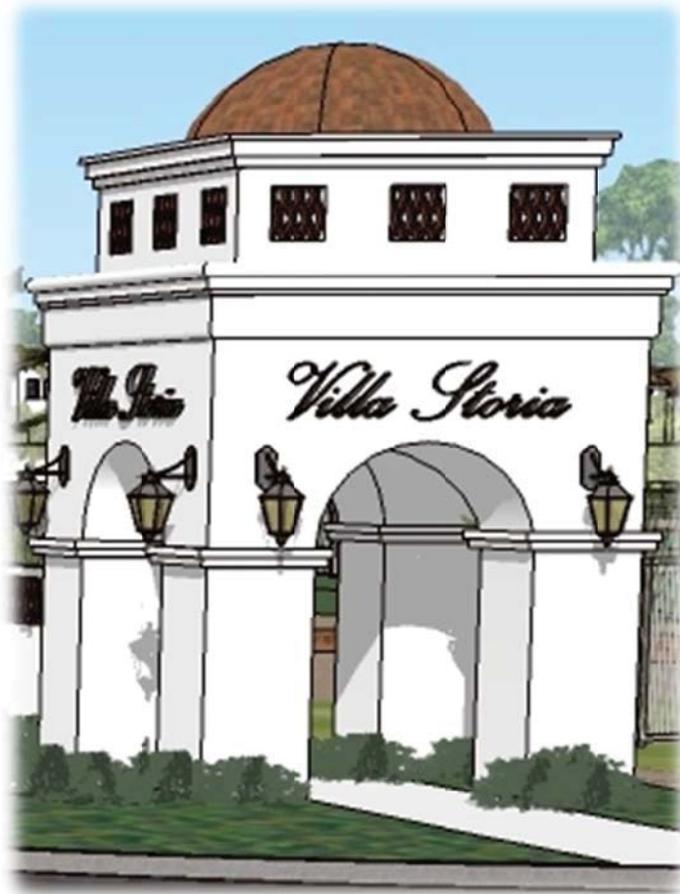


# VILLA STORIA Planned Development Plan



May 2015

# **VILLA STORIA**

## **Planned Development Plan**

**Draft**

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## Chapter One

### 1.0 Introduction

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The Villa Storia Planned Development Plan (the “PD Plan”) area is located in the San Luis Rey Neighborhood Planning Area, within the north-central portion of the City of Oceanside as shown by Figure 1-1, *Regional Map*. The 35.59-acre site is centered north of the intersection of Mission Avenue and Academy Road and located within the Mission San Luis Rey Historic Area. The site and nearby surroundings are shown on Figure 1-2, *Vicinity Map*. The plan area is bisected into eastern and western portions by Academy Road, with the land west of Academy Road located within the designated Historic ‘Core’.

The Villa Storia PD Plan envisions the development of a high quality residential community that is respectful of nearby historic resources and complementary to surrounding land uses. The PD Plan establishes the land use, density, development regulations, design standards, common area amenities, and primary infrastructure requirements that will direct future development within the plan area.

The Villa Storia PD Plan site presents a unique opportunity to establish an infill community that will complement surrounding residential, institutional, and commercial development. Single-family uses are adjacent to the site on the east and northeast. A medium density mobile home development, vacant land, and single-family residential properties are also located to the north. The Mission San Luis Rey Parish Church property borders the PD Plan area on the west, with the Mission San Luis Rey grounds located west of the Parish. Ivey Ranch Park is located south across Mission Avenue. Highway 76 borders the PD Plan area along the southeast with medium-density condominiums and a large commercial center (Old Grove Marketplace) located south of the highway alignment.

The PD Plan designates four separate Planning Areas that will support a variety of residential uses including single-family detached and cluster developments, multi-family attached clusters, townhouses, and stacked flats. In order to respond to existing edge conditions, the Plan transitions from lower to higher density starting in the northeast section and moving counterclockwise around the site.

The Plan establishes an overall development range that could allow from 375 to 547 dwelling units with a corresponding overall density range of approximately 11.7 units to 17.1 units per acre to meet the local housing needs. However, a dwelling unit ‘cap’ is proposed with a maximum allowance of only 420 dwelling units within the overall PD Plan area. This corresponds to an overall PD density of 13.1 dwelling units per acre. Separate land use designations and development densities are prescribed for each Planning Area. Future planning areas will be subject to further review of development plans and analysis where the ultimate product type, density and unit count will be determined for each area subject to the criteria in the PD Plan. Density transfer within the Planning Areas is not provided for in the PD. All future plans will be reviewed for consistency with this PD Plan.

Development envisioned in the PD Plan area will offer distinct residential neighborhoods tied together by a community theme, while promoting compatibility with the adjacent Historic Mission and Parish properties. The main architectural themes appropriate for the

PD Plan area are within the Mission Revival and Spanish Colonial Revival families. This style of architecture reflects the traditional heritage of Southern California and the area's historical vernacular. Planning Areas will include attached and detached housing featuring two and three story structures with potential square footages ranging from 1,000 to 2,700. Beyond architecture, the community theme promotes a variety of open space and connectivity to promote community activities and walkability.

Community design elements take into account the historical context and significance of the area and are intended to evoke a sense of Old World charm. Proposed entry monumentation incorporates key architectural elements of the nearby historic Mission site and creates a signature element and marquee entry point for the community. A tower archway with a segmented dome roof and monument signage are featured - designed to complement Mission elements and be consistent with the Mission San Luis Rey Historic Area Development Program and Design Guidelines. Designs include stucco cladding, decorative cornice and wall caps, and iron light fixtures.

A key open space component in the plan is a community park, approximately one acre in size that radiates on the south western corner of the project. This public park will provide pedestrian entry into the PD Plan area. It is designed as the primary focal point of the project and reinforces the Mission theme. It continues the early California theme with a grove of citrus trees, an area for community recreation and gathering and a paseo connection through the easterly portion of the community to Academy. This access point will provide a landmark and community gateway feature which will enhance the western entry into the Mission San Luis Historic Area along the Mission Avenue corridor. A key design goal is to create a sense of pedestrian connectivity, to make a community feel walkable and bikeable and to connect the residential planning areas with a network of landscape areas. Contributing elements may include community design features such as themed landscaping, decorative walls, custom signage details, and enhanced paving focused along public streets and at gateway nodes into the Planning Areas.

Pedestrian and bicycle connectivity is a primary focus of the Villa Storia planned landscape and site design. The pedestrian circulation system links community streetscape, parks, and common open space features across the site providing connectivity between the proposed Planning Areas, promoting interior pedestrian pathways where feasible. Prominent community landscape open space elements help to define the character of the site and include a one-acre community park, a central pedestrian-only paseo connecting the park to interior Plan areas, with smaller neighborhood open space and park amenities within each of the four planning areas. A centralized roundabout with landscape or thematic art and planned open space areas at its corners will create an attractive, scenic streetscape and unified community aesthetic. Special focus is also placed on streetscape enhancements planned for Mission Avenue and Academy Road with sidewalk the entire length of Academy.

The Villa Storia PD Conceptual Landscape Plan provides a comprehensive approach to the placement of various parks, landscaped pathways, and open space areas located throughout the project and planned to be a short distance from all homes. These features form a connected community amenity that will provide both passive and active elements serving the needs of various age groups.



**Fig. I-1**  
**Regional Map**



Fig. I-2

Vicinity Map

## 1.1 Planning Principles

The Villa Storia PD Plan has been prepared to provide guidelines and standards for implementation of future development. The document provides a detailed description of proposed land use and infrastructure requirements. Design and development standards have been prepared to assist in creating a community character and architectural theme that respects the historic surroundings and established development. Careful consideration has been taken in terms of scale, residential character, density, lot size, architectural and site development standards. Principles for the Villa Storia PD Plan are established as follows:

### Planning Principles

- Ensure both visual and functional compatibility with the Mission San Luis Rey Historic District, the adjacent residential neighborhood(s), and other nearby land uses, development and natural features.
- Provide a range of housing types for varying resident and community needs that helps to meet current and future housing demands on a site located near transit, retail, recreational amenities, and schools.
- Design buildings, spaces, and uses that enhance and respect the historic character of the Mission area, create a sense of neighborhood, and complement the vision for the Mission area.
- Ensure the vision for site development is economically feasible.
- Create flexibility in the plan to accommodate possible changes in housing types, the local economy, and community needs during the development period.
- Provide a high quality, well planned development that will foster pride in the community and serve as an admirable example for future residential development.
- Create a walkable environment that promotes and enhances the pedestrian experience throughout the site, with safe, convenient and attractive connections between community open space, parks, paseos, and other amenity areas.
- Develop an infill project that creates a harmonious connection between surrounding land uses and the Mission San Luis Rey Historic District.

## 1.2 Purpose and Scope of the Planned Development Plan

The Villa Storia PD Plan constitutes the zoning, use regulations, and development criteria for future development of the property. The PD Plan has been prepared in accordance with provisions of the City of Oceanside Zoning Ordinance, specifically Article 17, which outlines the requirements for a Planned Development district. As presented in Section 1701 of the Zoning Ordinance, the specific purposes of the PD Planned Development District are to:

- Establish a procedure for the development of parcels of land in order to reduce or eliminate the rigidity, delays, and inequities that otherwise would result from application of zoning standards and procedures designed primarily for small parcels.
- Ensure orderly and thorough planning and review procedures that will result in quality urban design.
- Encourage variety and avoid monotony in large developments by allowing greater freedom in selecting the means to provide access, light, open space, and amenity.
- Provide a mechanism whereby the City may authorize desirable developments consistent with the General Plan without inviting speculative rezoning applications, which, if granted, often could deprive other owners of development opportunities without resulting in construction of the proposed facilities.
- Encourage allocation and improvement of common open space in residential areas, and provide for maintenance of the open space at the expense of those who will directly benefit from it.

The PD Plan serves as a master development guide for the property. The document provides community design guidelines and development regulations that will help ensure the desired implementation of specific development proposals within each Planning Area.

The PD Plan designates four (4) Planning Areas within the project site, three (3) of which would be subdivided. All subsequent plans for housing and development within the project site would be required to undergo additional discretionary review.

The PD Zone has been selected to implement this development as it allows for a variety of residential densities and building types within a comprehensive site design utilizing common infrastructure and site amenities. The PD Plan is a mechanism to provide customized zoning regulations and development standards to address compatibility with adjacent uses.

### 1.3 Discretionary Applications

To support development of the Villa Storia Planned Development Plan the project consists of the land use applications as summarized below. The proposed development components are described in more detail in *Chapter 3 – Land Use and Planning Areas*.

Development proposals for each Planning Area will be obligated to submit complete land use applications including, but not limited to; Engineering, Architecture and Landscape Architecture plans (ultimately developed into Construction Drawings) for review and approval subject to the current municipal and building codes, City policies, PD requirements, Such applications will be subject to corresponding staff review and any necessary action by the Planning Commission or City Council.

#### A. General Plan Amendment

The Plan area east of Academy Road (*approximately 14 acres*) is under a current City of Oceanside General Plan designation of Single Family Detached - Residential (SFD-R). The Plan area west of Academy Road (*approximately 18 acres*) is currently designated as Private Institutional (PI) by the General Plan. These designations do not provide for the ultimate residential densities and mix of land uses proposed for the project. The changes in the zoning categories allow for a range of housing types appropriate for this area as well as a project of this size.

A General Plan Amendment is being processed concurrently with the PD Plan to establish appropriate land use designations and density ranges for the project. The property east of Academy Road is proposed for Medium Density -A- Residential (MDA-R) and High Density Residential (HD-R). The property west of Academy Road is proposed for Medium Density -B- Residential (MDB-R) and Medium Density -C- Residential (MDC-R). These land use designations correspond to the individual Planning Areas presented in Chapter 3.

#### B. Zoning Amendment

Currently, the property east of Academy Road is designated as Single Family Residential – Historic Overlay (RS-H) under the City’s Zoning Ordinance, while the property west of Academy is designated as Public & Semi-Public – Historic Overlay (PS-H). A Zone Amendment is proposed that will designate the entire property as Planned Development – Historic Overlay (PD-H) with the Villa Storia PD Plan serving as the regulating document.

#### C. Tentative Maps

A Tentative Map (TM) is proposed that will present specific lot configurations for Planning Areas 1, 3 & 4. The TM also creates two master lots in Planning Area 2 to be developed separately subject to the City’s standard entitlement review process.

Specific development proposals are being processed concurrently for Planning Areas 1, 3 & 4 to implement the residential development prescribed by the Villa Storia PD Plan. It is expected that additional tentative/final maps and development plans will be processed as required for future specific land use proposals within Planning Area 2.

**D. Development Plan**

A Development Plan is also proposed as required in conjunction with the PD Plan. The Development Plan corresponds to the Tentative Map presenting the proposed lotting and conceptual grading elements of the project. The Development Plan for Planning Areas 1, 3 & 4 also presents the proposed site layout and project architecture along with additional information related to aesthetics, building orientation, circulation and parking, conceptual landscaping, open space, and storm drainage.

**E. Historic Permit**

A Historic Permit is also required in conjunction with this proposal, due to its location with the Mission San Luis Rey Historic Overlay District. Proposals requiring Historic Permits are subject to review by the Oceanside Historic Preservation Advisory Committee.

## Chapter Two

### 2.0 Planning Considerations

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#### 2.1 Mission San Luis Rey Historic District

The PD Plan area is located entirely within the Mission San Luis Rey Historic District. The portion of land west of Academy Road is located within an area designated as the Historic Core. The Mission San Luis Rey Historic Area Development Program and Design Guidelines are applicable to new development proposed within the historic area. The Guidelines are intended to provide a design and development framework for land use proposals that respects the Mission's historic setting.

#### 2.2 Surrounding Land Uses

The property is surrounded by a variety of land uses as presented in *Figure 2-1*. Single-family uses are located adjacent to the east and northeast. A medium density mobile home development, a private group assembly use (the Alano Club) and single-family residential properties are also located to the north. The Mission San Luis Rey Parish Church property borders the PD Plan area on the west, with the Mission San Luis Rey grounds located immediately west of the Parish. Ivey Ranch Park is located south across Mission Avenue. Highway 76 borders the PD Plan area along the southeast with medium-density condominiums and a large commercial center located south of the highway alignment.

#### 2.3 Circulation and Access

The following provides a brief description of street system and circulation elements in and around the Project area.

##### **Roadways**

Academy Road is currently built as a two-lane roadway through the project area and serves as the primary access road for the San Luis Rey Mobile Estates mobile home development to the north. It also provides a connection to Frazee Road to the west along the Mission San Luis Rey Parish property. At Mission Avenue, Academy Road forms a "T"-intersection with a stop-sign controlling the southbound movement and eastbound and westbound traffic flows freely. Approximately 330 feet east of the Mission Avenue / Academy Road intersection is the "T"-intersection of Mission Gate Drive intersection. Mission Gate Drive forms the south leg of this intersection with a stop-sign controlling the flow of northbound traffic.

State Route 76 (SR 76) is generally an east-west roadway and is currently built as a four-lane divided expressway in the Project study area. The posted speed limit is 55 mph. Class II bicycle lanes are provided on both sides of the roadway and on-street parking is prohibited.

Mission Avenue is classified on the City of Oceanside Circulation Element 2030 Master Transportation Roadway Plan as a Four-Lane Major Arterial from Foussat Road to Rancho Del Oro Drive and as a Secondary Collector from Rancho Del Oro Drive to Frazee Road, within the study area. It is currently built as a four-lane divided roadway between Horne St.,



Fig. 2-1

Surrounding Uses

to just west of Rancho Del Oro Drive, and from west of Old Grove Road to Frazee Road, where it terminates. Mission Avenue narrows to a two-lane road divided by a striped median from just west of Rancho Del Oro Drive to just west of Old Grove Road, including the section along the project frontage. Class II bicycle lanes are provided on both sides of the roadway from I-5 to Frazee Road. The posted speed limit is 45 mph and on-street parking is not permitted.

Frazee Road is currently constructed as a two-lane undivided roadway east of Academy Road to Old Grove Road. Frazee Road is classified on the City of Oceanside Circulation Element 2030 Master Transportation Roadway Plan as a Four-Lane Major Arterial between Old Grove Road and College Boulevard and as a Collector Road east of College Boulevard, within the study area. Class II bicycle lanes are provided along the majority of both sides of the roadway and on-street parking is not permitted. Frazee Road is currently paved from Mission Avenue to Old Grove Road, although it is barricaded to prevent access between the residential neighborhood to the northeast and the properties to the west.

### **Transit**

Transit service in the area is provided by the North County Transit District (NCTD). Current local bus transit service near the site is provided via Routes 303, 309, 313, and 333.

Route 309 runs along the Mission Avenue project frontage and travels from the College Boulevard Town Center North transit center to the Encinitas Station transit center providing 30 minute headways during weekday hours. Route 309 provides nearby connections to Route 303.

Route 303 travels from the Oceanside Transit Center to the Vista Transit Center and travels along Mission Avenue and Douglas Drive within the study area. This route is designated as a high frequency bus line and provides 15 minute headways during weekday hours.

Route 313 travels from the Oceanside Transit Center to College Boulevard Town Center North and travels along Mission Avenue and Rancho Del Oro Road within the study area. This route provides hourly service during weekdays.

Route 333 travels from College Boulevard Town Center North to the Vista Transit Center and travels along Frazee Road and Old Grove Road within the study area. This route provides hourly service during the weekdays.

## **2.4 Topography**

The project area possesses gently sloping terrain with total relief across the site of approximately 30 feet. Existing surface drainage is directed toward the northeast. Elevations range from near 63 feet above mean sea level on the northeastern portion of the property, east of Academy Road to approximately 93 feet in the north-central area, west of Academy Road. A knoll on the east side of Academy Road rises about 20 feet above adjacent elevations. The low points of the site are towards the eastern and northeastern portions of the property. An earthen fill with slopes is located beneath and adjacent to the Frazee Road alignment from the northeast edge of the property to the north-central portion

of the site. The perimeter roadway fill slopes descend at gradients of up to approximately 2:1 and to roughly 10 feet high to existing adjacent site elevations.

## 2.5 Biological Resources

The proposed project site is located within the City of Oceanside Habitat Conservation Plan/Natural Communities Conservation Plan (Subarea Plan) as part of the North County Multiple Habitat Conservation Program (MHCP). The project site lies outside of the Wildlife Corridor Planning Zone (WCPZ). As part of a biological resources survey (Dudek 2013) four vegetation communities/land cover types were mapped on site: developed habitat, disturbed habitat, mulefat scrub, and ornamental. Native vegetation on site consists of mulefat scrub, comprising a small area of 0.08 acres located in the near the southern boundary of the site just east of Academy Road.

A total of 12 vascular plant species, consisting of 8 native species, and 4 non-native species, were recorded on site during surveys. There were also a total of 21 wildlife species observed on the project site during surveys, the majority of which were birds. No special-status plants or wildlife species were detected during the biological surveys and none are expected to occur on site.

## 2.6 Cultural/Archaeological Resources

A Cultural Resources Survey and Assessment (Affinis 2013) has been prepared for the PD Plan area. The report notes that one archaeological site has been previously recorded in the area, a portion of which extends into the southwestern portion of the project site.

The portion of the site within the development area of the PD Plan is outside the significant area of the site. Requirements for monitoring during grading activities are anticipated in conjunction with the implementation of development plans within the PD Plan area.

## 2.7 Geotechnical Conditions

The project site is located in an area geologically mapped to underlain mostly by Tertiary age sedimentary bedrock and Quaternary age alluvium. No faults have been noted in the immediate site vicinity. Undocumented fill soils have been locally observed across the site, including some apparently imported/dumped materials. The undocumented fill is noted to generally consist of clayey silty sand and does not appear to be more than a foot in approximate thickness. Thicker zones of fill are noted in conjunction with existing site roadways and storm drain features. Colluvial/alluvial soils are observed to cover the eastern-most portions of the property. Based on laboratory tests, these soils appear to have low expansion potential. Groundwater also was not encountered in exploratory borings excavated as part of the geotechnical evaluation. Evidence of landslides or slope instabilities was not observed and the potential for landslides is considered negligible.

Development of the site appears feasible from a geotechnical viewpoint. The findings of the geotechnical investigation and subsequent environmental site assessment (Phase I and II) that have been prepared for the property do not place limitations on the uses proposed by

the PD Plan, although additional testing is recommended in conjunction with specific development plans proposed for site areas in the future.

## 2.8 Utility Services & Easements

The vacant site is not currently connected to utility services, although water, sewer, and electric lines exist on or adjacent to the site with the potential to serve future development on the property. Significant on-site easements and utilities include the following:

A 20-foot wide sewer easement dedicated to the City Oceanside containing a 12-inch sewer main runs along eastern and northern boundary of the property. A 20-foot wide storm drain easement dedicated to the City of Oceanside and containing an 84-inch storm drain is also located along the same route adjacent to the sewer easement.

A 38-foot wide easement for road and utility purposes is recorded along a north-south alignment through the center of the PD Plan area. This easement contains the existing Academy Road improvements and provides access to the San Luis Rey Mobile Estates mobile home park to the north. A 24-inch water main and 10-inch sewer main are also located within this easement.

A 30-foot wide easement for road and utility purposes is also recorded along the north boundary of the site west of Academy Road. This easement contains paved roadway improvements (Frazee Road alignment) that provide access to properties north and northwest of the project site. A 10-inch sewer main is located within this easement.

A 20-foot wide storm drain easement dedicated to the City of Oceanside and containing a 54-inch storm drain spur is located within the northern portion of the site east of Academy Road. The storm drain and easement would likely be rerouted in conjunction with any development proposed in this portion of the site.

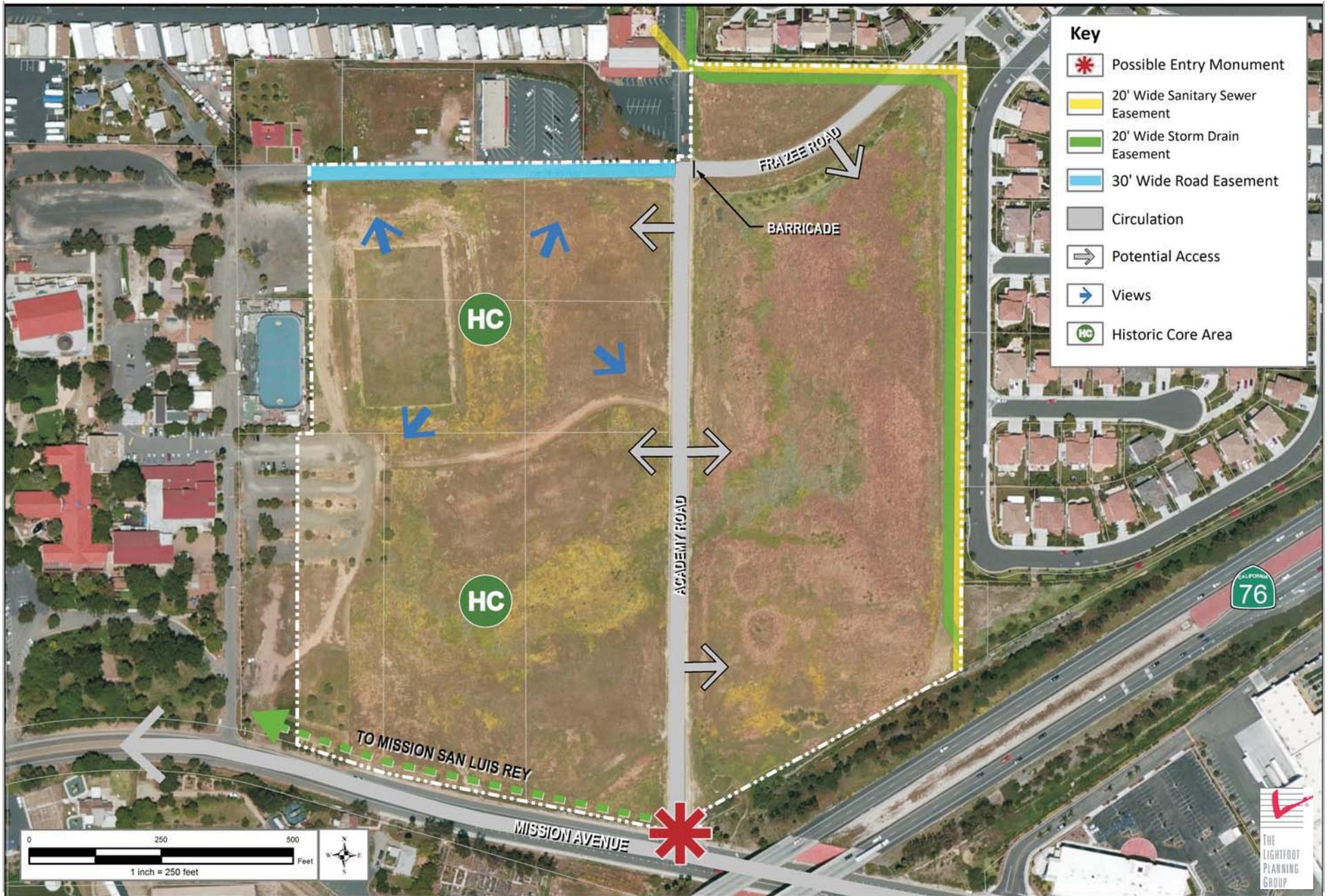


Fig. 2-2

## Chapter Three

### 3.0 Land Use & Planning Areas

The Villa Storia Planned Development Plan integrates land use designations established for the site with the proposed Planning Areas that represent the future development potential of the property. This chapter establishes permitted land uses and development densities intended to advance quality residential development complementary to its surroundings. Land use designations for the site have been selected to achieve a desired mix of residential development and densities compatible with surrounding uses and housing types. The land use and residential density proposed by this PD Plan is consistent with the proposed General Plan land use designations. Land use information for each Planning Area is presented below with corresponding land use designations, residential density, and potential dwelling unit range.

