

Villa Storia

PD PLAN SUBMITTAL

GENERAL NOTES

1. FINAL LANDSCAPE PLANS SHALL ACCURATELY SHOW PLACEMENT OF TREES, SHRUBS AND GROUNDCOVERS.
2. LANDSCAPE ARCHITECT SHALL BE AWARE OF UTILITY, SEWER, STORM DRAIN EASEMENTS AND PLACE PLANTINGS ACCORDINGLY TO MEET CITY OF OCEANSIDE REQUIREMENTS.
3. ALL REQUIRED LANDSCAPE AREAS (INCLUDING PUBLIC RIGHT OF WAY) ALONG MISSION AVENUE; ACADEMY ROAD, FRAZEE ROAD AND COLLECTOR STREETS SHALL BE MAINTAINED BY OWNER OR H.O.A. ALL LANDSCAPE AREAS SHALL BE MAINTAINED PER CITY OF OCEANSIDE REQUIREMENTS.
4. AUTOMATIC IRRIGATION SHALL BE INSTALLED TO PROVIDE COVERAGE FOR ALL PLANTING AREAS SHOWN ON THE PLAN. LOW VOLUME EQUIPMENT SHALL PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH MINIMUM WATER LOSS DUE TO WATER RUN-OFF. IRRIGATION SYSTEMS SHALL USE HIGH QUALITY, AUTOMATIC CONTROL VALVES, CONTROLLERS AND OTHER NECESSARY IRRIGATION EQUIPMENT. ALL COMPONENTS SHALL BE OF NON-CORROSIVE MATERIAL. ALL DRIP SYSTEMS SHALL BE ADEQUATELY FILTERED AND REGULATED PER THE MANUFACTURERS RECOMMENDED DESIGN PARAMETERS. ALL IRRIGATION IMPROVEMENTS SHALL FOLLOW THE CITY OF OCEANSIDE GUIDELINES AND WATER CONSERVATION ORDINANCE.
5. THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS, AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. GROUND COVER OR BARK MULCH SHALL FILL IN BETWEEN SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION AND RUN-OFF. ALL THE FLOWER ASHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER THE SOIL TEMPERATURE AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE CITY OF OCEANSIDE GUIDELINES.
6. STREET TREES AND OTHER TREES SHALL BE SPACED AS FOLLOWS:
 - 6.1. 8' FROM TRANSFORMERS, CABLE, AND PULL BOXES
 - 6.2. 5 FEET FROM MAIL BOXES
 - 6.3. 5 FEET FROM FIRE HYDRANTS (ALL SIDES)
 - 6.4. 10 FEET FROM CENTERLINE OF ALL UTILITY LINES (WITHOUT EASEMENT)(SEWER, WATER, STORM DRAINS, DOUBLE CHECK DETECTOR VALVES, AIR RELIEF VALVES, AND GAS)
 - 6.5. 10 FEET FROM EASEMENT BOUNDARIES (SEWER, WATER, STORM DRAINS, ACCESS OR OTHER UTILITIES)
 - 6.6. 10 FEET FROM DRIVEWAYS (UNLESS A LINE OF SIGHT IS DETERMINED BY THE TRAFFIC DIVISION TO BE OTHERWISE)
 - 6.7. 10 FEET FROM TRAFFIC AND DIRECTIONAL SIGNS.
 - 6.8. 15 FEET (MINIMUM) FROM STREETLIGHTS, OTHER UTILITY POLES, (DETERMINED BY SPECIFICATIONS)
 - 6.9. STREET TREES SHALL BE PLANTED 3' OUTSIDE RIGHT-OF-WAY IF THE RIGHT-OF-WAY DOES NOT ALLOW SPACE, SUBJECT TO CITY ENGINEERS APPROVAL
 - 6.10. LINE OF SIGHT AT ARTERIALS, COLLECTOR AND LOCAL STREETS SHALL BE REVIEWED AND DETERMINED BY THE TRAFFIC ENGINEER.
 - 6.11. MINIMUM FIFTEEN (15') STREETLIGHT AND STOP SIGN OR CLEARANCE DETERMINED BY SPECIFICATIONS.
 - 6.12. SCREEN ALL UTILITIES ACCORDING TO SPECIFIC AGENCY REQUIREMENTS

FIRE NOTES

LANDSCAPE IMPROVEMENT PLAN SET AND INSTALLATION ARE REQUIRED TO IMPLEMENT APPROVED FIRE DEPARTMENT REGULATIONS, CODES AND STANDARDS AT THE TIME OF PROJECT APPROVAL.

