At a minimum, maintenance agreements shall require the staff training, inspection and  
24 maintenance of all BMPs on an annual basis. The owner/developer shall complete and  
25 maintain O&M forms to document all maintenance activities. Parties responsible for the  
26 O&M plan shall retain records at the subject property for at least 5 years. These documents  
27 shall be made available to the City for inspection upon request at any time.

28 97. The Agreement shall include a copy of executed onsite and offsite access easement and or  
29 access rights necessary for the operation and maintenance of BMPs that shall be binding on  
the land throughout the life of the project to the benefit of the party responsible for the

1 O&M of BMPs, satisfactory to the City Engineer. The agreement shall also include a copy  
2 of the deemed complete O&M Plan.

3 98. The BMPs described in the project's deemed complete SWMP shall not be altered in any  
4 way, unless reviewed and approved to the satisfaction of the City Engineer. The  
5 determination of whatever action is required for changes to a project's deemed complete  
6 SWMP shall be made by the City Engineer.

7 99. The owner/developer shall provide a copy of the title/cover page of a deemed complete  
8 SWMP with the first engineering submittal package. If the project triggers the City's  
9 Stormwater requirements but no deemed complete Stormwater document (SWMP) exists,  
10 the appropriate document shall be submitted to the City Engineer for review. The SWMP  
11 shall be prepared by the owner/developer's Civil Engineer. All Stormwater documents  
12 shall be in compliance with the latest edition of submission requirements.

13 100. Prior to any occupancy permit, the developer/owner shall construct each and all of the  
14 structural BMPs and operating in compliance with all of its specifications, plan, permits,  
15 Ordinances, and the requirement of the State Regional Water Quality Control Board  
(RWQCB), Order No. R9-2013-0001

16 101. The owner/developer shall obtain any necessary permits and clearances from all public  
17 agencies having jurisdiction over the project due to its type, size, or location, including but  
18 not limited to the U. S. Army Corps of Engineers, California Department of Fish &  
19 Wildlife, U. S. Fish and Wildlife Service and/or San Diego Regional Water Quality Control  
20 Board (including NPDES), San Diego County Health Department, prior to the issuance of  
21 grading permits.

22 102. The owner/developer shall comply with all the provisions of the City's cable television  
23 ordinances including those relating to notification as required by the City Engineer.

24 103. Approval of this development project is conditioned upon payment of all applicable impact  
25 fees and connection fees in the manner provided in chapter 32B of the Oceanside City  
26 Code. All traffic signal fees and contributions, highway thoroughfare fees, park fees,  
27 reimbursements, and other applicable charges, fees and deposits shall be paid prior to the  
28 issuance of any building permits, in accordance with City Ordinances and policies. The  
29 owner/developer shall also be required to join into, contribute, or participate in any  
improvement, lighting, or other special district affecting or affected by this project.

1 Approval of the development plan/project shall constitute the owner/developer's approval  
2 of such payments, and his agreement to pay for any other similar assessments or charges in  
3 effect when any increment is submitted for building permit approval, and to join,  
4 contribute, and/or participate in such districts.

5 104. Upon acceptance of any fee waiver or reduction by the owner/developer, the entire project  
6 shall be subject to prevailing wage requirements as specified by Labor Code section  
7 1720(b) (4). The owner/developer shall agree to execute a form acknowledging the  
8 prevailing wage requirements prior to the granting of any fee reductions or waivers.

9 105. In the event that the conceptual plan does not match the conditions of approval, the  
10 resolution of approval shall govern.

11 **Landscaping:**

12 106. Landscape plans, shall meet the criteria of the City of Oceanside Landscape Guidelines  
13 and Specifications for Landscape Development (latest revision), Water Conservation  
14 Ordinance No.(s) 91-15 and 10-Ordinance 0412, Engineering criteria, City Code and  
15 ordinances, including the maintenance of such landscaping, shall be reviewed and  
16 approved by the City Engineer prior to the issuance of building permits. Landscaping  
17 shall not be installed until bonds have been posted, fees paid, and plans signed for final  
18 approval. In addition, a refundable cash deposit for the preparation of the final As-built/  
19 Maintenance Guarantee shall be secured with the City prior to the final approval of the  
20 landscape construction plan. A landscape pre-construction meeting shall be conducted  
21 by the landscape architect of record, Public Works Inspector, developer or owner's  
22 representative and landscape contractor prior to commencement of the landscape and  
23 irrigation installation. The following landscaping items shall be required prior to plan  
24 approval and certificate of occupancy:

- 25 a) Final landscape plans shall accurately show placement of all plant material such  
26 as but not limited to trees, shrubs, and groundcovers.
- 27 b) Landscape Architect shall be aware of all utility, sewer, gas and storm drain lines  
28 and utility easements and shall place planting locations accordingly to meet City  
29 of Oceanside requirements.

- 1 c) All required landscape areas shall be maintained by owner (including public  
2 rights-of-way -parkways- parallel with South Pacific Street). The landscape  
3 areas shall be maintained per City of Oceanside requirements.
- 4 d) The As-built/Maintenance Guarantee (refundable cash deposit) shall not be  
5 released until the as-built drawings have been approved on the original approved  
6 mylar landscape plan and the required maintenance period has been successfully  
7 terminated.
- 8 e) Proposed landscape species shall fit the site and meet climate changes indicative  
9 to their planting location. The selection of plant material shall also be based on  
10 cultural, aesthetic, and maintenance considerations. In addition proposed  
11 landscape species shall be low water users as well as meet all Fire Department  
12 requirements.
- 13 f) All planting areas shall be prepared and implemented to the appropriate depth  
14 with appropriate soil amendments, fertilizers, and appropriate supplements based  
15 upon a soils report from an agricultural suitability soil sample taken from the  
16 site.
- 17 g) Ground covers or bark mulch shall fill in between the shrubs to shield the soil  
18 from the sun, evapotranspiration and run-off. All the flower and shrub beds shall  
19 be mulched to a 3” depth to help conserve water, lower the soil temperature and  
20 reduce weed growth.
- 21 h) The shrubs shall be allowed to grow in their natural forms. All landscape  
22 improvements shall follow the City of Oceanside Guidelines.
- 23 i) Root barriers shall be installed adjacent to all paving surfaces, where a paving  
24 surface is located within six feet of a tree trunk on-site (private) and within 10  
25 feet of a tree trunk in the right-of-way (public). Root barriers shall extend five  
26 feet in each direction from the centerline of the trunk, for a total distance of 10  
27 feet. Root barriers shall be 24 inches in depth. Installing a root barrier around  
28 the tree’s root ball is unacceptable.
- 29 j) All fences, gates, walls, stone walls, retaining walls, and plantable walls shall  
obtain Planning Division approval for these items in the conditions or application  
stage prior to 1st submittal of working drawings.

- 1 k) For the planting and placement of trees and their distances from hardscape and  
2 other utilities/structures the landscape plans shall follow the City of Oceanside's  
3 (current) Tree Planting Distances and Spacing Standards.
- 4 l) An automatic irrigation system shall be installed to provide coverage for all  
5 planting areas shown on the plan. Low volume equipment shall provide  
6 sufficient water for plant growth with a minimum water loss due to water run-  
7 off.
- 8 m) Irrigation systems shall use high quality, automatic control valves, controllers  
9 and other necessary irrigation equipment. All components shall be of non-  
10 corrosive material. All drip systems shall be adequately filtered and regulated  
11 per the manufacturer's recommended design parameters.
- 12 n) All pot containers located on the balcony shall be self-watering contained pots.
- 13 o) All irrigation improvements shall follow the City of Oceanside Guidelines and  
14 Water Conservation Ordinance.
- 15 p) The landscape plans shall match all plans affiliated with the project.
- 16 q) Landscape construction drawings are required to implement approved Fire  
17 department regulations, codes, and standards at the time of plan approval.
- 18 r) Landscape plans shall comply with Biological and/or Geotechnical reports, as  
19 required, shall match the grading and improvement plans, comply with SWMP  
20 Best Management Practices and meet the satisfaction of the City Engineer.
- 21 s) Existing landscaping on and adjacent to the site shall be protected in place and  
22 supplemented or replaced to the satisfaction of the City Engineer.
- 23 107. All landscaping, fences, walls, etc. on the site, within the public right-of-way and within  
24 any adjoining public parkways parallel to South Pacific Street shall be permanently  
25 maintained by the owner, his assigns or any successors-in-interest in the property. The  
26 maintenance program shall include:
- 27 a) Normal care and irrigation of the landscaping.
- 28 b) Repair and replacement of plant materials (including interior trees and street  
29 trees).
- c) Irrigation systems as necessary.
- d) General cleanup of the landscaped and open areas.

- 1 e) Parking lots and walkways, walls, fences, etc.  
2 f) Pruning standards for street trees shall comply with the International Society of  
3 Arboriculture (ISA) Standard Practices for Tree Care Operations – ANSI A300,  
4 Appendix G: Safety Standards, ANSI Z133; Appendix H; and Tree Pruning  
5 Guidelines, Appendix F (most current edition). Failure to maintain landscaping  
6 shall result in the City taking all appropriate enforcement actions including but  
7 not limited to citations. This maintenance program condition shall be recorded  
8 with a covenant as required by this resolution.

9 108. In the event that the conceptual landscape plan (CLP) does not match the conditions of  
10 approval, the resolution of approval shall govern.

11 PASSED AND ADOPTED Resolution No. 2015-P14 on June 8, 2015 by the following

12 vote, to wit:

13 AYES:

14 NAYS:

15 ABSENT:

16 ABSTAIN:

17 \_\_\_\_\_  
18 Louise Balma, Chairperson  
19 Oceanside Planning Commission

20 ATTEST:

21 \_\_\_\_\_  
22 Jeff Hunt, Secretary

23 I, JEFF HUNT, Secretary of the Oceanside Planning Commission, hereby certify that this is a  
24 true and correct copy of Resolution No. 2015-P14.

25 Dated: June 8, 2015  
26 \_\_\_\_\_  
27  
28  
29

1 PLANNING COMMISSION  
2 RESOLUTION NO. 2015-P15

3 A RESOLUTION OF THE PLANNING COMMISSION OF THE  
4 CITY OF OCEANSIDE, CALIFORNIA APPROVING A  
5 REGULAR COASTAL PERMIT ON CERTAIN REAL  
PROPERTY IN THE CITY OF OCEANSIDE

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6 APPLICATION NO: RC12-00021  
7 APPLICANT: KCS Properties LLC.  
8 LOCATION: 1631 S. Pacific Street

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9 THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES  
10 RESOLVE AS FOLLOWS:

11 WHEREAS, there was filed with this Commission a verified petition on the forms  
12 prescribed by the Commission requesting a Regular Coastal Permit (RC12-00021) under the  
13 provisions of the City of Oceanside Local Coastal Program to permit the following:

14 demolition of an existing single-family dwelling and construction of a two-story over  
basement single-family dwelling;

15 on certain real property described in the project description;

16 WHEREAS, the Planning Commission, after giving the required notice, did on the 20<sup>th</sup>  
17 day of April, 2015, conduct a duly advertised public hearing as prescribed by law to consider said  
18 application and continued the hearing on this matter to the 8th day of June, 2015;

19 WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State  
20 Guidelines thereto; this project has been found to be exempt per Article 19, Class 3 15303 (a),  
21 "New Construction or Conversion of Small Structures" Categorical Exemption from  
22 environmental review;

23 WHEREAS, there is hereby imposed on the subject development project certain fees,  
dedications, reservations and other exactions pursuant to state law and city ordinance;

24 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the  
25 project is subject to certain fees, dedications, reservations and other exactions as provided below:

26 //////////////

27 //////////////

28 //////////////

29 //////////////

1	Description	Authority for Imposition	Current Estimate Fee or Calculation Formula
2			
3	Parkland Dedication/Fee	Ordinance No. 91-10 Resolution No. 06-R0334-1	\$3,503 per unit
4			
5	Drainage Fee	Ordinance No. 85-23 Resolution No. 06-R0334-1	Depends on area (range is \$2,843-\$15,964 per acre)
6			
7	Public Facility Fee	Ordinance No. 91-09 Resolution No. 06-R0334-1	\$2,072 per unit for residential
8			
9	School Facilities Mitigation Fee	Ordinance No. 91-34	\$2.97 per square foot residential (Oceanside, Vista, Fallbrook and Bonsall) \$3.20 per sq. ft. (Carlsbad)
10			
11			
12	Traffic Signal Fee	Ordinance No. 83-01 Resolution No. 06-R0334-1	\$15.71 per vehicle trip
13			
14	Thoroughfare Fee	Ordinance No. 83-01	\$255 per vehicle trip (based on SANDAG trip generation table available from staff and from SANDAG)
15			
16			
17	Water System Buy-in Fees	Oceanside City Code §37.56.1 Resolution No. 87-96 Ordinance No. 09-OR 0093-1	Fee based on water meter size. Residential is typically \$4,597 per unit.
18			
19			
20	Wastewater System Buy-in fees	Oceanside City Code § 29.11.1 Resolution No. 87-97 Ordinance No. 09-OR 0092-1	Based on capacity or water meter size. Residential is typically \$6,313 per unit.
21			
22			
23	San Diego County Water Authority Capacity Fees	SDCWA Ordinance No. 2005-03	Based on meter size. Residential is typically \$4,492 per unit.
24			
25	Inclusionary housing in lieu fees – Residential only	Chapter 14-C of the City Code	\$1,000 per development project, \$100 per unit, plus \$1.31 per square foot of livable area.
26			
27			
28			
29			

WHEREAS, the current fees referenced above are merely fee amount estimates of the impact fees that would be required if due and payable under currently applicable ordinances and

1 resolutions, presume the accuracy of relevant project information provided by the applicant, and  
2 are not necessarily the fee amount that will be owing when such fee becomes due and payable;

3 WHEREAS, unless otherwise provided by this resolution, all impact fees shall be  
4 calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside  
5 City Code and the City expressly reserves the right to amend the fees and fee calculations  
6 consistent with applicable law;

7 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,  
8 dedication, reservation or other exaction to the extent permitted and as authorized by law;

9 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that  
10 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction  
11 described in this resolution begins on the effective date of this resolution and any such protest must  
12 be in a manner that complies with Section 66020;

13 WHEREAS, action on this resolution becomes final 10 days after its adoption, unless  
14 appealed to the City Council, and shall become effective after the 10 working-day appeal period to  
15 the Coastal Commission has expired; and

16 WHEREAS, studies and investigations made by this Commission and in its behalf reveal  
17 the following facts:

18 FINDINGS:

19 For the Regular Coastal Permit:

- 20 1. The proposed development, as conditioned, is consistent with the land use policies of the  
21 Local Coastal Program as implemented through the Zoning Ordinance. Specifically, the  
22 project, as conditioned, will not substantially alter or impact existing public views of the  
23 coastal zone area or from adjoining properties and the physical aspects of the project are  
24 consistent with existing development on neighboring sites. No seaward extension of the  
25 habitable building envelope or balconies beyond the coastal stringline setback will be  
26 constructed. Design, permitting, use, construction, maintenance, work, and repair of the  
27 project's shoreline protection structure(s) shall conform to Chapter 19A of the  
28 Oceanside City Code.
- 29 2. The proposed development, as conditioned, will not obstruct an existing, planned, or  
required public beach access and conforms to the public access and recreation policies of  
Chapter 3 of the Coastal Act.

1 3. The project will not result in the loss of any on-street public parking spaces or take  
2 away from the existing parking fronting the site. A single curb cut along South Pacific  
3 Street will be utilized for access to the proposed two car garage.

4 NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby  
5 approve Regular Coastal Permit (RC12-00021) subject to the following conditions:

6 **Building:**

7 1. The granting of approval under this action shall in no way relieve the  
8 applicant/project from compliance with all Current State and local building codes.

9 **2013 Triennial Edition of CCR, Title 24**

10 The 2013 triennial edition of the California Code of Regulations, Title 24 (California  
11 Building Standards Code) applies to all occupancies that applied for a building permit  
12 on or after January 1, 2014, and remains in effect until the effective date of the 2016  
13 triennial edition which will be January 1, 2017. The California Building Standards  
14 Commission website at <http://www.bsc.ca.gov/codes.aspx> has links to where the  
15 codes can be viewed online as well as information on where the codes can be  
16 purchased; Parts 6, 11, and 12 can be directly downloaded for free.

17 There are 12 parts to Title 24 and the applicable parts for most Building Division  
18 permit applications are listed below.

- 19 • Part 2: The 2013 California Building Code (CBC) is based on the 2012 IBC, but  
20 includes numerous State of California amendments.
- 21 • Part 2.5: The 2013 California Residential Code (CRC) is based on the 2012 IRC,  
22 but includes numerous State of California amendments and does not include the  
23 electrical, energy, mechanical, or, plumbing portions of the IRC, and instead parts  
24 3 through 6 of Title 24 as listed below apply.
- 25 • Part 3: The 2013 California Electrical Code (CEC) is based on the 2011 NEC with  
26 State of California amendments.
- 27 • Part 4: The 2013 California Mechanical Code (CMC) is based on the 2012 UMC  
28 with State of California amendments.
- 29 • Part 5: The 2013 California Plumbing Code (CPC) is based on the 2012 UPC with  
State of California amendments.

- Part 6: The 2013 California Energy Code is currently based on the 2013 Building Energy Efficiency Standards, and please visit the California Energy Commission website at <http://www.energy.ca.gov/title24/2013standards/> where additional information can be found and Compliance manuals can be downloaded for free. Effective Date July 1, 2014.
- Part 9: The 2013 California Fire Code (CFC) is based on the 2012 IFC with State of California amendments.
- Part 11: The 2013 California Green Building Standards Code (CALGreen Code) This Part is known as the California Green Building Standards Code, and it is intended that it shall also be known as the CALGreen Code.
- Amendments to the City of Oceanside Administrative Code for Building Regulations Ordinance No. 13-ORO752-1 Effective Date 01/01/2014 a copy of which can be downloaded from the Building Division website at <http://www.ci.oceanside.ca.us/gov/dev/bldg/codes.asp>.

2. The building plans for this project shall be prepared by a licensed architect or engineer and shall be in compliance with this requirement prior to submittal for building plan review.
3. Compliance with the Federal Clean Water Act (BMP's) shall be demonstrated on the plans. Separate/unique addresses may be required to facilitate utility releases. Verification that the addresses have been properly assigned by the City's Planning Division shall accompany the Building Permit application.
4. A complete Soils Report, Structural Calculations, & Energy Calculations/documentation shall be required at time of plans submittal to the Building Division for plan check.
5. All exterior wall construction shall comply with California Residential Code Section 302 Fire-Resistant Construction Table R302.1.
  - a) Less than 3'-0" to a property line, shall be of one hour fire resistance construction. No openings allowed.
6. The project shall comply with Building Division Procedure I-10 Survey requirement-Coastal Zone. A California Licensed Surveyor shall perform verification of

1 construction in progress at the following points of construction: foundation, each  
2 floor, roof and final (prior to final building inspection approval).

3 7. The developer shall monitor, supervise and control all building construction and  
4 supportive activities so as to prevent these activities from causing a public nuisance,  
5 including, but not limited to, strict adherence to the following:

6 a) Building construction work hours shall be limited to between 7:00 a.m. and 6:00  
7 p.m. Monday through Friday, and on Saturday from 7:00 a.m. to 6:00 p.m. for  
8 work that is not inherently noise-producing. Examples of work not permitted on  
9 Saturday are concrete and grout pours, roof nailing and activities of similar  
10 noise-producing nature. No work shall be permitted on Sundays and Federal  
11 Holidays (New Year's Day, Memorial Day, July 4th, Labor Day, Thanksgiving  
12 Day, Christmas Day) except as allowed for emergency work under the  
13 provisions of the Oceanside City Code Chapter 38 (Noise Ordinance).

14 b) The construction site shall be kept reasonably free of construction debris as  
15 specified in Section 13.17 of the Oceanside City Code. Storage of debris in  
16 approved solid waste containers shall be considered compliance with this  
17 requirement. Small amounts of construction debris may be stored on-site in a  
18 neat, safe manner for short periods of time pending disposal.

18 **Planning:**

19 8. Regular Coastal Permit (RC12-00021) shall expire on June 8, 2017, unless implemented  
20 per the Zoning Ordinance or unless the Planning Commission grants a time extension.

21 9. This Regular Coastal Permit, as conditioned, approves a series of building and site  
22 improvements for a two-story over basement single-family dwelling, as presented to the  
23 Planning Commission for review and approval. No deviation from these approved plans  
24 and exhibits shall occur without Planning Division approval. Substantial deviations shall  
25 require a revision to the Regular Coastal Permit.

26 10. Habitable building envelope and balconies shall be limited to the coastal stringline setback,  
27 as indicated on the "Stringline Plan" dated January 29, 2015, prepared by Tait Consulting  
28 Inc.  
29

- 1 11. The project shall comply with the 1986 Zoning Ordinance, Section 1720, Permitted  
2 intrusions, into required yards. Any encroachments into the minimum 3'-0" side yard shall  
3 maintain a minimum 30-inch clearance from side yard lot lines.
- 4 12. A Declaration of Covenants, Conditions and Restrictions (DCC&Rs) shall be submitted for  
5 review and approval to the City Attorney prior to issuance of building permits.
- 6 13. All mechanical rooftop and ground equipment shall be screened from public view as  
7 required by the Zoning Ordinance that is, on all four sides and top. The roof jacks,  
8 mechanical equipment, screen and vents shall be painted with non-reflective paint to match  
9 the roof. This information shall be shown on the building plans.
- 10 14. Prior to the issuance of building permits, compliance with the applicable provisions of the  
11 City's anti-graffiti ordinance (Ordinance No. 93-19/Section 20.25 of the City Code) shall be  
12 reviewed and approved by the Planning Division. These requirements, including the  
13 obligation to remove or cover with matching paint all graffiti within 24 hours, shall be  
14 noted on the Architectural Site Plan and shall be recorded in the form of a covenant  
affecting the subject property.
- 15 15. Prior to the transfer of ownership and/or operation of the site the owner shall provide a  
16 written copy of the applications, staff report and resolutions for the project to the new  
17 owner and or operator. This notification's provision shall run with the life of the project  
18 and shall be recorded as a covenant on the property.
- 19 16. Failure to meet any conditions of approval for this development shall constitute a violation  
20 of the Regular Coastal Permit.
- 21 17. Unless expressly waived, all current zoning standards and City ordinances and policies in  
22 effect at the time building permits are issued are required to be met by this project. The  
23 approval of this project constitutes the applicant's agreement with all statements in the  
24 Description and Justification and other materials and information submitted with this  
application, unless specifically waived by an adopted condition of approval.
- 25 18. Elevations, siding materials, colors, roofing materials and floor plans shall be substantially  
26 the same as those approved by the Planning Commission. These shall be shown on plans  
27 submitted to the Building Division and Planning Division.

- 1 19. Prior to issuance of a building permit, the applicant and landowner shall execute and record  
2 a covenant, in a form and content acceptable to the City Attorney, providing that the  
3 property is subject to this resolution and all conditions of approval.
- 4 20. Photo documentation of existing building resources on-site shall be completed in  
5 compliance with OHPAC Policy 1, prior to issuance of demolition permits for the existing  
6 structure on the subject property.
- 7 21. Any/all design, permitting, use, construction, maintenance, work, and repair of the project's  
8 shoreline protection structure(s) shall conform to Chapter 19A of the Oceanside City Code.
- 9 22. All existing and/or proposed shoreline protection structure(s) for this project shall be  
10 monumented sufficiently to accurately record horizontal location and elevation of said  
11 structure(s). Monument locations and survey control points/network shall be approved by  
12 the City Engineer prior to placement of monuments. Monument data shall be recorded on a  
13 final/parcel map, record of survey, or other acceptable document (as approved by the City  
14 Engineer). The shoreline protection structure monuments will serve as baseline control  
15 points to be used as reference for future repair or maintenance activities which require a  
16 coastal development permit. Future seaward extension of approved shoreline protection  
17 structures shall not be permitted.
- 18 23. The applicant, permittee or any successor-in-interest shall defend, indemnify and hold  
19 harmless the City of Oceanside, its agents, officers or employees from any claim, action or  
20 proceeding against the City, its agents, officers, or employees to attack, set aside, void or  
21 annul an approval of the City, concerning Regular Coastal Permit (RC12-00021). The City  
22 will promptly notify the applicant of any such claim, action or proceeding against the City  
23 and will cooperate fully in the defense. If the City fails to promptly notify the applicant of  
24 any such claim action or proceeding or fails to cooperate fully in the defense, the applicant  
25 shall not, thereafter, be responsible to defend, indemnify or hold harmless the City.
- 26 24. By acceptance of this permit the applicant acknowledges and agrees (i) that the site may be  
27 subject to hazards from wave overtopping and flooding; (ii) to assume the risks to the  
28 applicant and the property that is the subject of this permit of injury and damage from such  
29 hazards in connection with this permitted development; (iii) to unconditionally waive any  
claim of damage or liability against the City, its officers, agents, and employees for injury  
or damage from such hazards; and (iv) to indemnify and hold harmless the City, its

1 officers, agents, and employees with respect to the City's approval of the project against  
2 any and all liability, claims, demands, costs (including costs and fees incurred in defense of  
3 such claims) expenses, and amounts paid in settlement arising from any injury or damage  
4 due to such hazards.