#### 3.1 Land Use Plan

The Villa Storia PD Plan Land Use Plan with corresponding General Plan designations and Planning Area boundaries is presented in *Figure 3-1*. Each Planning Area, along with appropriate land uses and proposed development types, is described in more detail in the following Sections 3.1.A thru 3.1.D.

**Table 1 – Planning Area Land Use Summary**

Planning Area	Gross Acres	Existing Land Use	Proposed Land Use	Land Use Density Du/Ac	Possible Dwelling Unit Range			Planned Dwelling Units <sup>1</sup>
					Low	Mid	High	
PA-1	9.93	Single Family Detached – Residential (SFD-R)	Medium Density -A- Residential (MDA-R)	6.0 – 9.9	59	79	100	62
PA-2	4.14	Single Family Detached – Residential (SFD-R)	High Density Residential (HD-R)	21.0 – 28.9	86	102	119	100
Wetland Area <sup>2</sup>	0.08							
PA-3	7.57	Private Institutional (PI)	Medium Density -B- Residential (MDB-R)	10.0 – 15.0	75	94	113	86
PA-4	10.32	Private Institutional (PI)	Medium Density -C- Residential (MDC-R)	15.1 – 20.9	155	185	215	172
Backbone Streets	3.55	–	–					
<b>Totals</b>	<b>35.59</b>				<b>375</b>	<b>460</b>	<b>547</b>	<b>420</b>
<b>Maximum Number of Dwelling Units Permitted Within PD Plan Area<sup>3</sup></b>						<b>420</b>		

<sup>1</sup> Planned unit count based on Tentative Maps and Development Plans concurrently proposed with this PD Plan. Dwelling unit counts may be adjusted based on final development plans as proposed.

<sup>2</sup> Planning Area 2 contains 0.08 acres of wetland area (mule fat scrub). Wetland areas are defined as Undevelopable Land by the City of Oceanside General Plan and Zoning Ordinance as applicable to density calculations. As such, PA-2 contains 4.22 acres of land area, but only 4.14 *gross acres* of land allocable to development densities.

<sup>3</sup> The dwelling unit maximum is applicable to the overall PD Plan area within the density ranges noted for each Planning Area. Transfer of density between Planning Areas is not permitted. Lower unit counts and densities may be allowed when presented as part of individual development plans.



Fig. 3-1

Planning Areas

A. Planning Area 1



Planning Area 1 (PA-1) is located in the northeast corner of the PD Plan area.

The underlying land use designation for PA-1 is Medium Density -A- Residential (MDA-R), allowing for consideration of appropriately planned single-family residential uses with a base density of 6 dwelling units per acre and a maximum density of 9.9 du/ac.

Single-family detached homes on 4,000 square-foot minimum lots are envisioned for development in PA-1. This Area borders an existing single-family detached development (River Ranch) on its north and east sides. The proposed single-family use in PA-1 will provide an effective transition to the increased density areas designated by the PD Plan. Direct access for Planning Area 1 is proposed from both Academy and Frazee Roads.

## Planning Area 1

Area: \_\_\_\_\_  
9.93 Acres

Density: \_\_\_\_\_  
MDA-R  
6.0 - 9.9 du/ac

Dwelling Unit Range: \_\_\_\_\_  
59 – 100 units

Anticipated Development Type(s): \_\_\_\_\_  
Single-Family Detached Lots

Access: \_\_\_\_\_  
Academy Road  
Frazee Road

## B. Planning Area 2



Planning Area 2 (PA-2) is located in the southeast corner of the PD Plan area. The underlying land use designation for PA-2 is High Density Residential (HD-R), allowing for a distinct multi-family neighborhood comprised of three-story townhomes or similar-type development. The community will share common amenities with private open space also provided for each home. Planning Area 2 is adjacent to the elevated grade of the Highway 76 corridor through this area. Access to PA-2 is proposed directly from Academy Road.

Higher intensity development is appropriate in this portion of the PD Plan area adjacent to the highway route and will serve as a transition to single-family uses proposed to the north. Three-story structures are compatible in this area against the backdrop of the highway slope bank which is effectively higher than any residential structure. This Area is located furthest from the Mission San Luis Rey property and three-story structures located here would have little effect on the Mission's view-shed.

PA-2 will be divided into two separate development areas. One area will allow for a future market rate development. The other area will be designated for an affordable housing development which meets the inclusionary requirements for the Villa Stora project.

## Planning Area 2

Area: \_\_\_\_\_  
4.22 Acres  
Includes 0.08 ac.  
of wetland area

Density: \_\_\_\_\_  
HD-R  
21.0 - 28.9 du/ac

Dwelling Unit Range: \_\_\_\_\_  
86 – 119 units

Anticipated Development Type(s): \_\_\_\_\_  
Townhome or similar  
Multi-Family Attached

Access: \_\_\_\_\_  
Academy Road

### C. Planning Area 3



Planning Area 3 (PA-3) is located in the northwest corner of the PD Plan area.

The underlying land use designation for PA-3 is Medium Density -B- Residential (MDB-R). Development within this area is planned to include two-story single-family attached or detached clusters featuring attached garages and private yards. Variations of multi-family attached development may also be appropriate in this Area. Clusters would share common drive aisles and provide guest access off green courts, thus minimizing garages from the street scene and allowing for landscaping along main internal streets. Shared community amenities would be designed throughout this area. Access to PA-3 will be from Academy Road.

Planning Area 3 is located within the Core Area of the Mission San Luis Rey Historic Area. It is important that designs of future developments are sensitive to the nearby historical resources. Buildings in this area should be limited to two stories with consideration of views to and from the existing Mission structures. Third story floor area and elements may be considered with appropriate design treatments.

## Planning Area 3

Area: \_\_\_\_\_  
7.57 Acres

Density: \_\_\_\_\_  
MDB-R  
10.0 - 15.0 du/ac

Dwelling Unit  
Range: \_\_\_\_\_  
75 – 113 units

Anticipated  
Development  
Type(s): \_\_\_\_\_  
Single-Family  
or Multi-Family  
Attached and  
Detached  
Clusters

Access: \_\_\_\_\_  
Academy Road

#### D. Planning Area 4



Planning Area 4 (PA-4) is located in the southwest corner of the PD Plan area. The underlying land use designation for PA-4 is Medium Density -C- Residential (MDC-R). Higher density development is appropriate within PA-4 in consideration of its proximity to the Mission Avenue and Highway 76 corridors. Access to PA-4 will be from Academy Road.

Appropriate development within this area is envisioned to consist of attached two-story townhomes and duplex homes. Shared community amenities would be designed throughout this area, including an approximate one-acre community park, a paseo feature, and themed landscaping along the Mission Avenue frontage.

Planning Area 4 is located within the Core Area of the Mission San Luis Rey Historic Area. It is important that designs of future developments are sensitive to the nearby historical resources. Building heights in this area should be limited to two stories with consideration of views to and from the existing Mission structures. Third story floor area and elements may be considered with appropriate design treatments.

### Planning Area 4

Area: \_\_\_\_\_  
10.32 Acres

Density: \_\_\_\_\_  
MDC-R  
15.1 - 20.9 du/ac

Dwelling Unit Range: \_\_\_\_\_  
155 – 215 units

Anticipated Development Type(s): \_\_\_\_\_

Attached Townhomes & Duplex Homes

Community Park

Access: \_\_\_\_\_  
Academy Road

### 3.2 Conceptual Circulation Plan

The Conceptual Circulation Plan for the Villa Stora PD Plan is presented by *Figure 3-2*. The Plan utilizes existing roadways located adjacent to and within the project site and proposes improvements to those roadways as necessary to accommodate future traffic anticipated with development of the PD Plan area. Project access is proposed via Academy Road to Mission Avenue and to Frazee Road. The proposed section improvements for Academy Road, Frazee Road, and Mission Avenue are shown in *Figure 3-3, Typical Street Sections*.

The Conceptual Circulation Plan shows potential alignments for vehicle roadways and intersections within the individual Planning Areas including the addition of a roundabout on Academy Road. A more specific circulation plan is presented for Planning Areas 1, 3 & 4 in conjunction with proposed development plans. The Circulation Plan also presents an enhanced network of pedestrian paths connecting the community streetscapes, parks, and common open space features to form safe and walkable environment throughout the PD Plan area.

#### **Academy Road**

Academy Road is identified as the primary circulation route on-site providing access to each of the Planning Areas. An alternative design is presented for Academy Road with an expanded right-of-way that will vary from 60 to 70 feet in width. The enhanced right-of-way will provide for two vehicle travel lanes (one in each direction) with Class 2 bicycle lanes, sidewalk and landscaping along both sides of the street.

The southern section of Academy Road is proposed at a 70-foot width extending from Mission Avenue to the four-way intersection located at the mid-point of the PD Area. Vehicle lanes will be separated by a ten-foot wide raised median. Enhanced pedestrian corridors are provided along both sides of the roadway with five-foot wide sidewalks separated by landscaped parkways.

At the central mid-point of the project, Academy Road is planned to include a roundabout which could feature landscaping or a thematic art piece. This will allow for free movement of local traffic, enhance pedestrian circulation and contribute to the beautification of this boulevard style streetscape.

The northern section of Academy Road will taper to a 60-foot width between the mid-point intersection and Frazee Road. An enhanced pedestrian corridor is provided along the roadway featuring a five-foot wide sidewalk separated from travel lanes by a landscaped parkway along the west side and a five-foot wide curb adjacent sidewalk with a four-foot landscape buffer along the east side.

Designed to evoke a boulevard feel at build out, the Academy corridor would function as a themed community space and a safe environment for walking and biking, enhancing the pedestrian experience at the center of the Plan area. Landscape areas on both sides of the roadway will add to the community aesthetic and buffer the planned residential areas from vehicular activity.

### **Mission Avenue**

Mission Avenue is designated as a four-lane Secondary Collector. The project will complete widening along its frontage, including widened setbacks and curb-gutter-sidewalk improvements, and will implement Priority Project #19 as identified in the City's Pedestrian Master Plan. A bus stop is also proposed on the Mission Avenue frontage in front of the one acre park. Direct access to the PD Planning Areas is not proposed from Mission Avenue.

The project also proposes improvements along Mission Avenue intended to implement the Circulation Guidelines of the *Mission San Luis Historic Area Development Program and Design Guidelines* document. The project proposes installation of sidewalk and landscape improvements within an average 25-foot wide setback area along the Mission frontage. This will include a five-foot wide meandering sidewalk, parkway landscaping, and landscaping adjacent to the interior of the sidewalk. A variety of street trees, including California Pepper, will be incorporated into the frontage landscape. Additional detail of the Mission Avenue frontage is presented in Chapter 6 – Landscape Design Guidelines.

### **Fraze Road**

Fraze Road is currently paved along its route through Planning Area 1, although it is barricaded to prevent access between the residential neighborhood to the northeast and the properties to the west. Development under the PD Plan proposes removal of the barricade to allow a connection to Academy Road. This will allow for improved access to Mission and its westerly connection for local residents and increased community safety through reduced emergency response times. With implementation of the PD Plan Fraze Road will be improved to a standard 60-foot right-of-way with five-foot wide curb adjacent sidewalks located on both sides of the road. Five-foot wide landscape areas will be located to the interior of the sidewalks.

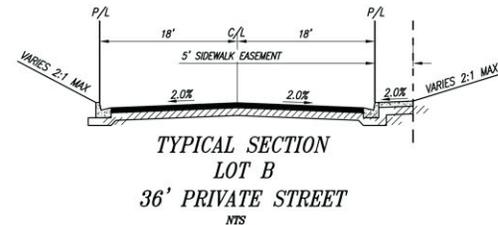
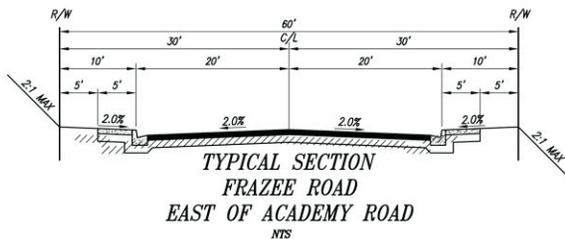
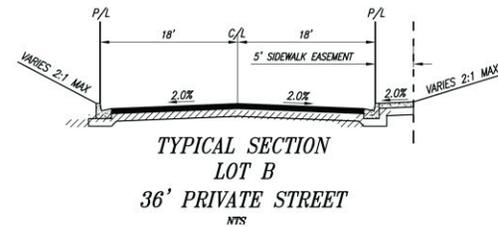
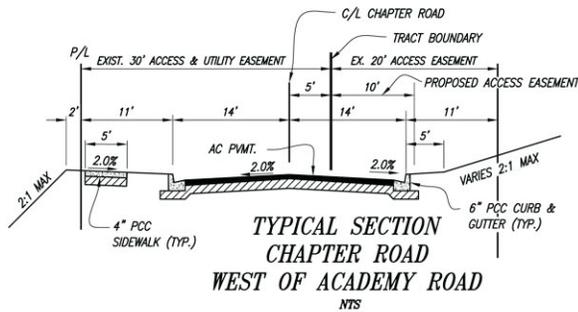
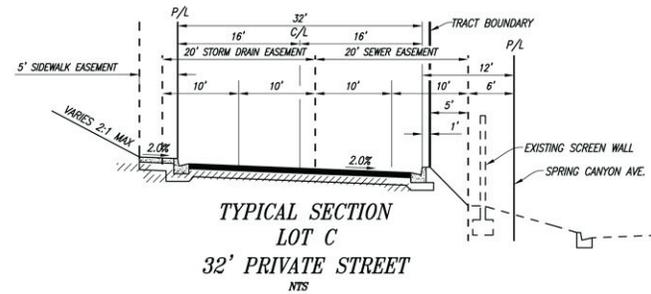
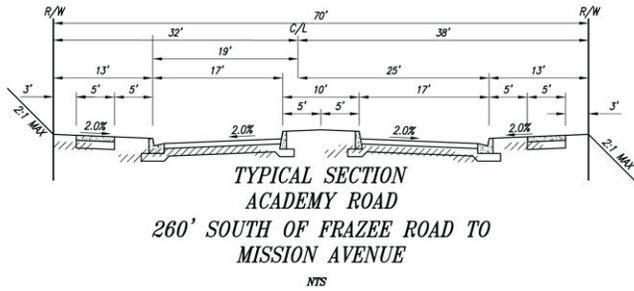
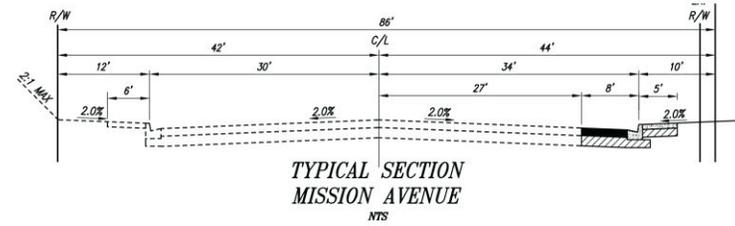
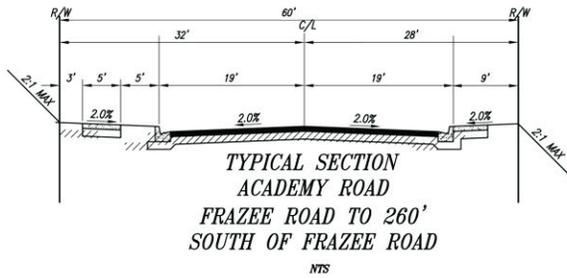
### **Chapter Lane**

The existing private road along the north side of Planning Area 3 is known as Chapter Lane. Half of the private drive width lies within the Villa Storia property, with the other half of the private drive belonging to the properties immediately to the north of the PD Plan area. The project will dedicate additional area along the northern boundary of PA-3 for half width roadway and sidewalk improvements. This will allow for a 28-foot wide travel lane area with a five-foot wide sidewalk separated from the roadway by a landscape parkway along its south side. An additional landscape area will be provided to the interior of the sidewalk. An additional five feet of landscape area will be provided to the interior of the sidewalk. The roadway is designed to terminate in a cul-de-sac at its western end where it turns to the south. Gated access to the parish property would be provided here that would be operated at the discretion of the parish. This would prohibit cut-through traffic from using Chapter Lane between Fraze Road and Mission Avenue. Additional measures, such as signage, will be used to discourage public traffic on the private road in this area.



Fig. 3-2

Conceptual Circulation Plan



Source: Buccola Engineering Inc.

Fig. 3-3

### 3.3 Conceptual Grading Plan

The Villa Storia PD Plan proposes specific lot configurations for Planning Areas 1, 3 & 4 and the creation of two large master lots within the boundary of Planning Area 2 allowing for future development.

The Conceptual Grading Plan for the PD Plan area is shown by Figure 3-4. The grading plan establishes the overall development pads, provides for appropriate site drainage, accommodates necessary utility infrastructure, and balances cut & fill grading quantities. Grading will be balanced across the site with a raw cut and fill volume of approximately 181,000 cubic yards each.

Final grading within the separate Planning Areas will be reviewed in conjunction with individual development proposals. Final engineering may result in modifications to the overall grading concept, but such changes should conform to the general intent of the Conceptual Grading Plan and design parameters.

Appropriate edge conditions will be considered along the PD Area boundaries with adjacent properties. The transition from PA 1 east to the River Ranch development includes private roadways and landscape areas along the east boundary of PA 1 (Private Street Lot C) and west boundary of River Ranch (Spring Canyon Way) that will provide a significant separation distance (over 100') between residential pads. River Ranch is bordered by an existing perimeter wall and mature tree landscape buffer located east of the wall. The Villa Storia homes along the east perimeter will be plotted such that front facades and front yard landscaping are oriented to the east facing River Ranch. The existing River Ranch homes located along Spring Canyon Way are plotted with side facing elevations oriented toward the Villa Storia property. There will be an approximate 5' - 8' grade separation from the Villa Storia homes to the existing River Ranch homes. The proposed landscape plan presented with the TM displays greater detail of the north and east boundaries for PA 1.

The west boundary adjacent to PAs 3 & 4 will include perimeter walls similar to those seen at the adjacent Parish property. The future homes will be buffered by common areas, the open space on the Parish grounds and the proposed 1 acre park.

The north boundary of PA-3 will include a perimeter wall and defined slope landscaping as a buffer to the adjacent Chapter Lane. Grades generally descend along the slope from the Chapter Lane elevation as a transition to the proposed PA 3 area elevations.



Fig. 3-4

## Chapter Four

### 4.0 Conceptual Infrastructure

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#### 4.1 Water Facilities

The City of Oceanside provides domestic water service in the Villa Storia PD Plan area. The Project will utilize existing facilities and install new facilities as necessary in conjunction with specific future development proposals. Existing water line locations are presented by Figure 4-1, *Conceptual Water Facilities*.

The Villa Storia project is located in an area of the City of Oceanside that is well developed. The area north and east of the project is primarily residential development. Within these areas the water systems have been in place for many years. Some sections of old cast iron pipe are still in place, though much of the piping has been upgraded to asbestos cement or PVC piping. A 24" diameter concrete, transmission line for the 320 Pressure Zone in Oceanside runs through the project area under Academy Road; a portion of this pipeline will be replaced within the development to accommodate proposed grading improvements. An 8" diameter PVC line is located in Frazee Road east of Academy Road. Off-site, there are 320 Zone water lines in Mission Avenue to the south. These include an 8" diameter ductile iron line, an 8" diameter cast iron line, and a 10" diameter asbestos concrete line.

The water pressure zone serving the area around the Villa Storia property is the Talone Reservoir Zone and Heritage Reservoir Sub-Zone operating at a maximum hydraulic grade line of 320 feet. The primary piping feeding the system extends along Mission Avenue to the south and Frazee Road to the north. From a service pressure standpoint, connecting the Villa Storia project to this system will provide adequate service. The pad elevations on the project will ultimately range from 70.9 feet to approximately 86.5 feet resulting in a static water pressure range of 101 psi to 108 psi. This available service pressure will provide sufficient service for domestic and fire protection flow purposes.

The public water system will ultimately consist of a minimum 8" diameter on site looping system within the project. As part of the proposed onsite improvements for the Villa Storia project, a section of the 24" transmission main will be replaced due to a grade change in Academy Road. The section being replaced stretches from south of the Academy Road and Frazee Road intersection to south of the future Academy Road and "Lot B Private Street" intersection. The estimated length of existing 24" pipe to be replaced is 500 feet.

Planning Area 1 water improvements are expected to be constructed first and will serve as a stand-alone system until improvements for Planning Areas 2, 3, and 4 are constructed. Exact piping alignments for the Planning Areas will depend upon the precise plans developed for each area. Planning Area 3 can be built by connecting to the Planning Area 1 water improvements without going outside the planning area to connect to existing water facilities. Planning Areas 2 and 4 are only adjacent to a single Planning Area 1 connection point and would need to construct an additional connection to the existing 24-inch line in Academy Road if either planning area were to develop independently of each other. If Planning Area 2 and 4 are developed concurrently then a connection to the existing 24-inch would not be necessary as looping would be provided.



## 4.2 Sewer Facilities

The City of Oceanside provides sanitary sewer service in the Villa Storia PD Plan area. The Project will utilize existing facilities and install new facilities as necessary in conjunction with specific future development proposals. The sanitary sewer system associated with the project is presented by Figure 4-2, *Conceptual Sewer Facilities*.

The Villa Storia project is located in the San Luis Rey Sewer Sub-Basin Service Area. The San Luis Rey Valley Sewer Sub-Basin extends from just east of College Boulevard, west towards the Mission Avenue Lift Station. The north edge of the San Luis Rey Valley Sewer Sub-Basin is the San Luis Rey River and the basin extends south to Mesa Drive. The Basin has two main trunk sewers that drain to the Mission Avenue Lift Station. This lift station pumps the sewage to the San Luis Rey Wastewater Treatment Plant for treatment and disposal.