ADA NOTES

ALL DECORATIVE AND ENHANCED HARDSCAPE MATERIALS SHALL BE COMPLIANT WITH THE MOST CURRENT EDITION OF CALDAG AND THE AMERICANS WITH DISABILITIES ACT.

CONCRETE NOTES

UNLESS OTHERWISE SPECIFIED, ALL PAVING CONCRETE SHALL BE NO COLOR, WITH TOP CAST 25 FINISH.

DRAINAGE NOTES

REFER TO STORM WATER MANAGEMENT PLAN PREPARED BY CIVIL ENGINEER FOR ALL DRAINAGE AND RELATED IMPROVEMENTS.

LINE OF SIGHT NOTES

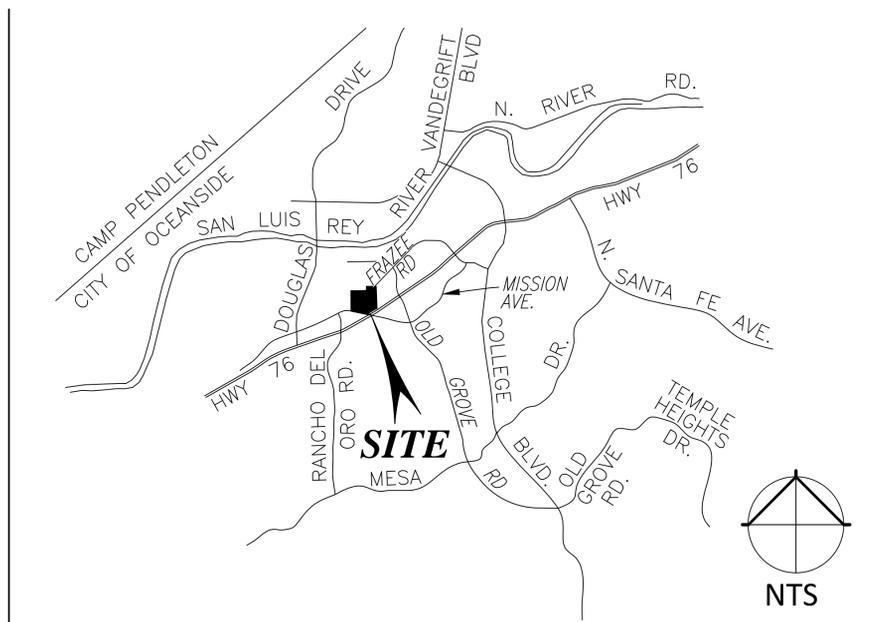
NO STRUCTURES HIGHER THAN 30" OR PLANT MATERIAL HIGHER THAN 24" AT MATURITY SHALL BE ALLOWED WITHIN THE CLEAR LINE OF SIGHT AREA. THE PLANT MATERIAL SHALL BE NO HIGHER THAN 12" AT MATURITY WITHIN THE "SPLITTER" ISLAND MEDIANS IN THE INTERSECTION AT ACADEMY ROAD AND LOT "B" PRIVATE STREET.

STREET TREE NOTE

ALL STREET TREES SHALL BE 24" BOX MINIMUM IN SIZE AND SHALL BE INSTALLED PER CITY OF OCEANSIDE STANDARD STREET TREE DETAIL NO. 211A.

FENCE AND WALL PLANS

WALLS AND FENCES WITHIN THIS SET OF PLANS REFER ONLY TO LOCATION. REFER TO FENCE AND WALL PLANS PREPARED BY GMP FOR WALL TYPES, COLOR AND FINISHES.