5 25. Fencing and gates in the side yard setback areas shall be designed to maintain views to the  
6 ocean and shall have at least 50 percent of its surface area open to light.

7 26. Ocean front deck railing systems, fences, screen walls and gates subject to this permit shall  
8 use materials designed to minimize bird-strikes with the deck railing, fence or gate. Such  
9 materials may consist, all or in part, of wood; wrought iron; frosted or partially frosted  
10 glass; Plexiglass or other visually permeable barriers that are designed to prevent creation  
11 of a bird-strike hazard. Clear glass or Plexiglass shall not be installed unless appliques (e.g.  
12 stickers/decals) designed to reduce bird-strikes by reducing reflectivity and transparency  
13 are also used. Any appliques used shall be installed to provide coverage consistent with  
14 manufacturer specifications (e.g. one applique for every 3 foot by 3 foot area). All materials  
15 and appliques shall be maintained throughout the life of the development to ensure  
16 continued effectiveness at addressing bird-strikes and shall be maintained at a minimum in  
accordance with manufacturer specifications.

17 27. All proposed deck and stair railing systems seaward of the stringline which are not required  
18 to be installed for safety reasons by Building Code shall be removed.

19 28. All proposed landscaping (except trees) in the side and front yard areas shall be maintained  
20 at a height of three feet or lower (including raised planters) for the life of the proposed  
21 development.

22 29. Outdoor patios, decks, and other similar fixed accessory improvements shall not exist in a  
23 hazardous condition. Repair, replacement or removal construction activities require that all  
24 relevant permits be obtained from the City and all other applicable agencies.

25 30. Prior to issuance of building permits, the property owner shall execute and record against  
26 the project property a Declaration of Restrictive Covenants designed to preserve lateral  
27 public access and passive recreational use along the shoreline adjacent to the property. The  
28 document shall provide that the property shall be held, transferred, conveyed, leased or  
29 otherwise disposed of, occupied, and used subject to lawful public access to and passive  
recreational use of the entire width of the property line. The Declaration of Restrictive

1 Covenants shall be recorded free of prior liens and free of any other encumbrances which  
2 may affect said interest, and shall run with the land and be binding on Declarant's heirs,  
3 successors in interest, administrators, assigns, lessees, and other occupiers and users of the  
4 property or any portion of it. The location and geometrics of the restrictive covenant shall  
5 be in accordance with the City's Local Coastal Program (LCP).

- 6 31. This project is subject to payment of an in-lieu fee toward the Beach Sand Mitigation  
7 Program.

8 **Fire:**

- 9 32. Dwellings must be fire sprinklered per NFPA 13D. Water meter supplying domestic and  
10 fire sprinkler needs must be a minimum ¾ inch.

11 **Water:**

12 **General conditions:**

- 13 33. The developer will be responsible for developing all water and sewer utilities necessary to  
14 develop the property. Any relocation of water and/or sewer utilities shall be the  
15 responsibility of the developer and shall be done by an approved licensed contractor at the  
16 developer's expense.

- 17 34. The property owner shall maintain private water and wastewater utilities located on private  
18 property.

- 19 35. Water services and sewer laterals constructed in existing right-of-way locations shall be  
20 constructed by approved and licensed contractors at developer's expense.

- 21 36. All Water and Wastewater construction shall conform to the most recent edition of the  
22 Water, Sewer, and Reclaimed Water Design and Construction Manual or as approved by  
23 the Water Utilities Director.

- 24 37. Per the latest approved California Fire Code, all new residential units shall be equipped  
25 with fire sprinkler system.

- 26 38. Each new single-family residential dwelling unit shall be water metered separately and  
27 shall have a separate sewer lateral.

28 **The following conditions shall be met prior to the approval of engineering design plans.**

- 29 39. All public water and/or sewer facilities not located within the public right-of-way shall be  
provided with easements sized according to the Water, Sewer, and Reclaimed Water  
Design and Construction Manual. Easements shall be constructed for all weather access.

- 1 40. No trees, structures or building overhang shall be located within any water or wastewater  
2 utility easement.
- 3 41. Show size and location of existing and proposed water services and sewer laterals on  
4 engineering plans.
- 5 42. Water services shall not be located in driveway.
- 6 43. Proposed water service lines shall have water meter sizes that are the same size as the  
7 service line or one City of Oceanside water meter size down.
- 8 44. Existing water service shall be abandoned in accordance with the City of Oceanside's  
9 Water, Sewer, and Reclaimed Water Design and Construction Manual.
- 10 45. Existing sewer lateral that would need to be abandoned per developer's design shall be  
11 disconnected and capped at sewer main in South Pacific Street and ends of sewer lateral  
12 plugged.
- 13 46. Since the building has been defined as 2-stories instead of 3-stories, a separate dedicated  
14 fire service connection with a double check detector assembly is not required.
- 15 47. Provide stationing and offsets for existing and proposed water service connections and  
16 sewer laterals on plans.
- 17 48. All lots with a finish pad elevation located below the elevation of the next upstream  
18 manhole cover of the public sewer shall be protected from backflow of sewage by installing  
19 and maintaining an approved type backwater valve, per the latest approved California  
20 Plumbing Code.
- 21 49. Sewer lateral connections shall be at right angle to public sewer main per Section 3.4 G. of  
22 Water, Sewer, and Reclaimed Water Design and Construction Manual. Show size and  
23 station location of existing and proposed sewer laterals on plans.
- 24 50. Provide dual check valve per City of Oceanside Standard Drawing W-30 after water meter.  
25 Check valve shall be owned and maintained by property owner.
- 26 51. Subterranean parking structures shall be designed with a drainage system that conveys  
27 runoff to the City's Storm Drain System and shall comply with the California Regional  
28 Water Quality Control Board order No. 2007-0001.
- 29 The following conditions of approval shall be met prior to building permit issuance.
52. The existing single-family home is supplied by an existing 5/8-inch water meter off of the  
8-inch AC water main in South Pacific Street. Show the location and meter size of existing

1 and proposed meter on building plans to determine the exchange and incremental increase  
2 in buy-in fees for the new meter.

3 53. The residential unit shall provide irrigation demand through the domestic water meter.

4 54. The first floor plan for each residential unit is shown as having a sleeping area, eating area,  
5 living area, and wet bar. Should the wet bar area be converted to a kitchen and used as a  
6 separate dwelling, then it is no longer a single-family residence and will be billed as multi-  
7 family or be separately metered.

8 55. Provide table of proposed fixture count and flow calculations per latest California  
9 Plumbing Code to size water meter size for new residential building on Building Plans and  
10 verify water service line sizes proposed in engineering plans.

11 56. Existing and proposed water service line size, meter size, and connection to public water  
12 main shall be shown on building plans.

13 57. Water service line shall have water meter size that is the same size as the service line or one  
14 City of Oceanside water meter size down.

15 58. Water and Wastewater Buy-in fees and the San Diego County Water Authority Fees are to  
16 be paid to the City and collected by the Water Utilities Department at the time of Building  
17 Permit issuance.

18 59. All Water Utilities Fees are due at the time of building permit issuance per City Code  
19 Section 32B.7.

20 The following conditions of approval shall be met prior to occupancy.

21 60. All new development of single-family and multi-family residential units shall include hot  
22 water pipe insulation and installation of a hot water recirculation device or design to  
23 provide hot water to the tap within 15 seconds in accordance with City of Oceanside  
24 Ordinance No. 02-OR126-1.

25 **Engineering:**

26 61. For the demolition of any existing structure or surface improvements; grading plans shall  
27 be submitted and erosion control plans be approved by the City Engineer prior to the  
28 issuance of a demolition permit. No demolition shall be permitted without an approved  
29 erosion control plan.

62. Design and construction of all improvements shall be in accordance with the City of  
Oceanside Engineers Design and Processing Manual, City Ordinances, and standard

1 engineering and specifications of the City of Oceanside and subject to approval by the City  
2 Engineer.

3 63. All right-of-way alignments, street dedications, exact geometrics and width shall be  
4 dedicated and constructed or replaced as required by the City Engineer.

5 64. Pursuant to the State Map Act, improvements shall be required at the time of development.  
6 A covenant, reviewed and approved by the City Attorney, shall be recorded attesting to  
7 these improvement conditions and a certificate setting forth the approval shall be placed on  
8 the grading and improvement plan.

9 65. Prior to approval of the grading plan or any increment, all improvement requirements,  
10 within such increment or outside of it if required by the City Engineer, shall be covered by  
11 a Development Improvement Agreement, and secured with sufficient improvement  
12 securities or bonds guaranteeing performance and payment for labor and materials, setting  
13 of monuments, and warranty against defective materials and workmanship.

14 66. The owner/developer shall provide public street dedication on South Pacific Street (if  
15 required) to serve the property.

16 67. A traffic control plan shall be prepared according to the City traffic control guidelines and  
17 approved to the satisfaction of the City Engineer prior to the start of work within the public  
18 right-of-way. Traffic control during construction of streets that have been opened to public  
19 traffic shall be in accordance with construction signing, marking and other protection as  
20 required by the Caltrans Traffic Manual and City Traffic Control Guidelines. Traffic  
21 control plans shall be in effect from 8:00 a.m. to 3:30 p.m. unless approved otherwise.

22 68. South Pacific Street shall be constructed with curbs and gutters and sidewalk with a  
23 minimum of 5 feet parkway between the face of curb and the right of way line. Sidewalk  
24 improvements shall comply with ADA requirements.

25 69. Sight distance requirements at the intersection of two proposed project driveways along  
26 South Pacific Street for each direction of traffic shall conform to the corner sight distance  
27 criteria as provided by SDRSD DS-20A and or DS-20B.

28 70. The private driveway alignments and geometric layouts shall meet the City of Oceanside  
29 Engineers Design and Processing Manual.

71. Pavement sections for South Pacific Street and the proposed driveway and parking area  
shall be based upon approved soil tests and traffic indices. The pavement design is to be

1 prepared by the owner/developer's soil engineer and must be in compliance with the City  
2 of Oceanside Engineers Design and Processing Manual and be approved by the City  
3 Engineer, prior to paving.

4 72. Any existing public or private pavement, concrete curb, gutter, driveways, pedestrian  
5 ramps and sidewalk within the project, or adjacent to the project boundary that are already  
6 damaged or damaged during construction of the project, shall be repaired or replaced as  
7 directed by the City Engineer.

8 73. A precise grading and private improvement plan shall be prepared, reviewed, secured and  
9 approved prior to the issuance of any building permits. The plan shall reflect all pavement,  
10 flatwork, landscaped areas, special surfaces, curbs, gutters, medians, striping, and signage,  
11 footprints of all structures, walls, drainage devices and utility services. Parking lot striping  
12 and any on-site traffic calming devices shall be shown on all precise grading and private  
13 improvement plans.

14 74. This project shall provide year-round erosion control including measures for the site  
15 required for the phasing of grading. Prior to the issuance of grading permit, an erosion  
16 control plan, designed for all proposed stages of construction, shall be reviewed, secured by  
17 the owner/developer with cash securities or a letter of credit and approved by the City  
18 Engineer.

19 75. Prior to the issuance of a grading permit, the owner/developer shall notify and host a  
20 neighborhood meeting with all of the area residents located within 300 feet of the project  
21 site, to inform them of the grading and construction schedule, and to answer questions.

22 76. The owner/developer shall monitor, supervise and control all construction and  
23 construction-supportive activities, so as to prevent these activities from causing a public  
24 nuisance, including but not limited to, insuring strict adherence to the following:

25 77. Dirt, debris and other construction material shall not be deposited on any public street or  
26 within the City's storm water conveyance system.

27 78. All grading and related site preparation and construction activities shall be limited to the  
28 hours of 7:00 a.m. to 6:00 p.m., Monday through Friday. No engineering related  
29 construction activities shall be conducted on Saturdays, Sundays or legal holidays unless  
written permission is granted by the City Engineer with specific limitations to the working  
hours and types of permitted operations. All on-site construction staging areas shall be as

1 far as possible from any existing residential development. Because construction noise may  
2 still be intrusive in the evening or on holidays, the City of Oceanside Noise Ordinance also  
3 prohibits “any disturbing excessive or offensive noise which causes discomfort or  
4 annoyance to reasonable persons of normal sensitivity.”

5 79. The construction site shall accommodate the parking of all motor vehicles used by persons  
6 working at or providing deliveries to the site. An alternate parking site can be considered  
7 by the City Engineer in the event that the lot size is too small and cannot accommodate  
8 parking of all motor vehicles.

9 80. The owner/developer shall complete a haul route permit application (if required for  
10 import/export of dirt) and submit to the City of Oceanside Engineering Division 48 hours in  
11 advance of beginning of work. Hauling operations (if required) shall be 8:00 a.m. to 3:30  
12 p.m. unless approved otherwise.

13 81. It is the responsibility of the owner/developer to evaluate and determine that all soil  
14 imported as part of this development is free of hazardous and/or contaminated material as  
15 defined by the City and the County of San Diego Department of Environmental Health.  
16 Exported or imported soils shall be properly screened, tested, and documented regarding  
17 hazardous contamination.

18 82. The approval of the development plan shall not mean that proposed grading or  
19 improvements on adjacent properties (including any City properties/right-of-way or  
20 easements) is granted or guaranteed to the owner/developer. The owner/developer is  
21 responsible for obtaining permission to grade to construct on adjacent properties. Should  
22 such permission be denied, the development plan shall be subject to going back to the  
23 public hearing or subject to a substantial conformity review.

24 83. Prior to any grading of this project, a comprehensive soils and geologic investigation shall  
25 be conducted of the soils, slopes, and formations in the project. All necessary measures  
26 shall be taken and implemented to assure slope stability, erosion control, and soil integrity.  
27 No grading shall occur until a detailed grading plan, to be prepared in accordance with the  
28 Grading Ordinance and Zoning Ordinance is approved by the City Engineer.

29 84. The owner/developer shall place a covenant on the non-title sheet of the grading plan  
agreeing to the following: “The present or future owner/developer shall indemnify and

1 save the City of Oceanside, its officers, agents, and employees harmless from any and all  
2 liabilities, claims arising from any landslide on this site”.

3 85. Where proposed off-site improvements, including but not limited to slopes, public utility  
4 facilities, and drainage facilities, are to be constructed, the owner/developer shall, at his  
5 own expense, obtain all necessary easements or other interests in real property and shall  
6 dedicate the same to the City of Oceanside as required. The owner/developer shall provide  
7 documentary proof satisfactory to the City of Oceanside that such easements or other  
8 interest in real property have been obtained prior to the approval of the issuance of any  
9 grading, building or improvement permit for this development plan. Additionally, the City  
10 of Oceanside, may at its sole discretion, require that the owner/developer obtain at his sole  
11 expense a title policy insuring the necessary title for the easement or other interest in real  
12 property to have vested with the City of Oceanside or the owner/developer, as applicable.

13 86. Landscaping plans, including plans for the construction of walls, fences or other structures  
14 at or near intersections, shall conform to intersection sight distance requirements.  
15 Landscape and irrigation plans for disturbed areas shall be submitted to the City Engineer  
16 prior to the issuance of a preliminary grading permit and approved by the City Engineer  
17 prior to the issuance of building permits. Frontage and landscaping shall be installed and  
18 established prior to the issuance of any certificates of occupancy. Securities shall be  
19 required only for landscape items in the public right-of-way. Any project fences, sound or  
20 privacy walls and monument entry walls/signs shall be shown on, bonded for and built  
21 from the landscape plans. These features shall also be shown on the precise grading plans  
22 for purposes of location only. Plantable, segmental walls shall be designed, reviewed and  
23 constructed by the grading plans and landscaped/irrigated through project landscape plans.  
24 All plans must be approved by the City Engineer and a pre-construction meeting held, prior  
25 to the start of any improvements.

26 87. Unless an appropriate barrier is approved on a landscape plan, a minimum 42-inch high  
27 barrier, approved by the City Engineer, shall be provided at the top of all slopes whose  
28 height exceeds 20 feet or where the slope exceeds 4 feet and is adjacent to any streets, an  
29 arterial street or state highway.

- 1 88. Shoring is required for the construction of the proposed development. The shoring design  
2 plans and structural calculations shall be submitted concurrently with the precise grading  
3 plan.
- 4 89. The drainage design shown on the conceptual grading/site plan and the drainage report for  
5 this development plan are conceptual only. The final drainage report and drainage design  
6 shall be based upon a hydrologic/hydraulic study that is in compliance with the latest San  
7 Diego County Hydrology and Drainage Manual to be approved by the City Engineer  
8 during final engineering. All drainage picked up in an underground system shall remain  
9 underground until it is discharged into an approved channel, or as otherwise approved by  
10 the City Engineer. All public storm drains shall be shown on City standard plan and profile  
11 sheets. All storm drain easements shall be dedicated where required. The owner/developer  
12 shall be responsible for obtaining any off-site easements for storm drainage facilities.
- 13 90. Drainage facilities shall be designed and installed to adequately accommodate the local  
14 storm water runoff and shall be in accordance with the San Diego County Hydrology and  
15 Design Manual and in compliance with the City of Oceanside Engineers Design and  
16 Processing Manual to the satisfaction of the City Engineer.
- 17 91. The owner/developer shall place a covenant on the non-title sheet of the grading plan  
18 agreeing to the following: "The present or future owner/developer shall indemnify and save  
19 the City of Oceanside, its officers, agents, and employees harmless from any and all  
20 liabilities, claims arising from any flooding that occurs on this site, and any flooding that is  
21 caused by this site impacting adjacent properties".
- 22 92. Sediment, silt, grease, trash, debris, and/or pollutants shall be collected on-site and disposed  
23 of in accordance with all state and federal requirements, prior to stormwater discharge  
24 either off-site or into the City drainage system.
- 25 93. The owner/developer shall comply with the provisions of National Pollution Discharge  
26 Elimination System (NPDES) General Permit for Storm Water Discharges Associated with  
27 Construction Activity (General Permit) Water Quality Order 2009-0009-DWQ. The  
28 General Permit continues in force and effect until a new General Permit is issued or the  
29 SWRCB rescinds this General Permit. Only those owner/developers authorized to  
discharge under the expiring General Permit are covered by the continued General Permit.  
Construction activity subject to the General Permit includes clearing, grading, and

1 disturbances to the ground such as stockpiling, or excavation that results in land  
2 disturbances of equal to or greater than one acre. The owner/developer shall obtain  
3 coverage under the General Permit by submitting a Notice of Intent (NOI) and obtaining a  
4 Waste Discharge Identification Number (WDID#) from the State Water Resources Control  
5 Board (SWRCB). In addition, coverage under the General Permit shall not occur until an  
6 adequate SWPPP is developed for the project as outlined in Section A of the General  
7 Permit. The site specific SWPPP shall be maintained on the project site at all times. The  
8 SWPPP shall be provided, upon request, to the United States Environmental Protection  
9 Agency (USEPA), SWRCB, Regional Water Quality Control Board (RWQCB), City of  
10 Oceanside, and other applicable governing regulatory agencies. The SWPPP is considered  
11 a report that shall be available to the public by the RWQCB under section 308(b) of the  
12 Clean Water Act. The provisions of the General Permit and the site specific SWPPP shall  
13 be continuously implemented and enforced until the owner/developer obtains a Notice of  
14 Termination (NOT) for the SWRCB. The owner/developer is required to retain records of  
15 all monitoring information, copies of all reports required by this General Permit, and  
16 records of all data used to complete the NOT for all construction activities to be covered by  
17 the General Permit for a period of at least three years from the date generated. This period  
18 may be extended by request of the SWRCB and/or RWQCB.

19 94. Following the City Engineer's determination that Storm Water Mitigation Plan (SWMP) is  
20 deemed complete and prior to issuance of grading permits, the owner/developer shall  
21 submit and obtain approval of an Operation & Maintenance (O&M) Plan, prepared to the  
22 satisfaction of the City Engineer. The O&M Plan shall include an approved and executed  
23 Maintenance Mechanism pursuant to Section 5 of the Standard Urban Storm Water  
24 Mitigation Plan (SUSMP). The O&M shall satisfy the minimum Maintenance  
25 Requirements pursuant to Section 5 of the SUSMP. At a minimum the O&M Plan shall  
26 include the designated responsible party to manage the storm water BMP(s), employee  
27 training program and duties, operating schedule, maintenance frequency, routine service  
28 schedule, specific maintenance activities, copies of resource agency permits, cost estimate  
29 for implementation of the O&M Plan, a non-refundable cash security to provide  
maintenance funding in the event of noncompliance to the O&M Plan, and any other  
necessary elements. The owner/developer shall provide the City with access to site for the

1 purpose of BMP inspection and maintenance by entering into an Access Rights Agreement  
2 with the City. The owner/developer shall complete and maintain O&M forms to document  
3 all operation, inspection, and maintenance activities. The owner/developer shall retain  
4 records for a minimum of 5 years. The records shall be made available to the City upon  
5 request.

6 95. The owner/developer shall enter into a City-Standard Stormwater Facilities Maintenance  
7 Agreement (SWFMA) with the City obliging the owner/developer to maintain, repair and  
8 replace the Storm Water Best Management Practices (BMPs) identified in the project's  
9 deemed complete SWMP, as detailed in the O&M Plan into perpetuity. The Agreement  
10 shall be approved by the City Attorney prior to issuance of any precise grading permit and  
11 shall be recorded at the County Recorder's Office prior to issuance of any building permit.  
12 A non-refundable Security in the form of cash shall be required prior to issuance of a  
13 precise grading permit. The amount of the non-refundable security shall be equal to 10  
14 years of maintenance costs, as identified by the O&M Plan, but not to exceed a total of  
\$25,000. The owner/developer's civil engineer shall prepare the O&M cost estimate.

15 96. At a minimum, maintenance agreements shall require the staff training, inspection and  
16 maintenance of all BMPs on an annual basis. The owner/developer shall complete and  
17 maintain O&M forms to document all maintenance activities. Parties responsible for the  
18 O&M plan shall retain records at the subject property for at least 5 years. These documents  
19 shall be made available to the City for inspection upon request at any time.

20 97. The Agreement shall include a copy of executed onsite and offsite access easement and or  
21 access rights necessary for the operation and maintenance of BMPs that shall be binding on  
22 the land throughout the life of the project to the benefit of the party responsible for the  
23 O&M of BMPs, satisfactory to the City Engineer. The agreement shall also include a copy  
of the deemed complete O&M Plan.

24 98. The BMPs described in the project's deemed complete SWMP shall not be altered in any  
25 way, unless reviewed and approved to the satisfaction of the City Engineer. The  
26 determination of whatever action is required for changes to a project's deemed complete  
27 SWMP shall be made by the City Engineer.

28 99. The Owner/developer shall provide a copy of the title/cover page of a deemed complete  
29 SWMP with the first engineering submittal package. If the project triggers the City's

1 Stormwater requirements but no deemed complete Stormwater document (SWMP) exists,  
2 the appropriate document shall be submitted to the City Engineer for review. The SWMP  
3 shall be prepared by the owner/developer's Civil Engineer. All Stormwater documents  
4 shall be in compliance with the latest edition of submission requirements.

5 100. Prior to any occupancy permit, the developer/owner shall construct each and all of the  
6 structural BMPs and operating in compliance with all of its specifications, plan, permits,  
7 Ordinances, and the requirement of the State Regional Water Quality Control Board  
8 (RWQCB), Order No. R9-2013-0001

9 101. The owner/developer shall obtain any necessary permits and clearances from all public  
10 agencies having jurisdiction over the project due to its type, size, or location, including but  
11 not limited to the U. S. Army Corps of Engineers, California Department of Fish &  
12 Wildlife, U. S. Fish and Wildlife Service and/or San Diego Regional Water Quality Control  
13 Board (including NPDES), San Diego County Health Department, prior to the issuance of  
grading permits.