The Villa Storia project is proposing to connect to two existing gravity sewer lines that run through the project site, a 12" line that runs along the project's eastern boundary near Spring Canyon Way and a 10" line in Academy Road in the center of the project. The flows from Planning Areas 1 and 2 will drain to the 12" line in Spring Canyon Way while the flows from Planning Areas 3 and 4 will drain to the 10" line in Academy Road. These two gravity sewer lines join at a manhole in Academy Road at the northern boundary of the project.

From the manhole in Academy Road where the two gravity sewer lines join, a single 12" gravity sewer line runs northwest from the project boundary through the San Luis Rey Mobile Estates mobile home park and crosses Old Grove Road before discharging into an 18" gravity trunk sewer line.

The Water Utilities Department used the sewer computer model being updated as part of the sewer master plan update (projected completion date February 2015) to analyze existing gravity sewer infrastructure downstream of the project. The results show that under existing flow, approximately 950 feet of an existing 21-inch gravity sewer exceeds the depth of flow design criteria of two-thirds full.

Adding the proposed project increases the depth of flow and would have an incremental impact on the sewer's capacity. The gravity sewer depth design criteria allows for a factor of safety so as not to create a public health and safety problem, and the depth of flow in the 21" section falls within the factor of safety. Based on the factual data of the applicable reports and the careful independent judgment of the City, in this setting, there is adequate capacity to serve the project's projected wastewater flows. No off-site expansion of sewer facilities is needed as part of this project. Therefore, the project would not cause an adverse environmental effect.

It has been determined the project will pay an impact fee prepared by the City to address the incremental impact on the existing sewer capacity in order to maintain consistency with the General Plan's Community Facilities Element Policies regarding managing growth. so that the sewer line may be upsized at a future time when deemed appropriate. The impact fee is determined based on a proportional cost to upsize the sewer pipe.

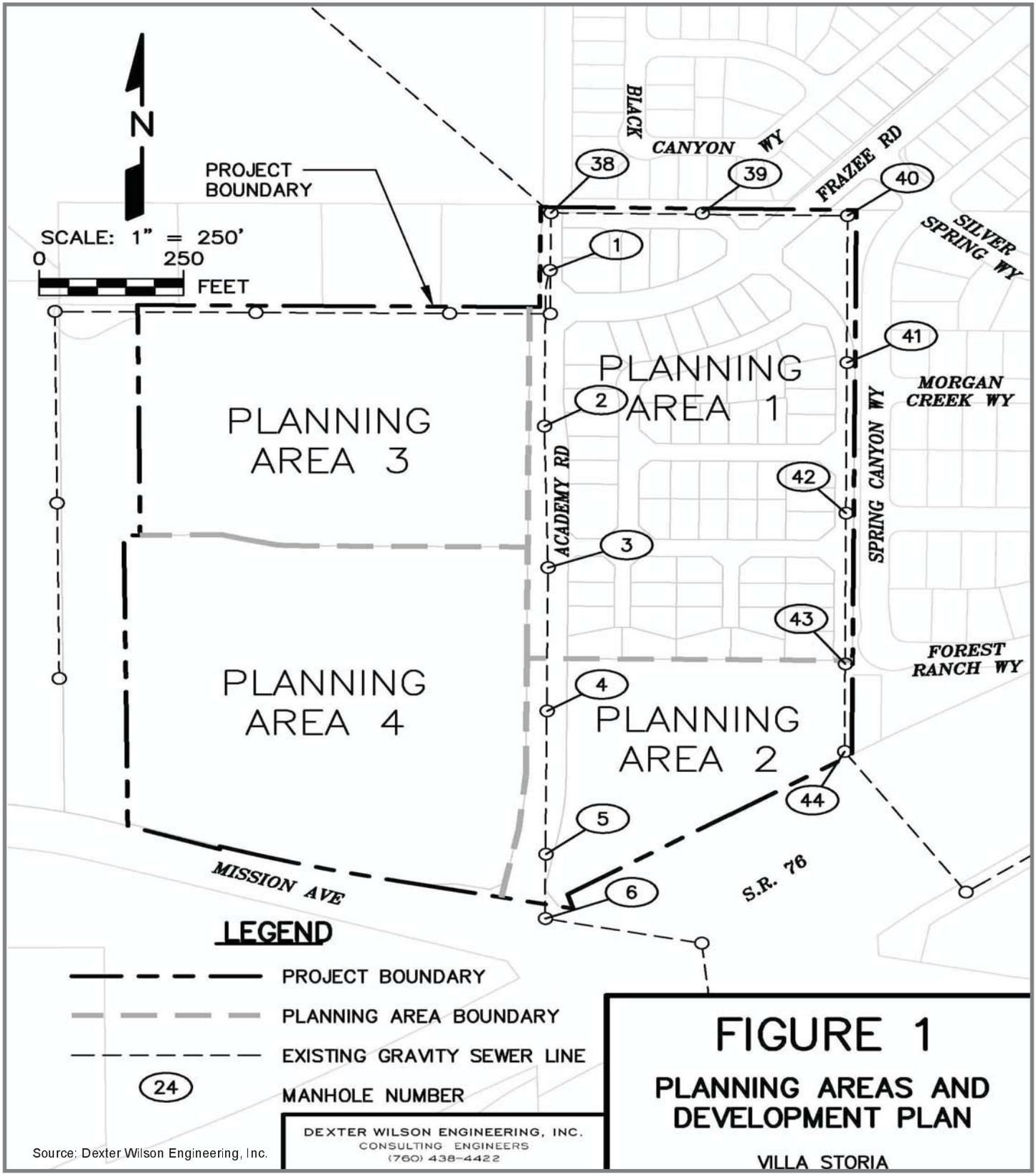


Fig. 4-2

Conceptual Sewer Facilities

### 4.3 Conceptual Drainage Plan

The Conceptual Drainage Plan for the PD Plan area is presented by Figure 4-3. Storm drain systems and connections will be designed to accommodate the proposed future development within the PD Planning Areas. New storm drains are designed to connect to the existing 84" storm drain which runs along the eastern boundary of the Plan area. Storm drain connections are also proposed to the 54" storm drain located within the Frazee Road alignment.

As part of the preliminary grading concept proposed for development in the PD Plan area, drainage is generally routed easterly with storm drain pickup points anticipated along the west side of Academy Road, and also along the easterly perimeter of the site, near the existing 84" storm drain. The northwesterly portion of the PA-1, approximately 4 acres, along with a small offsite basin just north of Frazee Road, and the northeasterly 1.5 acres of PA-1, all drain into the existing 54" storm drain system within Frazee Road with curb inlets proposed near the easterly project boundary.

The proposed development of Planning Areas 1, 3 & 4 processed concurrently with this PD Plan presents a coordinated storm drain system serving each area. Storm water will be conveyed from each neighborhood area via 24" pipes connecting to the existing 54" and 84" storm drains located along the eastern project boundary. A biofiltration basin, a detention/biofiltration basin, and two small desiltation basins are also designed as storm drain system features located within Planning Areas 1 and 2.

### 4.4 Offsite Improvements

The extent and timing of off-site improvements will be based on development phasing and as determined by the City of Oceanside through final action on the PD Plan and mitigation measures that may be associated with the Project EIR. At this time, improvements are expected in relation to traffic circulation facilities. These elements include improvements to Mission Avenue and implementation of Priority Project #19 identified in the City Pedestrian Master Plan, installation of a traffic signal at the Mission Avenue / Academy Road intersection, and fair share contributions for nearby signal improvements. The project is also anticipated to pay proportionate costs related to off-site sewer improvements as discussed in Section 4.2.



Fig. 4-3

**Chapter Five**  
**5.0 Development Regulations**

---

**5.1 Introduction**

The purpose of this section is to specify permitted uses and regulations for the use of land within the Villa Storia PD Plan area. This section establishes the development regulations and standards applicable to future development proposals within the individual Planning Areas.

The following standards address development criteria including residential uses, open space, and parking. These regulations are further augmented by the Community Design Guidelines presented in Chapter 6.

**5.2 Permitted Residential Uses & Product Types**

Development within the Villa Storia PD Plan area is envisioned to consist of a mix of single-family and multi-family residential uses implemented through various plan configurations. Specific site layout and product typology will be identified as part of future development plans created for each Planning Area. The range of anticipated product types within each Planning Area is shown in Table 2 below.

Examples of various product typologies are presented on the following pages. These range from detached single-family layouts to attached townhomes and clusters. Each exhibit includes a description and characteristics of the product type. Detailed information related to appropriate density, build-out program, and potential square footage is also incorporated with each example.

**Table 2 – Permitted Uses & Product Typology**

*Product Typology	PA-1	PA-2	PA-3	PA-4
<b><u>Detached Residential Uses</u></b>				
Single Family Lots	X			
Alley Loaded Lots			X	X
Zero Lot Line Lots			X	X
Reciprocal Use Easement Lots			X	X
Cluster Homes			X	X
<b><u>Attached Residential Uses</u></b>				
Duplex Homes		X	X	X
Cluster Homes		X	X	X
Green Courts		X	X	X
Townhomes		X	X	X
Stacked Flats		X	X	X
*These product typologies are not all inclusive and variations of these residential uses may be considered through review of specific Development Plans as required for proposed development within each Planning Area.				

**Description:**  
**2-Story Single Family Detached Homes.**  
 This product is the most conventional design in the master plan as most people have lived in similar conditions. These homes are desirable because of their independence from neighbors. The homes have front and rear yards for private use.

**Density Range:**  
 6-9 DU/AC

**Program :**  
 3-5 Bed  
 2 or 3-car garage  
 private yard

**Avg Home Size:**  
 1,800-3,000 sf



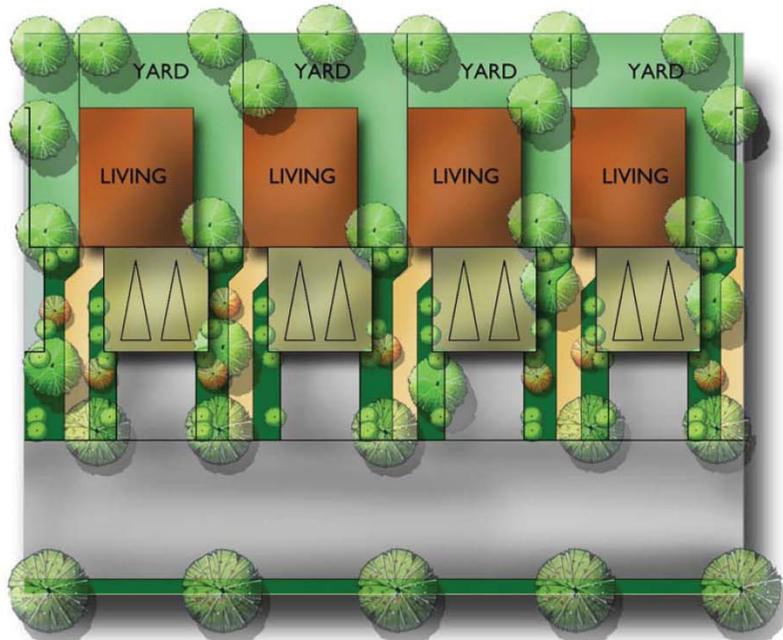
## SINGLE FAMILY DETACHED HOMES

**Description:**  
 2-Story Detached Homes sited in a way to maximize private yards by creating private use areas to one side of the home. The 'Z' jog in the plan footprint enlarges the usable area while allowing typical property line mapping. This concept is desired to retain detached design with attached densities.

**Density Range:**  
 6-12 DU/AC

**Program :**  
 3-4 Bed/ 2.5 Ba  
 2-car garage  
 private yard

**Avg Home Size:**  
 1,400-2,000 sf



SUMMA  
 ARCHITECTURE

Z-LOT

Description:  
Alley Loaded 2-Story  
Single Family Detached  
homes sited in a way to  
maximize private yards by  
creating private use areas  
to one side of the home.  
This historic planning  
concept is desired as the  
neighborhood is enhanced  
with architecture forward  
creating pedestrian activity  
and beautiful street scenes.

Density Range:  
8-12 DU/AC

Program :  
3-4 Bed/ 2.5 Ba  
2-car garage

Avg Home Size:  
1,500-2,000 sf



## SFD ALLEY LOADED

**Description:**  
2-Story Single Family  
Attached homes paired  
in duplexes live more like  
conventional sfd lots than  
most small lot detached  
concepts. The reason is  
that other than exterior  
image of an attached home,  
the internal functions and  
private yards are identical  
to traditional single family  
homes. The common wall  
is soon forgotten.

**Density Range:**  
10-14 DU/AC

**Program :**  
3-4 Bed/ 2.5 Ba  
2-car garage

**Avg Home Size:**  
1,600-2,200 sf



**SUMMA**  
ARCHITECTURE

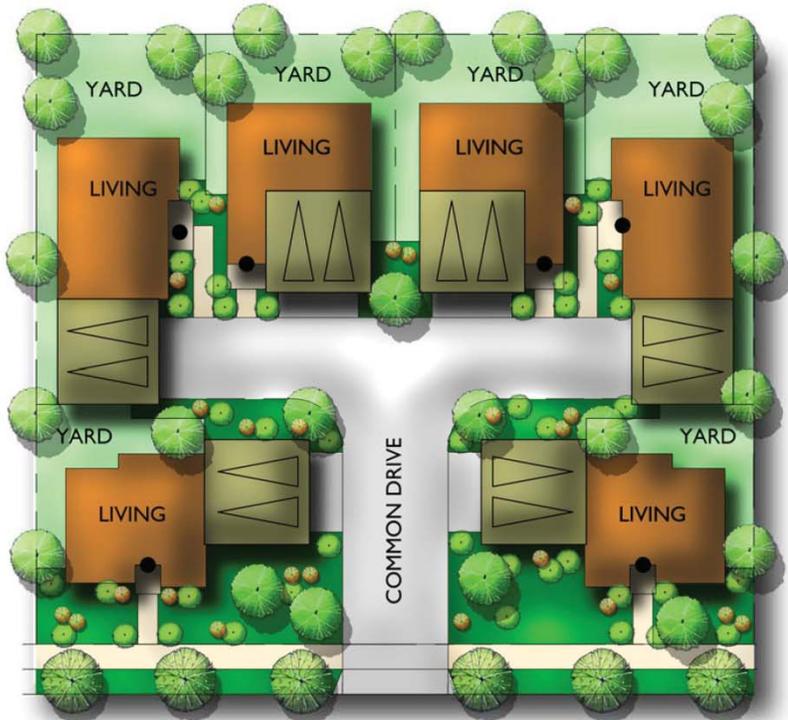
**DUPLEX**

**Description:**  
2-Story Single Family  
Detached homes sharing  
a common auto-court.  
This design provides front  
doors on the street and  
enables private yards while  
removing garages from  
community view.

**Density Range:**  
10-14 DU/AC

**Program :**  
3-4 Bed/ 2.5 Ba  
2-car garage  
private yard

**Avg Home Size:**  
1,200-1,800 sf



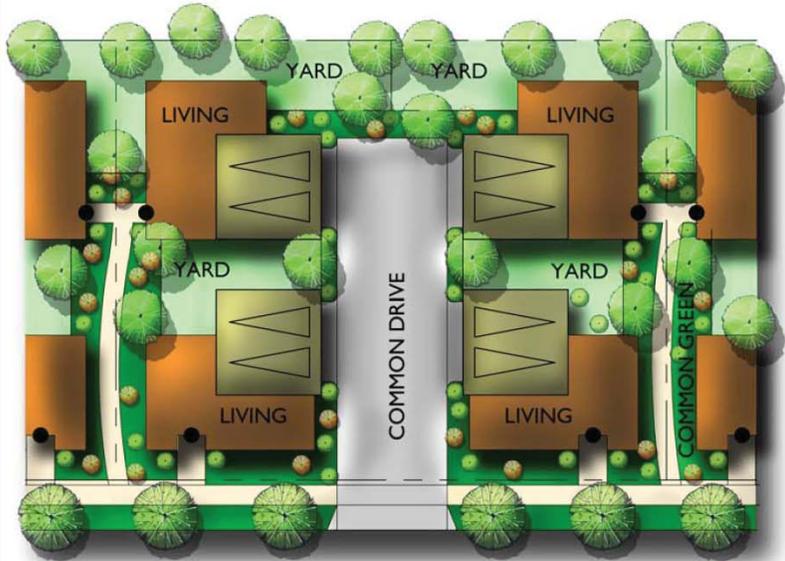
## DETACHED CLUSTER HOMES

**Description:**  
 4-Pack Cluster  
 2-Story Single Family  
 Detached homes sharing  
 a common auto-court.  
 This design provides front  
 doors on the street and  
 enables private yards while  
 removing garages from  
 community view.  
 Pedestrian friendly paseos  
 connect individual entries.

**Density Range:**  
 9-12 DU/AC

**Program :**  
 2-4 Bed / 2.5 Ba  
 2-car garage

**Avg Home Size:**  
 1,200-1,800 sf



4-PACK CLUSTER



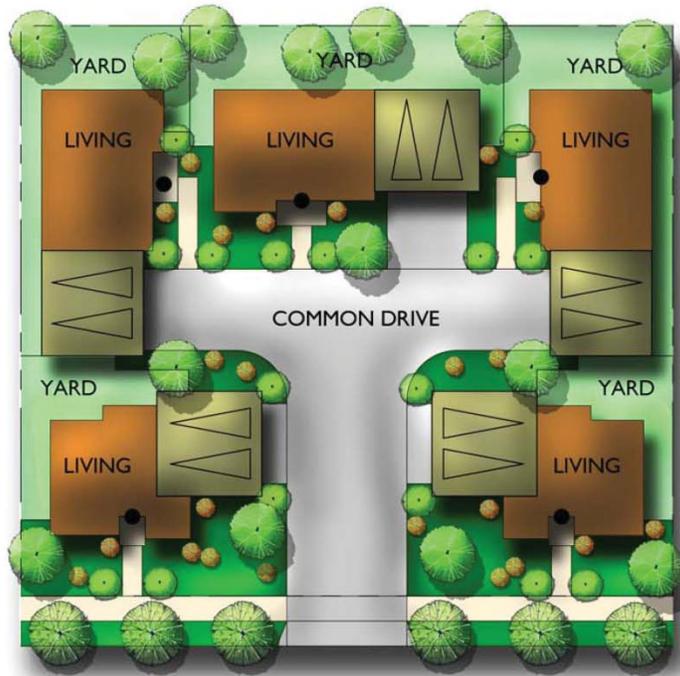
## DETACHED CLUSTER HOMES

**Description:**  
 5-Pack Cluster  
 2-Story Single Family  
 Detached homes sharing  
 a common auto-court.  
 This design provides front  
 doors on the street and  
 enables private yards while  
 removing garages from  
 community view, and brings  
 the architecture forward.

**Density Range:**  
 8-12 DU/AC

**Program :**  
 3-4 Bed/ 2.5 Ba  
 2-car garage

**Avg Home Size:**  
 1,200-1,800 sf



5-PACK CLUSTER



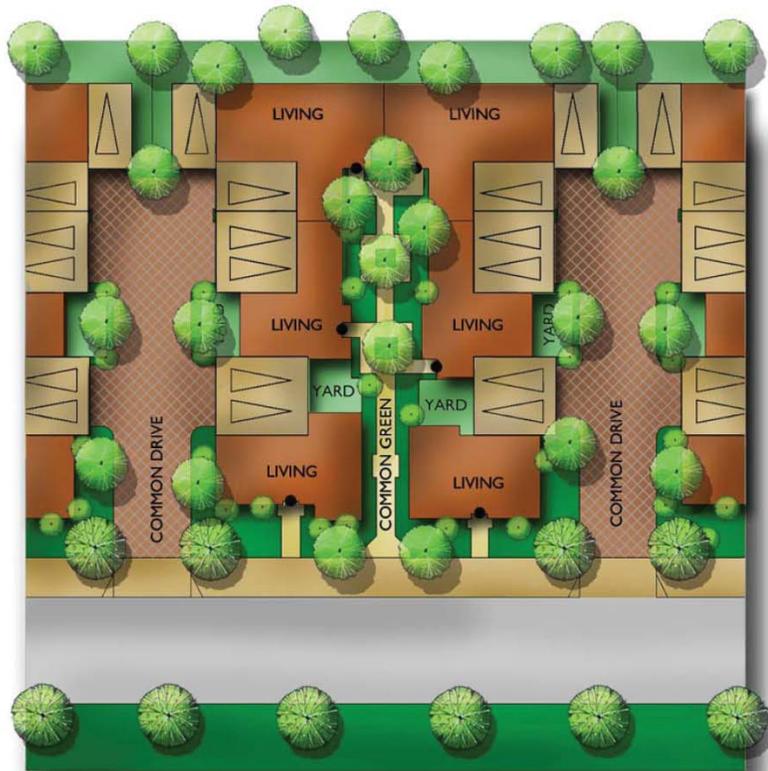
## DETACHED CLUSTER HOMES

**Description:**  
 2-Story Attached Homes sharing a common auto-court and interior Green Court. This design provides front doors on the street and enables private yards while removing garages from community view. The Green Court concept promotes walkability and strengthens community.

**Density Range:**  
 14-16 DU/AC

**Program :**  
 3-4 Bed/ 2.5 Ba  
 2-car garage  
 private yard

**Avg Home Size:**  
 1,200-1,500 sf



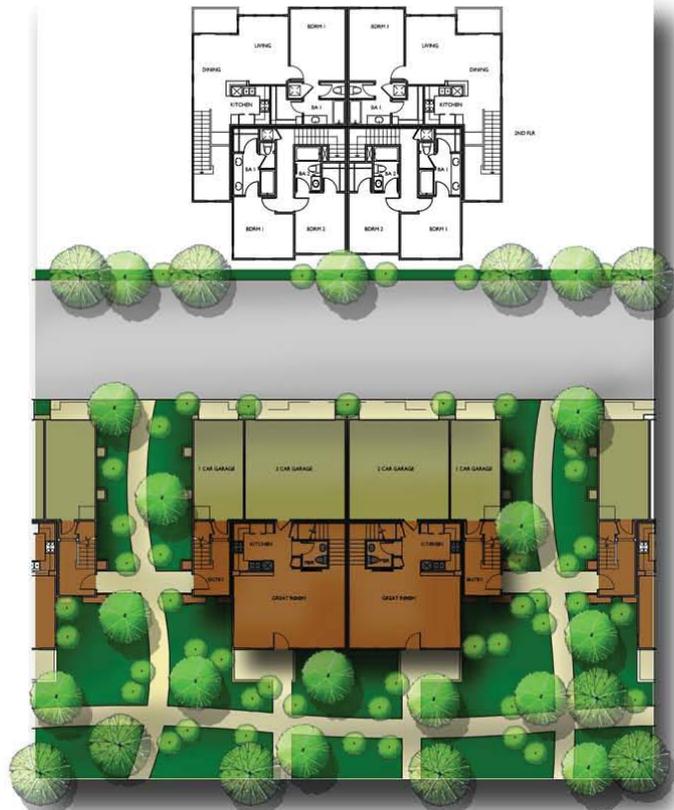
## GREEN COURT - 6

**Description:**  
**2-Story Rowhomes 4-Plex** combine the benefits of traditional townhomes with entry level carriage homes above the garages. Human scale architectural features are prominent in this building concept. Each home has a direct-access garage. The massing gives the appearance of a large estate home.

**Density Range:**  
 15-22 DU/AC

**Program :**  
 1B/1B -3 B/2.5 Ba  
 2-car garage

**Avg Home Size:**  
 800-1,500 sf



**SUMMA**  
 ARCHITECTURE

## 2-STORY 4-PLEX

**Description:**  
 2-Story Townhomes enable ground floor living with large private patios. The flexible second floor plan designs provide single family type accommodations with bedrooms and laundries. Each home has a direct-access 2-car garage. Building composites can be configured from 3-5 units per structure.