VICINITY MAP

VILLA STORIA PD PLAN

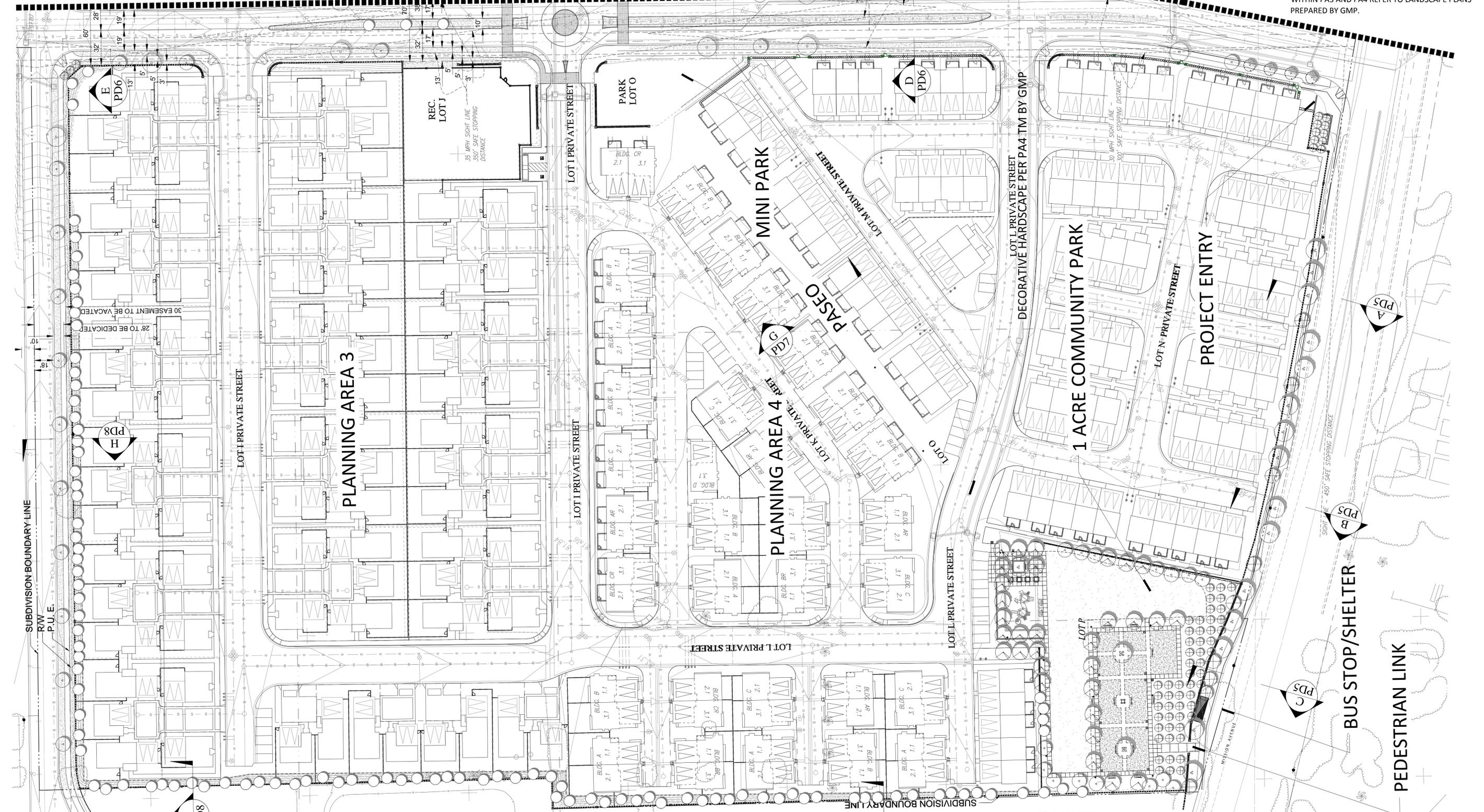
CONCEPTUAL LANDSCAPE PLAN - TITLE SHEET

TITLE SHEET	T1
BACKBONE STREETS AND SLOPES / OVERALL PLAN	PD1
1 ACRE PARK	PD2
ACADEMY INTERSECTION / MINI PARK	PD3
ENTRY DETAILS	PD4
MISSION AVENUE STREET SECTIONS	PD5
ACADEMY ROAD STREET SECTIONS	PD6
FRAZEE ROAD STREET SECTION / PASEO SECTION	PD7
BOUNDARY SECTIONS	PD8
PLANT PALETTE AND NOTES	PD9
BUS SHELTER DETAIL	PD10
SITE AMENITIES	REFERENCE ONLY
WALL AND FENCE PLAN	REFERENCE ONLY

SHEET INDEX

(A) - SEE MATCHLINE - (A)
SEE SHEET PD1A

NOTES:
FOR DETAILED PLANS FOR LETTERED LOTS LOCATED WITHIN PA3 AND PA4 REFER TO LANDSCAPE PLANS PREPARED BY GMP.