14 102. The owner/developer shall comply with all the provisions of the City's cable television  
15 ordinances including those relating to notification as required by the City Engineer.

16 103. Approval of this development project is conditioned upon payment of all applicable impact  
17 fees and connection fees in the manner provided in chapter 32B of the Oceanside City  
18 Code. All traffic signal fees and contributions, highway thoroughfare fees, park fees,  
19 reimbursements, and other applicable charges, fees and deposits shall be paid prior to the  
20 issuance of any building permits, in accordance with City Ordinances and policies. The  
21 owner/developer shall also be required to join into, contribute, or participate in any  
22 improvement, lighting, or other special district affecting or affected by this project.  
23 Approval of the development plan/project shall constitute the owner/developer's approval  
24 of such payments, and his agreement to pay for any other similar assessments or charges in  
25 effect when any increment is submitted for building permit approval, and to join,  
contribute, and/or participate in such districts.

26 104. Upon acceptance of any fee waiver or reduction by the owner/developer, the entire project  
27 shall be subject to prevailing wage requirements as specified by Labor Code section  
28 1720(b) (4). The owner/developer shall agree to execute a form acknowledging the  
29 prevailing wage requirements prior to the granting of any fee reductions or waivers.

1 105. In the event that the conceptual plan does not match the conditions of approval, the  
2 resolution of approval shall govern.

3 **Landscaping:**

4 106. Landscape plans, shall meet the criteria of the City of Oceanside Landscape Guidelines  
5 and Specifications for Landscape Development (latest revision), Water Conservation  
6 Ordinance No.(s) 91-15 and 10-Ordinance 0412, Engineering criteria, City Code and  
7 ordinances, including the maintenance of such landscaping, shall be reviewed and  
8 approved by the City Engineer prior to the issuance of building permits. Landscaping  
9 shall not be installed until bonds have been posted, fees paid, and plans signed for final  
10 approval. In addition, a refundable cash deposit for the preparation of the final As-built/  
11 Maintenance Guarantee shall be secured with the City prior to the final approval of the  
12 landscape construction plan. A landscape pre-construction meeting shall be conducted  
13 by the landscape architect of record, Public Works Inspector, developer or owner's  
14 representative and landscape contractor prior to commencement of the landscape and  
15 irrigation installation. The following landscaping items shall be required prior to plan  
16 approval and certificate of occupancy:

- 17 a) Final landscape plans shall accurately show placement of all plant material such  
18 as but not limited to trees, shrubs, and groundcovers.
- 19 b) Landscape Architect shall be aware of all utility, sewer, gas and storm drain lines  
20 and utility easements and shall place planting locations accordingly to meet City  
21 of Oceanside requirements.
- 22 c) All required landscape areas shall be maintained by owner (including public  
23 rights-of-way -parkways- parallel with South Pacific Street). The landscape  
24 areas shall be maintained per City of Oceanside requirements.
- 25 d) The As-built/Maintenance Guarantee (refundable cash deposit) shall not be  
26 released until the as-built drawings have been approved on the original approved  
27 mylar landscape plan and the required maintenance period has been successfully  
28 terminated.
- 29 e) Proposed landscape species shall fit the site and meet climate changes indicative  
to their planting location. The selection of plant material shall also be based on  
cultural, aesthetic, and maintenance considerations. In addition proposed

1 landscape species shall be low water users as well as meet all Fire Department  
2 requirements.

- 3 f) All planting areas shall be prepared and implemented to the appropriate depth  
4 with appropriate soil amendments, fertilizers, and appropriate supplements based  
5 upon a soils report from an agricultural suitability soil sample taken from the  
6 site.
- 7 g) Ground covers or bark mulch shall fill in between the shrubs to shield the soil  
8 from the sun, evapotranspiration and run-off. All the flower and shrub beds shall  
9 be mulched to a 3" depth to help conserve water, lower the soil temperature and  
10 reduce weed growth.
- 11 h) The shrubs shall be allowed to grow in their natural forms. All landscape  
12 improvements shall follow the City of Oceanside Guidelines.
- 13 i) Root barriers shall be installed adjacent to all paving surfaces, where a paving  
14 surface is located within six feet of a tree trunk on-site (private) and within 10  
15 feet of a tree trunk in the right-of-way (public). Root barriers shall extend five  
16 feet in each direction from the centerline of the trunk, for a total distance of 10  
17 feet. Root barriers shall be 24 inches in depth. Installing a root barrier around  
18 the tree's root ball is unacceptable.
- 19 j) All fences, gates, walls, stone walls, retaining walls, and plantable walls shall  
20 obtain Planning Division approval for these items in the conditions or application  
21 stage prior to 1st submittal of working drawings.
- 22 k) For the planting and placement of trees and their distances from hardscape and  
23 other utilities/structures the landscape plans shall follow the City of Oceanside's  
24 (current) Tree Planting Distances and Spacing Standards.
- 25 l) An automatic irrigation system shall be installed to provide coverage for all  
26 planting areas shown on the plan. Low volume equipment shall provide  
27 sufficient water for plant growth with a minimum water loss due to water run-  
28 off.
- 29 m) Irrigation systems shall use high quality, automatic control valves, controllers  
and other necessary irrigation equipment. All components shall be of non-

1 corrosive material. All drip systems shall be adequately filtered and regulated  
2 per the manufacturer's recommended design parameters.

- 3 n) All pot containers located on the balcony shall be self-watering contained pots.
- 4 o) All irrigation improvements shall follow the City of Oceanside Guidelines and  
5 Water Conservation Ordinance.
- 6 p) The landscape plans shall match all plans affiliated with the project.
- 7 q) Landscape construction drawings are required to implement approved Fire  
8 department regulations, codes, and standards at the time of plan approval.
- 9 r) Landscape plans shall comply with Biological and/or Geotechnical reports, as  
10 required, shall match the grading and improvement plans, comply with SWMP  
11 Best Management Practices and meet the satisfaction of the City Engineer.
- 12 s) Existing landscaping on and adjacent to the site shall be protected in place and  
13 supplemented or replaced to the satisfaction of the City Engineer.

14 107. All landscaping, fences, walls, etc. on the site, within the public right-of-way and within  
15 any adjoining public parkways parallel to South Pacific Street shall be permanently  
16 maintained by the owner, his assigns or any successors-in-interest in the property. The  
17 maintenance program shall include:

- 18 a) Normal care and irrigation of the landscaping.
- 19 b) Repair and replacement of plant materials (including interior trees and street  
20 trees).
- 21 c) Irrigation systems as necessary.
- 22 d) General cleanup of the landscaped and open areas.
- 23 e) Parking lots and walkways, walls, fences, etc.
- 24 f) Pruning standards for street trees shall comply with the International Society of  
25 Arboriculture (ISA) Standard Practices for Tree Care Operations – ANSI A300,  
26 Appendix G: Safety Standards, ANSI Z133; Appendix H; and Tree Pruning  
27 Guidelines, Appendix F (most current edition). Failure to maintain landscaping  
28 shall result in the City taking all appropriate enforcement actions including but  
29 not limited to citations. This maintenance program condition shall be recorded  
with a covenant as required by this resolution.

1 108. In the event that the conceptual landscape plan (CLP) does not match the conditions of  
2 approval, the resolution of approval shall govern.

3 PASSED AND ADOPTED Resolution No. 2015-P15 on June 8, 2015 by the following vote, to  
4 wit:

5 AYES:

6 NAYS:

7 ABSENT:

8 ABSTAIN:

9  
10 \_\_\_\_\_  
Louise Balma, Chairperson  
11 Oceanside Planning Commission

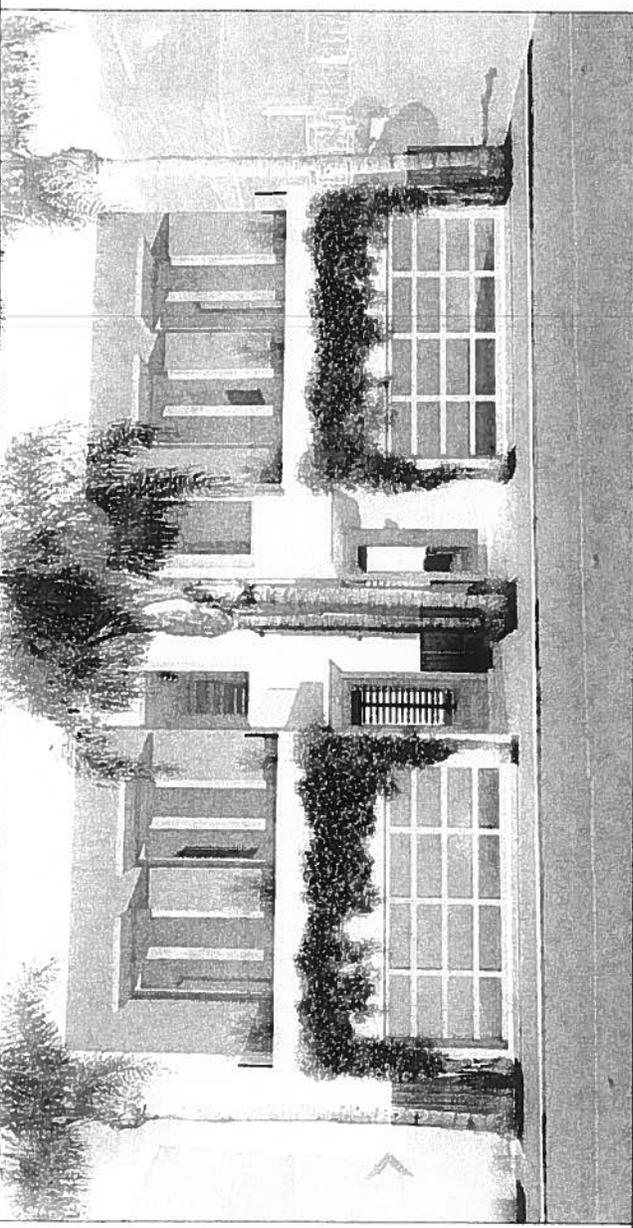
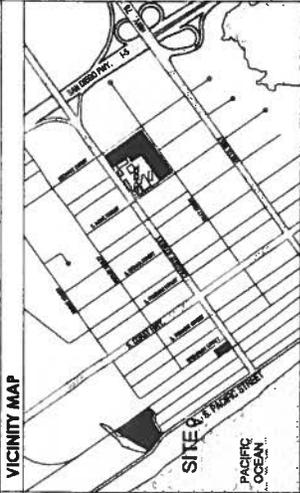
12 ATTEST:

13  
14 \_\_\_\_\_  
Jeff Hunt, Secretary

15 I, JEFF HUNT, Secretary of the Oceanside Planning Commission, hereby certify that this is a  
16 true and correct copy of Resolution No. 2015-P15.

17  
18 Dated: June 8, 2015  
19  
20  
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29

**1631 SOUTH PACIFIC**  
Two Residences  
1631 S. PACIFIC ST.  
OCEANSIDE CA 92015



**BENDERING FRONT ELEVATION**

**PLANNING AND ZONING**

PROPOSED USE: Two Single-Family Residences  
 YEAR OF CONSTRUCTION (existing home): 1956  
 ZONING: RT (Residential Tourist)  
 ALLOWABLE BUILDING HEIGHT: 35'  
 STORIES: 2

**REQUIREMENTS:**  
 - FRONT YARD: Based on siting/se setback shown on drawings  
 - REAR YARD: Based on siting/se setback shown on drawings  
 - SIDE YARDS: 5'

**BUILDING CODE:** 2013 California Residential Code, 2013 CRC

**TYPE OF CONSTRUCTION:** TYPE V-6  
**OCCUPANCY:** GROUP R-3

**DEVELOPMENT SUMMARY**

PROJECT DESCRIPTION: DEMOLITION OF A SINGLE-FAMILY RESIDENCE AND CONSTRUCTION OF TWO NEW 2-STORY HOMES

**PROJECT ADDRESS:**  
 1631 SOUTH PACIFIC STREET  
 OCEANSIDE CA 92015  
 APR: 15-091-12-00

**LOT SIZE:** APPROX. 10,800 SQ FT

**LEGAL DESCRIPTION:** LOTS 26 AND 28 IN BLOCK 'E' OF OCEAN FRONT ADDITION IN THE CITY OF OCEANSIDE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP RECORDED IN THE PUBLIC RECORDS OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 8, 1904, EXCEPTING THEREFROM THAT PORTION, IF ANY NOW OR HERETOFORE LYING BELOW THE MEAN HIGH TIDE LINE OF THE PACIFIC OCEAN.

**PROPERTY OWNER**

ECS PROPERTIES, LLC  
 1050 E. CAMINO REAL #343  
 SUNNYVALE, CA. 94087

**PROJECT TEAM**

**ARCHITECT**  
 SAFIRE STAINIS ARCHITECTS  
 1425 S. DRIVE  
 SAN DIEGO, CA 92103  
 P: (619) 297-4153  
 F: (619) 299-4072

**CIVIL ENGINEER**  
 TAT CONSULTING, INC.  
 818 CRESTVIEW COURT  
 SAN MARCOS, CA 92078  
 P: (760) 453-1166 X111

**LANDSCAPE ARCHITECT:**  
 MARCE HARREL LANDSCAPE ARCHITECT  
 3103 FALCON ST. - SUITE C  
 SAN DIEGO, CA. 92103  
 P: (619) 686-6687

**COASTAL ENGINEER:**  
 GEOSOLS INC.  
 2741 PALMER WAY  
 CARLSBAD, CA 92008  
 P: (760) 483-3135  
 F: (760) 931-0915

**BUILDING SIZE - EACH HOUSE**

AREA	SQUARE FOOTAGE
LEVEL 1	1,154 sq ft
LEVEL 2	1,226 sq ft
LEVEL 3	1,857 sq ft
<b>SUBTOTAL</b>	<b>3,947 sq ft</b>
GARAGE	452 sq ft
STORAGE	183 sq ft
<b>TOTAL</b>	<b>4,582 sq ft</b>

**SHEET INDEX**

SHEET	DESCRIPTION
A3.0	TITLE SHEET
A3.1	STORY/BASINMENT CALC-HOUSE 1
A3.2	STORY/BASINMENT CALC-HOUSE 2
A3.3	STORY/BASINMENT CALC-HOUSE 2
A3.4	PRELIMINARY GRADING PLANS
C1.0	PRELIMINARY GRADING PLANS
C1.1	1000 RAISE DRAPIV
C1.2	1000 RAISE DRAPIV
C1.3	1000 RAISE DRAPIV
C1.4	1000 RAISE DRAPIV
C1.5	1000 RAISE DRAPIV
C1.6	1000 RAISE DRAPIV
C1.7	1000 RAISE DRAPIV
C1.8	1000 RAISE DRAPIV
C1.9	1000 RAISE DRAPIV
C1.10	1000 RAISE DRAPIV
C1.11	1000 RAISE DRAPIV
C1.12	1000 RAISE DRAPIV
C1.13	1000 RAISE DRAPIV
C1.14	1000 RAISE DRAPIV
C1.15	1000 RAISE DRAPIV
A1.0	1000 RAISE DRAPIV
A2.1	1000 RAISE DRAPIV
A2.2	1000 RAISE DRAPIV
A2.3	1000 RAISE DRAPIV
A2.4	1000 RAISE DRAPIV
A3.1	1000 RAISE DRAPIV
A3.2	1000 RAISE DRAPIV
A3.3	1000 RAISE DRAPIV
A3.4	1000 RAISE DRAPIV
A3.5	1000 RAISE DRAPIV
A3.6	1000 RAISE DRAPIV
A4.1	1000 RAISE DRAPIV
A4.2	1000 RAISE DRAPIV

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**RECEIVED**  
**MAY 04 2015**  
**CITY OF OCEANSIDE**  
**DEVELOPMENT SERVICES**

**RECEIVED**  
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Two Residences  
1631 S. PACIFIC ST.  
OCEANSIDE CA 92015

**PROJECT OWNER:**  
 ECS PROPERTIES, LLC  
 1050 E. CAMINO REAL #343  
 SUNNYVALE, CA. 94087  
 PH: (415) 374-4972

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 SAFIRE STAINIS ARCHITECTS  
 1425 S. DRIVE  
 SAN DIEGO, CA 92103  
 PH: (619) 297-4153  
 FX: (619) 299-4072

**CIVIL ENGINEER:**  
 TAT CONSULTING, INC.  
 818 CRESTVIEW COURT  
 SAN MARCOS, CA 92078  
 PH: (760) 453-1166 X111

**LANDSCAPE ARCHITECT:**  
 MARCE HARREL LANDSCAPE ARCHITECT  
 3103 FALCON ST. - SUITE C  
 SAN DIEGO, CA. 92103  
 PH: (619) 686-6687

**COASTAL ENGINEER:**  
 GEOSOLS INC.  
 2741 PALMER WAY  
 CARLSBAD, CA 92008  
 PH: (760) 483-3135  
 FX: (760) 931-0915

**1631 SOUTH PACIFIC**  
Two Residences  
1631 S. PACIFIC ST.  
OCEANSIDE CA 92015

**PROJECT OWNER:**  
 ECS PROPERTIES, LLC  
 1050 E. CAMINO REAL #343  
 SUNNYVALE, CA. 94087  
 PH: (415) 374-4972

**ARCHITECT:**  
 SAFIRE STAINIS ARCHITECTS  
 1425 S. DRIVE  
 SAN DIEGO, CA 92103  
 PH: (619) 297-4153  
 FX: (619) 299-4072

**CIVIL ENGINEER:**  
 TAT CONSULTING, INC.  
 818 CRESTVIEW COURT  
 SAN MARCOS, CA 92078  
 PH: (760) 453-1166 X111

**LANDSCAPE ARCHITECT:**  
 MARCE HARREL LANDSCAPE ARCHITECT  
 3103 FALCON ST. - SUITE C  
 SAN DIEGO, CA. 92103  
 PH: (619) 686-6687

**COASTAL ENGINEER:**  
 GEOSOLS INC.  
 2741 PALMER WAY  
 CARLSBAD, CA 92008  
 PH: (760) 483-3135  
 FX: (760) 931-0915

**1631 SOUTH PACIFIC**  
 Two Residences  
 1631 S. PACIFIC ST.  
 OCEANSIDE, CA 94965

**PROJECT OWNER:**  
 ECI PROPERTIES, LLC  
 1000 S. E. CAMINO REAL #340  
 JERRYVALE, CA 94959

**ARCHITECT:**  
 GREGORY B. MACHENRE  
 292 FORT ECKERSON DR  
 OCEANSIDE, CA 94953  
 PH: (818) 774-1433  
 FAX: (818) 774-0972

**CIVIL ENGINEER:**  
 GREGORY B. MACHENRE, INC.  
 292 FORT ECKERSON DR  
 OCEANSIDE, CA 94953  
 PH: (818) 774-1433  
 FAX: (818) 774-0972

**LANDSCAPE ARCHITECT:**  
 MANCE HABES LANDSCAPE ARCH.  
 1100 FALCON ST. BUREAU  
 OCEANSIDE, CA 94953  
 PH: (818) 774-1433  
 FAX: (818) 774-0972

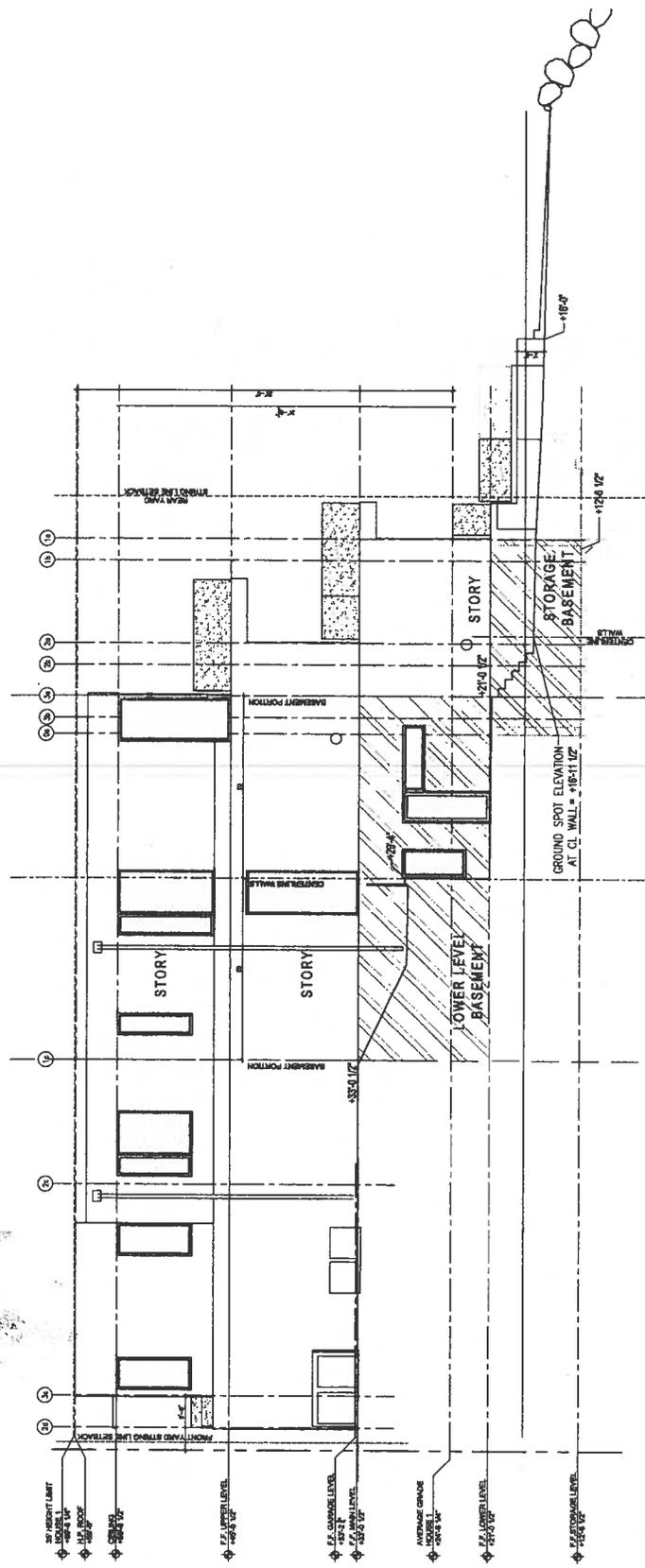
**CONTRACT ENGINEER:**  
 GREGORY B. MACHENRE, INC.  
 292 FORT ECKERSON DR  
 OCEANSIDE, CA 94953  
 PH: (818) 774-1433  
 FAX: (818) 774-0972



**DESCRIPTION:**  
 Foundation Court Deck  
 Coastal Permit Submittal  
 Coastal Permit Submittal  
 Coastal Permit Submittal  
 Coastal Permit Submittal  
 Coastal Permit Submittal

**DATE:** 08/11/15  
**SCALE:** 3/16" = 1'-0"  
**SEA PROJECT NUMBER:** 1504

**STORY / BASEMENT CALC'S - HOUSE 1**  
**A0.1**



**NORTH ELEVATION HOUSE 1 - DIAGRAM**

SECTION 207: BASEMENT "BASEMENT" MEANS THAT PORTION OF A BUILDING BETWEEN FLOOR AND CEILING WHICH IS PARTLY BELOW AND PARTLY ABOVE GROUND BUT SO LOCATED THAT THE PORTION OF THE FLOOR BELOW IS MORE THAN THE VERTICAL DISTANCE FROM GRADE TO CEILING.