**Density Range:**  
 12-18 DU/AC

**Program :**  
 3-4 Bed / 2.5 Ba  
 2-car garage

**Avg Home Size:**  
 1,300-1,700 sf



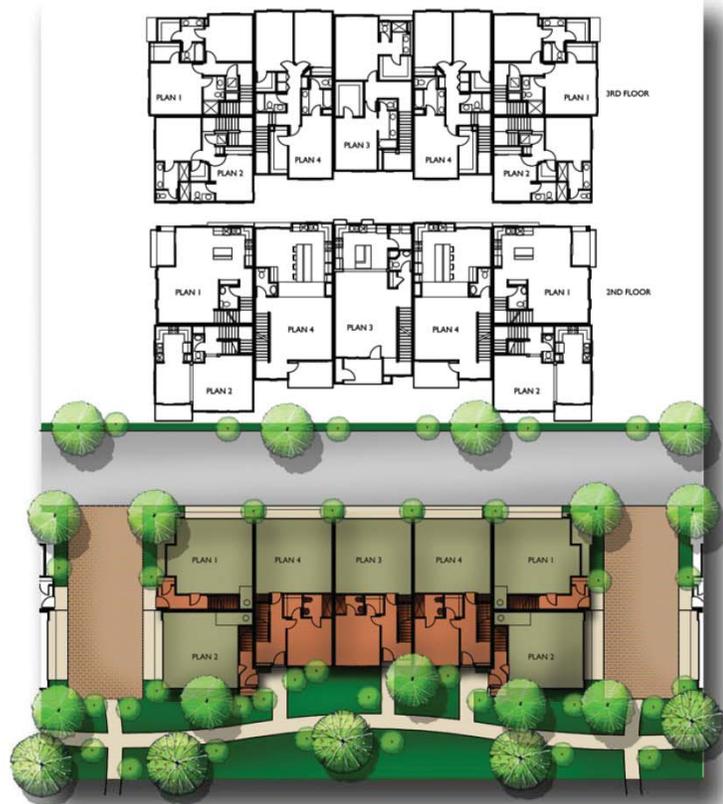
## 2-STORY TOWNHOMES

**Description:**  
**3-Story Townhomes.**  
 This design focuses front doors on a common green court and highlights private balconies and large living areas maximizing natural light and cross-ventilation. Each home has a direct-access 2-car garage.

**Density Range:**  
 18-25 DU/AC

**Program :**  
 2-4 Bed/ 2.5 Ba  
 2-car garage

**Avg Home Size:**  
 1,100-1,900 sf



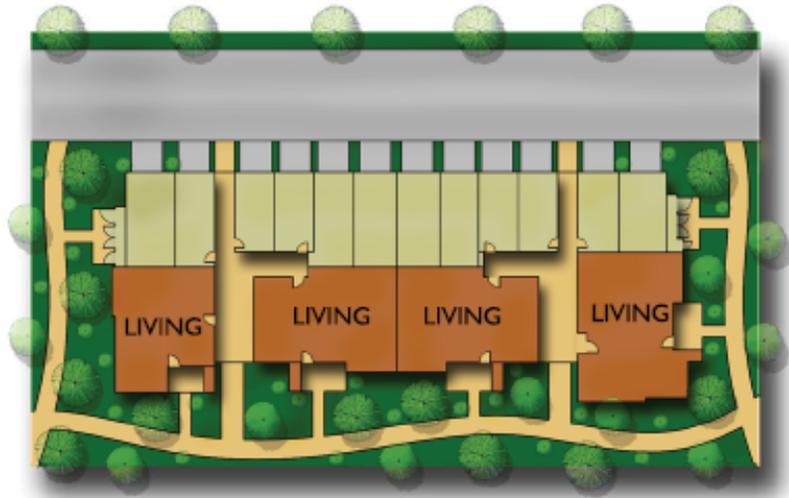
## 3-STORY TOWNHOMES

**Description:**  
3 Story Flats are the most efficient way to maximize livability, density, and privacy. The ground floor homes enter through patios while the upper level homes access attached garages through common stairs. The massing is inherently well articulated because of the variation in plan form. Homes are typically oriented toward green courts or street frontages.

**Density Range:**  
25 DU/AC

**Program :**  
1-3 Bed/ 1-2 Ba  
2-car garage

**Avg Home Size:**  
950 sf



## 3 STORY FLATS

### 5.3 Residential Development Standards

The Development Standards presented in Tables 3.1 – 3.4 shall apply to each Planning Area as indicated. The regulations are intended to allow for flexibility in future development proposals while providing reliable base standards and criteria to ensure appropriate development within the PD Plan area.

Standards vary by Planning Area in response to the development anticipated within each PA. These regulations are intended to facilitate the design of quality traditional single-family, small lot single-family clusters and multifamily development within a framework that promotes creative community design. The standards support variations in development patterns between the Planning Areas in an effort to create visual interest and variety in the streetscape.

The regulations promote an appropriate scale and pattern of development that is compatible with existing neighborhoods and also take into account the characteristics of adjacent streets and roadway corridors by establishing specific setbacks for such. Open space and recreation area standards are specified in an effort to provide quality, usable and safe common and private amenity areas while fostering social interaction throughout the community.

Where the PD Plan does not address a particular development standard, the applicable standards of the City of Oceanside Zoning Ordinance shall apply as follows:

- The Medium Density Residential A (RM-A) standards apply to Planning Area 1 with an underlying land use designation of (MDA-R).
- The standards for the High Density Residential (RH) zoning district are applicable to Planning Area 2 where the underlying land use is (HD-R).
- The Medium Density Residential B (RM-B) standards apply to Planning Area 3 with an underlying land use designation of (MDB-R).
- The Medium Density Residential C (RM-C) standards apply to Planning Area 4 with an underlying land use designation of (MDC-R).

If there is a discrepancy between the provisions of the Zoning Ordinance and the regulations set forth in the PD Plan, the PD Plan shall prevail.

Table 3.1

Planning Area 1  
Development Standards

Standard	PA – 1
Density Range	6.0 – 9.9
Maximum Lot Coverage:	65%
Min. Lot Area:	4,000 sq. ft.
Min. Lot Width:	40 ft.
Minimum Yards:	Single Family Lots
Front	20 ft. / 12ft. <sup>1</sup>
Side	5 ft.
Corner Side	10 ft.
Rear	15 ft.
Minimum Building Setbacks:	
Exterior PD Plan Boundaries	15 ft.
Interior Planning Area Boundaries	10 ft.
Mission Avenue <sup>2</sup>	N/A
Academy Road	15 ft.
Maximum Height: <sup>3</sup>	30 ft.

<sup>1</sup> A 12-foot front setback is allowed for a side-facing garage.

<sup>2</sup> An average setback of 25 feet with a minimum setback of 10 feet is required from back-of-curb to all buildings and parking areas across the full Mission Avenue frontage. Walls shall be setback a minimum of 10 feet from the back-of-curb.

<sup>3</sup> Two- and three-story structures are permitted.

Table 3.2

Planning Area 2  
Development Standards

Standard <sup>1</sup>	PA – 2
Density Range	21.0 – 28.9
Maximum Overall Bldg. Coverage for PA:	65%
Min. Lot Area:	See Footnote #1
Min. Lot Width:	See Footnote #1
Minimum Yards:	See Footnote #1
Minimum Building Setbacks:	
Exterior PD Plan Boundaries	15 ft.
Interior Planning Area Boundaries	10 ft.
Mission Avenue <sup>2</sup>	10 - 25 ft.
Academy Road	10 ft.
Minimum Building Separation for Attached Unit Buildings:	
Front to Front	15 ft.
Side to Side	10 ft.
Rear to Rear	15 ft.
All Others	10 ft.
Maximum Height: <sup>3</sup>	36 ft.

<sup>1</sup> Applicable to PA-2, PA-3 & PA-4. Minimum Lot Area, Lot Width, and Minimum Yards for potential residential projects (attached and detached products) to be determined through review and approval of a Development Plan with specific project configurations and architecture.

<sup>2</sup> An average setback of 25 feet with a minimum setback of 10 feet is required from back-of-curb to all buildings and parking areas across the full Mission Avenue frontage. Walls shall be setback a minimum of 10 feet from the back-of-curb.

<sup>3</sup> Two- and three-story structures are permitted.

**Table 3.3  
Planning Area 3  
Development Standards**

Standard <sup>1</sup>	PA – 3
<b>Density Range</b>	10.0 – 15.0
<b>Maximum Overall Bldg. Coverage for PA:</b>	65%
<b>Min. Lot Area:</b>	See Footnote #1
<b>Min. Lot Width:</b>	See Footnote #1
<b>Minimum Yards:</b>	See Footnote #1
<b>Minimum Building Setbacks:<sup>2</sup></b>	
<b>Exterior PD Plan Boundaries</b>	15 ft.
<b>Interior Planning Area Boundaries</b>	10 ft.
<b>Mission Avenue</b>	N/A
<b>Academy Road</b>	10 ft.
<b>Minimum Building Separation for Attached Unit Buildings:<sup>2</sup></b>	
<b>Front to Front</b>	15 ft.
<b>Side to Side</b>	10 ft.
<b>Rear to Rear</b>	15 ft.
<b>All Others</b>	10 ft.
<b>Separation Distance for Detached Clusters: <sup>2 3</sup></b>	
Between Cluster Perimeters	10 ft.
Dwellings Within Cluster	5 ft.
<b>Maximum Height: <sup>4</sup></b>	30 ft.

<sup>1</sup> Applicable to PA-2, PA-3 & PA-4. Minimum Lot Area, Lot Width, and Minimum Yards for potential residential projects (attached and detached products) to be determined through review and approval of a Development Plan with specific project configurations and architecture.

<sup>2</sup> Encroachment of up to two (2) feet may be permitted into building setbacks and separation distances for architectural features, chimneys, roof overhangs, balconies, and similar features. Patio areas are exempt from setback and separation distance requirements.

<sup>3</sup> Residential clusters may vary in design from 2-pack to 6-pack detached dwelling configurations.

<sup>4</sup> Two-story structures are permitted.

**Table 3.4  
Planning Area 4  
Development Standards**

Standard <sup>1</sup>	PA – 4
<b>Density Range</b>	15.1 – 20.9
<b>Maximum Overall Bldg. Coverage for PA:</b>	65%
<b>Min. Lot Area:</b>	See Footnote #1
<b>Min. Lot Width:</b>	See Footnote #1
<b>Minimum Yards:</b>	See Footnote #1
<b>Minimum Building Setbacks:<sup>2</sup></b>	
<b>Exterior PD Plan Boundaries</b>	10 ft. for side yards 15 ft. for front & rear yards
<b>Interior Planning Area Boundaries</b>	10 ft.
<b>Mission Avenue<sup>3</sup></b>	15 – 25 ft.
<b>Academy Road</b>	10 ft.
<b>Minimum Building Separation for Attached Unit Buildings: 2</b>	
<b>Front to Front</b>	15 ft.
<b>Side to Side</b>	5 ft.
<b>Rear to Rear</b>	10 ft.
<b>All Others</b>	10 ft.
<b>Maximum Height: <sup>4</sup></b>	30 ft.

<sup>1</sup> Applicable to PA-2, PA-3 & PA-4. Minimum Lot Area, Lot Width, and Minimum Yards for potential residential projects (attached and detached products) to be determined through review and approval of a Development Plan with specific project configurations and architecture.

<sup>2</sup> Encroachment of up to two (2) feet may be permitted into building setbacks and separation distances for architectural features, chimneys, roof overhangs, balconies, and similar features. Patio areas are exempt from separation distance requirements.

<sup>3</sup> An average setback of 25 feet with a minimum setback of 20 feet is required from back-of-curb to all buildings and parking areas across the full Mission Avenue frontage. Walls shall be setback a minimum of 15 feet from the back-of-curb.

<sup>4</sup> Two-story structures are permitted.

## 5.4 Usable Open Space Area

The overall density and product types anticipated within the PD Plan area will include homes that have private balconies, patios, or small private yard areas. As a component of the community amenities, usable common open space areas shall also be provided for future residents. Common open space may consist of active and passive areas designed and accessible for outdoor living and recreation. Such areas may consist of non-street yard areas, paseos and similar features, common recreation areas, common patios, plazas, courtyards, and garden areas.

A minimum area of 350 square feet per dwelling unit shall be required for the total usable open space provided for developments proposed within the PD Plan Area. Open space areas may be designed to serve multiple developments, such that open space areas are provided equal to the overall combined open space area requirement.

Areas of private usable open space may be applied to meet up to 50% of the overall usable open space requirement. Private usable open space may be on patios or balconies where a horizontal rectangle has no dimension less than 5 feet. Private usable open space not on patios or balconies shall be designed so that a horizontal rectangle inscribed within has a minimum dimension of 10 feet and shall not include driveways or parking area, or areas required for front or street side yards.

A minimum of 50% of the total usable open space area requirement shall be provided as common usable open space. Such areas shall be designed so that a horizontal rectangle inscribed within has a minimum dimension of 15 feet, shall be open to the sky, and shall not include driveways or parking areas, or areas required for front or street side yards. Such areas shall be a minimum of 750 square feet in size, for example a quiet bench or a small outcropping of rocks for children to play.

Development within Planning Area 1 shall provide at least one common active recreation area, a minimum of 4,000 square feet in size, to meet a portion of the common usable open space requirement. Development within Planning Areas 2, 3 & 4 shall provide at least two common active recreation areas, each a minimum of 4,000 square feet in size, to meet a portion of the common usable open space requirement.

Plazas, resident community garden areas, playgrounds, and similar features shall be considered as common active recreation areas. A single common active recreation area a minimum of 8,000 square feet in size may be provided to meet any portion of these requirements integrated within the Planning Area as a part of the overall PD Plan open space system. It is anticipated that maintenance of these open space areas will be the responsibility of a home owners association as established in conjunction with proposed development.

## 5.5 Parking

Off-street parking shall be incorporated with any proposed development to best serve the proposed use or mix of uses on the property. Off-site parking is not permitted to meet the parking requirements established by the PD Plan.

In order to facilitate an efficient and effective parking system throughout the PD Plan area it is recommended that a Parking Management Plan (or equivalent mechanism) be incorporated with development as proposed in each Planning Area. Such a plan would be implemented and regulated by the appropriate Home Owners Association to help manage guest parking and ensure resident parking within respective garages. The following is a list of strategies and elements that might be included with such a parking plan:

- Incorporate garage doors with glass windows installed by builder so garage inspections can be performed by a management company.
- Include requirement for 2 cars parked in garage in CC&R's.
- Issue parking permits for guest parking.
- Develop CCR's that authorize association to issue warnings, fines, and tow if a resident is in violation of the parking guidelines.
- Include clear signage which directs visitors to appropriate guest parking areas.
- Limit guest parking to a maximum of 72 hours.

Parking shall be provided in conjunction with development proposed in each Planning Area per the standards listed in Table 4.

**Table 4 - Parking Standards**

Proposed Use	Required Parking Spaces
<b>Detached Residential</b>	2 garage spaces / unit : 2,500 sq. ft. or less 3 garage spaces / unit : more than 2,500 sq. ft.
<b>Attached Residential</b>	1.5 / one- bedroom or studio units, including 1 covered space <sup>1</sup> 2 / two or more bedroom units, including 1 covered space
<b>Guest Parking</b>	Minimum amount of spaces equal to 20% of the total dwelling units
<b>Parking Space Dimensions</b>	8.5 ft. x 18 ft. minimum
<b>Garage Dimensions</b>	20 ft. wide x 19 ft. deep Minimum for two-car garages.  10 ft. wide x 19 ft. deep Minimum for one-car garages.

<sup>1</sup> Covered parking may be provided by garages or carport structures.

## Chapter Six

### 6.0 Community Design Guidelines

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#### 6.1 Purpose and Intent

Community design elements take into account the historical context and significance of the area. The design theme of the PD Plan community is intended to complement the character of the Mission San Luis Rey historic area. The Plan incorporates design techniques, streetscape elements, and land use transitions that will respond to its variable surroundings. A unified design theme will help to create cohesiveness and a sense of place. The Design Guidelines provide the direction necessary to implement the land uses and development standards proposed by the PD Plan.

The Design Guidelines are intended to be flexible and are, therefore, illustrative in nature. When implemented as a flexible document, the Guidelines can respond to future lifestyle changes, consumer preferences, economic conditions, community desires, and the marketplace. Objectives of the Villa Storia PD Plan Community Design Guidelines are to:

- Establish the sustainability, architectural and landscape guidelines for the PD Plan that complement the *Mission San Luis Rey Historic Area Development Program and Design Guidelines*;
- Provide the City of Oceanside with assurance that the PD Plan area will develop in accordance with the proposed quality and character of the community;
- Serve as a reference for Staff, the Planning Commission, and City Council in the review of individual residential development proposals within the PD Plan area;
- Provide homeowners with guidelines and recommendations that maintain a high level of community cohesiveness, yet still allow for individual expression.

#### 6.2 Community Sustainability Guidelines

Sustainable community design practices are those that can significantly reduce or eliminate the negative impacts of development on the environment and its inhabitants. A sustainable design approach can be comprised of a variety of green building and development practices implemented throughout an appropriately designed community. Such practices might include a focus on infill and compact development, provision of pedestrian amenities and distinct neighborhood connections, efficient water use and storm water management, and providing a range of housing types to support a diverse population. The following sustainable design strategies are encouraged for implementation with development of the Villa Storia plan area and may evolve as the community builds out:

##### A. Neighborhood Design

- Encourage a compact community development pattern with distinct connections between neighborhood areas with integrated pedestrian and bicycle amenities.
- Locate residential neighborhoods in close proximity to other supporting land uses such as parks, retail areas, and institutional uses.

- Provide a range of housing types and densities that can support a diverse resident population.
- Design neighborhoods near public transportation infrastructure and provide direct connections, such as bus stops, to transit options when possible.
- Locate buildings and community amenities to be sensitive to site topography and edge conditions.
- Design parking and garage areas which complement pedestrian routes and access throughout the community.
- Provide alternative transportation amenities such as, dedicated bicycle lanes on roadways, bicycle lockers and bike rentals for community resident use.
- Incorporate green practices in design of community infrastructure.
- Design open space and landscape areas to effectively facilitate storm water flows and maximize use of pervious surfaces where feasible.

**B. Landscape Design**

- Incorporate low water use plants and landscape (utilize WUCOLS plant water use list) where appropriate.
- Provide low water use turf options, such as carex/paspalum turf.
- Limit amount of turf allowed per residence such as; 10% standard turf, with alternate option of paspalum turf with underground irrigation.
- Design community gardens with water saving liners.
- Utilize low growing, low water use plantings within parkways instead of turf.
- Design curb cuts to allow water to drain back into landscape areas.

**C. Building Construction and Energy Efficiency**

- Encourage new construction to incorporate the Tier 1 standards (voluntary efficiency measures) of the CAL Green Code presented under Title 24. Tier 1 standards call for a 15% improvement in energy requirements, stricter water conservation, 65% diversion of construction and demolition waste, 10% recycled content in building materials, 20% permeable paving, 20% cement reduction, and cool/solar reflective roofs.
- Identify opportunities to incorporate salvaged materials into building design such as; beams and posts, flooring, paneling, doors and frames, and decorative items.
- Consider utilization of rapidly renewable materials such as bamboo, wool, cotton insulation, agrifiber, linoleum, wheatboard, strawboard, and cork.
- Encourage all buildings to take advantage of natural ventilation and natural day lighting.
- Promote use of solar panels and other renewable energy options.
- Encourage the use of low VOC paints, carpet and wallpaper.

#### D. Water and Irrigation Elements

- Implement domestic water and irrigation systems that Conform to and exceed all California water use regulations.
- Adopt a “Green Street” program to manage stormwater, reduce flows and improve water quality.
- Promote the use of low flow water conserving fixtures and tank-less water heaters with residential construction.
- Design irrigation systems to utilize recycled water once available.
- In conjunction with development improvement plans - show that the estimated water use (ETWU), versus maximum allowed water use (MAWA), will be under the required amount (Percentage).
- Install a recycled water trunk line in Academy Road to ultimately allow for re-use of water from on-site basins.
- Save on-site water overflow volume for re-use in common landscape areas.
- Utilize “weather based” irrigation systems able to automatically adjust in response to varying weather conditions.

#### 6.3 Architectural Design Guidelines

Each Planning Area would offer distinct residential neighborhoods, tied to the central theme and connection to the historic Mission San Luis Rey and associated facilities. In deference to traditional Southern California heritage, the proposed project’s architectural styles would be consistent with the Mission Revival and Spanish Colonial revival styles while taking into account the historical context and significance of the area

The overall character of Community is intended to convey a spirit of timeless elegance as represented by the traditional building styles of Southern California. Although these styles originated in Europe and the Mediterranean, they have been adapted by the constraints of climate, topography and tradition to become a regional representation of a lifestyle. The specific architectural styles reflecting this heritage are:

- *Early California / Mission*
- *Spanish Colonial Revival*
- *Monterey*
- *Irving Gill (abstract mission style)*

It is Important to note that while these are uniquely individual styles, many of their features and characteristics are interchangeable. The purpose of this section of the Design Guidelines is not to restrict, but to inspire in order to create a varied and consistently high level of architectural design. The following pages describe the character of the styles in more detail, and how they might be applied to building sites.

**A. Community Design and Site Planning**

- The use of a variety of architectural styles with individual interpretations and variable site placement is recommended to avoid a monotonous appearance and result in a community that looks and feels as if it has been developed over time.
- Provide a variety of housing types that attracts a wide range of individuals and families to create a cohesive community.
- Show sensitivity to adjacent properties, open space, and community amenity areas with appropriate setbacks and orientation of buildings and facades.
- Encourage street facing primary entrances for residential structures or incorporate a clear orientation of entry locations.
- Circulation pattern should be obvious and as simple as possible. Develop connected internal roadway networks designed to avoid conflicts between vehicles and pedestrians. When possible, minimize the use of dead-end drives or alleys.
- Minimize the impact of the garage on the street by incorporating recessed, side or rear facing garages.
- Provide a variety of single-family and multi-family site configurations such as traditional lots, garden patio homes, alley loaded lots, and clusters.
- Design neighborhoods using a blend of compatible architectural styles and a distinctive palette of colors and materials.
- Provide varied building setbacks along the street or articulate each building.
- Provide enhanced pedestrian circulation with access and connections to public sidewalks, paseos, and open space systems.

**B. Community Streetscape**

- Design community street frontages to encourage pedestrian activity and connectivity between neighborhoods utilizing complementary landscaping and community theme elements throughout.
- Locate sidewalks along main roadways and internal circulation routes connecting community neighborhoods with recreation and open space areas.
- Incorporate appropriate street trees and landscaping along roadways to define community edges, provide shade canopies, and create buffers between pedestrian and vehicle traffic.
- Provide safe and identifiable pedestrian crossings at key intersections and nodes integrated with community streets.
- Site furniture and amenities (including benches, kiosks, bollards, trash receptacles, bollards, etc.) should promote a consistent and classic design aesthetic throughout the community. Wood, metal, wrought iron, stone, & concrete should be considered as appropriate materials for such elements.

**C. Building Massing and Scale**

- Utilize traditional architectural forms.
- Design detached homes that feature simple, recognizable forms complemented by appropriate horizontal and vertical articulation.
- Encourage horizontal building orientation through one and two-story structures. As this is generally exemplified through larger buildings in the Historic Area, it is recognized that single-family residential block patterns are generally horizontal in nature and achieve this guideline. The overall dimensions of two adjacent single-family structures may be considered in the application of this guideline.
- For cluster development, ensure that massing does not become too “boxed-out” by orienting building ends away from public views and avoiding use of blank wall planes.
- Appropriate architectural components include articulation of building walls, projections, and recesses to provide shadow and depth, variable rooflines, and a combination of one and two story forms.
- Inappropriate architectural elements would include large expanses of wall surface, repetition in design, or ‘box-like’ homes lacking horizontal and vertical articulation. Steep pitched or flat roofs should only be used as accent elements.
- Provide varied setbacks between different elements of the home (i.e. recessed or side/rear facing garages, porches, second floor elements, etc.).
- Architectural elements including balconies, decks, loggias, terraces, porches, and exterior stairs should be integrated with building elevations to minimize large wall masses.
- Encourage ground-level plate heights to be taller in appearance than plate heights for upper stories.
- Design building masses between adjacent homes and clusters to enhance variation and quality of streetscapes.