VILLA STORIA PD PLAN

CONCEPTUAL LANDSCAPE PLAN - BACKBONE STREETS AND SLOPES

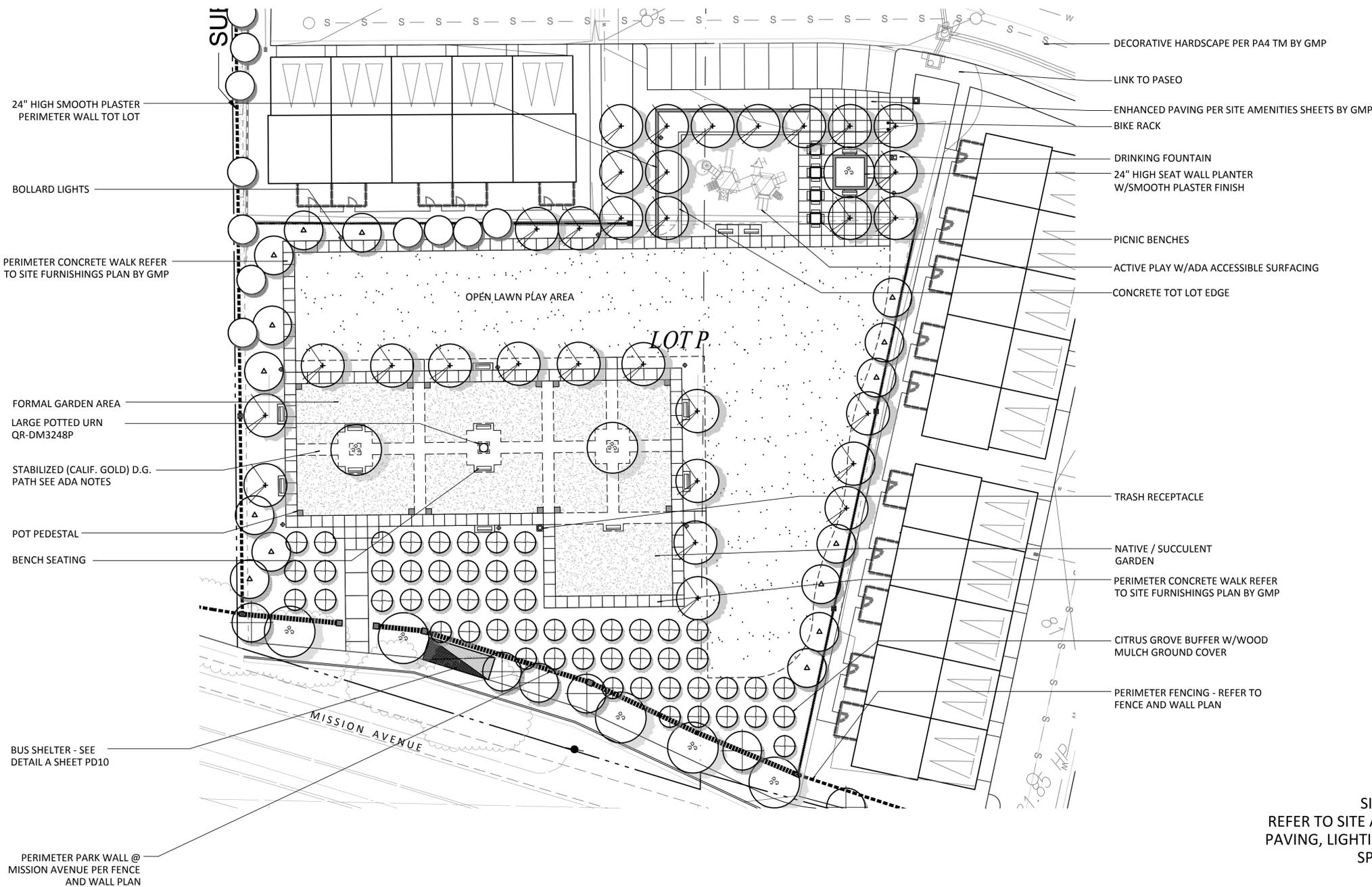
PLANT PALETTE NOTE
SEE SHEET PD9 FOR GENERAL PLANT PALETTE AND SPECIFIC PLANT GENUS AND SPECIES.

SHEET PD1B

ADA NOTES
ALL DECORATIVE AND ENHANCED HARDSCAPE MATERIALS SHALL BE COMPLIANT WITH THE MOST CURRENT EDITION OF CALDAG AND THE AMERICANS WITH DISABILITIES ACT.



04-14-2015 D:\SJA\PROJECTS\INTEGRAL COMMUNITIES\OCEANSIDE\CE_CONCEPT_OVERALL.dwg



SITE AMENITIES
 REFER TO SITE AMENITIES SHEETS FOR ALL
 PAVING, LIGHTING, AND SITE FURNISHINGS
 SPECIFICATIONS.

ADA NOTES
 ALL DECORATIVE AND ENHANCED HARDSCAPE
 MATERIALS SHALL BE COMPLIANT WITH THE
 MOST CURRENT EDITION OF CALDAG AND
 THE AMERICANS WITH DISABILITIES ACT.