**BASEMENT CALCULATION FOR LOWER LEVEL:**

CENTER OF EAST WALL	EL. 39.4 1/2"
CENTER OF SOUTH WALL	EL. 25.3 1/2"
CENTER OF NORTH WALL	EL. 22.4 1/2"
TOTAL	108.4 1/2"
GRADE	108.4 1/2" = EL. 27.2 1/2"

PORTION OF LOWER LEVEL BROWN ELEVATION QUALIFIED AS A BASEMENT

**BASEMENT CALCULATION FOR STORAGE LEVEL:**

CENTER OF EAST WALL	EL. 29.0 1/2"
CENTER OF SOUTH WALL	EL. 24.0 1/2"
CENTER OF NORTH WALL	EL. 20.1 1/2"
TOTAL	77.7 1/2"
GRADE	77.7 1/2" = EL. 17.0 3/8"

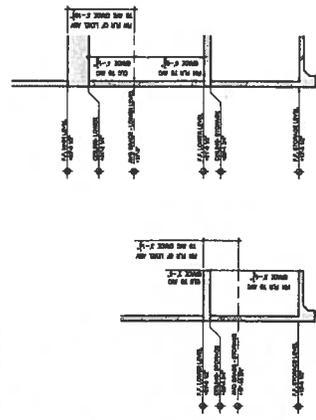
STORAGE LEVEL QUALIFIED AS A BASEMENT

SECTION 216: BUILDING HEIGHT "BUILDING HEIGHT" MEANS THE VERTICAL DISTANCE MEASURED FROM THE AVERAGE LEVEL OF THE HIGHEST AND LOWEST POINT OF THE BUILDING TO THE CEILING OF THE UPPERMOST STORY.

HOUSE 1:	
HIGH POINT	EL. 39.4 1/2"
LOW POINT	EL. 17.0 3/8"
AVERAGE GRADE	46.3 1/27" = EL. 26.4 1/4"
BUILDING HEIGHT	46.3 1/27" = EL. 26.4 1/4"

HOUSE 2:	
HIGH POINT	EL. 39.4 1/2"
LOW POINT	EL. 17.0 3/8"
AVERAGE GRADE	46.3 1/27" = EL. 26.4 1/4"
BUILDING HEIGHT	46.3 1/27" = EL. 26.4 1/4"



© 2015 GREGORY B. MACHENRE ARCHITECTS

**1631 SOUTH PACIFIC**

Two Residences  
1631 S. PACIFIC ST.  
OCCIDENTAL CA. 94965

PROPERTY OWNER:  
CJA PROPERTY GROUP, LLC  
1000 E. B. CAMINO REAL, 604  
SUNNYVALE, CA. 94089

ARCHITECT:  
MORRISON MAZUR ARCHITECTS  
225 PORT STICKNEY LN  
SAN MARCO, CA 92078  
PH (619) 394-6272

CIVIL ENGINEER:  
SMT CONSULTING, INC.  
10000 S. CALIFORNIA BLVD  
SAN MARCO, CA 92078  
PH (760) 438-1841/11

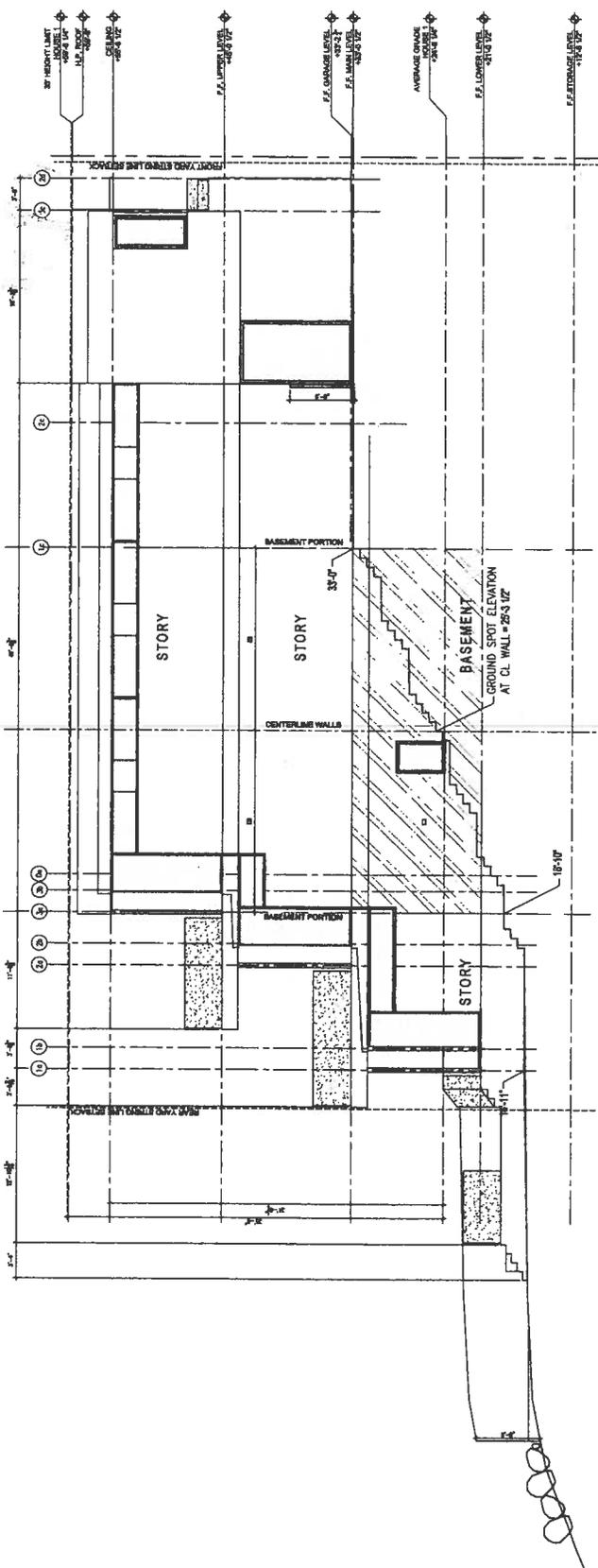
LANDSCAPE ARCHITECT:  
LAWSON LARSEN ARCHITECTS  
3103 VALCOURT, 3RD FLOOR  
SAN MARCO, CA 92078  
PH (760) 438-2000

COASTAL ENGINEER:  
GEORGIAS INC.  
10000 S. CALIFORNIA BLVD  
SAN MARCO, CA 92078  
PH (760) 431-2015



Date: 04/11/15  
Drawings: 04/11/15  
Scale: 3/16" = 1'-0"  
SEA PROJECT NUMBER: 1504

**STORY / BASEMENT CALCS - HOUSE 1 A0.2**



**SOUTH ELEVATION HOUSE 1 - DIAGRAM**

SECTION 211: BUILDING HEIGHT: "BUILDING HEIGHT" MEANS THE VERTICAL DISTANCE MEASURED FROM THE AVERAGE GRADE OF THE HIGHEST AND LOWEST POINT OF THAT PORTION OF THE BUILDING SITE COVERED BY THE BUILDING TO THE CEILING OF THE UPPERMOST STORY.

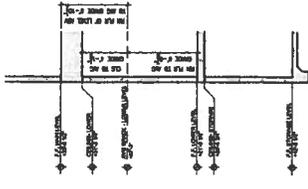
HOUSE 1:		HOUSE 2:	
HIGH POINT	EL. 33'0 1/2"	HIGH POINT	EL. 33'0 1/4"
LOW POINT	EL. 15'0"	LOW POINT	EL. 15'0"
AVERAGE GRADE	48'0 1/2" = EL. 24'0 1/4"	AVERAGE GRADE	48'0 1/2" = EL. 24'0 1/4"
BUILDING HEIGHT	18'0 1/2"	BUILDING HEIGHT	18'0 1/2"

SECTION 212: BASEMENT: "BASEMENT" MEANS THAT PORTION OF A BUILDING BETWEEN FLOOR AND CEILING WHICH IS PARTLY BELOW AND PARTLY ABOVE GROUND BUT IS LOCATED THAT THE AVERAGE GRADE DISTANCE FROM GROUND TO THE FLOOR BELOW IS MORE THAN THE VERTICAL DISTANCE FROM GROUND TO CEILING.

BASEMENT CALCULATION FOR STORAGE LEVEL:	
CENTER OF EAST WALL	EL. 21'0 1/2"
CENTER OF SOUTH WALL	EL. 21'0 1/2"
CENTER OF NORTH WALL	EL. 18'0 1/2"
TOTAL	71'0"
GRADE	71'0" / 4 = EL. 17'7 1/2" = EL. 17'0 1/2"

BASEMENT CALCULATION FOR LOWER LEVEL:	
CENTER OF EAST WALL	EL. 20'0 1/2"
CENTER OF SOUTH WALL	EL. 20'0 1/2"
CENTER OF NORTH WALL	EL. 17'0 1/2"
TOTAL	57'0"
GRADE	57'0" / 4 = EL. 14'15 1/4" = EL. 14'0"

PORTION OF LOWER LEVEL SHOWN ON ELEVATION QUALIFIES AS BASEMENT



**1631 SOUTH PACIFIC**  
Two Residences  
1631 S. PACIFIC ST.  
OCEANBEACH, CA 94965

**PROPERTY OWNER:**  
ECO PROPERTIES, LLC  
1082 E. B. CAMINO REAL #343  
SANTA ANA, CA 92705

**ARCHITECT:**  
ARCHITECTS ARCHITECTS  
PERFORM ARCHITECTURE  
1000 S. PACIFIC ST.  
OCEANBEACH, CA 94965  
PH: (415) 294-1433  
FAX: (415) 294-4872

**CIVIL ENGINEER:**  
CIVIL ENGINEERS, INC.  
818 COUNTRY COURT  
SAN FRANCISCO, CA 94117  
PH: (415) 778-1111  
FAX: (415) 778-1111

**LANDSCAPE ARCHITECT:**  
MANCHE HABERS LANDSCAPE ARCHITECTS  
3101 CALIFORNIA ST. #100  
SAN FRANCISCO, CA 94118  
PH: (415) 860-8307

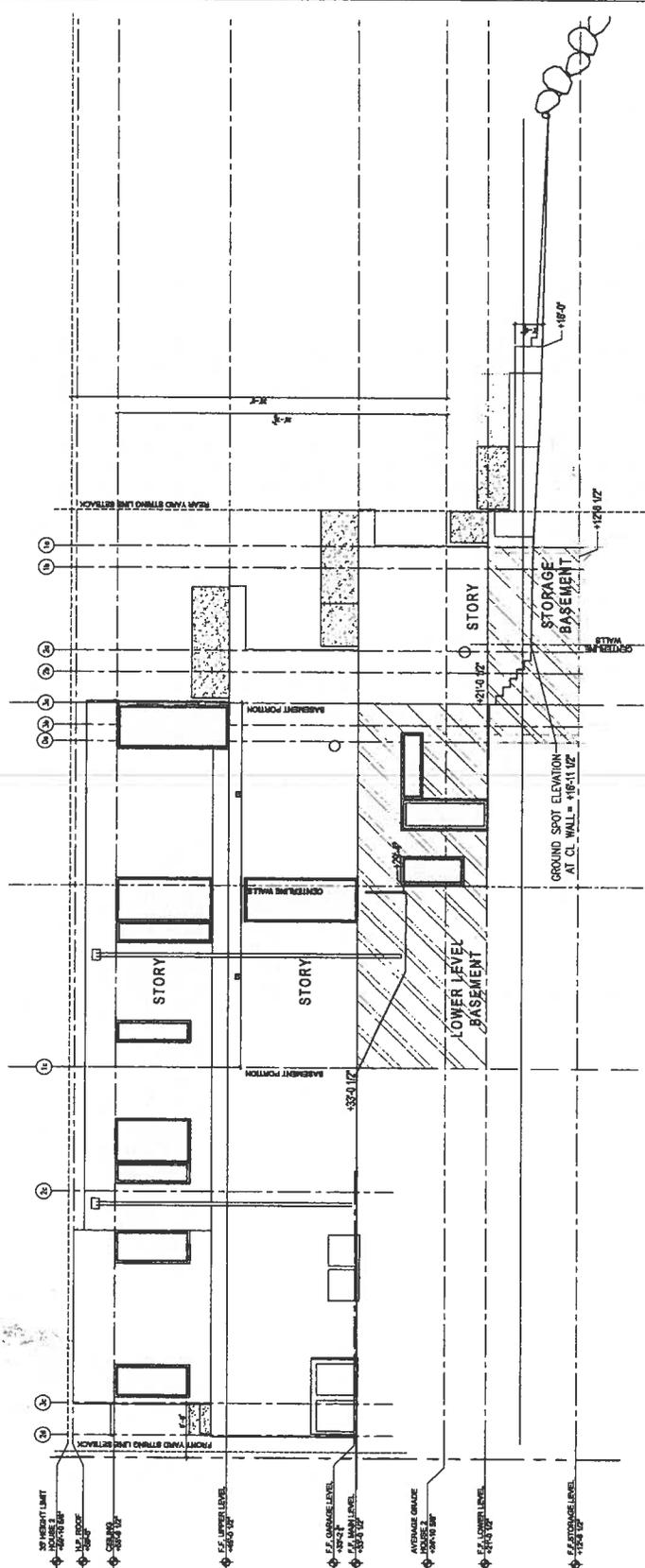
**COSTA ENGINEER:**  
COSTA ENGINEER  
2001 PALMWAY  
CARMEL, CA 95018  
PH: (831) 923-1111



**DESCRIPTION:**  
Development of Lot 1631  
Central Point, Subdivision, Lot 1631

**DATE:** 04/29/13  
**SCALE:** 3/16" = 1'-0"  
**S&A PROJECT NUMBER:** 1594

**STORY / BASEMENT CALCULATIONS HOUSE 2**  
**A0.3**



**SOUTH ELEVATION HOUSE 2 - DIAGRAM**

**SECTION 207: BASEMENT, 'BASEMENT' MEANS THAT PORTION OF A BUILDING BETWEEN FLOOR LEVELS WHICH IS ENTIRELY BELOW AND PARTLY ABOVE GROUND BUT IS LOCATED THAT THE VERTICAL CLEARANCE FROM GRADE TO THE FLOOR BELOW IS GREATER THAN THE VERTICAL DISTANCE FROM GRADE TO CEILING.**

**BASEMENT CALCULATION FOR LOWER LEVEL:**

CENTER OF EAST WALL	EL. 29.4 1/2"
CENTER OF WEST WALL	EL. 29.4 1/2"
CENTER OF SOUTH WALL	EL. 28'-4"
<b>TOTAL</b>	<b>108.4 1/2"</b>

**PORTIONS OF LOWER LEVEL WHICH ON ELEVATION QUALIFIES AS BASEMENT:**

**BASEMENT CALCULATION FOR STORAGE LEVEL:**

CENTER OF EAST WALL	EL. 29.4 1/2"
CENTER OF WEST WALL	EL. 29.4 1/2"
CENTER OF SOUTH WALL	EL. 18'-1.1 1/2"
<b>TOTAL</b>	<b>77'-7 1/4" = EL. 17'-0 5/8"</b>

**STORAGE LEVEL QUALIFIES AS A BASEMENT**

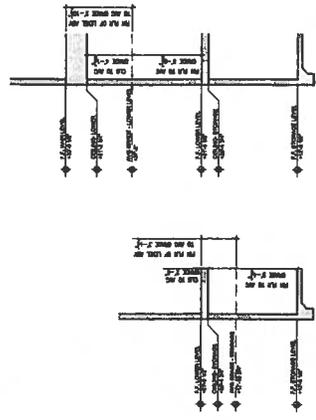
**SECTION 211: BUILDING HEIGHT, 'BUILDING HEIGHT' MEANS THE VERTICAL DISTANCE FROM THE FINISHED GRADE TO THE HIGHEST POINT OF THE BUILDING MEASURING THE PORTION OF THE BUILDING SITE COVERED BY THE BUILDING TO THE CEILING OF THE UPPERMOST STORY.**

**HOUSE 1:**

HIGH POINT	EL. 39.4 1/2"	EL. 39.4 1/2"
LOW POINT	EL. 38.4 1/2"	EL. 38.4 1/2"
<b>TOTAL</b>	<b>38.4 1/2"</b>	<b>38.4 1/2"</b>
<b>AVERAGE GRADE</b>	<b>46.0 1/2" = EL. 24.4 1/2"</b>	<b>46.0 1/2" = EL. 24.4 1/2"</b>
<b>BUILDING HEIGHT</b>	<b>+9.4 1/2"</b>	<b>+9.4 1/2"</b>

**HOUSE 2:**

HIGH POINT	EL. 39.4 1/2"	EL. 39.4 1/2"
LOW POINT	EL. 38.4 1/2"	EL. 38.4 1/2"
<b>TOTAL</b>	<b>38.4 1/2"</b>	<b>38.4 1/2"</b>
<b>AVERAGE GRADE</b>	<b>46.0 1/2" = EL. 24.4 1/2"</b>	<b>46.0 1/2" = EL. 24.4 1/2"</b>
<b>BUILDING HEIGHT</b>	<b>+9.4 1/2"</b>	<b>+9.4 1/2"</b>



**1631 SOUTH PACIFIC**  
 Two Residences  
 1431 S. PACIFIC ST.  
 OCEANSIDE, CA. 94965

PROPERTY OWNER:  
 1631 SOUTH PACIFIC  
 1000 E. CAMINO REAL 100  
 SAN MARINO, CA 91767

ARCHITECT:  
 WARE PARTNERS ARCHITECTS  
 1000 E. CAMINO REAL 100  
 SAN MARINO, CA 91767  
 FAX (917) 291-2020

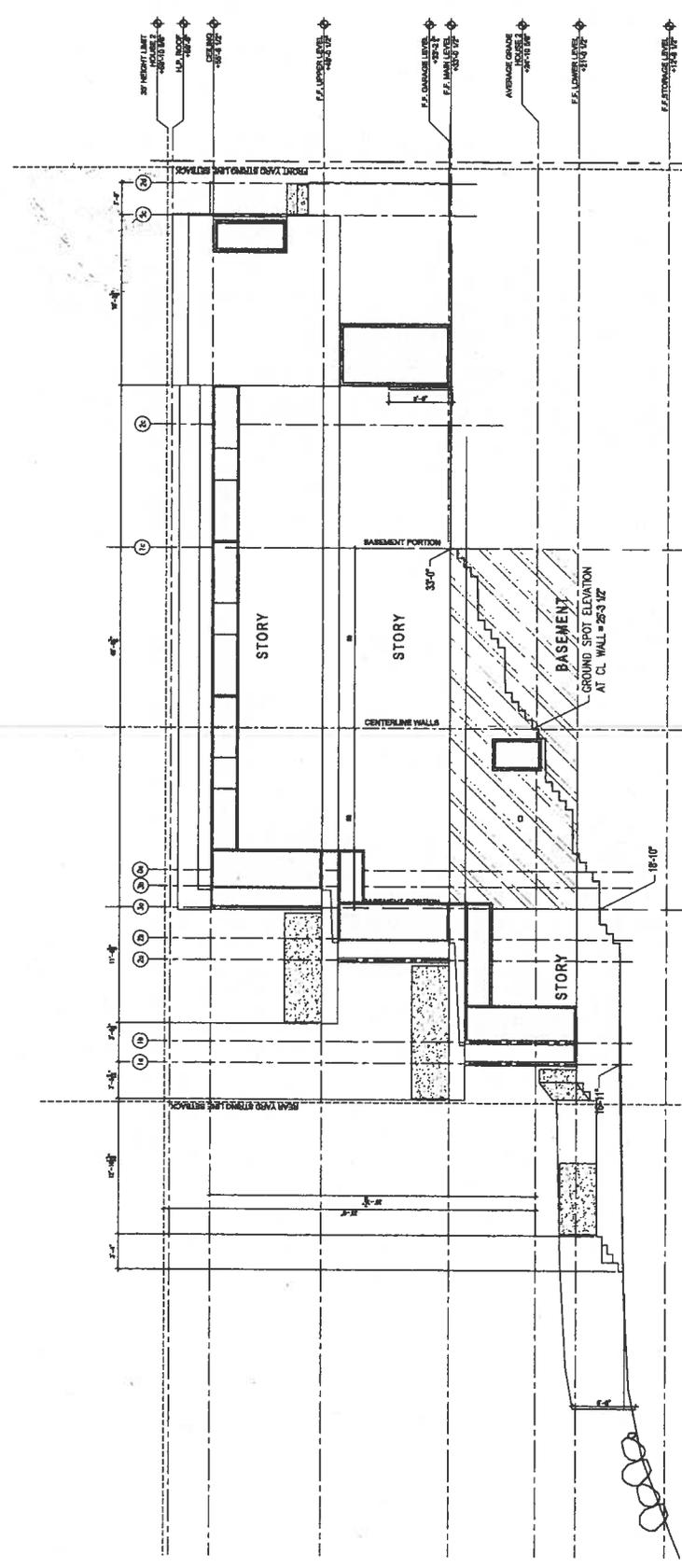
CONTRACTOR:  
 TAT CONSTRUCTION, INC.  
 1431 S. PACIFIC ST.  
 SAN MARINO, CA 91767  
 PH: (917) 433-1041/1111

LANDSCAPE ARCHITECT:  
 J. J. WILSON & ASSOCIATES  
 3100 VALCOURT ST., SUITE C  
 SAN DIEGO, CA 92108  
 PH: (619) 444-4444

CONCRETE CONTRACTOR:  
 GEORGE'S INC.  
 1000 E. CAMINO REAL 100  
 SAN MARINO, CA 91767  
 PH: (917) 433-1041/1111



DATE: 04/27/15  
 SCALE: 3/8" = 1'-0"  
 SHEET NO.: A0.4  
 PROJECT NAME: STORY / BASEMENT CALC - HOUSE 2



**NORTH ELEVATION HOUSE 2 - DIAGRAM**

SECTION 211: BUILDING HEIGHT: "BUILDING HEIGHT" MEANS THE VERTICAL DISTANCE MEASURED FROM THE AVERAGE LEVEL OF THE HIGHEST AND LOWEST POINT OF THAT PORTION OF THE BUILDING-SITE COVERED BY THE BUILDING TO THE CEILING OF THE UPPERMOST STORY.

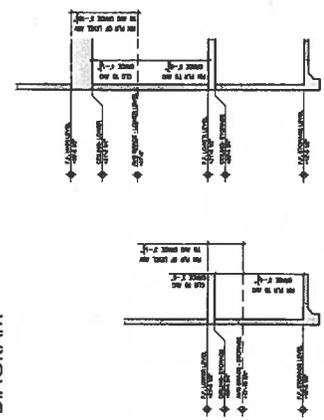
HOUSE 2:	
HIGH POINT	EL. 33'-0 1/2"
LOW POINT	EL. 16'-0"
TOTAL	17'-0 1/2"
AVERAGE GRADE	EL. 24'-0 1/2"
BUILDING HEIGHT	17'-0 1/2"

SECTION 202: BASEMENT: "BASEMENT" MEANS THAT PORTION OF A BUILDING BETWEEN FLOOR AND CEILING WHICH IS PARTLY BELOW AND PARTLY ABOVE GROUND BUT SO LOCATED THAT THE VERTICAL DISTANCE FROM GRADE TO THE FLOOR BELOW IS MORE THAN THE VERTICAL DISTANCE FROM GRADE TO CEILING.

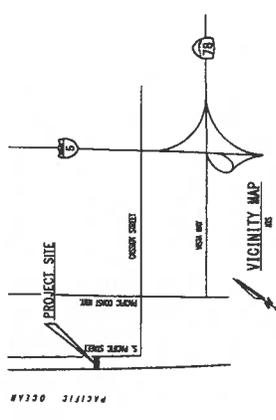
BASEMENT CALCULATION FOR STORAGE LEVEL:	
CENTER OF EAST WALL	EL. 21'-0 1/2"
CENTER OF NORTH WALL	EL. 21'-4 1/2"
CENTER OF WEST WALL	EL. 21'-4 1/2"
CENTER OF SOUTH WALL	EL. 21'-4 1/2"
TOTAL	7'-0 1/2"
GRADE	11'-7 1/4" = EL. 17'-0 1/2"
STORAGE LEVEL QUALIFIES AS A BASEMENT	

BASEMENT CALCULATION FOR LOWER LEVEL:	
CENTER OF EAST WALL	EL. 21'-0 1/2"
CENTER OF NORTH WALL	EL. 21'-4 1/2"
CENTER OF WEST WALL	EL. 21'-4 1/2"
CENTER OF SOUTH WALL	EL. 21'-4 1/2"
TOTAL	7'-0 1/2"
GRADE	10'-4 1/2" = EL. 17'-0 1/2"
PORTION OF LOWER LEVEL SHOWN ON ELEVATION QUALIFIES AS A BASEMENT	



WARE PARTNERS ARCHITECTS



**APPLICANT:**  
 ACS PROPERTIES, LLC  
 10000 S. PACIFIC STREET, #343  
 SAN DIEGO, CA 92121  
 PHONE: (619) 888-8880

**REPRESENTATIVE:**  
 SISAM RICHARD  
 CIVIL ENGINEER, #443  
 825 FORT STOCKTON DRIVE  
 SAN DIEGO, CA 92103  
 PHONE: (619) 297-8153

**LEGAL DESCRIPTION:**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, AND IS PART OF A SUBDIVISION OF OCEAN FRONT ADDITION IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 900, FILED FOR RECORD IN THE COUNTY CLERK'S OFFICE OF SAN DIEGO COUNTY, CALIFORNIA, ON JANUARY 15, 1984, EXCEPTING THEREFROM THAT PORTION OF SAID TRACT ON THE EAST SIDE, WHICH BEGINS AT THE LINE OF THE PACIFIC OCEAN.