**D. Building Materials and Finishes**

- Exterior building materials and finishes should complement the historic surroundings of the PD Plan area.
- Incorporate building materials and construction techniques that produce a desired appearance of thickness and mass in recessed wall openings.
- Complementary accent materials should be incorporated into the design.
- Building colors need to be appropriate for the architectural style and compatible with on and off-site surroundings.
- Color palettes should be subtle earth tones with accent colors that are darker or lighter to highlight the character of the structure.
- Bright colors and non-earth tones should be avoided except as accents.
- Stucco finish in traditional grades (such as 16/20 sand finish) is appropriate, while lace stucco finish is strongly discouraged.

**E. Garages and Accessory Buildings**

- Garages may be attached or detached and should feature architectural designs consistent with the primary residence.
- Plans that feature side or rear garages are encouraged.
- Avoid garage dominant front facades when possible.
- The use of trellises, porte-cocheres, or similar detail features is encouraged to reduce the visual dominance of garages on the street.
- Garage doors should be multi-paneled and recessed from the framing to create shadow relief.
- All accessory structures (community buildings, pool houses, etc.) are subject to these same design guidelines and should be consistent with the architectural style and design of the primary residential buildings.

**F. Roof Form and Configuration**

- Residential designs shall feature pitched gable, hip and shed roof forms, with variable slopes, as predominant roof elements.
- Roof materials should be concrete barrel or 'S' tile appropriate to the architectural style of the dwelling.
- Rooflines should be accentuated with prominent projections and overhangs.
- Pitches shall vary anywhere from 2:12 to 6:12 and coincide with the architectural style and detailing of the home.

**G. Windows and Doors**

- Windows and doors are a significant visual element as a part of the envisioned architectural styles and should be carefully selected and detailed.
- Recessed openings, bay windows, projections, window boxes, and balconies are encouraged where appropriate for the architectural style.
- Incorporate residential designs that feature vertically-oriented windows.
- Multi-paned doors and windows with divided lights and clear glazing are encouraged.
- Silver or gold metal frames, large uninterrupted expanses of glazing, dark tinted and reflective glass are not appropriate treatments.
- Second story windows should include features that enhance the architectural style of the residence including, pot shelves, shutters, grill work, stucco trim and similar detailing.
- Incorporate primary entry doors that appear taller than the 6' – 8" typical standard.

#### H. Exterior Lighting

- All exterior lighting should be designed and incorporated into the building schemes to avoid glare and spillover between neighboring homes.
- Lighting fixture types, quantities, and locations should be carefully considered in order to best enhance the residential environment.
- Appropriate fixture proportions should be considered in relation to the scale of the building or structure.
- Lighting should complement architectural elements, changes in material of the ground plane, and landscape.
- All fixture illumination shall be directed downward.
- Street lighting should be utilized to the minimum extent possible to provide a safe community, but also to enhance neighborhood character. All lighting standards should be hooded and designed to prevent light spillover.



Lifestyle  
Imagery

## 6.4 Residential Architectural Styles

### A. Early California / Mission

#### **Historical Precedents**

This classic design style is derived from the many regions of the Mediterranean, particularly Southern Spain and Northern Africa.

#### **Characteristics:**

##### **Form & Mass**

The basic forms are characterized by simple strong one and two story volumes. Roof pitches are shallow, usually 3:12 to 4:12. All major openings are deep-set six inches (6") to give the appearance of substantial walls and structure.

##### **Materials & Color**

Stucco with a semi-smooth finish, is the predominant wall material. Although white is the "typical" color. Hues should be in the light tan to beige range. Tile, brick, and stone are common accent materials. Roofs are covered with Spanish 'S' shaped tile.

##### **Details**

Arched openings are used with restraint Molded plaster and cut stone are used as accents for major openings. Eave overhangs are small usually formed with a plaster cornice mold with the occasional use of exposed beam ends as accents, particularly at porches and loggias.



Early California / Mission  
Historical Imagery



Early California / Mission  
Imagery

## **B. Spanish Ranch**

### **Historical Precedents**

This style is generally adapted from the early ranchos of California and haciendas of Mexico. This style is more informal with larger roof overhangs.

### **Characteristics:**

#### **Form & Mass**

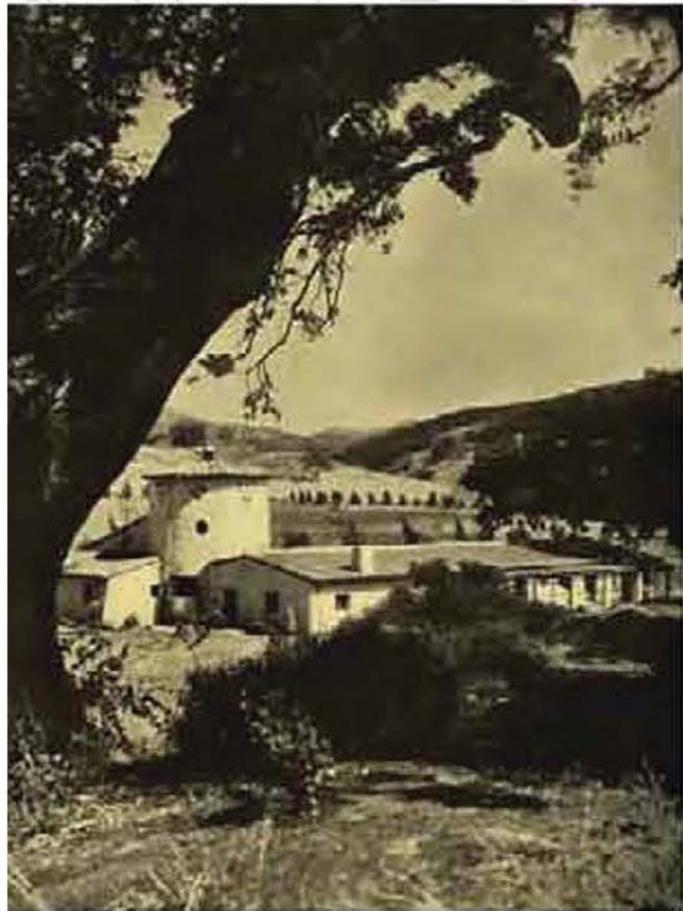
Structures are primarily low and wide in profile with the occasional use of "miradors" (a turret or tower element) and the integration of one- and two-story components. Roof pitches are 3:12 to 5:12, with some deep-set openings.

#### **Materials & Color**

Stucco is the dominant wall material with the occasional use of painted masonry. Roofs are flat or 'S' shaped tile, typically with a random pattern. Colors should be similar to Mission style.

#### **Details**

Stone columns and ornate, stucco pilasters and columns are used to define major openings and support the beams of the loggias and porches, shutters and lintels are used to accent windows and doors. Eave overhangs are 18" to 24", and supported on exposed beams with corbeled ends.



Spanish Ranch  
Historical Imagery



Spanish Ranch  
Imagery



Spanish Ranch  
Imagery

## C. Monterey

### **Historical Precedents**

The Monterey style has its origins in northern California as a combination of the Spanish haciendas and Colonial styles imported by early settlers from New England. The structures are a combination of thick adobe construction and refined wood detailing.

### **Characteristics**

#### **Form & Mass**

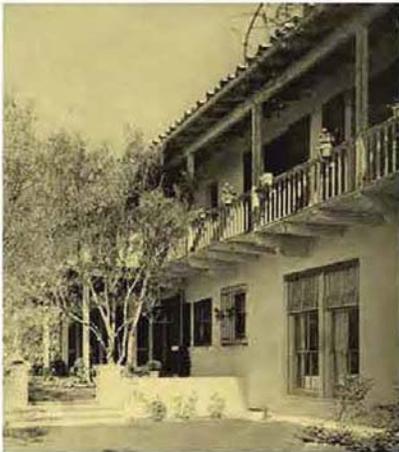
Plan forms are very simple, horizontal two-story volumes with secondary single story wings. Roofs are generally 4: 12 pitch. The predominant characteristic of the style is the horizontal second floor balcony usually over the entry side of structure.

#### **Materials & Color**

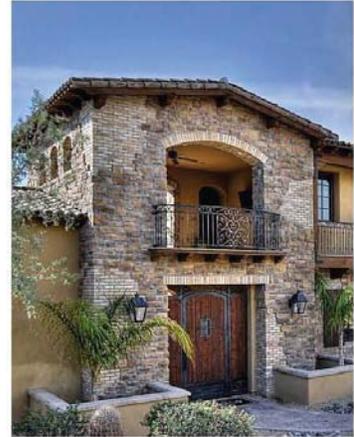
Stucco and painted masonry are the predominant materials. Colors range from light beiges and tans to darker earth colors with lighter colors used for trim. Roofs are traditionally flat or barrel clay tile with heavy timber columns to support the porches.

#### **Details**

"Colonial" doors and windows are blended with the Hispanic traditions of deep-set windows and thick walls. Shutters are commonly used for accent windows. Second floor portions are cantilevered for visual relief to the simple horizontal lines.



Monterey  
Historical Imagery



**Monterey  
Imagery**

**D. Irving Gill Inspired (abstract mission style)**

**Historical Precedent**

Predating his European counterparts, San Diego architect Irving Gill developed what would appear to be an American derivation of the International style. With functional practicality, aesthetics and new construction methods in mind, Gill developed a system of design and construction that took on simple, clean and yet architecturally stylish forms. The wall surfaces were plain, with clean ‘punched’ openings for windows and doors and often included garden walls that appeared as extensions of the façade incorporating arched doorways, arcades, and details such as small balconies and window boxes.

**Characteristics:**

**Form & Mass**

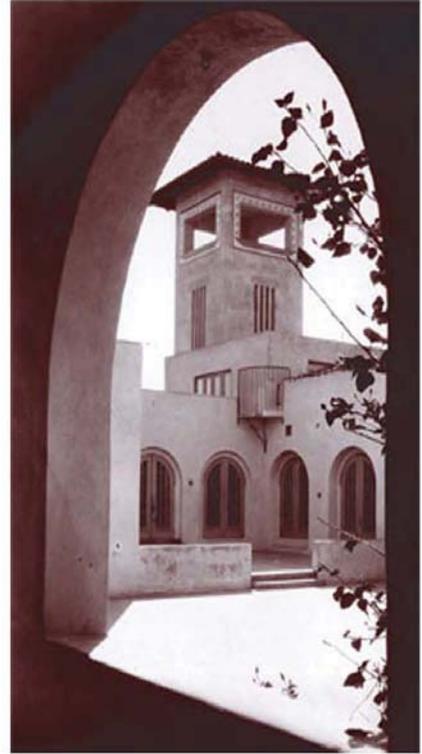
Structures overall are comprised of simple horizontal forms and include arched windows and openings on facades and secondary massing elements. Front elevation lines are asymmetrical, primarily horizontal and simple boxed forms. Roofs are primarily hipped or parapet designs with 4:12 pitch standard and 12-inch to 18-inch overhanging eaves. Balconies may occur as an integral part of the building. Simple doors shall be recessed and have wood trim in contrast to the surrounding stucco façade.

**Materials & Color**

Overall stucco finish with wood detailing. Stucco shall be smooth to fine sand finish. Roofs feature concrete ‘S’ or barrel tile. Sculptured columns and open wood overhangs at entry and patio/shade structures.

**Details**

Design features perforated openings in extended facade and garden walls. Windows have the appearance of being ‘punched’ or deeply recessed. They are vertical in form and often grouped. Arched top windows may be used widely as character and accent forms on 1st story. Chimneys are comprised of a simple stucco stack with an articulated cap detail. Entries are typically covered by a porch structure.



**Irving Gill  
Historical Imagery**



Irving Gill  
Imagery

## 6.5 Landscape Design Guidelines

The landscape architecture and site elements of the Villa Storia PD Plan are designed to reinforce the project's community character. The project will feature a thematic style where influences of the site and surroundings are integrated into the central design of the community. A key design goal is to create a series of built features or icons to be found throughout the community that bring together the architecture and landscape to establish a distinct identity.

The landscape design guidelines include written descriptions and graphic exhibits that demonstrate the design of landscape elements located throughout the project site. Conceptual design drawings that include an overall conceptual landscape plan and exhibits highlighting community entryways, street scenes and intersection nodes, along with other specific amenities are presented to further detail the envisioned landscape theme.

### A. Conceptual Landscape Plan

The overall landscape theme for the PD Plan area is shown in *Figure 6-1, Conceptual Landscape Plan*. The Conceptual Landscape Plan presents community landscaping that will be developed in conjunction with the backbone infrastructure of the overall project. Trees, shrubs, and groundcovers associated with the Mission period will be utilized to maintain an historic California style. In conjunction with the community sustainability principals, landscaping will have native components and be highly drought tolerant, with the plant palette referencing only low and medium water use plant materials.

Landscaping would frame the pedestrian circulation network while softening views of the project site. A landscaped parkway would be developed between the public roadways and the project's perimeter walls in order to screen the scale and massing of the proposed structures while also providing a setback.

The edges of the project site would be defined and visually enhanced through the implementation of the Conceptual Landscape Plan through utilization of plant species that respect the Historic Area and grouping trees, shrubs, and other forms of vegetative land cover in visual interesting placements. At the Academy Road roundabout near the center of the project site, the proposed landscaping and open space would provide for a community focal point and gathering space while providing for visual cohesiveness.

Pedestrian connectivity is a key element integrated into the Villa Storia landscape and site design. The pedestrian circulation system links community streetscape, parks, and common open space features across the site providing connectivity between the proposed Planning Areas. Prominent community landscape open space elements help to define the character of the site and include; a one-acre community park, a central paseo connecting the park to interior Plan areas, and smaller neighborhood open space & park amenities.

Special focus is also placed on proposed streetscape enhancements for Mission Avenue and Academy Road. Landscape plans for specific developments proposed within the Planning Areas shall be designed to complement the Conceptual Landscape Plan with an emphasis on street frontages, entry drives, plazas, courtyards, and common open space areas. Individual landscape plans shall be designed in conjunction with specific Development Plans and reviewed as outlined in *Chapter 7 – Plan Implementation*.

Green Street Objectives:

The vision for the Villa Storia site is to create a green street corridor that ties together the existing community with the historic Mission San Luis Rey. The design goal is to activate a partially vacant area into a lively connection between residential, historic, and commercial areas. Frazee and Academy Road have limited pedestrian traffic at this time, so it is the goal to create a more pedestrian friendly environment as a means of activating both existing and proposed developments. The new roadways incorporate traffic calming elements such as planted medians and round-a-bouts for added safety. The site roadways will use the latest sustainable storm water principles.

With the goal of becoming a green street in California, the most important consideration is water conservation. The plant material has been carefully selected to be low water use. Utilizing naturalized species that can survive drought conditions while being able thrive in the area.

The planting areas act as buffers for the pedestrians against the street and increase vehicular traffic calming effects. The planters also act as areas for rainfall to absorb into the landscape.

For a typical site, the largest portion of the water budget is often dedicated to turf. This site will have minimal turf areas and will utilize turf replacement options such as carex spp. & paspalum turfs. These options are much more water efficient than a standard turf. The site has been designed so that all rainfall will be retained and treated on site. The grading design incorporates hardscape locations draining back into the landscape areas.

The irrigation system for Villa Storia will conform to and exceed all California water use regulations. The system will exceed the standards for the MAWA (Maximum Allowed Water Allocation) through coordinated site and irrigation design. The irrigation system will utilize weather based technology that automatically adjusts to rainfall to ensure the system will only irrigate when necessary. Due to the plant selection, only highly efficient sub-surface drip irrigation will be needed to irrigate the plants, including turf areas.



Fig. 6-1

## B. Community Entry Features

The PD Plan proposes a main community entry point for pedestrian and vehicular access at the Academy Road intersection with Mission Avenue presented by *Figure 6-2 - Community Entry Plan* and *Figure 6-3 – Community Entry Elevations*. This access point will provide a landmark and community gateway feature which will enhance the eastern entry into the Mission San Luis Historic Area along the Mission Avenue corridor.

A detailed exhibit of the gateway feature is presented by *Figure 6-4 - Community Entry Perspective*. Proposed entry monumentation incorporates key architectural elements from the nearby historical Mission site and creates a signature element for the entrance into the community. Reflecting the historic Mission theme, the pedestrian entry into the project site features a traditional tower element with archways and a segmented dome roof - designed as the primary focal point at the principal entrance to Villa Storia. Monument signage is also featured opposite the tower. Design elements include stucco cladding, decorative cornice and wall caps, and iron light fixtures – all intended to complement those found at the Mission.

The Mission Avenue entry node will also include a small citrus grove feature. This feature symbolizes the heritage of similar groves associated with villages throughout Southern California. Stylized orchard plantings will be framed by low walls and setback from the streetscape plantings to strengthen their focus as a recognizable community entry element.

## C. Community Parks and Open Space

The Villa Storia PD Conceptual Landscape Plan provides a comprehensive approach to the placement of various parks, landscaped pathways, and open space areas located throughout the project. These features form a connected community amenity that will provide both passive and active open space elements serving the needs of various age groups.

### **Community Park (Planning Area 4)**

The Community Park proposed at the southwest corner of Planning Area 4 is the prominent open space feature within the Villa Storia Plan area. Open to the public, but maintained by an HOA, this park will be an important identifying element for the community and will provide recreation and active play areas, cultural elements, passive landscapes, and space for social gathering. The park is also intended to provide for physical and social connections to the adjacent Mission San Luis Rey Parish property and to the Old Mission San Luis Rey. The design features of the park complement the design elements at the Academy entry as well as the Parish Property on the bend of Mission Avenue. The park is designed with limited, but definitive connections to the Mission Avenue Frontage to allow for pedestrian access from the street frontage to the interior areas of the park. The orientation of the park at this corner of the project provides a deep set back of open space and landscape features. The Community Park plan is presented by Figure 6-5.

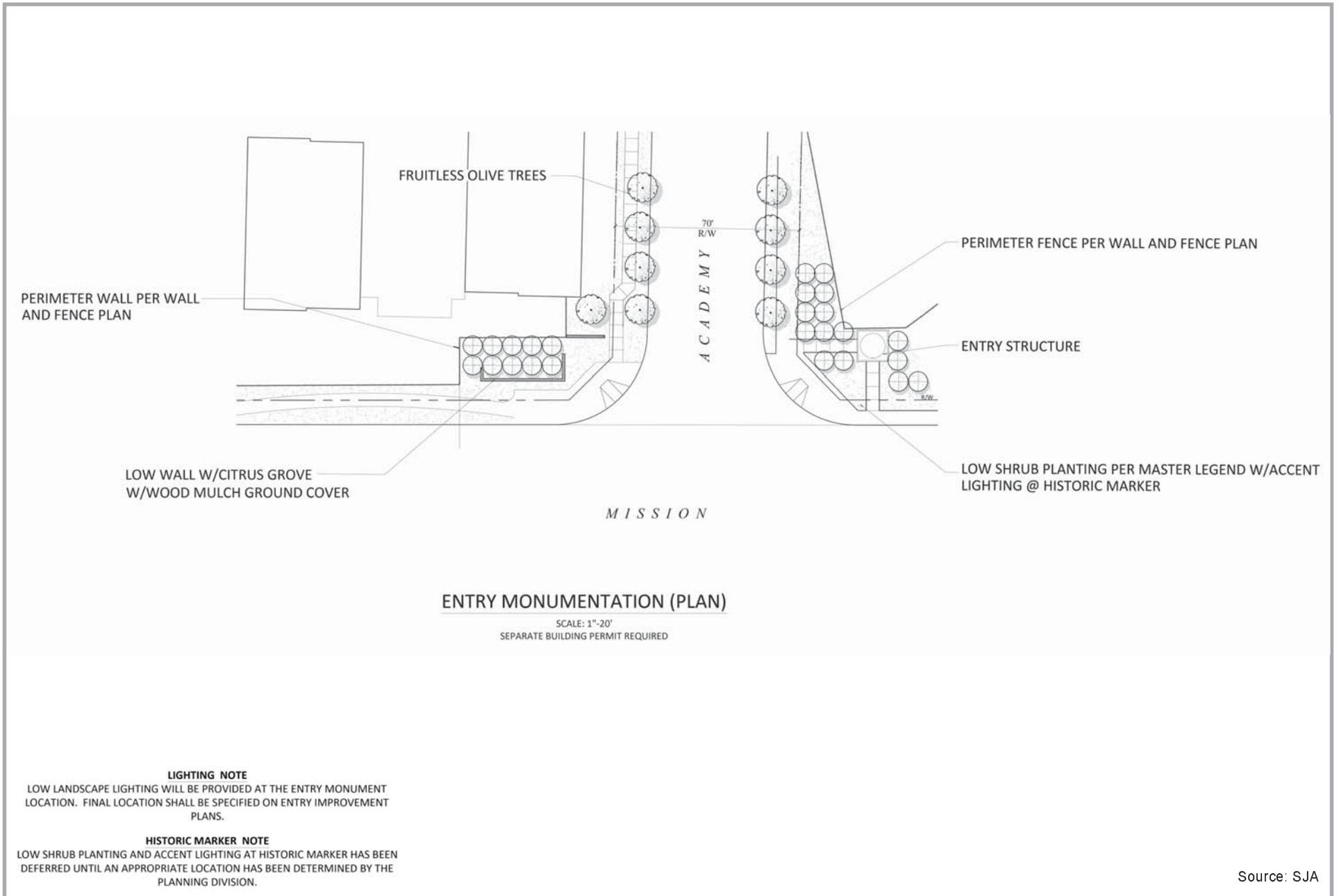


Fig. 6-2

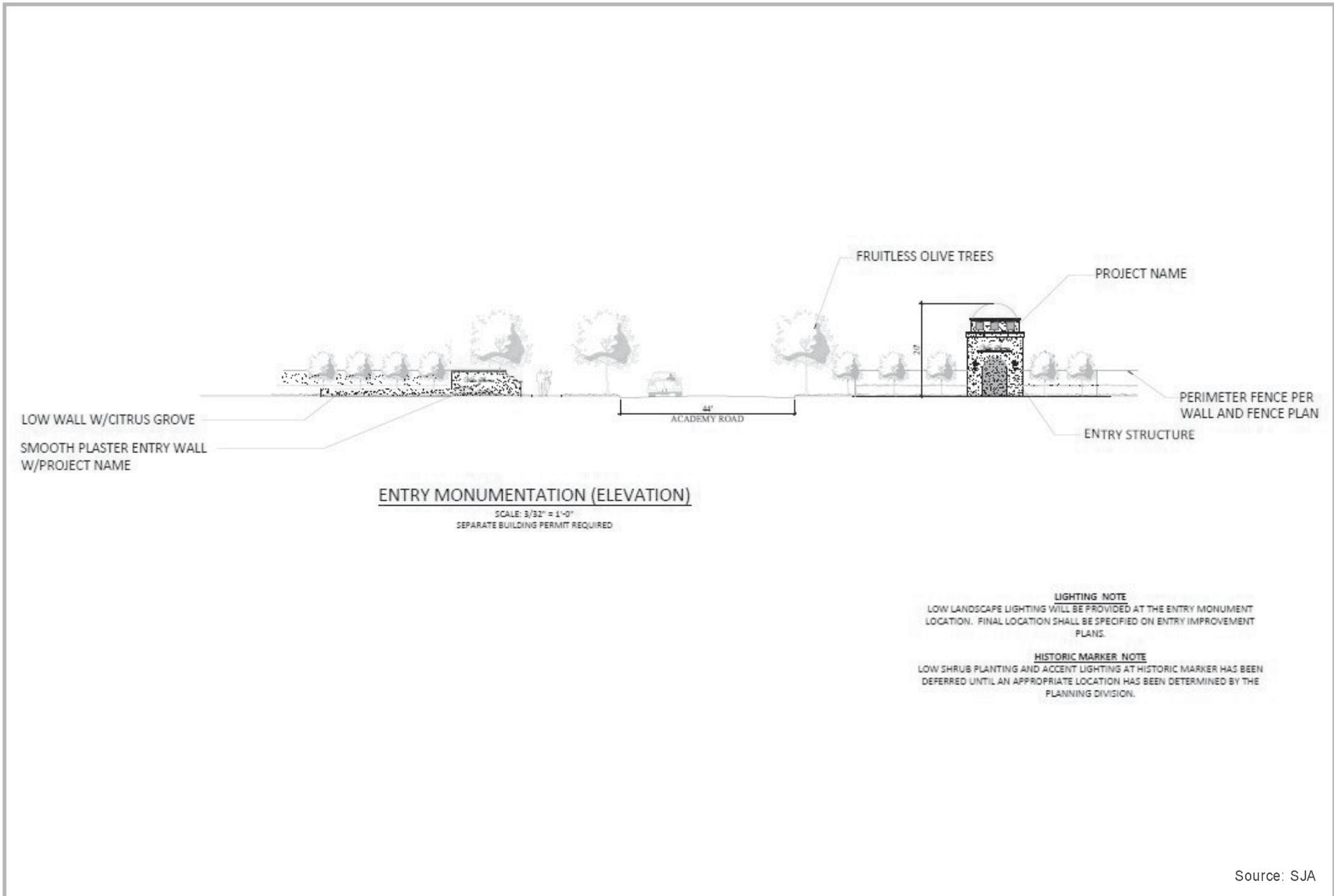


Fig. 6-3



Source: SJA

Fig. 6-4

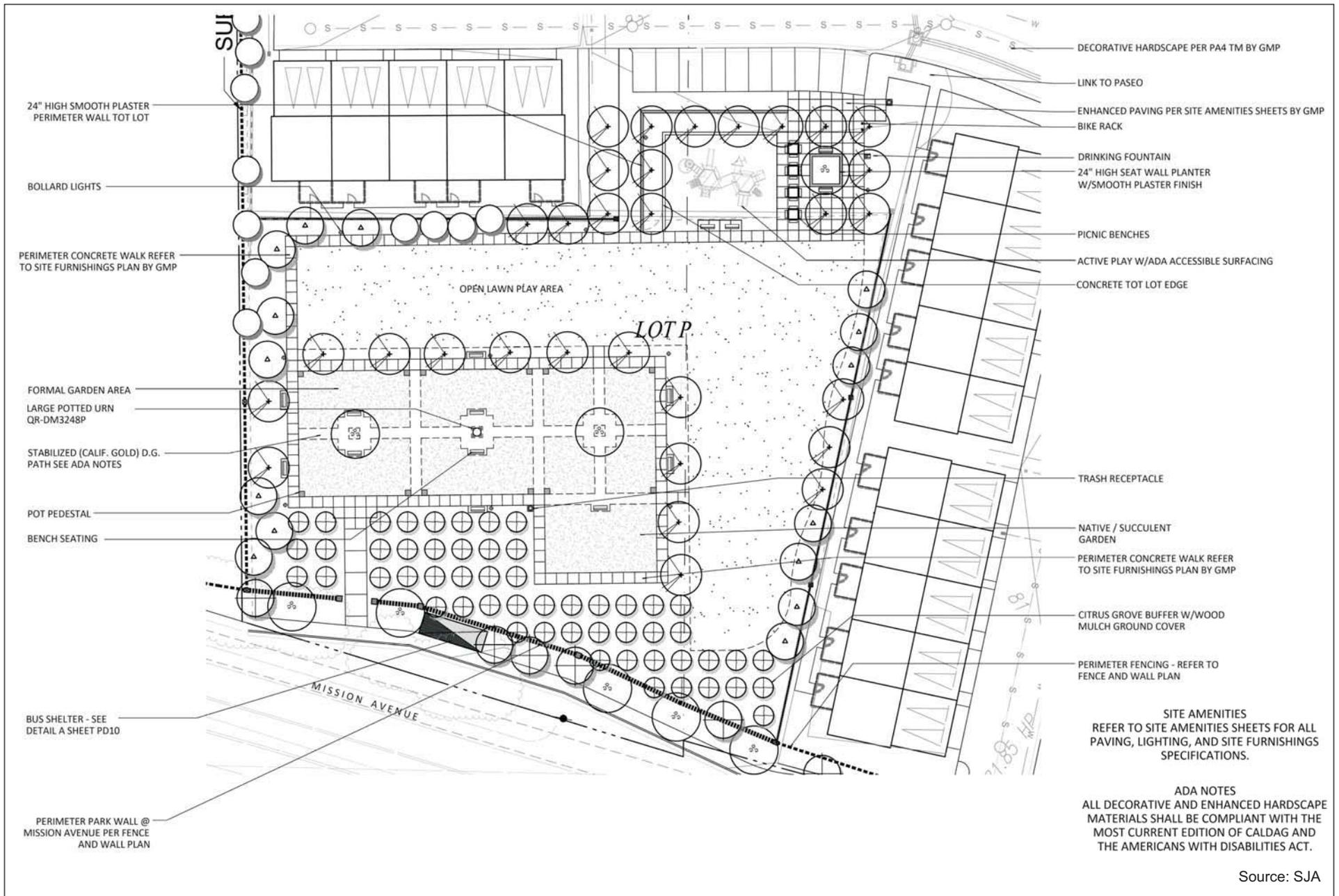


Fig. 6-5

The Park will be framed by canopy and ornamental trees and will feature a citrus grove acting as a buffer to the Mission Avenue corridor. A centralized formal garden will provide space for passive enjoyment with bench seating areas and a grid of walking paths. An active playground space is planned and situated at the interior corner of the Park to provide easy and safe access to the surrounding Planning Area. The park would serve as a connection to the Parish property and Mission Avenue carrying on the themes seen in the Historic Area including rose gardens, groves of trees, and low walls to visually enhance the Mission Avenue frontage. The park would provide substantial turf space to encourage passive and active recreation, as well as, a covered and paved area for gathering, and a barbeque area.

### **Academy Road Intersection and Neighborhood Park Areas**

The Academy Road intersection detail is shown in Figure 6-6 and is designed as a focal point located at the center of the PD Plan area that will promote pedestrian and vehicle circulation between Planning Areas. This themed intersection features a vehicular roundabout acting as an organizing node for the circulation system with enhanced pedestrian corners and four-way crosswalks. Special landscape treatments, open space and community recreation areas are designed at the corners of the intersection to serve as identifying elements and provide gateways into the adjacent Planning Areas. This intersection will be a significant node within the PD area providing space for recreation opportunities, social gatherings and passive enjoyment.

Neighborhood parks and recreation areas are planned for all four corners of the Academy intersection. These spaces include an approximate 9,500 square-foot neighborhood park at the northeast corner of the intersection within PA-1 that will feature ornamental and canopy trees, open turf areas, seating areas, and walkways. A small landscape lot is also planned at the southeast corner of the intersection within PA-1. An approximate 14,000 square-foot recreation area is planned within PA-3 at the intersection's northwest corner featuring a community pool and gathering space. An approximate 10,500 square-foot neighborhood park and plaza area is also planned at the southwest corner of the intersection within PA-4, shown by Figure 6-6A. This area will provide shaded turf and hardscape areas to allow for community gathering and socializing. The space will also provide utility connections for vendor use as part of planned community events.

### **Community Paseo**

A Community Paseo is designed as a key pedestrian circulation feature of the Villa Stora master landscape plan and will serve as an organizing element within the Plan area. The Paseo is proposed within Planning Area 4 along a northeast - southwest alignment connecting the Community Park to the neighborhood park located at the central Academy Road intersection. The Paseo is designed within a dedicated easement featuring an eight-foot wide meandering sidewalk that will allow for direct pedestrian access for planned residential development fronting the paseo in Planning Area 4. The path will be accentuated by landscape plantings coordinated with the future adjacent residential development. The Community Paseo detail is presented by Figure 6-7.



Fig. 6-6

Academy Road Perspective

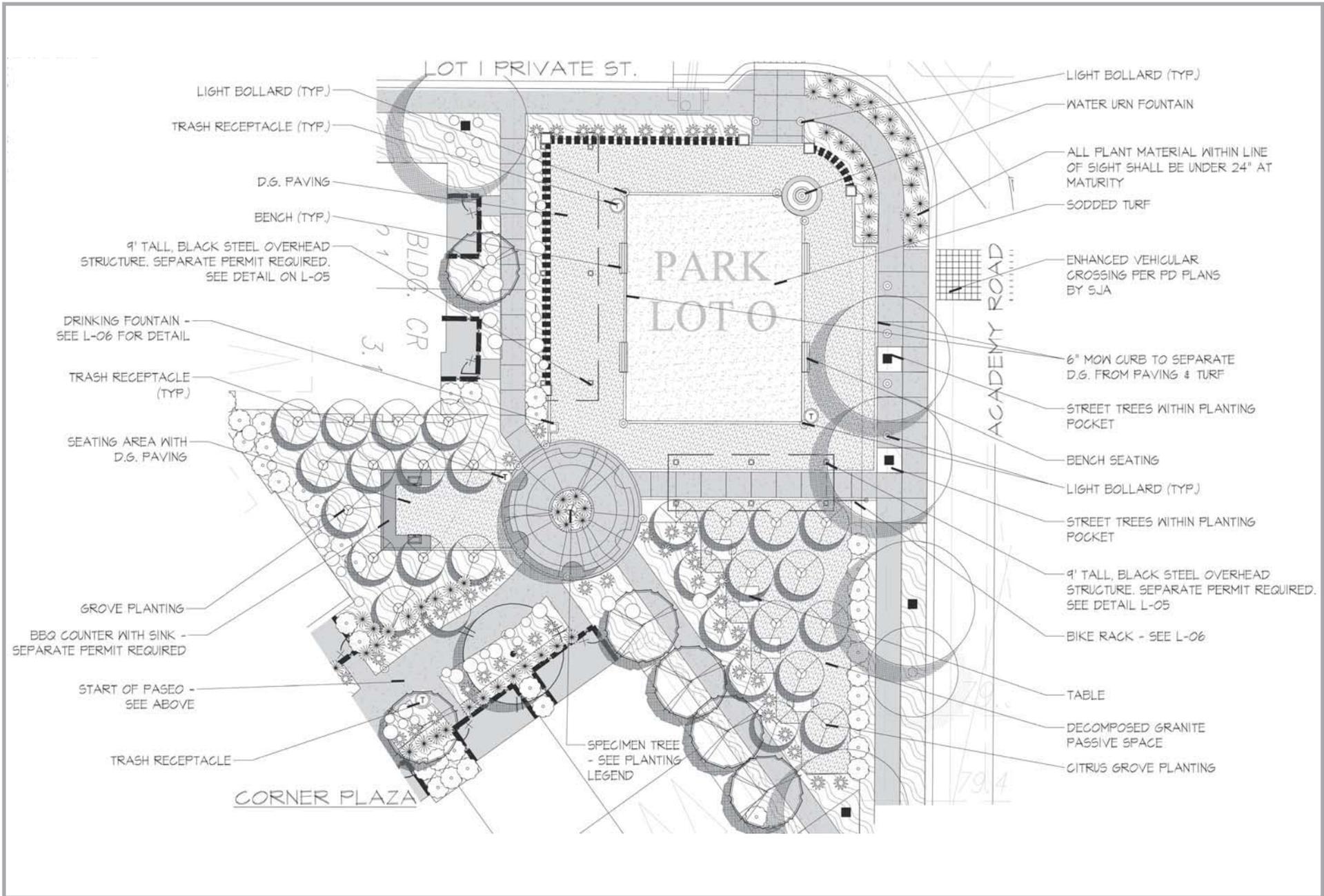


Fig. 6-6A

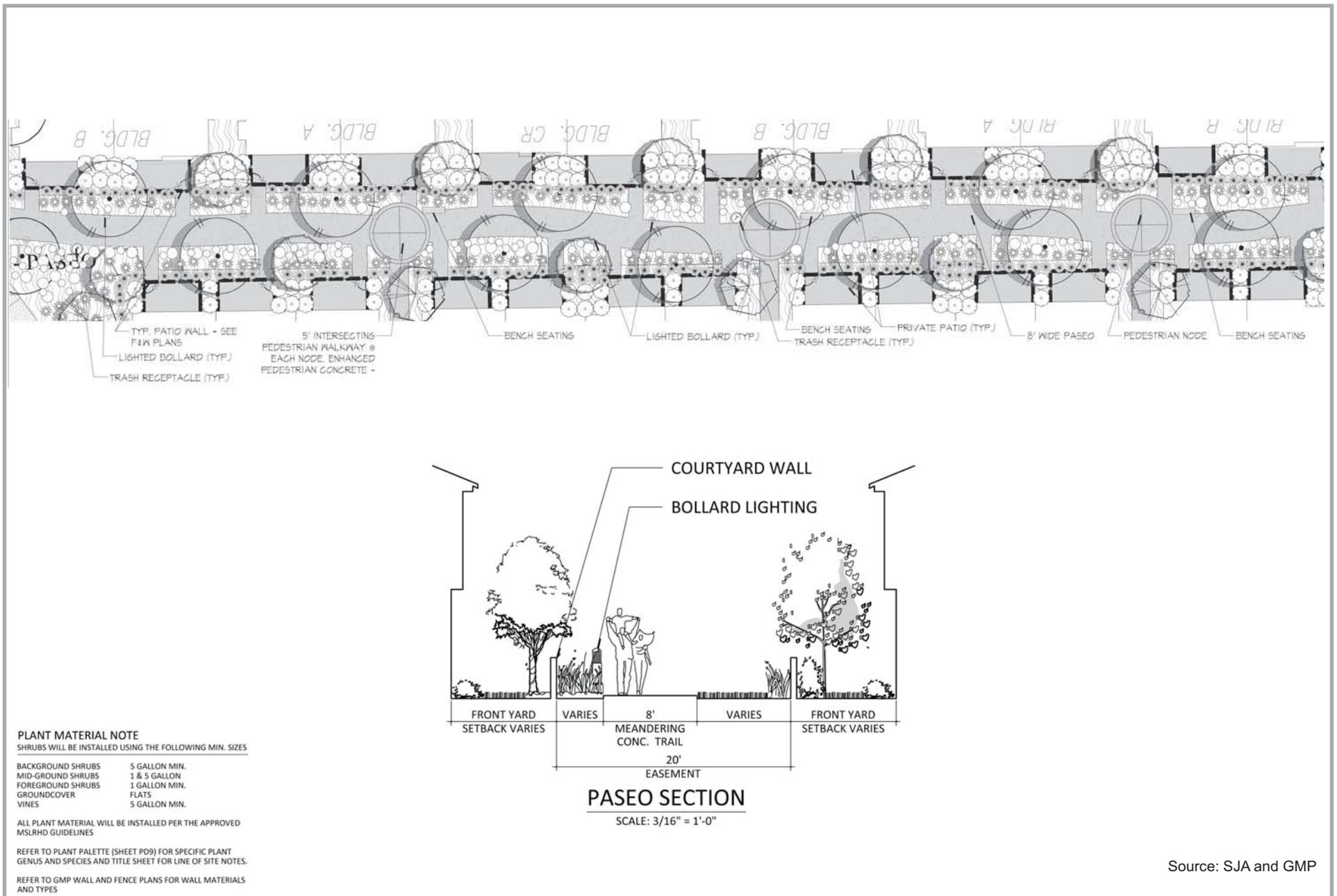


Fig. 6-7

**D. Community Streetscape**

A prominent community streetscape element is designed along the Academy Road corridor extending north from Mission Avenue through the center of the PD Plan area. Streetscape plantings are also presented along the Mission Avenue frontage and along Frazee Road. The streetscape design takes influence from the region and local area while blending hardscape and softscape elements to create a comfortable and safe pedestrian environment. The planned street scene will reinforce the community identity of the PD Plan area.

**Academy Road**

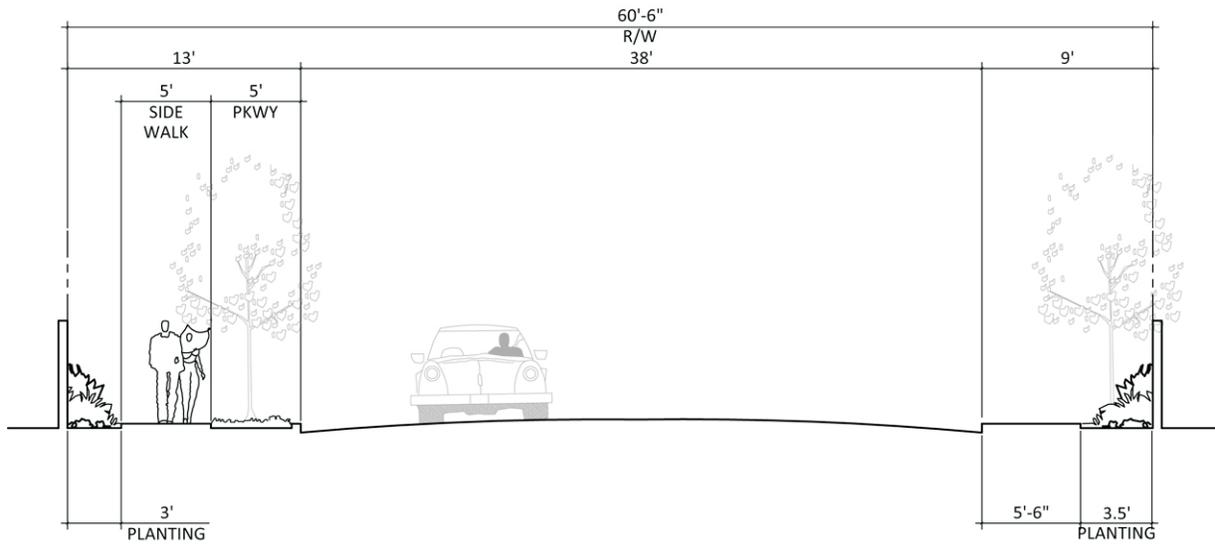
The Academy Road corridor design presents a themed community space that will create a safe and walkable environment which promotes and enhances the pedestrian experience through the center of the PD Plan area. The Academy Road streetscape section is presented in Figure 6-8, with the streetscape plan presented in Figure 6-9. Academy Road will feature an offset pedestrian walkway buffered by a landscaped parkway. Sidewalks and pedestrian paths will link to the featured roundabout intersection with direct access to neighborhood recreation and community gathering areas planned at corners of the intersection.

Street trees and understory plantings will frame the corridor. Landscape planting areas set against six-foot community walls will form the ‘edges’ of the Academy Road community space. Landscape areas incorporated on both sides of the roadway will provide a community aesthetic and buffer the planned residential areas from vehicular activity. The enhanced Academy Road right-of-way is designed to vary in width from 60 to 70 feet.

The southern section of Academy Road is proposed at a 70-foot width extending from Mission Avenue through the featured round-a-bout located at the center of the PD Area. This segment of the roadway will feature a ten-foot wide raised center landscape median. Enhanced pedestrian corridors are provided along both sides of the roadway with five-foot wide sidewalks separated from the street by five-foot wide landscaped parkways. Three-foot wide landscape planting areas will be located to the interior of the sidewalks adjacent to decorative neighborhood walls. Development along the west side of the road within PA-4 proposes street facing residences with direct pedestrian access along the corridor, providing an enhanced community aesthetic and further activating the streetscape.

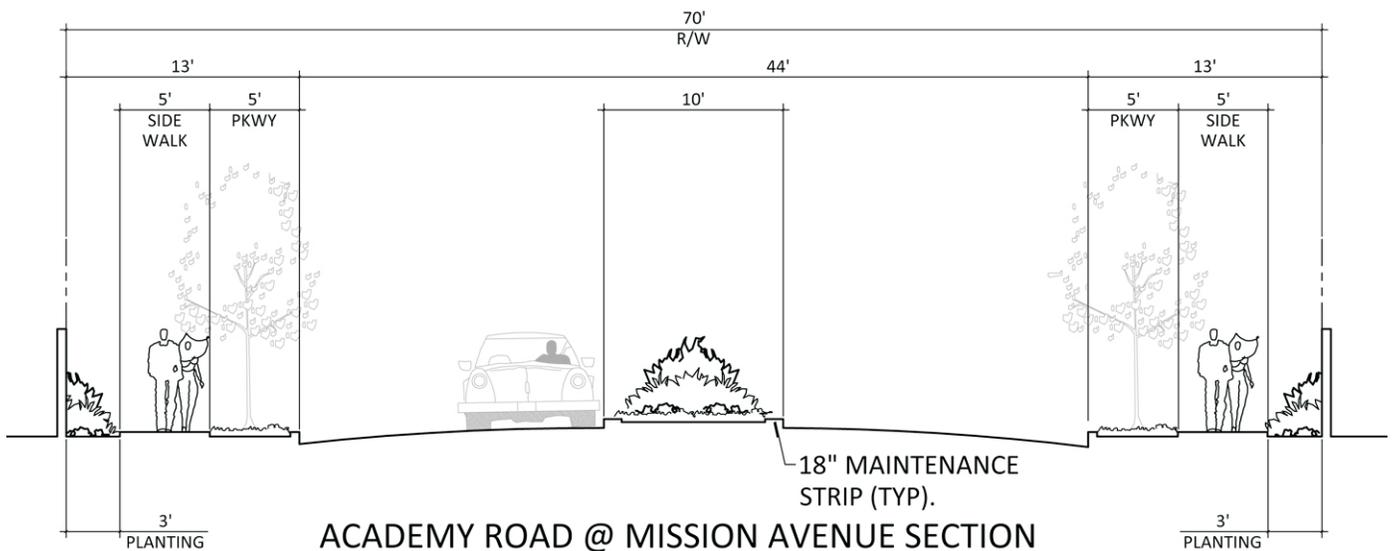
The northern section of Academy Road will taper to a 60-foot width as it extends to Frazee Road. An enhanced pedestrian corridor is provided along the roadway featuring a five-foot wide sidewalk separated from travel lanes by a landscaped parkway along the west side and a five-foot wide sidewalk with a four-foot wide landscape buffer along the east side.

The Academy Road corridor creates an enhanced pedestrian, bicycle and vehicular circulation route through the core of Villa Stora. Distinct pedestrian connections are offered to internal neighborhood and community park areas, including the featured connection to the planned Community Paseo within PA-4.



**ACADEMY ROAD @ FRAZEE ROAD**

SCALE: 3/16" = 1'-0"



**ACADEMY ROAD @ MISSION AVENUE SECTION**

SCALE: 3/16" = 1'-0"

**PLANT MATERIAL NOTE**

SHRUBS WILL BE INSTALLED USING THE FOLLOWING MIN. SIZES

BACKGROUND SHRUBS	5 GALLON MIN.
MID-GROUND SHRUBS	1 & 5 GALLON
FOREGROUND SHRUBS	1 GALLON MIN.
GROUND COVER	FLATS
VINES	5 GALLON MIN.