APN: 103-101-12-00

**NOTE:** SHORING WILL BE REQUIRED TO CONSTRUCT THIS PROJECT.

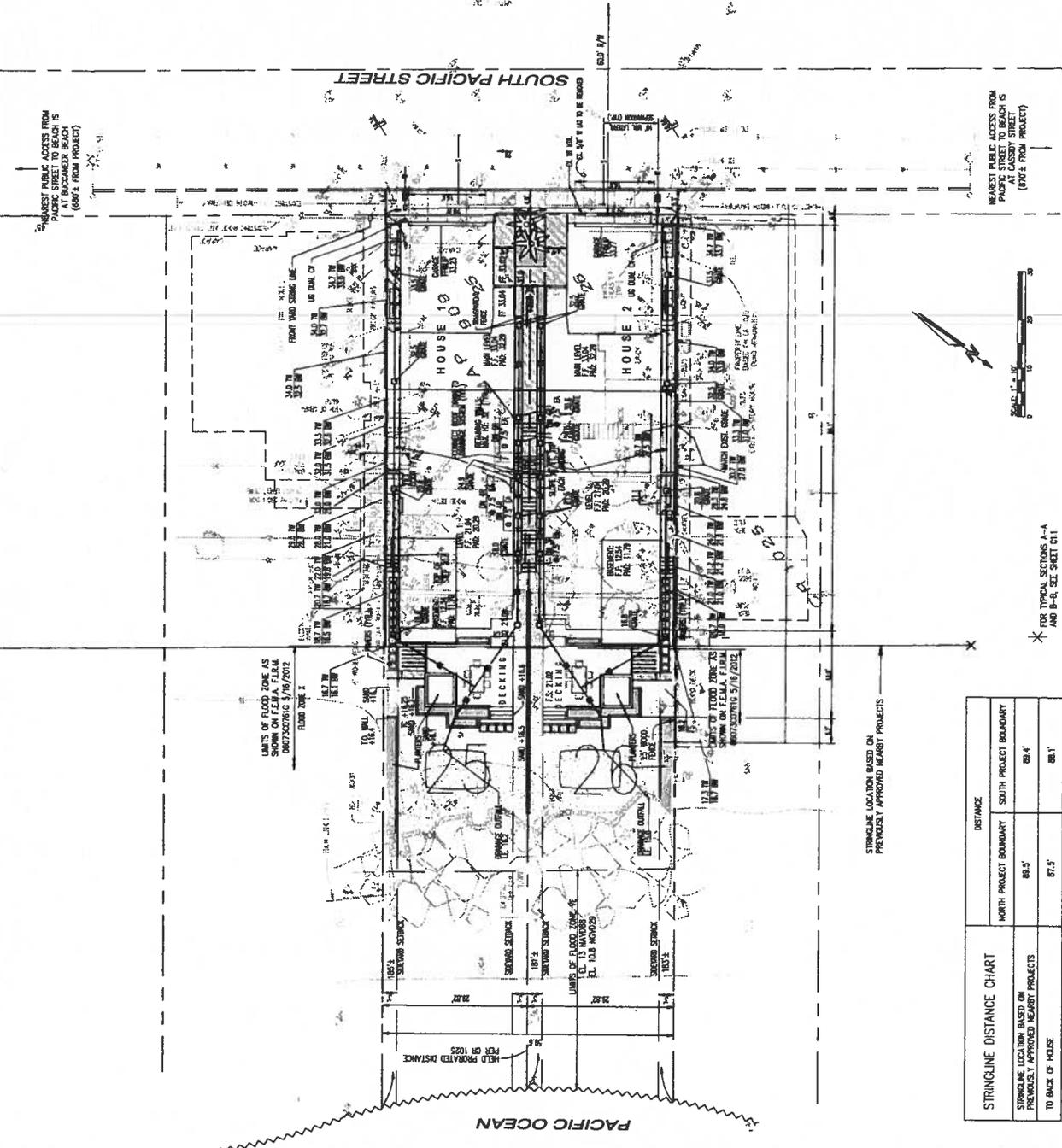
**LEGEND:**

- GRADING:**
- EXISTING LOT LINE
  - EXISTING RIGHT-OF-WAY
  - EXISTING INTERMEDIATE CONTOUR
  - EXISTING STORM DRAIN LINE
  - PROPOSED STORM DRAIN LINE
  - PROPOSED CONCRETE
  - PROPOSED ROOF DRAIN
  - PROPOSED LANDSCAPE AREA DRAIN
  - PROPOSED GLASS FENCE
  - PROPOSED WELDED METAL FENCE
  - TRANSPARENT FENCE
  - PROPOSED SOLID WOOD FENCE (OVER 6" GAW BASE AT PERIMETER)
- FENCE NOTE:**  
 PORTIONS OF PROPOSED FENCE AND WALLS ARE LOCATED ON PROPERTY LINE. PLEASE COORDINATE WITH NEIGHBORING PROPERTY OWNERS PRIOR TO CONSTRUCTION.
- BENCHMARK (NVD209)**  
 CITY OF OCEANSIDE BENCHMARK #13 BRASS CAP STAMPED  
 7-13 3-30-07 NEW IN TOP OF CURB ON THE EASTERN SIDE  
 OF PACIFIC STREET ON THE NORTHERLY END OF THE BRIDGE  
 WALK LUMA A.V. ORDER 9' NORTHERLY OF THE END OF THE  
 1984 ADJUSTED ELEVATION = 11.608 FEET
- NOTE: CONNECTION FROM HORNER TO HORNER.**  
 PER NOAA VERTIC: AND 2.118' TO MVD ELEVATION
- INTERUMENT**  
 THE CONTINUAL OF S. PACIFIC STREET  
 ON JULY 14 & 15, 2012



**PRELIMINARY GRADING PLANS: C1.0**  
 1631 SOUTH PACIFIC STREET  
 OCEANSIDE, CALIFORNIA

5/02/2015



**STRINGLINE DISTANCE CHART**

STRINGLINE LOCATION BASED ON PREVIOUSLY APPROVED NEARBY PROJECTS TO BACK OF HOUSE	DISTANCE
NORTH PROJECT BOUNDARY	881.5'
SOUTH PROJECT BOUNDARY	891.4'
	897.5'





LEGEND

- EXISTING LOT LINE
- - - EXISTING RIGHT-OF-WAY

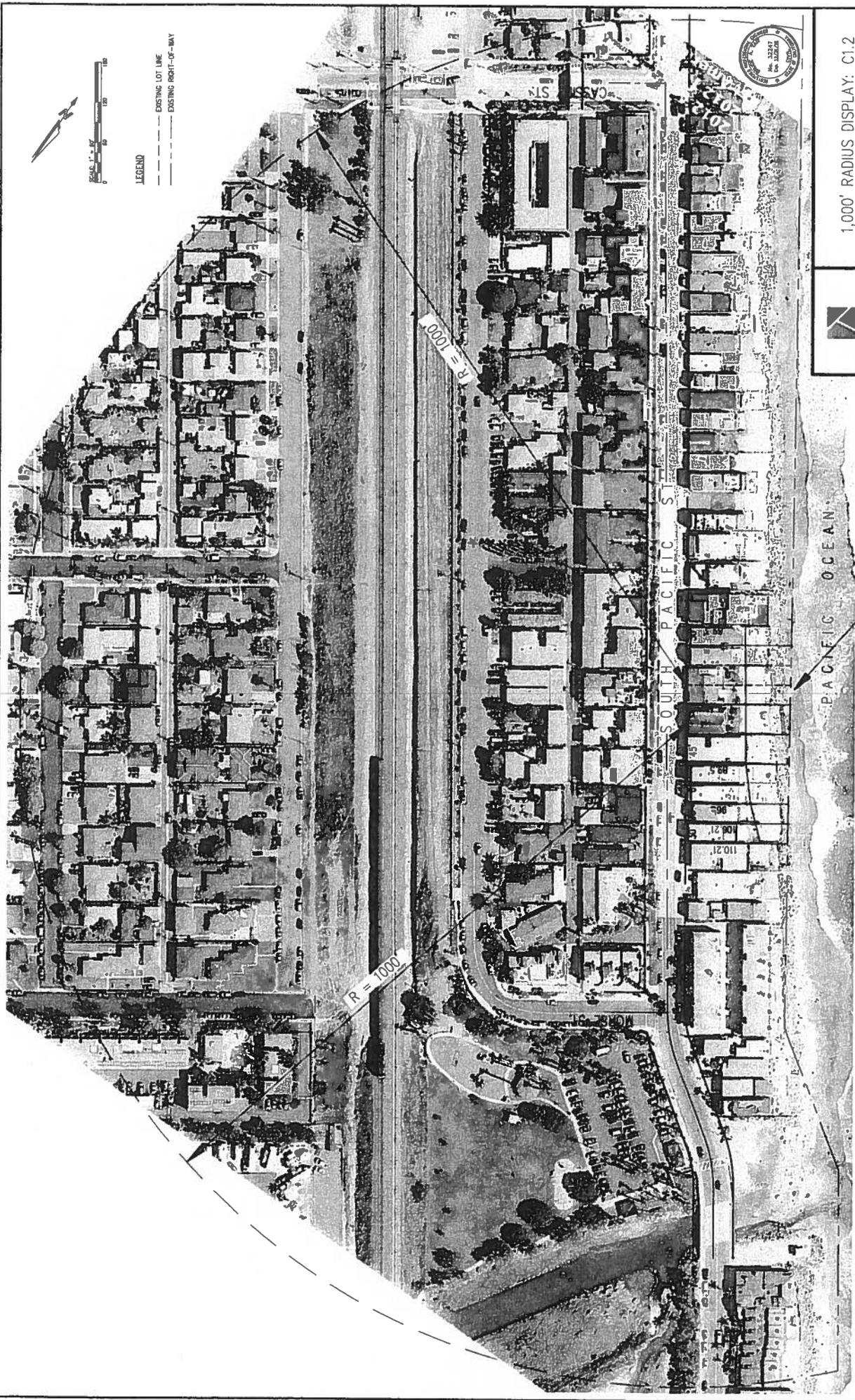


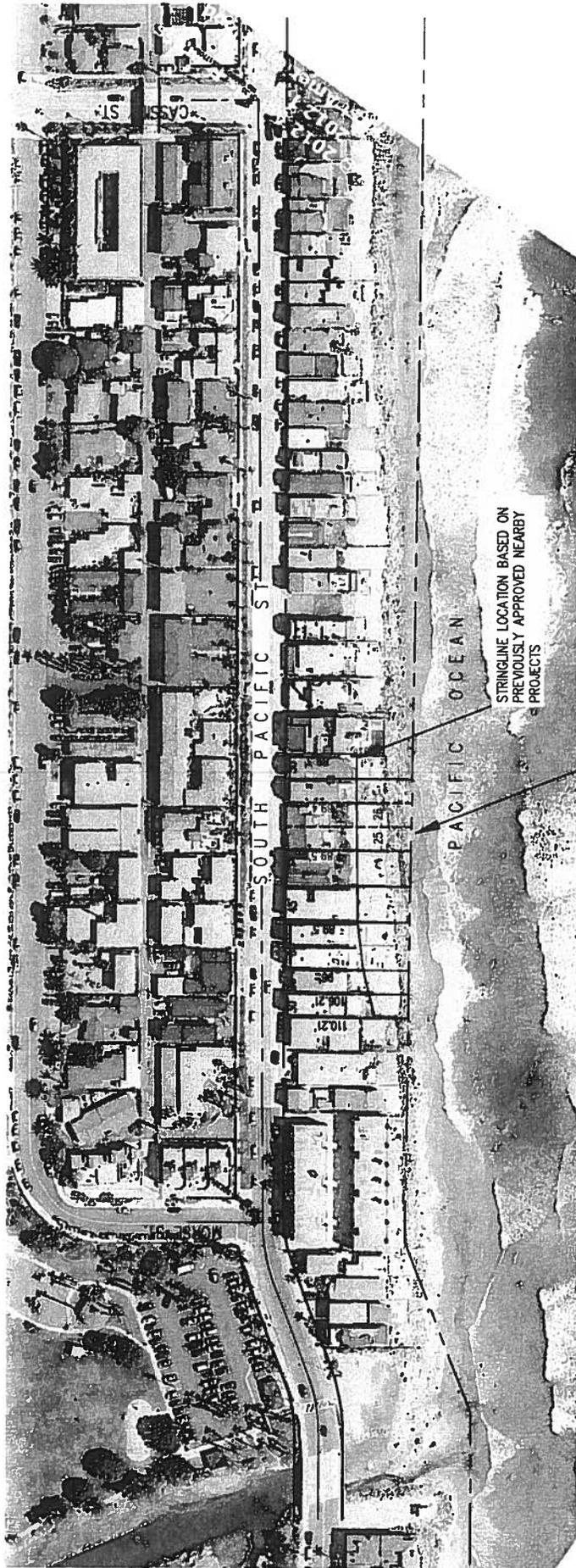
1,000' RADIUS DISPLAY: C1.2  
 1631 SOUTH PACIFIC STREET  
 OCEANSIDE, CALIFORNIA

1/29/15



SUBJECT PROPERTY  
 1631 SOUTH PACIFIC STREET  
 OCEANSIDE, CALIFORNIA  
 (LOTS 25 & 26 OF MAP 909)





STRINGLINE LOCATION BASED ON  
PREVIOUSLY APPROVED NEARBY  
PROJECTS

SUBJECT PROPERTY  
1631 SOUTH PACIFIC STREET  
OCEANSIDE, CALIFORNIA  
(LOTS 25 & 26 OF MAP 909)



LEGEND  
 --- EXISTING LOT LINE  
 --- EXISTING RIGHT-OF-WAY



STRING LINE PLAN  
 1631 SOUTH PACIFIC STREET  
 OCEANSIDE, CALIFORNIA

1/29/15



**1631 SOUTH PACIFIC**  
Two Residences  
1631 S. PACIFIC ST.  
OCEANSIDE, CA 92085

PROPERTY OWNER:  
ECL PROPERTIES, LLC  
1000 S. GARDEN ST., SUITE 100  
SANTA ANA, CA 92705

ARCHITECT:  
LAWRENCE BARBER ARCHITECTS  
1511 FORT EDDY DRIVE  
SANTA ANA, CA 92705  
PH: (949) 297-4118  
FAX: (949) 297-4025

LANDSCAPE ARCHITECT:  
LAWRENCE BARBER ARCHITECTS  
1511 FORT EDDY DRIVE  
SANTA ANA, CA 92705  
PH: (949) 297-4118  
FAX: (949) 297-4025

LANDSCAPE ARCHITECT:  
LAWRENCE BARBER ARCHITECTS  
1511 FORT EDDY DRIVE  
SANTA ANA, CA 92705  
PH: (949) 297-4118  
FAX: (949) 297-4025

CONTRACT ENGINEER:  
LAWRENCE BARBER ARCHITECTS  
1511 FORT EDDY DRIVE  
SANTA ANA, CA 92705  
PH: (949) 297-4118  
FAX: (949) 297-4025

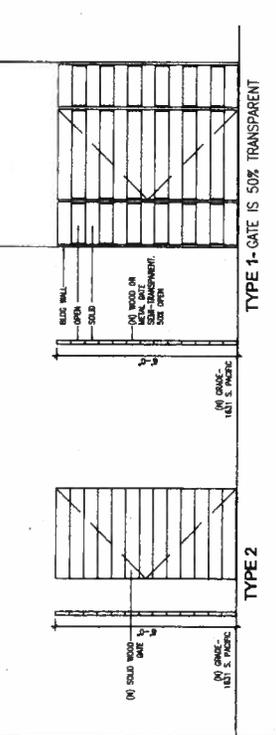
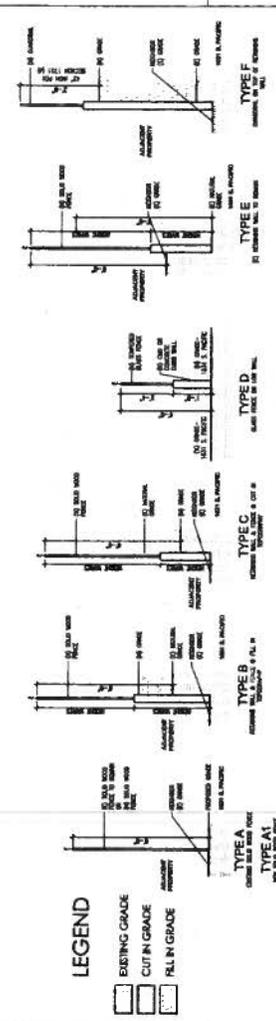
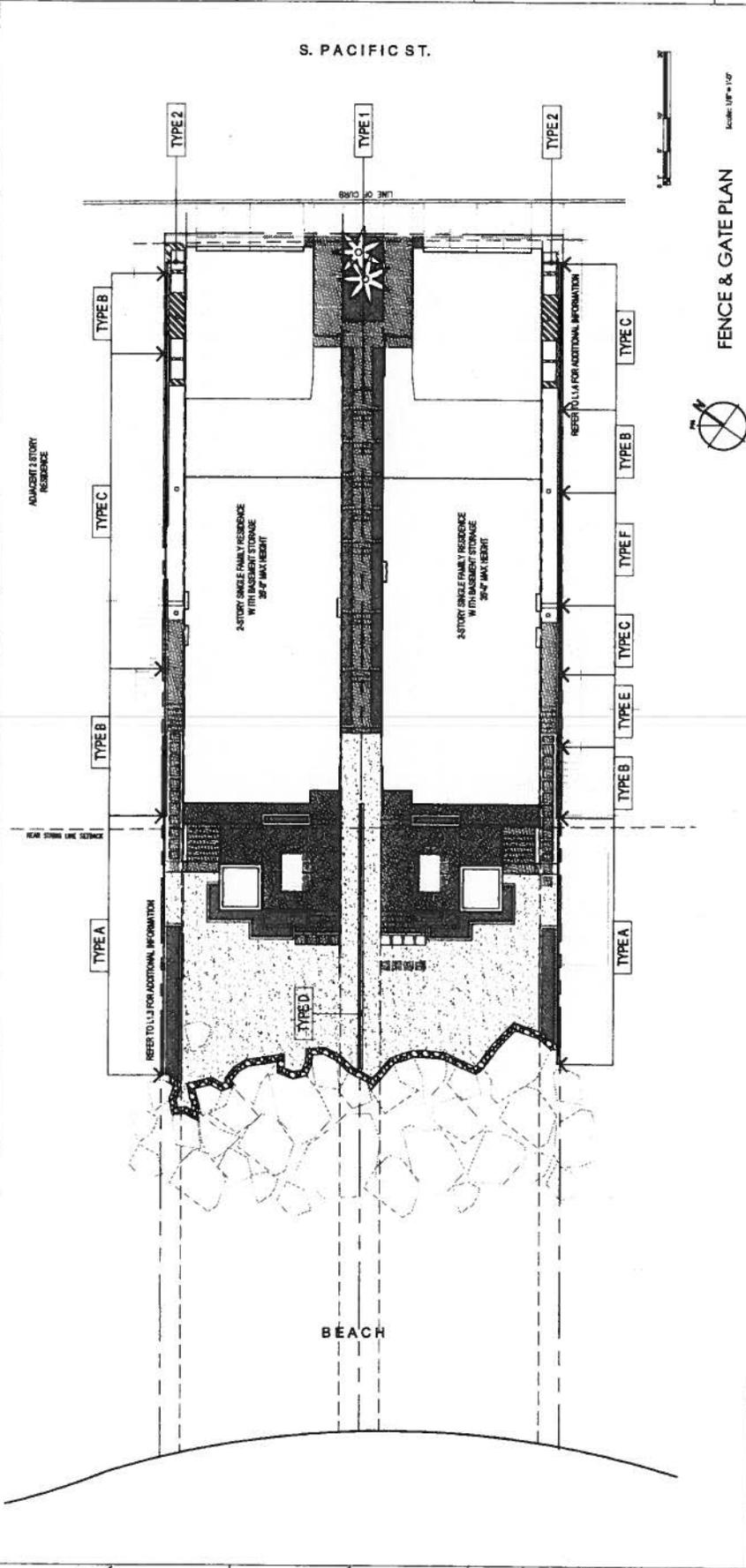


DATE: 08/18/12  
PROJECT NAME: 1631 SOUTH PACIFIC  
SHEET NO.: 1631-01  
SHEET TITLE: CONCEPTUAL FENCE & GATE LAYOUT

DATE: 08/18/12  
PROJECT NAME: 1631 SOUTH PACIFIC  
SHEET NO.: 1631-01  
SHEET TITLE: CONCEPTUAL FENCE & GATE LAYOUT

**CONCEPTUAL FENCE & GATE LAYOUT**

**L1.2**



**GATE ELEVATIONS & SECTIONS** Scale: 1/2" = 1'-0"

**FENCE & WALL SECTIONS** Scale: 3/8" = 1'-0"

NOTE: THESE DRAWINGS REPRESENT CONCEPTUAL DESIGNS ONLY. FINAL DESIGN OF GATES AND FENCES WILL BE SUBMITTED FOR REVIEW IN THE CONSTRUCTION DOCUMENT SET OF DRAWINGS.

NOTE: THESE DRAWINGS REPRESENT CONCEPTUAL DESIGNS ONLY. FINAL DESIGN OF GATES AND FENCES WILL BE SUBMITTED FOR REVIEW IN THE CONSTRUCTION DOCUMENT SET OF DRAWINGS.

**1631 SOUTH PACIFIC**  
 Two Residences  
 1631 S. PACIFIC ST.  
 OCEANSIDE, CA 94945

**PROPERTY OWNER:**  
 1030 E.E. CHAMBERLAIN REAL, 1940  
 SUNNYVALE, CA 94089

**ARCHITECT:**  
 JAMES H. HARRIS ARCHITECTS  
 2000 AVENUE OF THE STARS  
 SAN DIEGO, CA 92108  
 TEL: (619) 591-1111  
 FAX: (619) 591-4827

**CIVIL ENGINEER:**  
 TRAF CONSULTING, INC.  
 1400 UNIVERSITY AVENUE, SUITE 200  
 SAN MARINO, CA 92778  
 PH: (714) 433-1161/1111

**LANDSCAPE ARCHITECT:**  
 JAMES H. HARRIS ARCHITECTS  
 2000 AVENUE OF THE STARS  
 SAN DIEGO, CA 92108  
 TEL: (619) 591-1111

**CONTRACTOR:**  
 GEORGE H. HARRIS  
 3100 FALCON ST., SUITE C  
 SAN DIEGO, CA 92108  
 TEL: (619) 591-1111

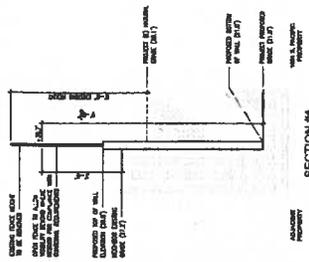
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 GEORGE H. HARRIS  
 3100 FALCON ST., SUITE C  
 SAN DIEGO, CA 92108  
 TEL: (619) 591-1111



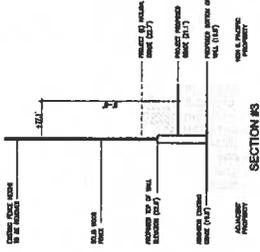
**Date:** 04/29/15  
**Drawn by:** J. HARRIS  
**Checked by:** J. HARRIS  
**Scale:** AS NOTED  
**Project Number:** 1631

**CONCEPTUAL FENCE SECTIONS**

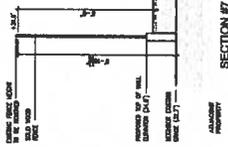
**L1.3**



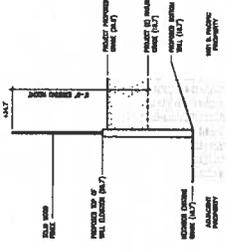
**SECTION #4**



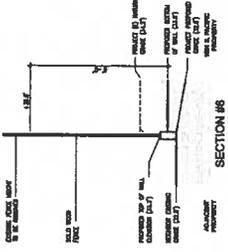
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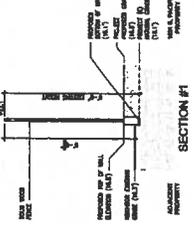
**SECTION #7**



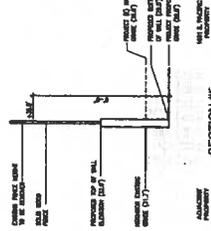
**SECTION #2**



**SECTION #8**



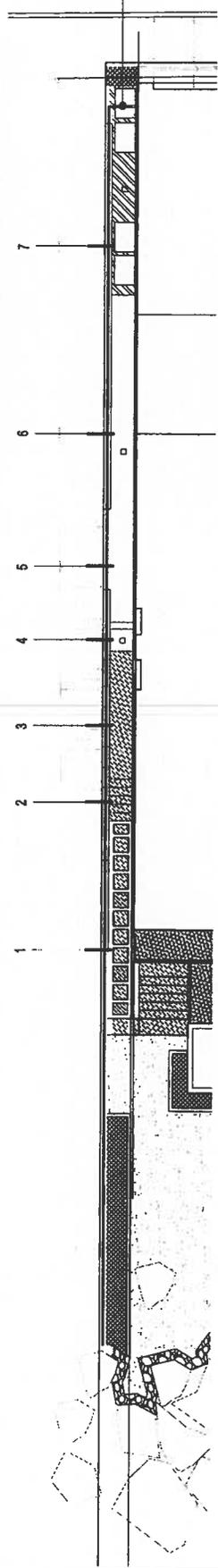
**SECTION #1**



**SECTION #6**



**FENCE SECTIONS - NORTH PROPERTY LINE** Scale: 3/16" = 1'-0"  
 NOTE: THESE DRAWINGS REPRESENT CONCEPTUAL DESIGNS ONLY. FOR CONSTRUCTION, THE CONTRACTOR SHALL REVIEW THE CONSTRUCTION DOCUMENT SET OF DRAWINGS.