ALL PLANT MATERIAL WILL BE INSTALLED PER THE APPROVED MSLRHD GUIDELINES

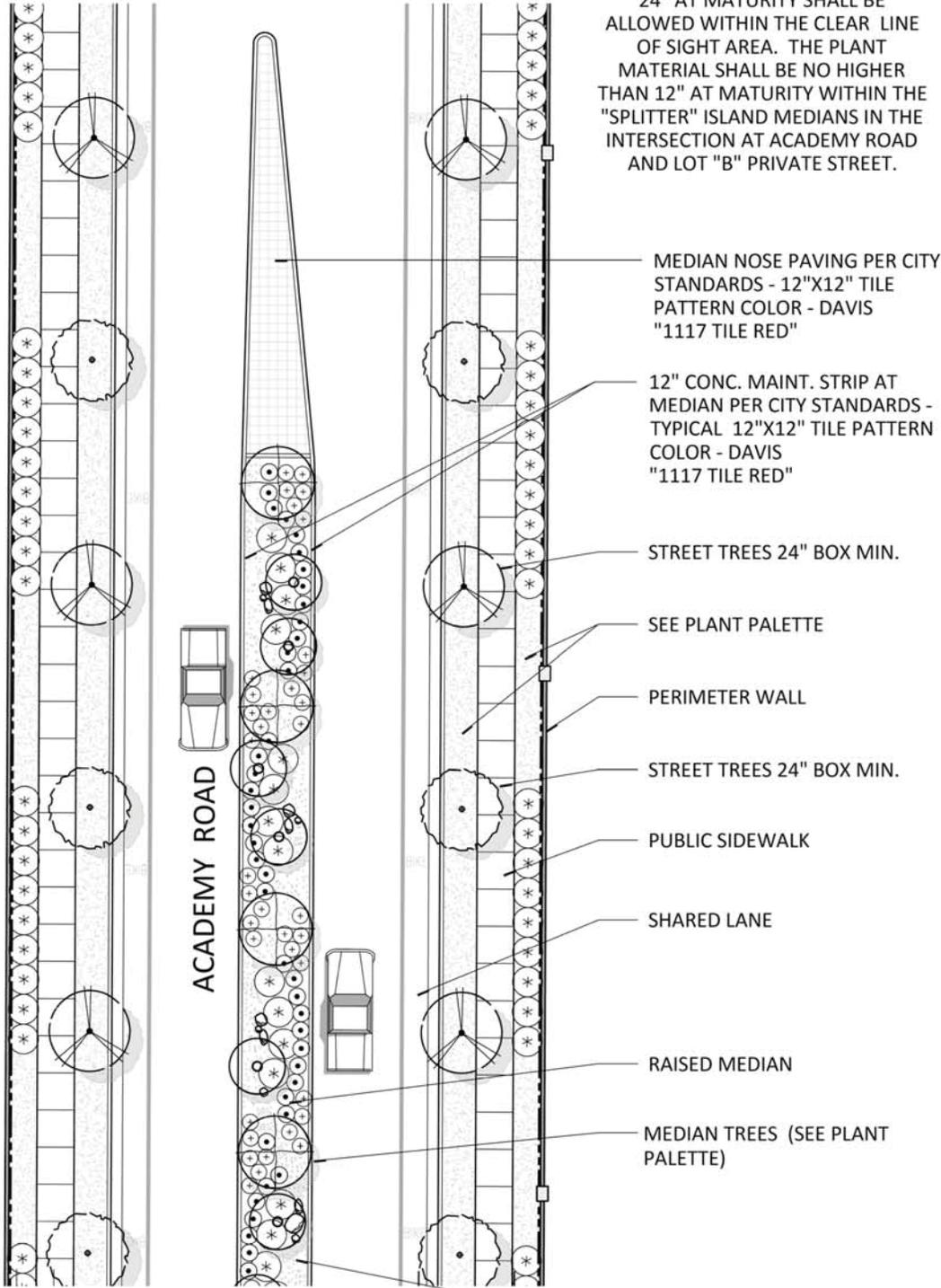
REFER TO PLANT PALETTE (SHEET PD9) FOR SPECIFIC PLANT GENUS AND SPECIES AND TITLE SHEET FOR LINE OF SITE NOTES.

REFER TO GMP WALL AND FENCE PLANS FOR WALL MATERIALS AND TYPES

Source: SJA

**Fig. 6-8**

**LINE OF SIGHT NOTES**  
 NO STRUCTURES HIGHER THAN 30"  
 OR PLANT MATERIAL HIGHER THAN  
 24" AT MATURITY SHALL BE  
 ALLOWED WITHIN THE CLEAR LINE  
 OF SIGHT AREA. THE PLANT  
 MATERIAL SHALL BE NO HIGHER  
 THAN 12" AT MATURITY WITHIN THE  
 "SPLITTER" ISLAND MEDIANS IN THE  
 INTERSECTION AT ACADEMY ROAD  
 AND LOT "B" PRIVATE STREET.



**ACADEMY ROAD MEDIANS**  
 SCALE: 1" = 10'

- HARDSCAPE NOTES**
- A. ENHANCED CONCRETE MAINTENANCE BANDS 12"X12" TILE PATTERN COLOR - DAVIS "1117 TILE RED".
  - B. MEDIAN LANDSCAPE SHALL ADHERE TO ALL CITY OF OCEANSIDE DESIGN STANDARDS. PER "LANDSCAPE DEVELOPMENT MANUAL" SECTION V- GUIDELINES FOR CITY OF OCEANSIDE LANDSCAPE MEDIANS, MOST CURRENT EDITION.
  - C. MEDIAN HARDSCAPE SHALL USE PERMEABLE CONCRETE MORTAR WHERE APPROPRIATE.

**PLANT MATERIAL NOTE**  
 SHRUBS WILL BE INSTALLED USING THE FOLLOWING MIN. SIZES

BACKGROUND SHRUBS	5 GALLON MIN.
MID-GROUND SHRUBS	1 & 5 GALLON
FOREGROUND SHRUBS	1 GALLON MIN.
GROUND COVER	FLATS
VINES	5 GALLON MIN.

ALL PLANT MATERIAL WILL BE INSTALLED PER THE APPROVED MSLRHD GUIDELINES

REFER TO PLANT PALETTE (SHEET PD9) FOR SPECIFIC PLANT GENUS AND SPECIES AND TITLE SHEET FOR LINE OF SITE NOTES.

REFER TO GMP WALL AND FENCE PLANS FOR WALL MATERIALS AND TYPES

Source: SJA

**Fig. 6-9**

### **Mission Avenue**

The project proposes improvements along Mission Avenue to implement Circulation Guidelines included in the *Mission San Luis Historic Area Development Program and Design Guidelines* document. Landscape and sidewalk features will extend along the Mission Avenue frontage connecting the themed Academy Road entry to the planned Community Park. The proposed Mission Avenue Street Sections and Plan are shown by Figures 6-10 and 6-11, respectively.

The project proposes installation of sidewalk and landscape improvements within an average 25-foot wide setback area from the back-of-curb along the Mission frontage to the building. Landscape features will include a five-foot wide meandering sidewalk, parkway landscaping, landscaping adjacent to the sidewalk interior. The interior landscape area will be partially located within the planned right-of-way and partially within the project site, as necessary, in order to create a consistent themed landscape space along the Mission frontage. Trees will be grouped so they provide shelter, shade and massing. Decorative walls are proposed in conjunction with the frontage improvements and the planned residential development within Planning Area 4. Community walls are planned at varying setback distances from the back-of-curb, but in no case less than 15 feet.

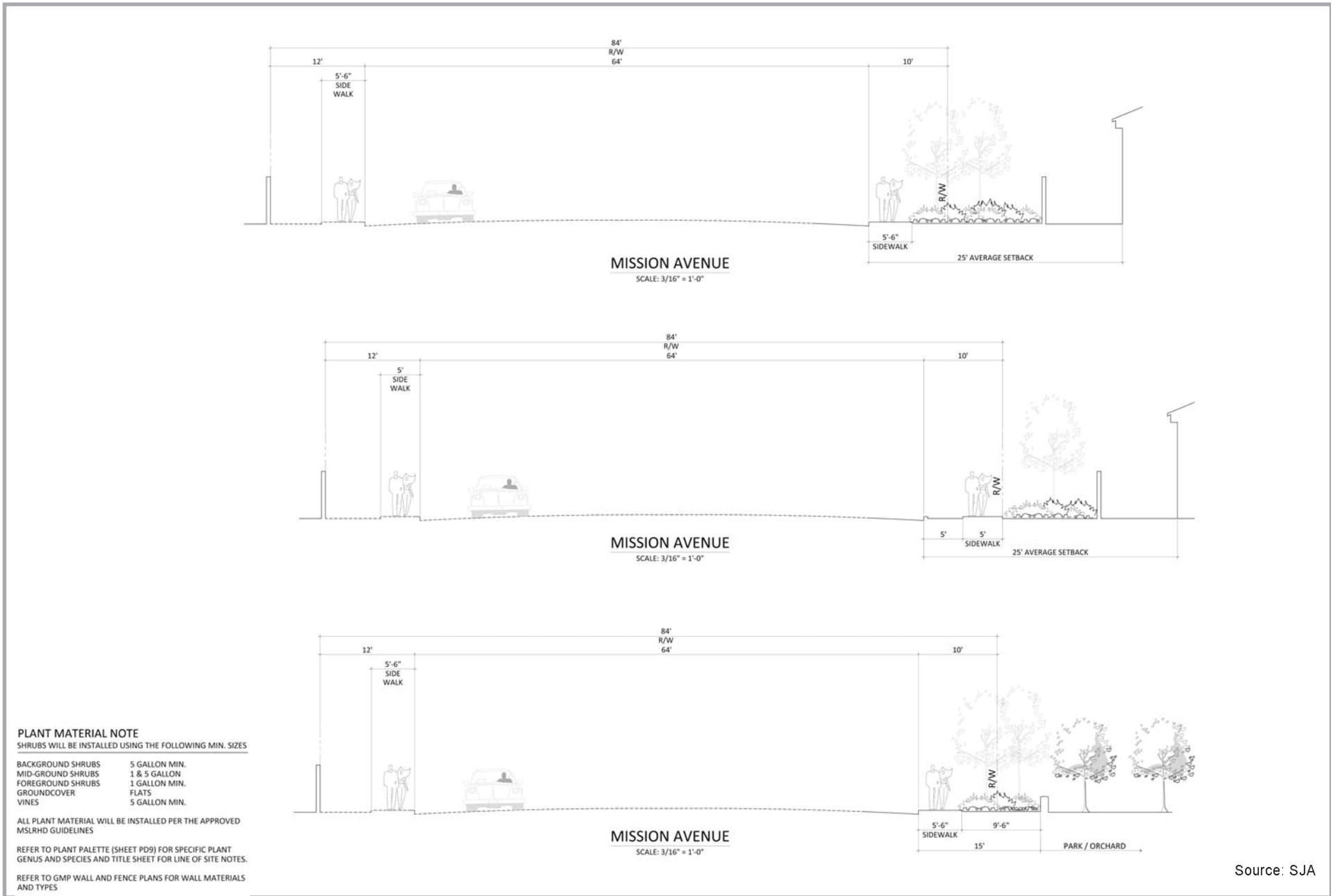
The Mission Avenue frontage will feature prominent tree plantings accented by shrubs and groundcovers to create an identifiable edge along this portion of the PD Plan area. Multiple tree varieties, including the California Pepper Tree, will be utilized which respect the historical context of the area. The proposed street and canopy trees aligned along the project frontage will reinforce a linear connection between the themed citrus orchard features planned at the community entry and park areas. In conjunction with the Mission Avenue improvements a bus stop is proposed on the street frontage near the western end of the site at the Community Park location. This bus stop will tie into the project circulation amenities providing additional transit access to residents of the project and surrounding area.

### **Frazee Road**

Within PA-1 Frazee Road will be improved as a 60-foot wide right-of-way with five-foot wide curb adjacent sidewalks on both sides of the roadway. Five-foot wide landscape areas will be located to the interior of the sidewalks. These features will allow for safe pedestrian circulation at the northeast edge of the PD Area and through PA-1, while providing an enhanced connection to the Academy Road corridor. These improvements are presented by *Figure 6-12, Frazee Road Section*.

### **Chapter Lane**

The existing private road along the north side of Planning Area 3 is known as Chapter Lane. The project proposes to dedicate additional area along the northern boundary of PA-3 for half width roadway and sidewalk improvements. This will allow for a 28-foot wide travel lane area with a five-foot wide sidewalk separated from the roadway by a landscape parkway along its south side. An additional landscape area will be provided to the interior of the sidewalk. The roadway is designed to terminate in a cul-de-sac at its western end where it turns to the south.



Source: SJA

Fig. 6-10

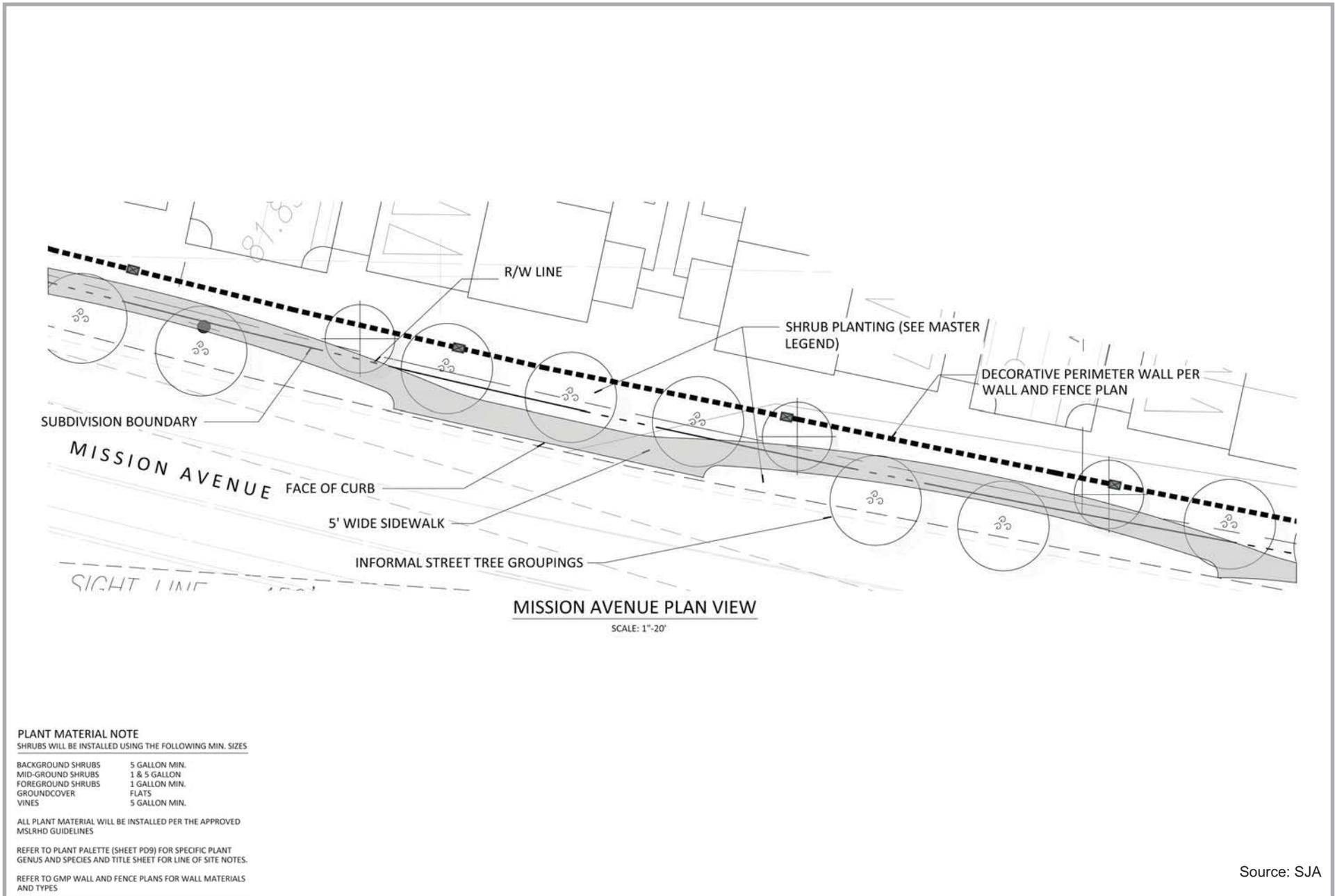
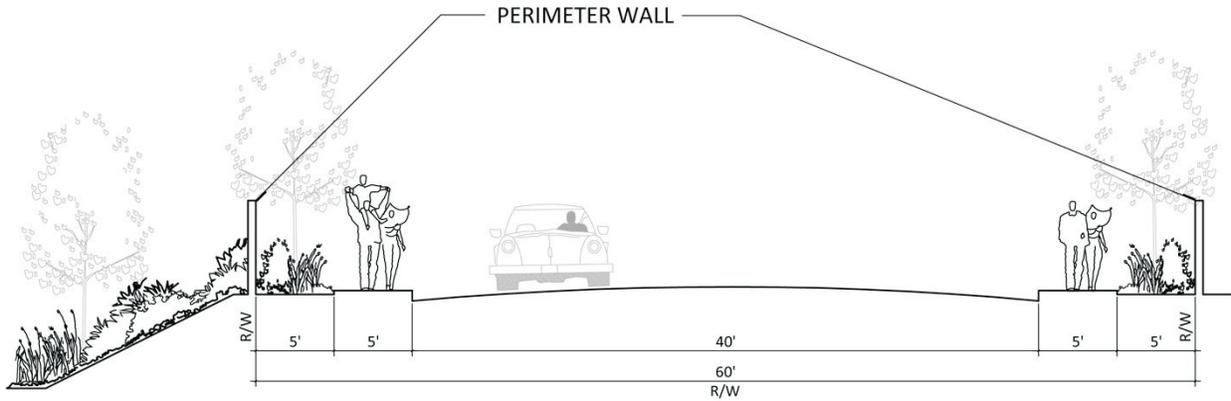
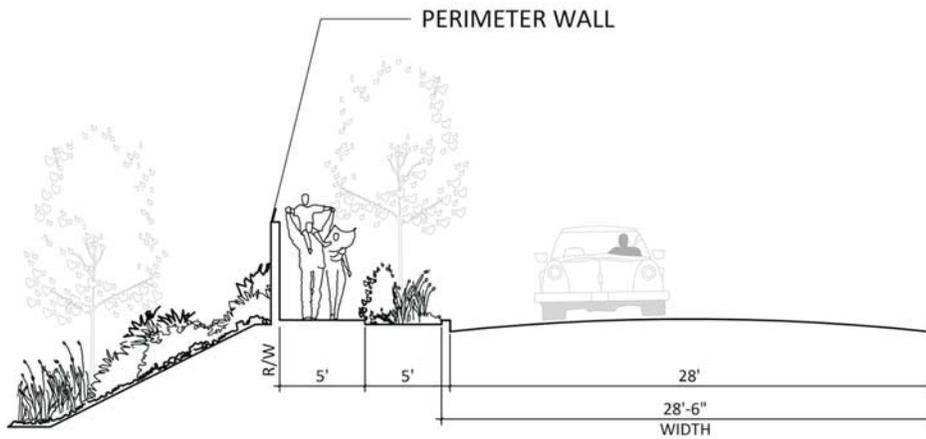


Fig. 6-11



**FRAZEE ROAD @ PLANNING AREA 1**

SCALE: 3/16" = 1'-0"



**CHAPTER ROAD**

SCALE: 3/16" = 1'-0"

**PLANT MATERIAL NOTE**

SHRUBS WILL BE INSTALLED USING THE FOLLOWING MIN. SIZES

BACKGROUND SHRUBS	5 GALLON MIN.
MID-GROUND SHRUBS	1 & 5 GALLON
FOREGROUND SHRUBS	1 GALLON MIN.
GROUNDCOVER	FLATS
VINES	5 GALLON MIN.

ALL PLANT MATERIAL WILL BE INSTALLED PER THE APPROVED MSLRHD GUIDELINES

REFER TO PLANT PALETTE (SHEET PD9) FOR SPECIFIC PLANT GENUS AND SPECIES AND TITLE SHEET FOR LINE OF SITE NOTES.

REFER TO GMP WALL AND FENCE PLANS FOR WALL MATERIALS AND TYPES

Source: SJA

**Fig. 6-12**

**E. Edge Conditions**

Proposed development within the Planning Areas accounts for varying edge conditions to be considered along the boundaries between the PD Area and adjacent properties. These scenarios are presented by Figure 6-13.

The east boundary of Planning Area 1 and the west boundary of the River Ranch development include private roadways and landscape areas that combine to provide a significant separation distance of over 100' between proposed and existing residences. River Ranch is also bounded by an existing perimeter wall and mature tree landscape buffer located east of the wall and along the west side of Spring Canyon Way.

The Villa Storia homes proposed along the east section of Planning Area 1 will be plotted such that front facades and front yard landscapes are oriented facing toward River Ranch. The existing River Ranch homes located along Spring Canyon Way are plotted with side facing elevations oriented toward the Villa Storia property. There will be an approximate 5' - 8' grade separation from the Villa Storia homes to the existing River Ranch homes.

Similar separation elements serve to provide a buffer along the northern section Planning Area 1 between the proposed Villa Storia homes and existing residences in River Ranch. Perimeter landscaping planned along the north boundary of PA-1, community open space, a landscaped storm water basin area, and a private roadway are elements that combine with the existing perimeter wall and landscape areas in River Ranch to form a buffer area approximately 90' – 100' wide between residences. The conceptual landscape plan presented with the proposed development plan and tentative map also displays greater detail of the north and east boundaries envisioned for PA 1.

The north boundary of Planning Area 3 will feature a perimeter wall and defined slope landscaping to act as a buffer along the adjacent Chapter Lane roadway. Grades generally descend along the slope from Chapter Lane in transition to the proposed grades within PA 3. This edge condition is also shown as part of the Chapter Lane section presented in Figure 6-12.

The west boundary along Planning Areas 3 & 4 will include perimeter walls similar to those seen on the adjacent Mission and Parish properties. The proposed one acre community park and other common areas will work in conjunction with the open space on the Parish grounds to provide a buffer between planned Villa Storia residences and Parish facilities.

**F. Site Amenities**

Community streetscapes and common areas are designed within Villa Storia to encourage pedestrian activity and connectivity between neighborhoods utilizing complementary landscaping and community theme elements throughout. Site furniture and amenities (including benches, pots and planters, bollards, site lighting fixtures, trash receptacles, bike racks, drinking fountains, etc.) are intended to

promote a consistent and classic design aesthetic throughout the community which is complementary to the Mission San Luis Rey Historic District. Wood, metal, wrought iron, stone, concrete, & clay should be considered as appropriate materials for use in such elements.

Various site amenity elements proposed for Villa Storia are presented in Figure 6-14. These items will be incorporated into common open space, park, streetscape, and community gathering areas throughout the PD Plan area. The amenity elements are intended to be illustrative in nature to present the style and quality of features anticipated for integration with site and landscape features. Design details for site amenities will be included with specific development and landscape plans for each planning area.

**G. Walls and Fencing**

Community fence and wall elements are proposed throughout Villa Storia as presented by Figure 6-15, *Wall and Fence Details*. Perimeter walls are planned along planning area boundaries and main roadways to provide a decorative edge and backdrop for landscape features. The six foot high walls are designed with stucco finish and widened pilasters to complement the existing Mission and Parish walls in the vicinity.