**PLAN - SECTIONS @ NORTH PROPERTY LINE** Scale: 3/16" = 1'-0"

© JAMES HARRIS ARCHITECTS

**1631 SOUTH PACIFIC**  
 Two Residences  
 1631 S. PACIFIC ST.  
 OCEANSIDE, CA 94965

**PROPERTY OWNER:**  
 TWO RESIDENCES  
 1020 E. B. CHAMPO REAL ESTATE  
 SUNNYVALE, CA 94089

**ARCHITECT:**  
 JAMES W. HANCOCK ARCHITECTS  
 225 FORT STOCKTON DR.  
 SAN DIEGO, CA 92108  
 PH: (619) 594-8572  
 FAX: (619) 594-8573

**CIVIL ENGINEER:**  
 TAT CONSULTING INC.  
 3100 FALCON ST., SUITE C  
 SAN MARINO, CA 91766  
 PH: (919) 433-1811

**LANDSCAPE ARCHITECT:**  
 JAMES W. HANCOCK ARCHITECTS  
 225 FORT STOCKTON DR.  
 SAN DIEGO, CA 92108  
 PH: (619) 594-8572  
 FAX: (619) 594-8573

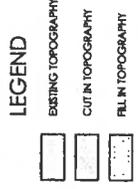
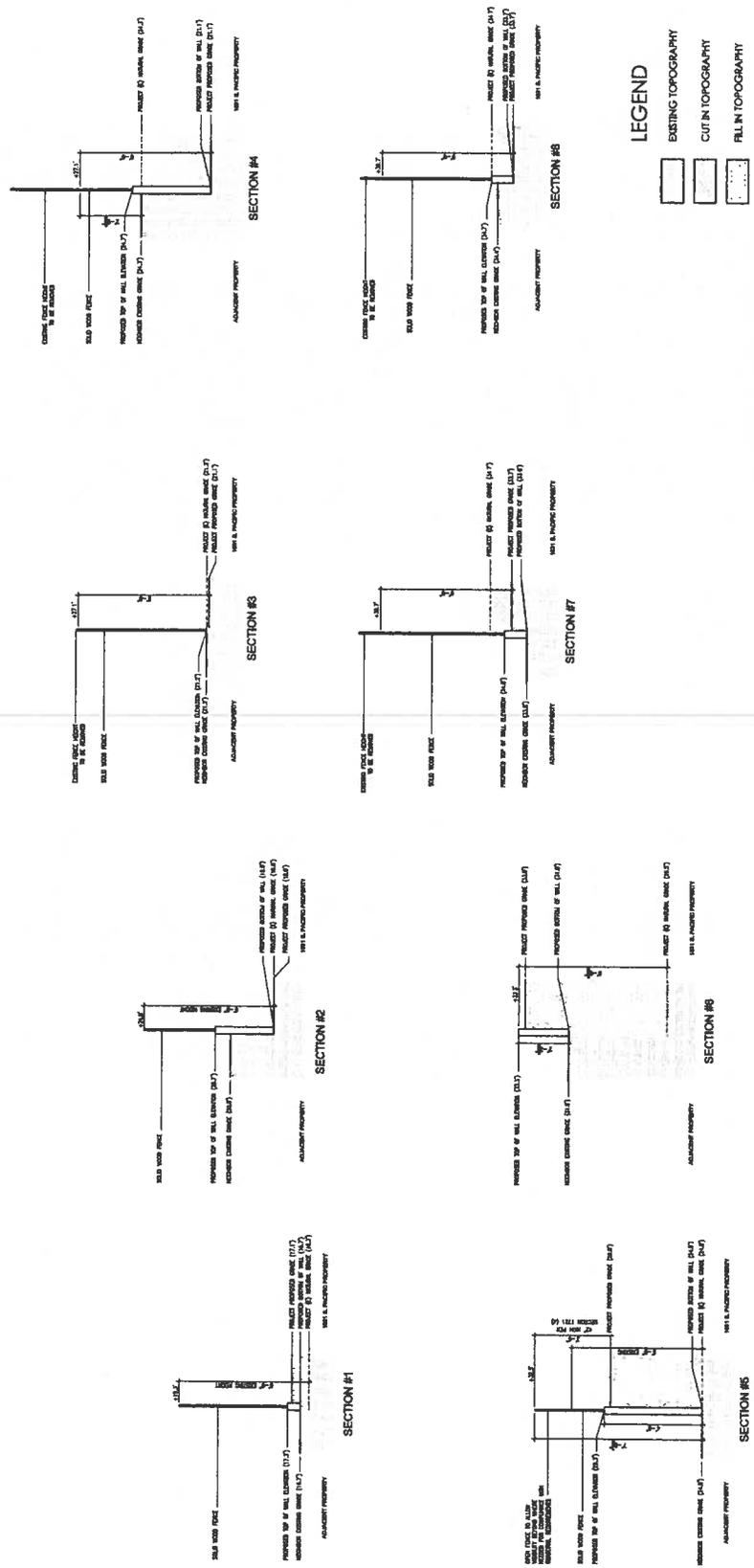
**CONTRACTOR:**  
 GEORGE S. INC.  
 1700 S. PACIFIC ST.  
 CHULA VISTA, CA 92010  
 PH: (619) 423-3118  
 FAX: (619) 423-3119



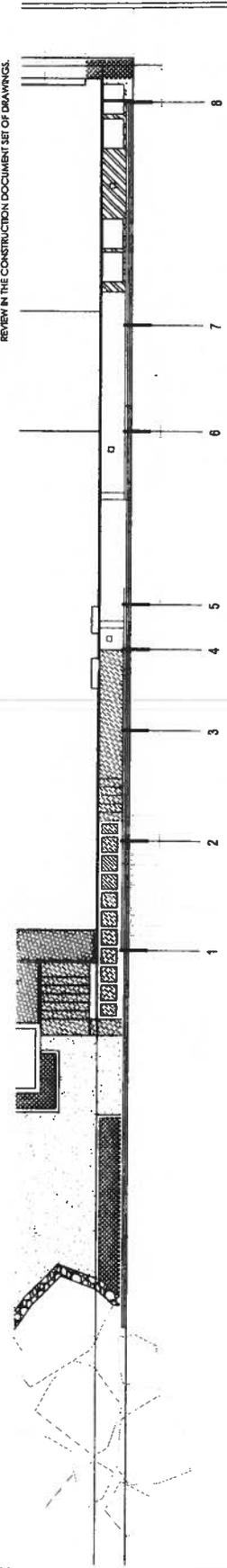
**DATE:** 04/29/15  
**SCALE:** AS NOTED  
**SEA PROJECT NUMBER:** 1504

**CONCEPTUAL FENCE SECTIONS**

**L1.4**



**FENCE SECTIONS - SOUTH PROPERTY LINE** Scale: 3/16" = 1'-0"  
 NOTE: THESE DRAWINGS REPRESENT CONCEPTUAL DESIGN ONLY.  
 FINAL DESIGN OF CONCEPTUAL DRAWINGS IS THE RESPONSIBILITY OF THE CLIENT.  
 REVIEW IN THE CONSTRUCTION DOCUMENT SET OF DRAWINGS.



**PLAN - SECTIONS @ SOUTH PROPERTY LINE** Scale: 3/16" = 1'-0"

© JAMES W. HANCOCK ARCHITECTS



**1631 SOUTH PACIFIC**  
Two Residences  
1631 S. PACIFIC ST.  
OCEANSIDE, CA 92055

PROPERTY OWNER:  
1631 SOUTH PACIFIC  
1025 B. CAMINO REAL, 1402  
SUNNYVALE, CA 94087

ARCHITECT:  
WYSE BARNES ARCHITECTS  
3000 BROADWAY  
SAN DIEGO, CA 92108  
TEL: (619) 591-1111  
FAX: (619) 591-8077

LANDSCAPE ARCHITECT:  
WYSE BARNES ARCHITECTS  
3000 BROADWAY  
SAN DIEGO, CA 92108  
TEL: (619) 591-1111  
FAX: (619) 591-8077

LANDSCAPE ARCHITECT:  
WYSE BARNES ARCHITECTS  
3000 BROADWAY  
SAN DIEGO, CA 92108  
TEL: (619) 591-1111  
FAX: (619) 591-8077

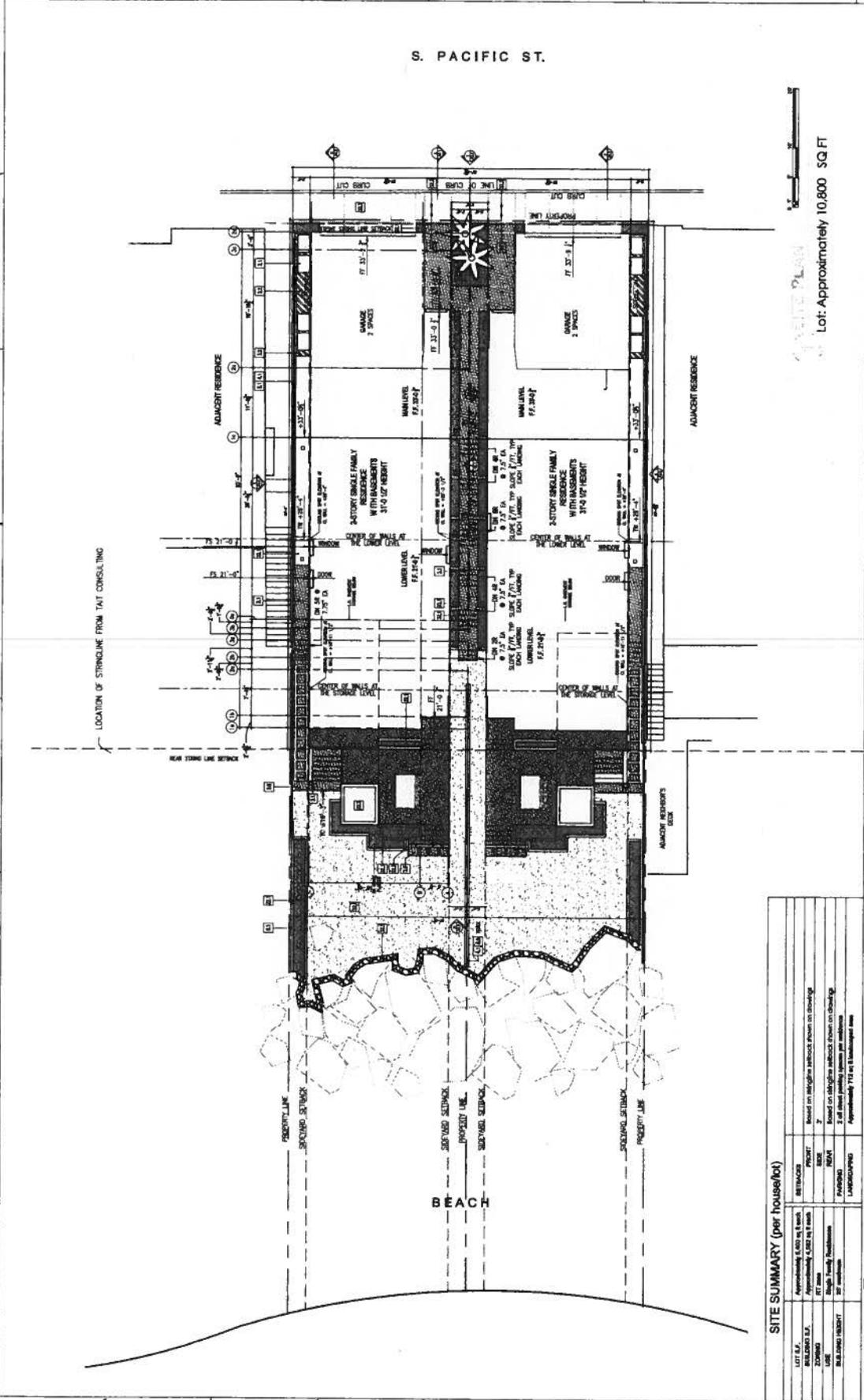
LANDSCAPE ARCHITECT:  
WYSE BARNES ARCHITECTS  
3000 BROADWAY  
SAN DIEGO, CA 92108  
TEL: (619) 591-1111  
FAX: (619) 591-8077



DATE: 08/17/15  
SCALE: 1/8" = 1'-0"  
SHEET NUMBER: 100

**SITE & HARDSCAPE PLAN**

**A1.0**



Lot: Approximately 10,800 SQ FT



**LEGEND**

- FLAVORING PER LANDSCAPE
- FINISHING PER LANDSCAPE
- CONCRETE
- ROCKS PER LANDSCAPE
- ANIMAL BLOWN OR HEDON
- GRASS
- GRASS LINE
- KEY HOLE
- BUILDING BOUNDARY
- BUILDING SECTION
- WALL OR CURB SECTION

**NOTES**

1. BUILDINGS ARE METRICALLY ALIGNED CENTER PROPERTY LINE. DIMENSIONS MATCH OTHER SETTING DRAWINGS ON ONLY ONE SIDE. APPLY TO BOTH SIDES UNLESS NOTED OTHERWISE.
2. FACE OF CURB TO BE EDGE OF CURB OR CURB WALL.
3. FACE OF WALL TO BE FACE OF WALL UNLESS NOTED OTHERWISE.
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**SITE SUMMARY (per house/lot)**

ITEM	DESCRIPTION	QUANTITY
1.0	CONCRETE FOUNDATION	1000
1.1	CONCRETE FLOORING	1000
1.2	CONCRETE WALLS	1000
1.3	CONCRETE ROOFING	1000
1.4	CONCRETE CURB	1000
1.5	CONCRETE DRIVE	1000
1.6	CONCRETE DRIVE	1000
1.7	CONCRETE DRIVE	1000
1.8	CONCRETE DRIVE	1000
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1.50	CONCRETE DRIVE	1000

**KEY NOTES**

1. INTERNALLY COLORED CONCRETE
2. CONCRETE FOUNDATION
3. CONCRETE FLOORING
4. CONCRETE WALLS
5. CONCRETE ROOFING
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**1631 SOUTH PACIFIC**  
 TWO BEDROOM  
 1631 S. PACIFIC ST.  
 OCEANSIDE CA 94945

PROPERTY OWNER:  
 TWO BEDROOM REAL ESTATE  
 1631 S. PACIFIC ST.  
 OCEANSIDE CA 94945

ARCHITECT:  
 ANDRE BARBER ARCHITECTS  
 1000 S. GARDEN ST.  
 SAN MARCO, CA 92078  
 PH: (760) 739-1111  
 FAX: (760) 739-1111

CIVIL ENGINEER:  
 TMT CONSULTING, INC.  
 1000 S. GARDEN ST.  
 SAN MARCO, CA 92078  
 PH: (760) 431-1611  
 FAX: (760) 431-1611

LANDSCAPE ARCHITECT:  
 ANDRE BARBER ARCHITECTS  
 1000 S. GARDEN ST.  
 SAN MARCO, CA 92078  
 PH: (760) 739-1111  
 FAX: (760) 739-1111

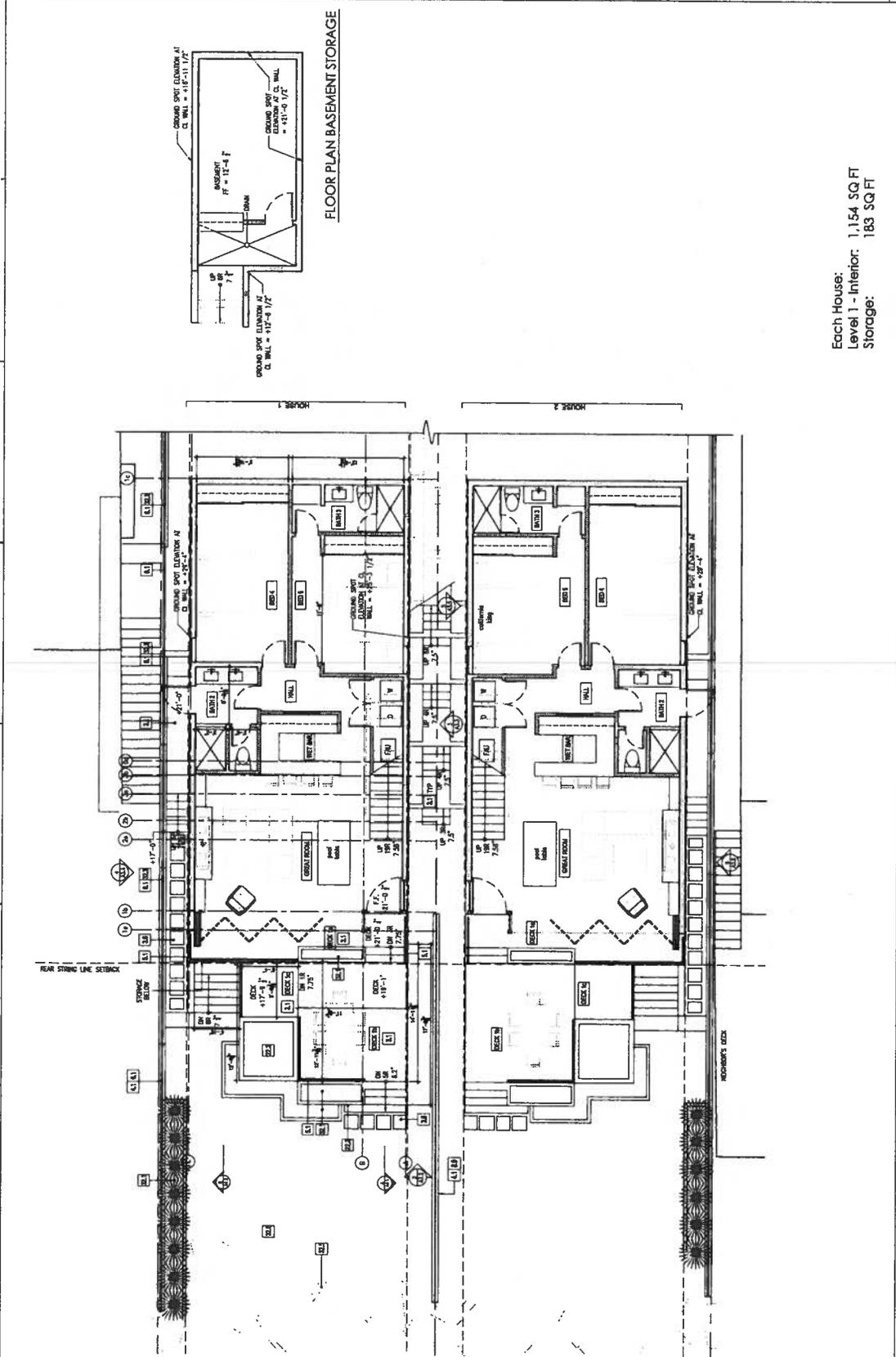
CONTRACTOR:  
 BOATMANER WAY  
 1000 S. GARDEN ST.  
 SAN MARCO, CA 92078  
 PH: (760) 431-1611  
 FAX: (760) 431-1611



Date: 04/29/15  
 Drawn: [Name]  
 Checked: [Name]  
 Approved: [Name]  
 Project Name: 1631 SOUTH PACIFIC  
 Project Number: 1631  
 Scale: 3/16" = 1'-0"  
 Date: 04/29/15

**FLOOR PLAN LEVEL 1**

**A2.1**



Each House: Level 1 - Interior: 1,154 SQ FT  
 Storage: 183 SQ FT

**KEY NOTES**

- 1.1 INTERNALLY COLORED CONCRETE
- 1.2 CONCRETE AND
- 1.3 CONCRETE SLAB
- 1.4 INTERNALLY COLORED CONCRETE FINISHES
- 1.5 CONCRETE FINISHES
- 1.6 ALUMINUM FINISHES
- 1.7 ALUMINUM FINISHES
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- 2.00 ALUMINUM FINISHES

**NOTES**

1. WALLS ARE REINFORCED ALONG ENTIRE PERIMETER. USE DIMENSIONS, NOT A OTHER DIMENSIONS ON ONLY ONE SIDE. APPLY TO BOTH SIDES UNLESS NOTED OTHERWISE.
2. DIMENSIONS ARE SET TO THE EDGE OF COMPONENT OR CUR WALL. UNLESS NOTED OTHERWISE. DIMENSIONS SHALL BE TO CENTERLINE OF COLUMN OR POST.

**LEGEND**

- WALL: C.F.P. CONCRETE
- DECK: ABOVE BLOW, OR HIDDEN
- VERTICAL DRAIN: VERTICAL DRAIN
- GRID LINE: GRID LINE
- REF NOTE: REF NOTE
- BUILDING ELEVATION: BUILDING ELEVATION
- BUILDING SECTION: BUILDING SECTION
- WALL OR DETAIL SECTION: WALL OR DETAIL SECTION

























**Beach view**



South Pacific Street view



DATE: April 20, 2015

TO: Chairperson and Members of the Planning Commission

FROM: Development Services Department/Planning Division

SUBJECT: **CONSIDERATION OF REGULAR COASTAL PERMITS (RC12-00020 AND RC12-00021) FOR THE DEMOLITION OF AN EXISTING SINGLE-FAMILY DWELLING AND CONSTRUCTION OF TWO NEW SINGLE-FAMILY DETACHED DWELLINGS ON TWO PARCELS AT 1631 SOUTH PACIFIC STREET WITHIN THE SOUTH OCEANSIDE NEIGHBORHOOD AND THE COASTAL ZONE – KCS PROPERTIES LLC @ 1631 SOUTH PACIFIC STREET – APPLICANT: KCS PROPERTIES LLC**

**RECOMMENDATION**

Staff recommends that the Planning Commission by motion:

- (1) Confirm issuance of a Class 3 Categorical Exemption per Section 15303(a), for New Construction or Conversion of Small Structures of the California Environmental Quality Act; and
- (2) Approve Regular Coastal Permits (RC12-00020 and RC12-00021) by adopting Planning Commission Resolution Nos. 2015-P14 and 2015-P15 with findings and conditions of approval attached herein.

**PROJECT DESCRIPTION AND BACKGROUND**

**Background:** Bearing a Residential Tourist (R-T) zoning designation, a High Density Residential Local Coastal Program land use designation and Urban High Density Residential (UHD-R) General Plan designation, the project site is situated within the Coastal Zone and the South Oceanside Neighborhood Planning Area. The subject property is comprised of two existing legal parcels each having a 30-foot (approx.) street frontage and extending seaward to the mean high tide line. The parcels slope downward (approximately 18 feet along the south property line and 19.5 feet along the north property line) from the South Pacific Street frontage to the rear yard area, landward of an existing quarry stone revetment. An existing two-story single-family dwelling straddles the common property line between the two parcels.

The existing quarry stone revetment runs along the entire length of the property's seaward width and is part of a continuous revetment that protects properties to the north and south of the subject site. The revetment is backed by an approximately 60-foot wide perched beach. The crest elevation of the revetment is about +16 feet NGVD29. The toe of the revetment is located about 160 feet west of the South Pacific Street centerline. The revetment has been in place for several decades and has protected the existing home and seacliff on the site. Further seaward encroachment of the revetment is generally considered to be contrary to the public access and recreational policies of the Coastal Act.

The original construction date of the revetment is not known, but analysis of historical aerial photographs (California Coastal Records Project Photographs) clearly shows a quarry stone revetment on-site in 1972. The winter of 1982-83 was an extreme El Nino winter which resulted in shoreline damage throughout southern California. As a result of the erosion associated with that event much of Oceanside's shoreline was hardened by quarry stone in 1983.

An inspection of the existing shore protection structures on July 10, 2012, found the revetment to be in good condition and not in need of any maintenance. No signs of significant erosion landward of the revetment were detected. The revetment's design was also determined to be in conformance with the City of Oceanside Standard Drawing M-19 "Typical Seawall Drawing". The GeoSoils, Inc. report dated July 25, 2012, (Attachment 3) indicates that as long as the revetment is maintained, the site is reasonably safe from erosion hazards and the shoreline is stabilized. It also states that while infrequent, it is possible that wave runup may overtop the revetment and reach the seaward portions of the proposed development, subjecting it to short-term nuisance water. Nevertheless, the revetment is sufficient to protect the improvements from wave induced structural damage. Standard conditions of project approval will ensure proper project design to address this issue to the satisfaction of the City of Oceanside.

The project under consideration is subject to the City's General Plan, Local Coastal Program (LCP), 1986 Zoning Ordinance, Subdivision Ordinance and the California Environmental Quality Act (CEQA).

**Project Description:** The project application consists of two Regular Coastal Permits as follows:

RC12-00020 and RC12-00021

The applicant proposes to demolish the existing two-story single-family dwelling and construct two single-family detached dwellings featuring a two-story over habitable basement and storage building design. The proposed dwellings would be sited in a "mirrored image" layout along the common property line with each residence designed to include approximately 3,947 square feet of habitable area, 183 feet of storage area and a two-car garage. The habitable portion of the building improvements

would be constructed landward of the coastal stringline setback, with balcony projections of 2-3 feet seaward of the stringline and deck improvements, not exceeding 2.5 feet (finished floor height), on the perched beach area.

The front and rear elevations of the proposed contemporary style buildings include horizontal and vertical relief and considerable massing off-sets at each building level. Clear glass railings are proposed at balconies and deck areas, allowing for shore views across the site from adjoining homes. Fenestration, stucco details and landscaping as proposed, add visual interest to side building elevations.

## **ANALYSIS**

### **KEY PLANNING ISSUES**

The proposed project has been analyzed for compliance with the General Plan, LCP and Zoning Ordinance and as conditioned, has been found to be consistent with applicable policies based on the following:

#### **1. General Plan**

##### **A. Land Use Element**

##### **Goal 1.23: Architecture**

**Objective:** The architectural quality of all proposed projects shall enhance neighborhood and community values and City image.

**Policy A:** Architectural form, treatments, and materials shall serve to significantly improve on the visual image of the surrounding neighborhood.

Development on properties along South Pacific Street has historically been shaped by their proximity to the ocean and includes single and multiple family units in a multitude of architectural styles. The existing, circa 1956, single-family dwelling maintains a low profile, single-story appearance along the street frontage, minimally articulated siding clad façade and wood shingle roof. The structure is not the work of a master architect or craftsman, nor is constructed of rare or unique materials. The existing building does not qualify under the criteria for nomination for listing in the National Register of Historical Places, California Register of Historic Resources, or the Oceanside Historical Resources Register and is proposed to be demolished.

Consistent with exterior building elevation treatment of newer homes along South Pacific Street, the design of the two new single-family dwellings features extensive glazing along the seaward facing elevations, taking advantage of Pacific Ocean views. The architecture is decisively contemporary, with streamlined functional features defining the exterior building form and overall design. The massing of the structures

incorporates horizontal offsets along South Pacific Street and “steps back” from the beach incorporating ample balcony/deck areas. Habitable building envelope improvements are proposed to be located east of the coastal stringline setback, with limited balcony and some deck projections seaward of the coastal stringline. The building’s unique style, details, and materials will positively contribute to the South Pacific Street streetscape.

**Goal 1.32: Coastal Zone**

**Objective:** To provide for the conservation of the City’s coastal resources and fulfill the requirements of the California Coastal Act of 1976.

**Policy A:** The City shall utilize the certified Local Coastal Plan for review of all proposed projects within the Coastal Zone. Specifically, the goals and policies of the Local Coastal Program Land Use Plan are the guiding policy review document.

*Adequate access to and along the coast shall be provided and maintained.*

a) Vertical beach access: Proposals that constitute multi-family development or involve at least 70 feet of street frontage are required to dedicate and construct vertical public access to the beach when such access is not already present within 250 feet of the proposed project. The subject request involves construction of two single-family dwellings on beachfront lots with 30-foot wide street frontages. Therefore the project is not subject to the vertical beach access provision.

b) Lateral beach access: Seawall structures are vital in protecting health and safety of beach residents but also tend to impede the public’s ability to laterally access the sandy beach and limit opportunities for passive recreational use along the shoreline. Submitted plans indicate that the top of the required protection revetment, lies approximately 31 feet seaward from the proposed building’s westernmost façade and the toe of the revetment is located approximately 160 feet from the centerline of South Pacific Street. Staff finds that the subject shoreline structure is sited as far inland as practicable. Seawall public access impacts have been addressed through conditions of project approval that would maintain lateral public access and use rights along the shoreline in perpetuity, payment of shoreline sand replenishment fees and monitoring/maintenance of the existing revetment structure.

*The City shall maintain existing view corridors through public rights-of-way.*

The proposed development does not include any habitable building envelope encroachments seaward of the coastal stringline setback, thus yielding a project that would maintain existing view corridors along the beachfront. Given the inclusion of clear glass balcony railing design features, the proposed minimal balcony projections of 2-3 feet west of the coastal stringline will not substantially impair private viewsheds from properties to the north and south of the project site.

The City shall ensure that all new development is compatible in height, scale, color and form with the surrounding neighborhood.

The proposed project's 31-foot height and two-story over basement design would not exceed the maximum height (35 ft.) or two stories, (whichever is less) permitted within the zoning district. The proposed architectural design will positively contribute to the existing street scene. The westerly facing elevation, as designed, will maintain an overall scale, complementary to existing beachfront development.

New development shall utilize optimum landscaping to accent and enhance desirable site characteristics and architectural features.

Front yard landscaping improvements on the typical 30-foot wide lots along South Pacific Street are constrained by the lateral dimension which only affords adequate space for driveway and pedestrian access. However, in this case the project's "mirror image" symmetrical design about the common property line allows for landscaping and decorative hardscape to be introduced at the common central entry point, thus enhancing the site's design and streetscape. A six-foot wide 50 percent transparent aluminum frame gate at the aforementioned location would also provide ocean views from South Pacific Street, consistent with applicable design guidelines.

**2. Zoning Compliance**

The proposed project is subject to compliance with the 1986 Zoning Ordinance which identifies development of single-family homes as a land use permitted by right within the RT (Residential-Tourist) Zone. With respect to development standards, the proposed project is in substantial conformance with applicable Single-Family Residential zone (R-1) parameters.

The following table illustrates the project's consistency with R-1 setback and height development standards:

<b>Development Standards</b>		
	<b>Required</b>	<b>Proposed</b>
Front Yard Setback	20 ft.	Adjusted per Section 1716 OZO 4 ft. street level & 7 ft. upper level w/ 3 ft. balcony projection @ South Pacific St.
Side Yard Setbacks	3 ft.	3 ft.
Rear Yard Setback	Coastal stringline	No habitable building envelope encroachment seaward of the stringline. 2-3 ft. encroachment of balconies seaward of coastal stringline
Maximum Height	35 ft. above average finished grade or 2 stories whichever is less (per R-1 standards)	31ft.

## ENVIRONMENTAL DETERMINATION

The development proposal has been reviewed pursuant to the California Environmental Quality Act (CEQA) and has been found to be exempt as a Class 3 15303 (a), Categorical Exemption "New Construction or Conversion of Small Structures".

## PUBLIC NOTIFICATION

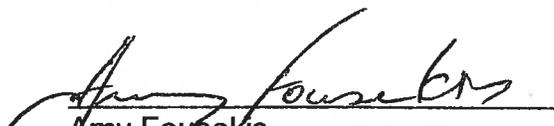
A legal notice was published in the newspaper and notices were sent to the applicant, property owners of record within 300-foot radius of the property, occupants within 100-foot radius of the property and interested parties.

## SUMMARY

Regular Coastal Permits (RC12-00020 and RC12-00021) as conditioned, are consistent with the requirements of the Zoning Ordinance, the land use policies of the General Plan and the policies of the Local Coastal Program. The project will comply with applicable development standards for the district in which it is situated. The project's scale and architecture are compatible with the surrounding neighborhood. Accordingly, staff recommends that the Planning Commission:

- Approve Regular Coastal Permit (RC12-00020 and RC12-00021) by adopting Planning Commission Resolution No. 2015-P14 and 2015-P15 with findings and conditions of approval attached herein.

PREPARED BY:

  
Amy Fousekis  
Principal Planner

SUBMITTED BY:

  
Jeff Hunt  
Interim City Planner

JH/AF/fil

### Attachments:

1. Planning Commission Resolution Nos. 2015-P14 and 2015-P15
2. Site Plan, Floor Plan, Elevations, Landscape Plan
3. Wave Runup, Coastal Hazard, and Shore Protection Study, dated July 25, 2012
4. Written communication from public (Email from Ms. Susan Parker, dated April 29, 2013)
5. Other Attachments (Application Page, Description and Justification, Legal Description, Notice of Exemption)



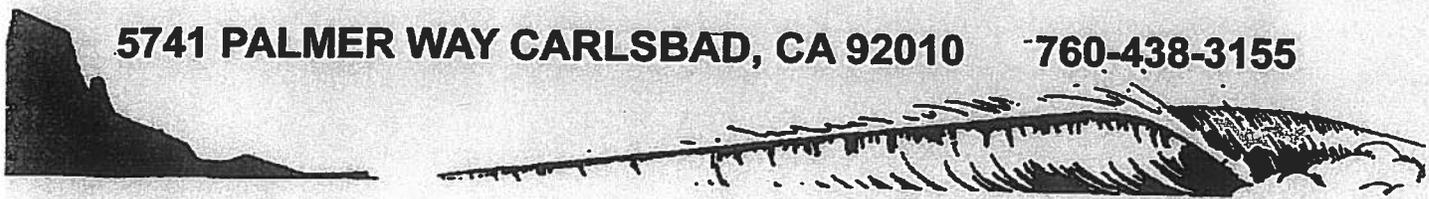
# Wave Runup, Coastal Hazard and Shore Protection Study

1631 South Pacific Street  
Oceanside

PREPARED FOR  
KCS Properties

July 25, 2012

5741 PALMER WAY CARLSBAD, CA 92010 760-438-3155



# GeoSoils Inc.

July 25, 2012

**KCS Properties**  
c/o Tait Consulting  
702 Civic Center Drive  
Oceanside, CA 92054

**SUBJECT: Wave Runup, Coastal Hazard, and Shore Protection Study, 1631 South Pacific Street, Oceanside, California**

Dear Sirs:

Geosoils Inc. (GSI) is pleased to provide this report in response to your request for a wave runup, coastal hazard, and shore protection study for the property located at 1631 South Pacific Street, Oceanside, CA. The analysis is based upon site elevations and preliminary plans, existing published reports concerning the local coastal processes, our site inspection, and knowledge of local coastal conditions. This report constitutes an investigation of the wave and water level conditions expected at the site in consequence of extreme storm and wave action. It also provides conclusions and recommendations regarding the stability of the existing shore protection system and the vulnerability of the site and proposed improvements to wave action and coastal hazards.

## INTRODUCTION

The property, located at 1631 South Pacific Street, Oceanside, California, lies on the face of a sea cliff between the Oceanside Harbor and the Buena Vista Lagoon. This section of shoreline is fronted by a sand beach and backed by the sea cliff and Pacific Street. Figure 1 is an aerial photograph of the site, downloaded with permission from the California Coastal Records Project web site ( <http://www.californiacoastline.org/> ). There is currently an older residence on the site. It is our understanding that two new residential structures are proposed for the site. The proposed development is to be at, or just landward of, the approved string line. The lowest floor of the proposed development at or above elevation 18 feet NGVD29. The lot is fronted by a quarry stone revetment which, based on our observations and area knowledge, may have been overtopped by waves in the past. The properties on either side of the subject site are fronted by the same type revetment. The beach in front of the revetment was nourished in Fall 2001 with sand as part of a regional beach nourishment program. In the past, under extreme winter storm conditions the beach often consist of cobbles, which lie below the sand at about elevation +1.0 feet NGVD29.

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Figure 1. Subject site and adjacent properties in September, 2010. Copyright © 2002-2010 Kenneth & Gabrielle Adelman.

#### DATUM

The datum used in this report is National Geodetic Vertical Datum 1929 (NGVD29). In the open ocean of the San Diego County coast, Mean High Water (MHW) is 2.3 feet above NGVD29 and Mean Sea Level (MSL) is 0.45 feet above NGVD29. The units of measurement in this report are feet (ft), pounds force (lbs), and second (sec). A site topographic survey, dated July 14 & 15, 2012, was performed by Tait Consulting Inc. and preliminary site development plans were discussed with Safdie Rabines Architects.

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**EXISTING SHORE PROTECTION EVALUATION**

A visual inspection of the existing shore protection at the site and the adjacent shore protection was performed on July 10, 2012. The existing shore protection consists of a quarry stone revetment backed by a perched beach. The revetment runs the entire length of the seaward property width and is part of a continuous revetment that protects properties to the north and south of the subject site. The visible stones in the revetment are both rounded and angular in shape and range in size from 200 lbs to about 6 tons. The average visible armor stone size is about 3 tons. During the site visit, the approximate location of the toe of the revetment was located by the undersigned. The toe is located about 160 feet west of the Pacific Street centerline. The crest elevation of the revetment is about +16 feet NGVD29. The visible slope of the revetment varies from 2/1 to 1.5/1 (h/v). The revetment is backed by a perched beach, about 50 feet wide. The revetment appears to be in good condition and not in any need of maintenance at this time.

**WAVE RUNUP AND OVERTOPPING ANALYSIS**

As waves encounter the beach in front of this section of shoreline, the water rushes up the beach and the revetment, and sometimes over the revetment. Often, wave runup strongly influences the design and the cost of coastal projects. Wave runup is defined as the vertical height above the still water level to which a wave will rise on a structure (revetment) of infinite height. Overtopping is the flow rate of water over the top of a finite height structure (the revetment) as a result of wave runup.

Wave runup and overtopping is calculated using the US Army Corps of Engineers (USACOE) Automated Coastal Engineering System (ACES). ACES is an interactive computer based design and analysis system in the field of coastal engineering. The methods to calculate runup and overtopping implemented within this ACES application are discussed in greater detail in Chapter 7 of the Shore Protection Manual (1984) and the 2002 USACOE Coastal Construction Manual. The overtopping estimates calculated herein are corrected for the effect of onshore winds. Figure 2 is a diagram showing the analysis terms.

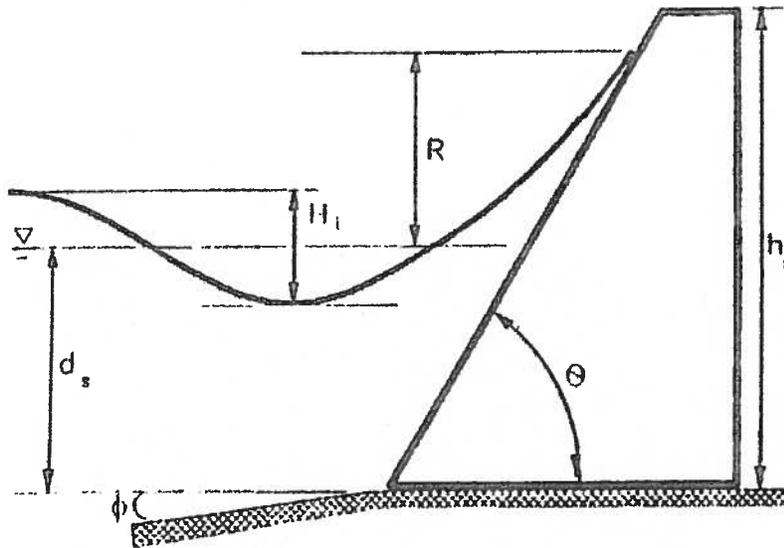


Figure 2. Wave runup terms from ACES analysis.

The wave, wind, and water level data used as input to the ACES runup and overtopping application was taken from the historical data reported in USACOE CCSTWS report #88-6 and updated to 2012, as necessary. The North County shoreline has experienced a series of storms over the years. These events have impacted coastal property and beaches depending upon the severity of the storm, the direction of wave approach, and the local shoreline orientation. The ACES analysis was performed on oceanographic conditions that represent a typical 75 to 100-year recurrence storm. Sea level rise over the life of the development was chosen from the Cayan, et al., 2008 scientific paper entitled "Climate change projections of sea level extremes along the California coast." This paper provides a range in sea level rise from 11 cm (4.3 in) to 72 cm (28 in) over the next 100 years. The maximum observed water level in the Oceanside area is about +5.3 feet NGVD29 on November 13, 1997. The extreme water elevation used in this analysis is +7.5 feet NGVD29 (max still water of +5.3 feet NGVD29 + 2.2 feet sea level rise). The design beach scour elevation at the toe of the revetement is -1.0 feet NGVD29. This scour elevation is reasonable due to the presence of the underlying cobbles that do not erode as easily as the beach sands. These cobbles are visible in the 1989 historical oblique aerial photograph when the beach was severely eroded, see Figure 3. The predicted lifetime of the proposed development is about 75 years. The onshore wind speed was chosen to be 20 knots.

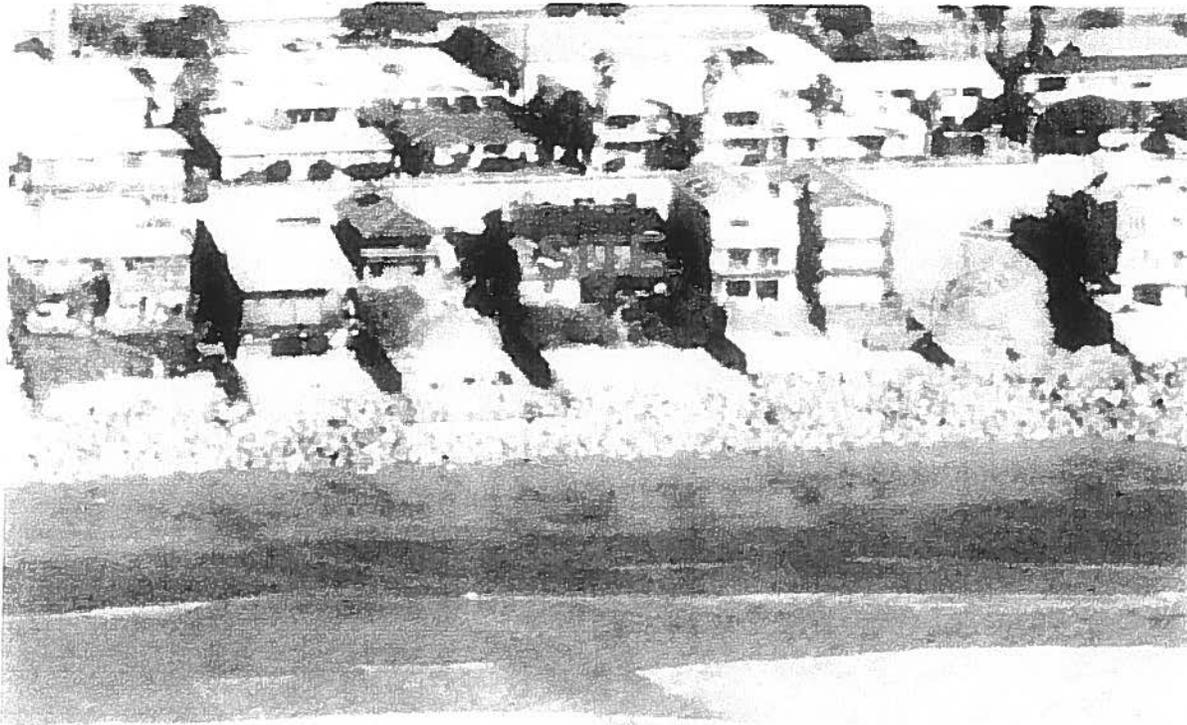


Figure 3. Subject site in 1989 under scoured beach conditions.

The wave that has the greatest runup is the wave that has not yet broken when it reaches the toe of the structure. It is not the largest wave to come into the area. The larger waves break offshore of the revetment and lose most of their energy before reaching the shoreline. If the total water depth is 8.5 feet, based upon a maximum scour depth of -1.0 feet NGVD29 at the toe of the revetment and a water elevation of +7.5 feet NGVD29, then the design wave height would be about 6.6 feet. The height of the revetment is about +16 feet NGVD29 (the lower average top of revetment). The visible slope of the revetment varies from 2/1 to 1.5/1 and the nearshore slope was chosen to be 1/60. Table I is the ACES runup and overtopping analysis output for these design conditions.

Table I

AUTOMATED COASTAL ENGINEERING SYSTEM ... Version 1.02 7/23/2012 13:14  
 Project: WAVE RUNUP OVERTOPPING 1631 S. PACIFIC OCEANSIDE

WAVE RUNUP AND OVERTOPPING ON IMPERMEABLE STRUCTURES				
Item		Unit	Value	
Wave Height at Toe	Hi:	ft	6.600	Rough Slope Runup and Overtopping
Wave Period	T:	sec	18.000	
COTAN of Nearshore Slope			60.000	
Water Depth at Toe	ds:	ft	8.500	
COTAN of Structure Slope			2.000	
Structure Height Above Toe	hs:	ft	17.000	
Rough Slope Coefficient	a:		0.956	
Rough Slope Coefficient	b:		0.398	
Deepwater Wave Height	H0:	ft	3.922	
Relative Height	(ds/H0):		2.167	
Wave Steepness	(H0/gT <sup>2</sup> ):		0.376E-03	
Wave Runup	R:	ft	12.038	
Onshore Wind Velocity	U:	ft/sec	33.756	
Overtopping Coefficient	Alpha:		0.500E-01	
Overtopping Coefficient	Qstar0:		0.140	
Overtopping Rate	Q:	ft <sup>3</sup> /s-ft	0.401	

Under the extreme worst case (>75-year recurrence), oceanographic conditions the analysis shows the revetment can be overtopped at a very small rate of about 0.4 ft<sup>3</sup>/s-ft. This is about 6 to 8 inches of water coming over the top of the revetment for each wave (18 second period). The impact of revetment overtopping waters on the proposed development behind it is reduced by the crest width of the revetment (a few feet) and the 50 feet wide perched beach. The 2004 US Army Corp of Engineers Coastal Engineering Manual (CEM) states that for every 25 feet, a wave bore travels across a sand beach, the height of the bore is reduced by 1 foot. A 1 foot high overtopping bore will likely not reach the back of the perched beach. In the event the overtopping water does reach the back side of the perched beach, the water velocity will be very small.

### COASTAL HAZARDS

There are three different potential oceanographic hazards identified at this site: shoreline erosion, flooding, and waves. For ease of review each of these hazards will be analyzed and discussed separately followed by a summary of the analysis including conclusions and recommendations as necessary.