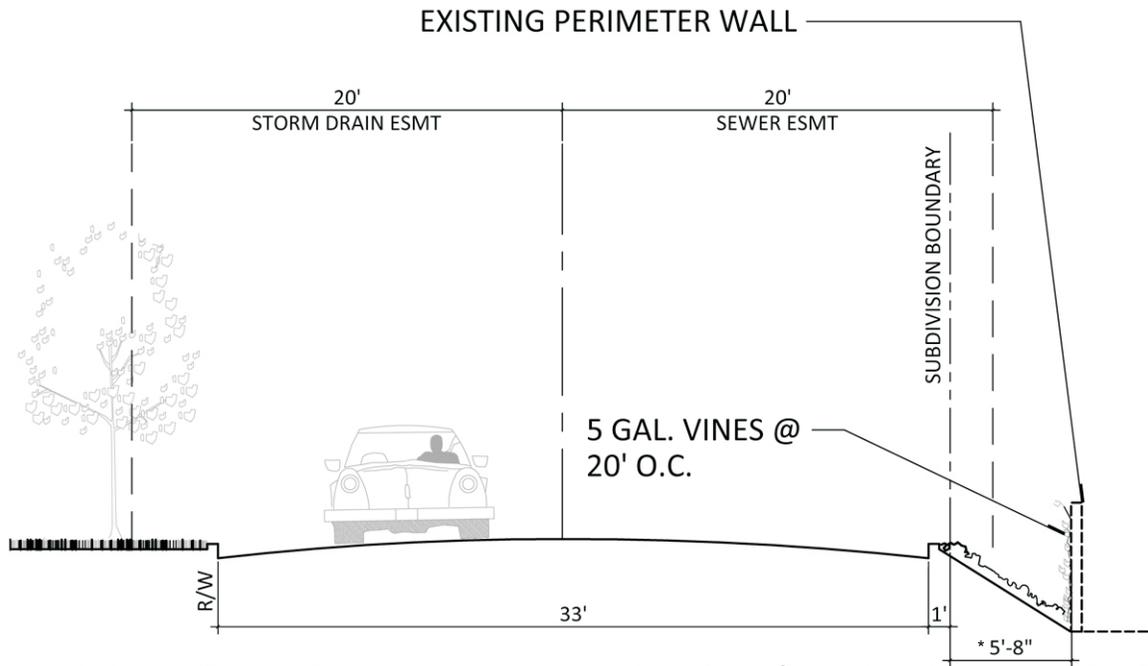
Low perimeter walls are designed along the Mission Avenue frontage adjacent to the proposed Community Park and the community entry feature at Academy Road. The low walls will provide a distinct edge to the park space and entry area, but will also allow a high degree of visibility to planned citrus groves located behind. Similar to the taller perimeter wall, but designed at an approximate height of only 2-1/2 feet, the low seating wall is also planned as part of edge features, landscape planters, and similar elements within the park and common open space areas.

The tubular steel view fence is anticipated for use along interior site areas, adjacent to recreation areas and common open space, and as a perimeter fence for storm water basins. The 5-1/2 foot tall fence will incorporate stucco pilasters and is designed to maintain visibility of landscape features and site areas. This fence is proposed along the Academy Road frontage adjacent to Planning Area 2.

A system of privacy hedging (42" high), low walls and gates is proposed along the Academy Road frontage adjacent to PA-4. This 'green' wall will soften the street edge while providing an aesthetic buffer to the planned residences within PA-4.

Stucco-clad patio walls (up to 42" wall and 48" pilaster) are proposed in conjunction with a variety of the attached unit plans. These walls will enclose private patio spaces typical for dwellings that might oriented toward street frontages or community open space, including residences planned along the Community Paseo.

Vinyl privacy fencing is intended for installation along interior property lines of private lots and yard areas. The five-foot high fencing will incorporate a "rustic-style" wood grain finish and color scheme.

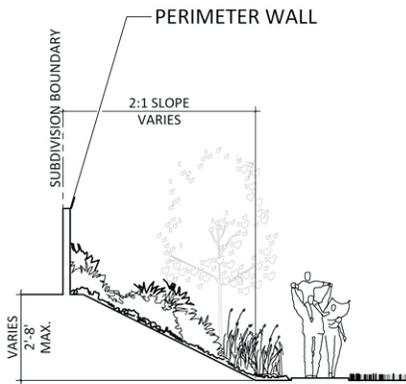


**EAST BOUNDARY @ PLANNING AREA 1 / UTILITY EASEMENT**

SCALE: 3/16" = 1'-0"

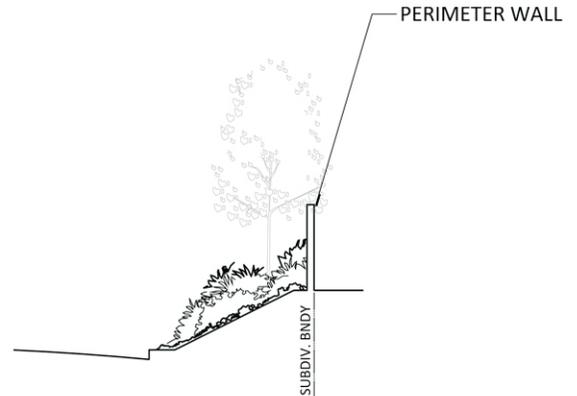
\*EASEMENT NOTE:

A PRIVATE NON-REVOACABLE AGREEMENT/EASEMENT SHALL BE SECURED BETWEEN VILLA STORIA HOA AND THE RIVER RANCH HOA FOR ACCESS AND MAINTENANCE



**WEST BOUNDARY @ PLANNING AREAS 3 & 4**

SCALE: 3/16" = 1'-0"



**N. BOUNDARY @ PLANNING AREA 1**

SCALE: 3/16" = 1'-0"

**PLANT MATERIAL NOTE**

SHRUBS WILL BE INSTALLED USING THE FOLLOWING MIN. SIZES

BACKGROUND SHRUBS	5 GALLON MIN.
MID-GROUND SHRUBS	1 & 5 GALLON
FOREGROUND SHRUBS	1 GALLON MIN.
GROUNDCOVER	FLATS
VINES	5 GALLON MIN.

ALL PLANT MATERIAL WILL BE INSTALLED PER THE APPROVED MSLRHD GUIDELINES

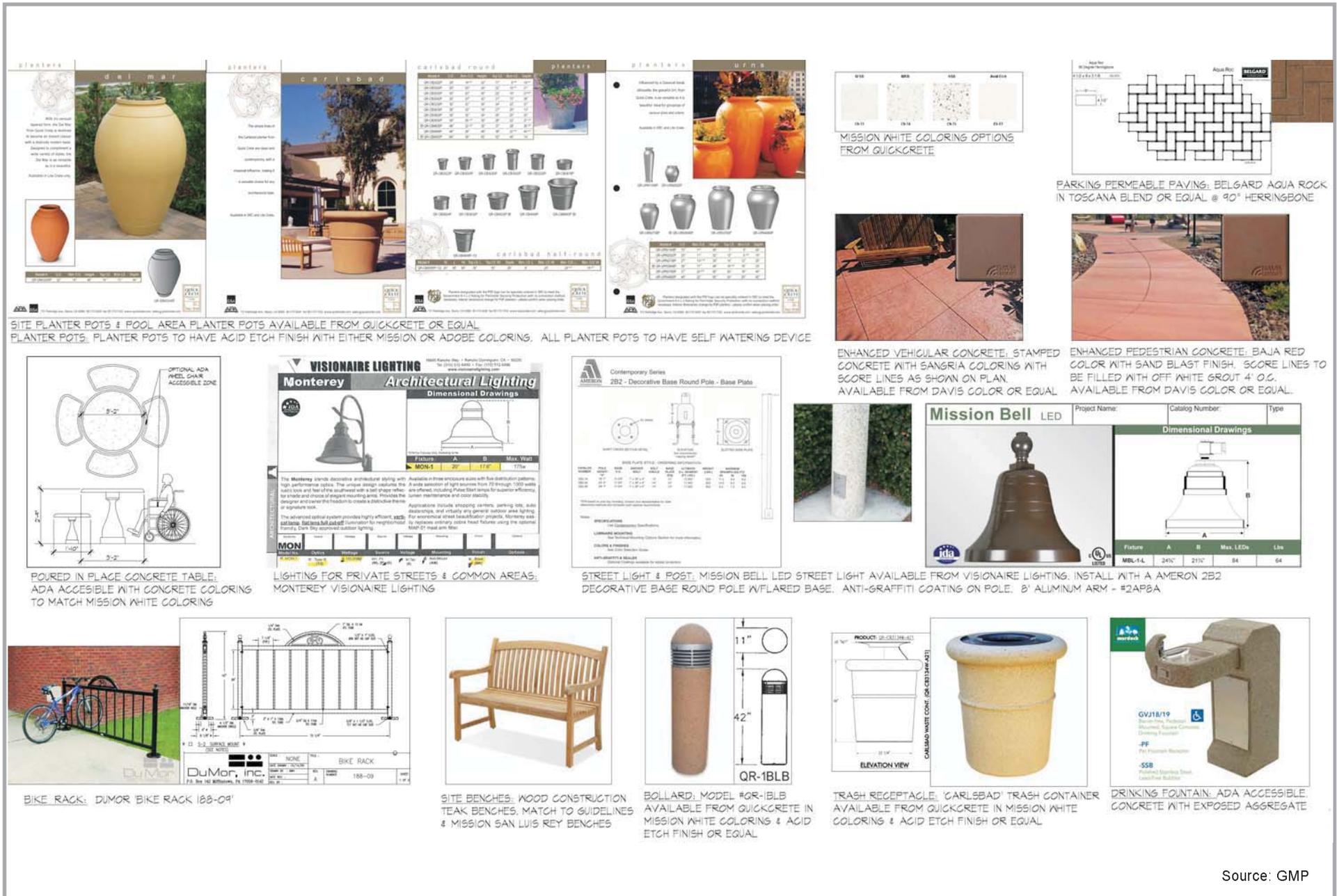
REFER TO PLANT PALETTE (SHEET PD9) FOR SPECIFIC PLANT GENUS AND SPECIES AND TITLE SHEET FOR LINE OF SITE NOTES.

REFER TO GMP WALL AND FENCE PLANS FOR WALL MATERIALS AND TYPES

Source: SJA

**Fig. 6-13**

**Edge Conditions**



Source: GMP

Fig. 6-14

Site Amenities



**H. Plant Palette**

The intent of the landscape guidelines is to provide flexibility and diversity in plant material selection while maintaining a manageable and limited palette. All community landscape areas shall be planted with appropriate species and densities of native and ornamental trees, shrubs and ground cover materials selected from or comparable to the plant palette shown in Table 5.

Overall plant material selection for the community shall have compatible drought resistant characteristics whenever possible. Overall community plant materials will be selected for their appropriate habit to support the community character, climatic and soil conditions, maintenance, and drought resistant characteristics.

**Table 5 - Plant Palette**

<b>TREES</b>		<b>STREET Assignment</b>	<b>SIZE</b>
ARBUTUS MARINA	STRAWBERRY		15 GAL.
BRACHYCHITON ACERIFOLIUS	FLAME TREE	ACADEMY	24" BOX
CITRUS SPP. (SEMI-DWARF)	CITRUS	ACADEMY / MISSION	24" BOX
GEIJERA PARVIFLORA	AUSTRALIAN WILLOW		24" BOX
JACARANDA MIMOSIFOLIA	JACARANDA		36" BOX STD.
KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	FRAZEE / CHAPTER	24" BOX
LAGERSTROEMIA F. 'NATCHEZ'	CRAPE MYRTLE	ACADEMY MEDIANS	24" BOX
LAURUS N. SARATOGA	BAY	ACADEMY MEDIANS	24" BOX
LOPHOSTEMON CONFERTUS	BRISBANE BOX	ACADEMY / MISSION	24" BOX
MAGNOLIA 'LITTLE GEM'	DWARF MAGNOLIA 'STD'		15 GAL.
OLEA EUROPAEA ' SWAN HILL'	FRUITLESS OLIVE	ACADEMY / MISSION	36" / 48" BOX
OLEA EUROPAEA ' FRUITLESS' MULTI TRUNK	FRUITLESS OLIVE	ACADEMY / MISSION	24" BOX
PINUS CANARIENSIS	CANARY ISLAND PINE	FRAZEE / CHAPTER	24" BOX
PLATANUS M. 'ALAMO'	MEXICAN SYCAMORE		24" BOX
QUERCUS AGRIFOLIA	COAST LIVE OAK		36" BOX
SCHINUS MOLLE	CALIFORNIA PEPPER	MISSION	24" BOX
WASHINGTONIA FILIFERA HYBRID	CALIF. FAN PALM		8'-18' BTF
<b>TREES - VERTICAL ACCENT</b>			
CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS		15 GAL/24" / 36" BOX
PRUNUS CAROLINIANA ' BRIGHT 'N TIGHT'	CAROLINA LAUREL		15 GAL/24" BOX
PODOCARPUS M. 'MAKI'	SHRUBBY YEW PINE		16 GAL/24" BOX

**SHRUBS**

AEONIUM ARBOREUM 'ZWARTKOP'	LARGE PURPLE AEONIUM	VARIES
AGAPANTHUS AFRICANUS	AGAPANTHUS SPP	1 GAL
AGAVE ATTENUATA	AGAVE	VARIES
AGAVE VILMORINIANA	OCTOPUS AGAVE	5 GAL
ALOE SPP.	ALOE	VARIES
ALOE WICKENSII	ALOE	3 GAL
ANIGOZANTHOS SPP.	KANGAROO PAW	5 GAL @ 30" O.C.
ARCTOSTAPHYLOS SPP	MANZANITA	1 GAL / 5 GAL / 15 GAL
BOUGAINVILLEA 'LA JOLLA'	BOUGAINVILLEA	1 GAL @ 30" O.C.
BULBINE FRUTESCENS	BULBINE	1 GAL.
CAREX PANSA	CAREX	VARIES
CARISSA SPP	NATAL PLUM	1 GAL @ 36" O.C.
CERCIS OCCIDENTALIS	WESTERN REDBUD	5 GAL / 15 GAL / 24" BO
CHAMAEROPS HUMILIS	MED. FAN PALM	15 GAL
CISTUS PURPUREUS	ORCHID ROCKROSE	5 GAL @ 30" O.C.
CRASSULA ARGENTEA	JADE PLANT	5 GAL
DIANELLA REVOLUTA	FLAX LILY	1 GAL / 5 GAL
DIETES BICOLOR	FORTNIGHT LILY	1 GAL / 5 GAL. @ 24" O.C.
ELEAGNUS PUNGENS	SILVERBERRY	15 GAL
HESPERALOE PARVIFLORA	RED YUCCA	1 GAL / 5 GAL
HETEROMELES ARBUTIFOLIA	TOYON	15 GAL
LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	1 GAL @ 18" O.C.
LAVANDULA STOECHAS	SPANISH LAVENDER	1 GAL @ 18" O.C.
LIGUSTRUM J. 'TEXANUM'	JAPANESE PRIVET	5 GAL @ 30" O.C.
LONICERA SPP	HONEYSUCKLE	1 GAL
MUHLENBERGIA RIGENS	DEER GRASS	1 GAL
PHORMIUM SPP.	NEW ZEALAND FLAX	5/ 15 GAL
PITTIOSPORUM 'VARIEGATA'	MOCK ORANGE	5 GAL
PLUMBAGO SPP.	CAPE PLUMBAGO	5 GAL @ 36" OC
PRUNUS CAROLINIANA	LAUREL CHERRY	COLUMN 15 GAL
RHAPHIOLEPIS I. 'CLARA'	INDIAN HAWTHORN	5 GAL @ 30" O.C.
RHAPHIOLEPIS SPP	INDIAN HAWTHORN	5 GAL
ROSA CALIFORNICA	CALIFORNIA ROSE	5 GAL
ROSMARINUS SPP.	ROSEMARY	1 GAL @ 36" O.C.
SALVIA LEUCANTHA	MEXICAN SAGE	5 GAL
SANTOLINA VIRENS	GREEN COTTON LAVENDER	5 GAL
SENECIO MANDRALICAE	SENECIO	1 GAL @ 18" O.C.
SESLERIA AUTUMNALIS	MOOR GRASS	1 GAL @ 18" O.C.
STRELITZIA NICOLAI	GIANT BIRD OF PARADISE	15 GAL
STRELITZIA REGINAE	BIRD OF PARADISE	5 GAL
TRACHELOSPERMUM ASIATICUM	NCN	1 GAL
WESTRINGIA 'WYNYABBIE GEM'	COAST ROSEMARY	5 GAL
XYLOSMA CONGENSTUM	SHINY XYLOSMA	15 GAL
YUCCA SPP	YUCCA	VARIES

**GROUND COVER / VINES**

MARATHON IIIe	SODDED TURF	SOD
PASPALUM	NATIVE SEASHORE PASPALUM	SOD
CAREX PRAEGRACILIS	CALIFORNIA FIELD SEDGE	VARIES
ACACIA REDOLENS 'DESERT CARPET'	DESERT CARPET ACACIA	5 GAL
BACCHARIS P. 'PIGEON POINT'	DWARF COYOTE BRUSH	5 GAL
FESTUCA O. 'GLAUCA'	SHEEP FESCUE	1 GAL @ 12" O.C.
MYOPORUM PARVIFOLIUM	MYOPORUM	VARIES
OPHIOPOGON JAPONICUS	LILY TURF	1 GAL @ 18" O.C.
SENECIO MANDRALISCAE	KLEINIA	VARIES
BOUGAINVILLEA 'SAN DIEGO RED'	BOUGAINVILLEA	5 GAL @ 25" O.C.
CISSUS RHOMBIFOLIA	GRAPE IVY VINE	5 GAL @ 25" O.C.
CLEMATIS SPP	CLEMATIS	5 GAL @ 25" O.C.
DISTICTUS BUCCINATORIA	RED TRUMPET VINE	5 GAL @ 25" O.C.
LATHYRUS SPLENDENS	PRIDE OF CALIFORNIA	5 GAL @ 25" O.C.
SOLANDRA GUTTATA	CUP OF GOLD	5 GAL @ 25" O.C.
THUNBERGIA ALATA	BLACK EYED SUSAN	5 GAL @ 25" O.C.
WISTERIA CHINENSIS	CHINESE WISTERIA	5 GAL @ 25" O.C.
VITIS CALIFORNICA	CALIFORNIA GRAPE	5 GAL @ 25" O.C.

\*Minimum of (1) 5 gal. container shrub for every (5) 1 gal. container shrub

**BASINS PLANT PALETTE**

**BASIN TREES**

GEIJERA PARVIFLORA	AUSTRALIAN WILLOW	24" BOX	
LAGERSTROEMIA F. 'NATCHEZ'	GRAPE MYRTLE	24" BOX	
PLATANUS M. 'ALAMO'	MEXICAN SYCAMORE	24" BOX	
QUERCUS AGRIFOLIA	COAST LIVE OAK	36" BOX	
SCHINUS MOLLE	CALIFORNIA PEPPER TREE	36" BOX STD./ MULTI	

**BASIN SLOPES**

BOUGAINVILLEA 'LA JOLLA'	BOUGAINVILLEA	1 GAL @ 30" O.C.	
CISTUS PURPUREUS	ORCHID ROCKROSE	5 GAL @ 30" O.C.	
DIETES BICOLOR	FORTNIGHT LILY	1 GAL @ 24" O.C.	
ELEAGNUS PUNGENS	SILVERBERRY	15 GAL	
HETEROMELES ARBUTIFOLIA	TOYON	15 GAL	
ROSA CALIFORNICA	CALIFORNIA ROSE	5 GAL @ 30" O.C.	
CAREX TUMICOLA	BERKELEY SEDGE	1 GAL @ 18" O.C.	

**BASIN FLOOR**

		CONTAINER SPEC.	SEED SPEC.
AGROSTIS PALLENS	SAN DIEGO BENTGRASS	PLUGS @ 18" O.C.	5.0 LBS / ACRE
DESCHAMPSIA DANTHONIOIDES	ANNUAL HAIRGRASS	PLUGS @ 18" O.C.	1.0 LBS / ACRE
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	4" POTS @ 24" O.C.	2.0 LBS / ACRE
FESTUCA RUBRA 'MOLATE'	RED FESCUE	4" POTS @ 24" O.C.	10.0 LBS / ACRE
HORDEUM BRACHYANTHERUM	MEADOW BARLEY	PLUGS @ 18" O.C.	6.0 LBS / ACRE
LEYMUS TRITICOIDES RIO	CREEPING WILDRYE	PLUGS @ 36" O.C.	4.0 LBS / ACRE
LUPINUS NANUS	SKY LUPINE	4" POTS @ 24" O.C.	2.0 LBS / ACRE
SISYRINCHIUM BELLUM	BLUE EYED GRASS	4" POTS @ 24" O.C.	1.0 LBS / ACRE
VULPIA MICROSTACHYS	SMALL FESCUE	PLUGS @ 18" O.C.	8.0 LBS / ACRE

\* ALTERNATE: "NATIVE BIOFILTRATION SOD" AVAIL THROUGH: S&S SEED 805/684-0436.

## Chapter Seven

### 7.0 Plan Implementation

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#### 7.1 Conceptual Phasing

The Villa Stora Planned Development Plan is anticipated to be implemented in four phases generally corresponding to the four separate Planning Areas as identified in Figure 7-1 *Conceptual Phasing Plan*. It is anticipated that development of the PD Plan area would occur over several years and that the timing and sequence of project phases may be adjusted as necessary in response to community preferences and market conditions.

Multiple project phases may develop concurrently and additional project phases may also be allowed as identified in conjunction with specific development proposals. Necessary infrastructure and utilities, private roads, entry and access points, neighborhood amenities, private parks, trails and community landscaping will be developed accordingly as planned and as required in conjunction with specific development proposals for each Phase and Planning Area.

The following improvements are anticipated in conjunction with each phase, although ultimate improvements and mitigation measures will be determined through final action on the PD Plan, the associated EIR, and specific Development Plans:

#### **Phase 1**

(Or in conjunction with the first development phase proposed within the PD Plan area)

- Mass site grading for creation of master lots and storm drainage improvements
- Replace allocated portion of water line in Academy
- Sewer stubs off of Academy to service individual planning areas
- Roadway widening, sidewalk, dry utilities, and landscape improvements as identified for Academy Road (including roundabout), major spine road, Frazee Road, and Mission Avenue
- Main project entry at Academy Road and Mission Avenue including bus stop

#### **Phase 2**

- Initial planning area and development of in-tract improvements and residential units approved as part of specific Development Plan(s) within individual Planning Areas
- Landscaping along internal roads and intersections
- Planning Area amenity areas

### **Phase 3**

- Subsequent planning area and development of in-tract improvements and Residential units approved as part of specific Development Plan(s) within individual Planning Areas
- Landscaping along internal roads and intersections
- Planning Area amenity areas including community pool
- Chapter Lane improvements

### **Phase 4**

- Subsequent planning area and development of in-tract improvements and residential units approved as part of specific Development Plan(s) within individual Planning Areas
- Landscaping along internal roads and intersections
- Planning Area amenity areas including 1 acre community park

### **Phase 5**

- Final planning area and development of in-tract improvements and residential units approved as part of specific Development Plan(s) within individual Planning Areas
- Landscaping along internal roads and intersections
- Planning Area amenity areas

## 7.2 Development Review

A General Plan Amendment, Zone Amendment, Tentative Map, Development Plan and Historic Permit in conjunction with the project Environmental Impact Report, will be considered concurrently with the adoption of the Villa Storia Planned Development Plan. All future development identified within the PD Plan area will require the review and approval of subsequent land use applications as required for the specific development proposal.

Implementing development proposals shall require, at a minimum, review of a Tentative Map, Development Plan, and Historic Permit to address specific development within each Planning Area and to ensure the construction of necessary infrastructure and related facility improvements. Specific projects shall be reviewed the City in order to ensure consistency and substantial conformance with the goals, development regulations, and design guidelines presented in this PD Plan and the *Mission San Luis Rey Historic Area Development Program and Design Guidelines* document. All applications related to development within the PD Plan area will be reviewed according to established City of Oceanside policies and procedures.

## 7.3 PD Plan Amendments

Approval of the Villa Storia PD Plan establishes specific standards for anticipated development within the Plan area. The architectural and landscape design of all project construction shall conform to the development standards and design guidelines presented in the PD Plan. It is anticipated that during the course of project development and construction PD Plan Amendments may become necessary. While this document attempts to be comprehensive, not all development scenarios or future situations can be envisioned. A PD Plan Amendment is intended to keep the Plan current by providing the City and developer flexibility in responding to potential changes in future design preferences and market conditions.

Proposed modifications to the PD Plan shall initially be reviewed by the City in order to determine the extent to which they differ from the established standards and regulations of the Plan. The City shall consider the impact and effect of any revision and determine whether an amendment to the PD Plan is required. Modifications to the PD Plan shall be in accordance with the regulations specified in Article 17 of the City of Oceanside Zoning Ordinance.