#### Erosion Hazard

The back shore area of the subject site has been stabilized by a quarry stone revetment. This revetment prevents erosion of the site from waves. The beach fronting the site is

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subject to seasonal erosion and occasionally subject to artificial sand nourishment. The Oceanside shoreline was subject to an extensive study by the US Army Corps of Engineers as part of the Coast of California Storm and Tidal Wave Study (USACOE, 1991) and by the US Geological Survey (USGS, 2006). Historically, the shoreline is supplied sand by the San Luis Rey and Santa Margarita Rivers, and some bluff erosion. The construction of Oceanside Harbor and development within the watershed has reduced the amount of sand reaching the shoreline and fronting the site. The local history of erosion for this particular area is rather complex due to the impacts of dams, coastal structures, severe El Niño conditions, creek flow, and beach nourishment projects. The CCSTWS Main Report, dated September 1999, provides a very comprehensive history of erosion at and near the site. The USGS report provides a graphic presentation of both the short-term and long-term erosion trends. The USGS report reveals that the site is subject to some short-term erosion with no long-term erosion trend. However, short-term erosion, erosion occurring over time scales of days, can impact the site as a result of wave overtopping.

Analysis of historical aerial photographs contained in the California Coastal Records Project web site ( <http://www.californiacoastline.org/> ) clearly shows a quarry stone revetment in 1972. The winter of 1982-83 was an extreme El Niño winter which resulted in shoreline damage throughout southern California. As a result of the erosion, much of Oceanside's shoreline was hardened by quarry stone in 1983. The revetment has been in place for several decades and has protected the existing home behind it. No maintenance history of the existing structure is available. There are no signs of measurable erosion landward of the revetment over the last ~40 years. Because the shoreline is stabilized by the revetment and as long as the revetment is maintained, the site is reasonable safe from erosion hazards.

### **Flooding Hazard**

The lowest habitable proposed improvement at the seaward portion on site is above elevation +18 feet NGVD29. This is above any potential flood elevation from storm surge or extreme tides, and future sea level rise (maximum still water elevation of >+8 feet NGVD29). Potential flooding associated with wave runup is considered in the next section. Site drainage due to waters other than from the ocean is mitigated through the site drainage plan designed by the project civil engineer. The proposed development is reasonably safe from sustained flooding.

### **Wave Attack & Wave Runup**

The site is safe from direct wave attack due to the presence of the revetment and the elevation of the proposed improvements. The wave runup analysis herein uses the maximum possible wave that will break at the site in the next 75 years. The wave that produces the maximum runup on the structure is the one that breaks at the toe of the

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structure, not the largest wave in deep water. The design wave will be depth limited by the depth of water from the maximum scour to the maximum sea level elevation. As determined in this study, the maximum possible wave at the structure in the next 75 years is 6.6 feet high wave with a long period of 18 seconds.

Under the extreme worst case (100-year) oceanographic conditions, the revetment can be overtopped at a rate of about 0.4 ft<sup>3</sup>/s-ft. This is just 6 to 8 inches of water coming over the top of the revetment for each wave (18-second period). This overtopping is essentially further reduced by the crest width at the top of the structure and the 50 feet of perched beach. Ocean waters that make it to the back of the perched beach will have a reduced velocity and minimal impact. The overtopping water will ultimately percolate back into the sandy soils, and back toward the ocean.

### **Tsunami Hazard**

Tsunamis are waves generated by submarine earthquakes, landslides, or volcanic action. Lander, et al. (1993) discusses the frequency and magnitude of recorded or observed tsunamis in the southern California area. James Houston (1980) predicts a tsunami of less than 5 feet for a 500-year occurrence interval for this area. Any wave, including a tsunami, that approaches the Oceanside area will be depth limited, that is to say it will break in water depth that is about 1.3 times the wave height. The wave runup and overtopping analysis herein considers the maximum possible unbroken wave at the structure. This wave is about 6.5 feet high. The runup and overtopping analysis can also serve to estimate the amount of wave overtopping as a result of a tsunami occurring at the peak high tide. A 5 foot high tsunami, during a very high tide, will impact the site much like the 100-year recurrence interval wave height overtopping. The tsunami, much like the design extreme wave, will break on or before the structure, losing much of its energy. Due to the infrequent nature and the relatively low 500-year recurrence interval tsunami wave height, the site is reasonably safe from tsunami hazards.

### **CONCLUSIONS**

- A. The existing revetment is in conformance with the City of Oceanside Standard Drawing M-19 "Typical Seawall Drawing". The average top of the revetment is about +16 feet NGVD29 which is in conformance with City of Oceanside standard of +16.0 feet MSL.
- B. A worst case wave event, similar to the January of 1988 or the winter of 1982-83 with a 75-year rise in sea level, will produce wave overtopping of the revetment. This overtopping will amount to about 0.4 ft<sup>3</sup>/s-ft or about 1 foot of water. This

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amount of overtopping will occur on each wave cycle (18 seconds), but only during a 30-minute window when the sea level is the highest.

- C. The existing shore protection system (revetment and perched beach), if maintained, is adequate to protect the proposed development from any wave induced structural damage, but may not be adequate to prevent short-term nuisance water.

**RECOMMENDATIONS**

- A. The revetment is in good condition and not in need of maintenance at this time.
- B. While infrequent, it is possible that minor wave runup may reach the seaward portions of the proposed development. The revetment is sufficient to protect the improvements from water damage.
- C. Long-term stability of the site will depend on the continued maintenance of the revetment. Maintenance includes replacement of the stones lost due to the combined effects of settlement, scour, and wave action dislodging the stones. Any necessary maintenance can be performed without any additional seaward movement of the revetment.
- D. The revetment should be inspected by a coastal engineer if any changes are noted or after very significant wave attack.
- E. Final plans for the development should be reviewed and approved by this office for conformance with the recommendations of this report.

**LIMITATIONS**

Coastal engineering is characterized by uncertainty. Professional judgements presented herein are based partly on our evaluation of the technical information gathered, partly on our understanding of the proposed construction, and partly on our general experience. Our engineering work and judgements have been prepared in accordance with current accepted standards of engineering practice; we do not guarantee the performance of the project in any respect. This warranty is in lieu of all other warranties, express or implied.

In closing, the subject site and proposed development are reasonably safe from coastal hazards provided the recommendations contained in this study are properly implemented. If you have any questions please contact us at the number below.

Sincerely,



**GeoSoils Inc.**  
**David W. Skelly MS, PE**  
**Coastal Engineer**  
**RCE# 47857**

EDD 12/31/13

# GeoSoils Inc.

## REFERENCES

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***5741 Palmer Way, Suite D, Carlsbad CA 92010 w.o. s6428 760-438-3155***

## Susan Parker

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**From:** Susan Parker [susan@800ideas.com]  
**Sent:** Monday, April 29, 2013 5:36 PM  
**To:** 'AFOUSEKIS@oCEANSIDE.CA.US'  
**Subject:** FW: project at 1631 S. Pacific

**From:** Susan Parker [ ]  
**Sent:** Monday, April 29, 2013 5:19 PM  
**To:** 'AFOUSEKIS@Oceanside.CA.US'  
**Subject:** project at 1631 S. Pacific

Dear Ms Fousekis,

Thank you very much for taking the time to meet with me and letting me review the plans for the project at 1631 south Pacific Street, Oceanside, 92054, numbers RC 12-000020 & Rc12-000021. I am the owner of property next door and immediately south of this project, at 1633 South Pacific. This project is of great concern to myself and a number of neighbors both to the north and south. Based on the plans we have all seen, the property, if allowed to be built as planned, will go all the way to the string line, thereby blocking our views, breeze and putting my home in a set-back or as I like to say "deep in a tunnel". I am positive it will reduce all our property values. What is the beach without a view? The property is suppose to "conform" to those already built and I do not believe that is the case with this project. Two almost five thousand square foot homes on that size property is not conforming to its neighboring properties. When you add in moving them all the way to the string line and it becomes almost encroachment. The plans seem to show the string line at 93 or 94 ft. I was told it was 84 ft just two years ago when I extended a deck.

I think we all appreciated improvement for the beach and the city BUT we have all invested a lot of money in our own homes and feel we should all be considered by the planning board, city council and city manager when new projects come up next door to us. How can we voice our opinions if we only find out about a project 10 days before. What if we miss that meeting because we are not available that particular day? I know this is a new policy but I think it is wrong when a project affects you directly, for example right next door or within a few houses.

I have had many calls from neighbors who are extremely concerned about this project. I know they will happily write or come to any meeting scheduled. I have taken your suggestion and called the managing partner for the corporation listed on the notice. I have asked them to meet with myself and my neighbors, they have yet to respond. I will ask them to change their plans to build all the way to the maximum of the string line and not take away my view to the north. I already have one neighbor at 1635 that has a deck that extends out. If this goes forward I will have no view an both sides.

I am waiting to hear from the owners of the property. They are a corporation that I'm sure will build and sell the two houses. I have lived in Oceanside for twelve years, first at a condo and now at this house. I have paid taxes and enjoyed all the beauty of the beach. I am proud of the progress in the city. I know this concerns mainly myself and my neighbors but we have all supported this growth. Some of them have been in Oceanside for 30 + years. Please protect our home values and do not approve plans for a non-conforming project.

Please let me know when the meeting will take place regarding this project. Thank you very much.

Best Regards,



Susan Parker

Phone - 858 756-3888

Cell - 858-525-5888

e-mail

fax - 858-756-3999

Lot 26

RC12-00020



### Application for Discretionary Permit

Development Services Department / Planning Division  
760-435-3520  
Oceanside Civic Center, 300 North Coast Highway  
Oceanside, California 92054-2885

#### STAFF USE ONLY

ACCEPTED

RECEIVED  
DEVELOPMENT SERVICES

PLEASE PRINT OR TYPE ALL INFORMATION

HEARING

#### PART I - APPLICANT INFORMATION

1. APPLICANT:	KCS Properties, LLC	2. STATUS	
3. ADDRESS	1030 E. El Camino Real, #343 Sunnyvale, CA 94087	PHONE / FAX	650-868-4860
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing)		Susan Richard	
6. ADDRESS	SAFDIE RABINES ARCHITECTS 925 Fort Stockton Drive, San Diego, California 92103	7. PHONE / E-mail	619.297.6153 susan@safdierabines.com

G.P.A
MASTER / SP.PLA
ZONE CHANGE
TENTATIVE MAP
PARCEL MAP
DEV. PL.
C.U.P.
VARIANCE
COASTAL
O.H.P.A.C.

RC12-00020

#### PART II - PROPERTY DESCRIPTION

8. LOCATION	1631 South Pacific Street Oceanside, CA 92054		9. SIZE	Approx. 10,990 sf
10. GENERAL PLAN	11. ZONING	12. LAND USE,	13. ASSESSOR'S PARCEL NUMBER	
UHD, LCP: HIGH DENSITY	RT	SINGLE FAMILY RESIDENTIAL	153-091-12 (Part 2 / Lot 26)	
14. LATITUDE	15. LONGITUDE			
33° 10' 30.7812"	-117° 22' 2.3658"			

#### PART III - PROJECT DESCRIPTION

16. GENERAL PROJECT DESCRIPTION:  
Demolition of a single family residence and construction of two 3 story single family homes.  
This application is for the second of the two new homes.

17. GENERAL PLAN	18. ZONING	19. LAND USE	20. NO. UNITS	21. DENSITY
HIGH DENSITY	RT	SINGLE FAMILY RESIDENTIAL	2	Prop.: 8 DU/Ac.
22. BUILDING SIZE: 2 BLDGS	23. PARKING SPACES	24. % LANDSCAPING	23. % LOT COVERAGE:	
4582 sf each	2 for each house, in garages	7%	40%	

#### PART IV - ATTACHMENTS

<input checked="" type="checkbox"/> 26. DESCRIPTION/JUSTIFICATION	<input checked="" type="checkbox"/> 27. LEGAL DESCRIPTION	<input checked="" type="checkbox"/> 28. TITLE REPORT
<input checked="" type="checkbox"/> 29. NOTIFICATION MAP AND LABELS	<input checked="" type="checkbox"/> 30. ENVIRONMENTAL INFO FORM	<input checked="" type="checkbox"/> 31. PLOT PLANS
<input checked="" type="checkbox"/> 32. FLOOR PLANS AND ELEVATIONS	<input checked="" type="checkbox"/> 33. CERTIFICATION OF POSTING	<input checked="" type="checkbox"/> 34. OTHER (See attachment for required reports)

#### PART V - SIGNATURES

SIGNATURES FROM ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY)

35. APPLICANT OR REPRESENTATIVE (Print)	36. DATE	37. OWNER (Print)	38. DATE
		KCS PROPERTIES, LLC	12-18-12
Sign:		Sign:	

I DECLARE UNDER THE PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE & CORRECT. FURTHER, I UNDERSTAND THAT SUBMITTING FALSE STATEMENTS OR INFORMATION IN THIS APPLICATION MAY CONSTITUTE FRAUD, PUNISHABLE IN CIVIL AND CRIMINAL PROCEEDINGS.

I HAVE READ AND AGREE TO ABIDE BY THE CITY OF OCEANSIDE DEVELOPMENT SERVICES DEPARTMENT AND ECONOMIC AND COMMUNITY DEVELOPMENT DEPARTMENT POLICY NO. 2011-01/POLICY AND PROCEDURE FOR DEVELOPMENT DEPOSIT ACCOUNT ADMINISTRATION.

Lot 25

RC 12-00021



### Application for Discretionary Permit

Development Services Department / Planning Division  
760-435-3520  
Oceanside Civic Center, 300 North Coast Highway  
Oceanside, California 92054-2885

#### STAFF USE ONLY

ACCEPTED

RECEIVED  
CITY OF OCEANSIDE  
DEVELOPMENT SERVICES

PLEASE PRINT OR TYPE ALL INFORMATION

HEARING

#### PART I - APPLICANT INFORMATION

1. APPLICANT:	KCS Properties, LLC	2. STATUS	
3. ADDRESS	1030 E. El Camino Real, #343 Sunnyvale, CA 94087	PHONE / FAX	650-868-4860
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing)	Susan Richard		
6. ADDRESS	SAFDIE RABINES ARCHITECTS 925 Fort Stockton Drive, San Diego, California 92103	7. PHONE / E-mail	619.297.6153 susan@safdie Rabines.com

G.P.A.
MASTER / SP_PLA
ZONE CHANGE
TENTATIVE MAP
PARCEL MAP
DEV. PL.
C.U.P.
VARIANCE

COASTAL
O.H.P.A.C.

RC 12-00021

#### PART II - PROPERTY DESCRIPTION

8. LOCATION	1631 South Pacific Street Oceanside, CA 92054		9. SIZE	Approx. 10,990 sf
10. GENERAL PLAN	11. ZONING	12. LAND USE,	13. ASSESSOR'S PARCEL NUMBER	
UHD, LCP: HIGH DENSITY	RT	SINGLE FAMILY RESIDENTIAL	163-091-12 (LOT 25)	
14. LATITUDE	15. LONGITUDE			
33° 10' 30.7812"	-117° 22' 2.3668"			

#### PART III - PROJECT DESCRIPTION

16. GENERAL PROJECT DESCRIPTION:  
Demolition of a single family residence and construction of two 3 story single family homes.

17. GENERAL PLAN	18. ZONING	19. LAND USE	20. NO. UNITS	21. DENSITY
HIGH DENSITY	RT	SINGLE FAMILY RESIDENTIAL	2	Prop.: 8 DU/Ac.
22. BUILDING SIZE: 2 BLDGS	23. PARKING SPACES	24. % LANDSCAPING	23. % LOT COVERAGE:	
4582 sf each	2 for each house, in garages	7%	40%	

#### PART IV - ATTACHMENTS

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<input checked="" type="checkbox"/> 32. FLOOR PLANS AND ELEVATIONS	<input checked="" type="checkbox"/> 33. CERTIFICATION OF POSTING	<input checked="" type="checkbox"/> 34. OTHER (See attachment for required reports)

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35. APPLICANT OR REPRESENTATIVE (Print)	36. DATE	37. OWNER (Print)	38. DATE
Susan Richard	12/14/12	KCS PROPERTIES, LLC	12/14/12
Sign:		Sign:	

I DECLARE UNDER THE PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE & CORRECT. FURTHER, I UNDERSTAND THAT SUBMITTING FALSE STATEMENTS OR INFORMATION IN THIS APPLICATION MAY CONSTITUTE FRAUD, PUNISHABLE IN CIVIL AND CRIMINAL PROCEEDINGS.

I HAVE READ AND AGREE TO ABIDE BY THE CITY OF OCEANSIDE DEVELOPMENT SERVICES DEPARTMENT AND ECONOMIC AND COMMUNITY DEVELOPMENT DEPARTMENT POLICY NO. 2011-01/POLICY AND PROCEDURE FOR DEVELOPMENT DEPOSIT ACCOUNT ADMINISTRATION.

RECEIVED

MAY 04 2015

**Project Description and Justification  
RC12-00020**

CITY OF OCEANSIDE  
DEVELOPMENT SERVICES

**Project Description:**

This project is located at 1631 South Pacific Street on Lot 25 of Map 909. It includes the demolition of an existing house, built circa 1956. The house will be replaced by one home of about 4582 square feet in size (including the basement and garage). The maximum building height is 34.9 feet. The homes will be 3 levels (2 stories and a basement), matching many of the homes in the neighborhood.

The site slopes from an elevation of about 33 in the southeast corner at the frontage with South Pacific Street, down to about sea level at the western edge of the site. No changes are proposed to the western portion of the site, from the existing rock revetment to the western property line.

A wave runup study is included in the project submittal, which states that "The revetment appears to be in good condition and not in any need of maintenance at this time." The study also states that the site will be reasonably safe from erosion hazards, sustained flooding, wave attack and wave run-up, and tsunami hazards.

The site design conforms to the general pattern of development in the area, with garages at street level and living areas at 3 levels. The lower level is above the existing ground level behind the revetment, and includes 2 bedrooms, 1 bath and deck. The mid-level, with garage, is at street level and includes the living and dining areas, kitchen, powder room and balcony. The upper level is about 12 feet above street level and includes the master bedroom and bath, two additional bedrooms and one bath, as well as balconies on the east and west sides.

The project also includes a storage room in the basement, with a floor at an elevation of about 12.5.

The new home will enjoy beach and ocean views to the south, west and north, from all three levels. But the new construction does not block ocean and shore views from the adjoining homes.

The front and rear elevations include both horizontal and vertical relief and variations, with large step backs at each level. A deck is included at beach level along with balconies with clear glass railing levels 2 & 3 on the west side and above the garage on the east side. Visual interest on the side elevations will consist of windows, stucco detailing and planting.

The project landscaping consists of a palette of drought tolerant plants, including queen palms at the front of the project. The project front elevation will also include succulents and grasses in planters around the project entrance and on each side of the garage. The balcony above the garage will have potted planters.

The side yards will include a mix of large grasses, and succulents. Pavers are used in lieu of concrete sidewalks to improve both the aesthetic effect and reduce impervious area.

The home shares a central walkway with an adjoining new home, which will have a concrete walkway, with steps leading from the entrance level down to the lower level and the rear yard. This allows room for a planter on each side of the walkway.

Irrigation zones will be separated by plant materials types, exposure and orientation. A rain shut-off device will be connected to the irrigation controller.

## **This Project Conforms to Oceanside Local Coastal Plan**

1. The project conforms to public access and recreation policies. The land upon which this project is proposed does not have any existing public access through the property. There is public access 680 feet to the north at Buccaneer's Beach. This project will not affect that access.
2. Adequate parking is being proposed within the project, so that there will be no negative impact on parking in the area.
3. The proposed project will not affect access or use of public or private recreation in the area.
4. By complying with the City and State zoning, grading and storm water regulations, this project will not have a significant effect on the marine environment. No diking, filling, dredging of coastal waters is proposed.
5. No environmentally sensitive habitat areas will be adversely affected by this project.
6. This project is being developed in an area that already has sufficient transportation and utility infrastructure to serve the project.
7. The proposed home is consistent with the surrounding neighborhood, so that the visual qualities of the coastal area will not be adversely affected.
8. No natural landforms are to be altered by this project.
9. The project is designed to stay behind the "string-line". In addition, the front (east) yard setback upper level has been set back 5' from the property line.

### **In addition:**

1. This project will not require the addition of any utilities or other public services and facilities.
2. The development will preserve the character of the current topographic features and will not contribute to slope instability, flooding or erosion hazards to life and property. The site does not have any significant topographic features.
3. Structures are designed to adapt to the current topography.
4. There are no Undevelopable Lands in the project site.

We respectfully request your favorable consideration of this project.

**EXHIBIT A**

**LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

**LOTS 25 AND 26 IN BLOCK "E" OF OCEAN FRONT ADDITION, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 909, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 8, 1904.**

**EXCEPTING THEREFROM THAT PORTION, IF ANY NOW OR HEREFORRE LYING BELOW THE MEAN HIGH TIDE LINE OF THE PACIFIC OCEAN.**

APN: 153-091-12-00



# NOTICE OF EXEMPTION

City of Oceanside, California

Post Date:  
Removal:  
(180 days)

1. **APPLICANT:** KCS Properties LLC
2. **ADDRESS:** 1631 S. Pacific St.
3. **PHONE NUMBER:** (650) 868-4860
4. **LEAD AGENCY:** City of Oceanside
5. **PROJECT MGR.:** Amy Fousekis
6. **PROJECT TITLE:** RC12-00020 (KCS Properties LLC @ 1631 S. Pacific St)
7. **DESCRIPTION:** The project involves demolition of a single-family dwelling and construction of a new two-story over basement residence on a beachfront lot at 1631 S. Pacific Street. Situated within the Coastal Zone and the South Oceanside Neighborhood Planning Area, the subject property bears a Local Coastal Program land use designation of High Density Residential and a zoning designation of Single-Family Residential (R-T).

**ADMINISTRATIVE DETERMINATION:** Planning Division staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA), 1970. Based on this review, the Environmental Coordinator has determined that further environmental evaluation is not required because:

- The project is categorically exempt as a Class 3, 15303 (a) for New Construction;
- "The activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA" (Section 15061(b)(3)); or,
- The project is statutorily exempt, Section , \_\_\_\_ ( Sections 15260-15277); or,
- The project does not constitute a "project" as defined by CEQA (Section 15378).

Date: April 20, 2015

\_\_\_\_\_  
Amy Fousekis, Principal Planner

cc:  Project file  Counter file  Library Posting:  County Clerk \$50.00 Admin. Fee

**LEGAL DESCRIPTION  
1631 SOUTH COAST HIGHWAY**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF OCEANSIDE,  
COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

**LOTS 25 AND 26 IN BLOCK "E" OF OCEAN FRONT ADDITION, IN THE CITY OF OCEANSIDE,  
COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 909,  
FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 8, 1904.  
EXCEPTING THEREFROM THAT PORTION, IF ANY NOW OR HEREFOR Lying BELOW THE  
MEAN HIGH TIDE LINE OF THE PACIFIC OCEAN.**

APN: 153-091-12-00

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## NOTICE OF EXEMPTION

City of Oceanside, California

Post Date:  
Removal:  
(180 days)

1. **APPLICANT:** KCS Properties LLC
2. **ADDRESS:** 1631 S. Pacific St.
3. **PHONE NUMBER:** (650) 868-4860
4. **LEAD AGENCY:** City of Oceanside
5. **PROJECT MGR.:** Amy Fousekis
6. **PROJECT TITLE:** RC12-00021 (KCS Properties LLC @ 1631 S. Pacific St)
7. **DESCRIPTION:** The project involves demolition of a single-family dwelling and construction of a new two-story over basement residence on a beachfront lot at 1631 S. Pacific Street. Situated within the Coastal Zone and the South Oceanside Neighborhood Planning Area, the subject property bears a Local Coastal Program land use designation of High Density Residential and a zoning designation of Single-Family Residential (R-T).

**ADMINISTRATIVE DETERMINATION:** Planning Division staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA), 1970. Based on this review, the Environmental Coordinator has determined that further environmental evaluation is not required because:

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 "The activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA" (Section 15061(b)(3)); or,  
 The project is statutorily exempt, Section , \_\_\_\_ ( Sections 15260-15277); or,  
 The project does not constitute a "project" as defined by CEQA (Section 15378).

Date: April 20, 2015

\_\_\_\_\_  
Amy Fousekis, Principal Planner

cc:  Project file  Counter file  Library Posting:  County Clerk \$50.00 Admin. Fee