VILLA STORIA PD PLAN

CONCEPTUAL LANDSCAPE PLAN - 1 ACRE COMMUNITY PARK

SHEET PD2

GRAPHIC SCALE

 SCALE: 1" = 20'

S J A
 31726 Rancho Viejo Road | Suite 201
 San Juan Capistrano, CA 92675
 TEL 949 276 6500 | FAX 949 276 6505
 www.sjutinc.net

04-14-2015 D:\SJA\PROJECTS\INTEGRAL COMMUNITIES\OCEANSIDE\OCE_CONCEPT_OVERALL.dwg

ENHANCED CORNER
TREATMENT & REC AREA PLANS
- REFER TO PA3 TM BY GMP

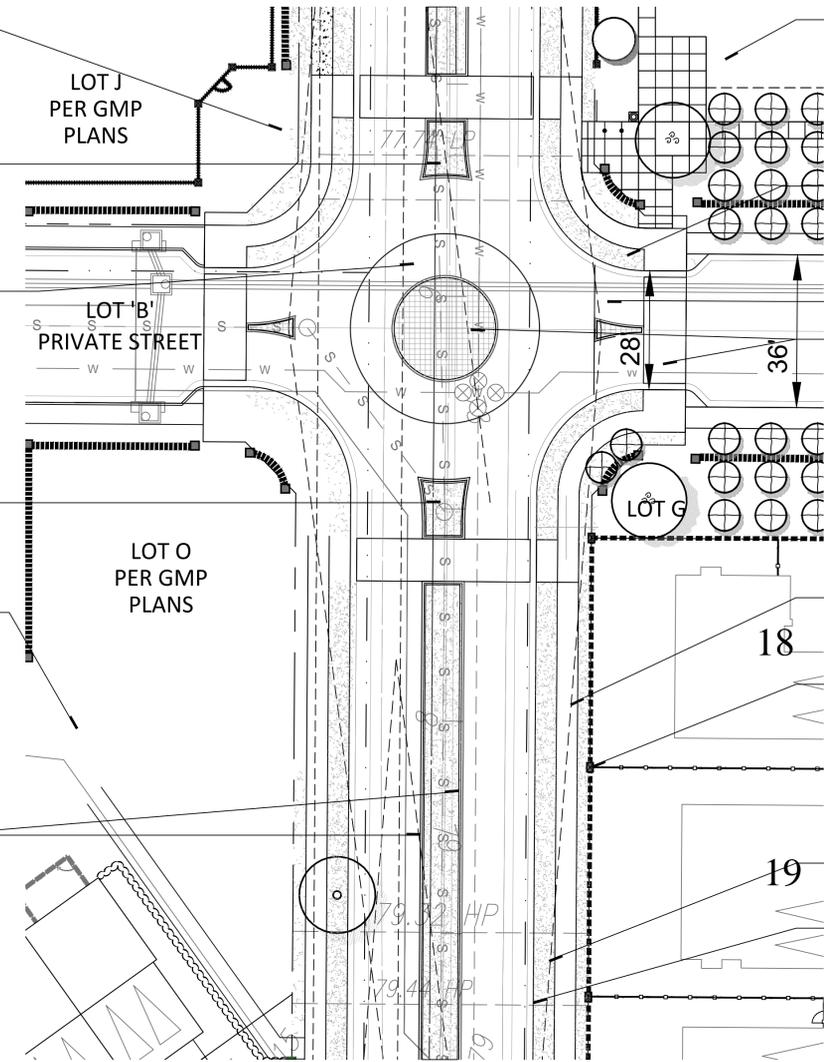
GROUND COVER PLANTING ONLY
@ TWO "SPLITTER" ISLANDS - 12"
MAX. @ MATURITY

EXPOSED AGGREGATE CONCRETE
@ ROUND ABOUT

GROUND COVER PLANTING ONLY
@ TWO "SPLITTER" ISLANDS - 12"
MAX. @ MATURITY

LINK TO PASEO REFER TO PA4 TM

12" CONC. MAINT. STRIP AT
MEDIAN PER CITY STANDARDS -
TYPICAL 12"X12" TILE PATTERN
COLOR - DAVIS
"1117 TILE RED"



PA1 PARK - LOT F
REFER TO PA 2
TM PLANS

GROUND COVER PLANTING
(SEE MASTER LEGEND) MAX.
24" HEIGHT WITHIN SITE LINE
TRIANGLE

SIGHT LINE TRIANGLE

ENHANCED CONCRETE
CROSSWALKS 12"X12" TILE
PATTERN (SEE ADA NOTES)
COLOR - DAVIS
"1117 TILE RED".

PUBLIC SIDEWALK

PERIMETER WALL PER FENCE
AND WALL PLANS

PARKWAY

FACE OF CURB

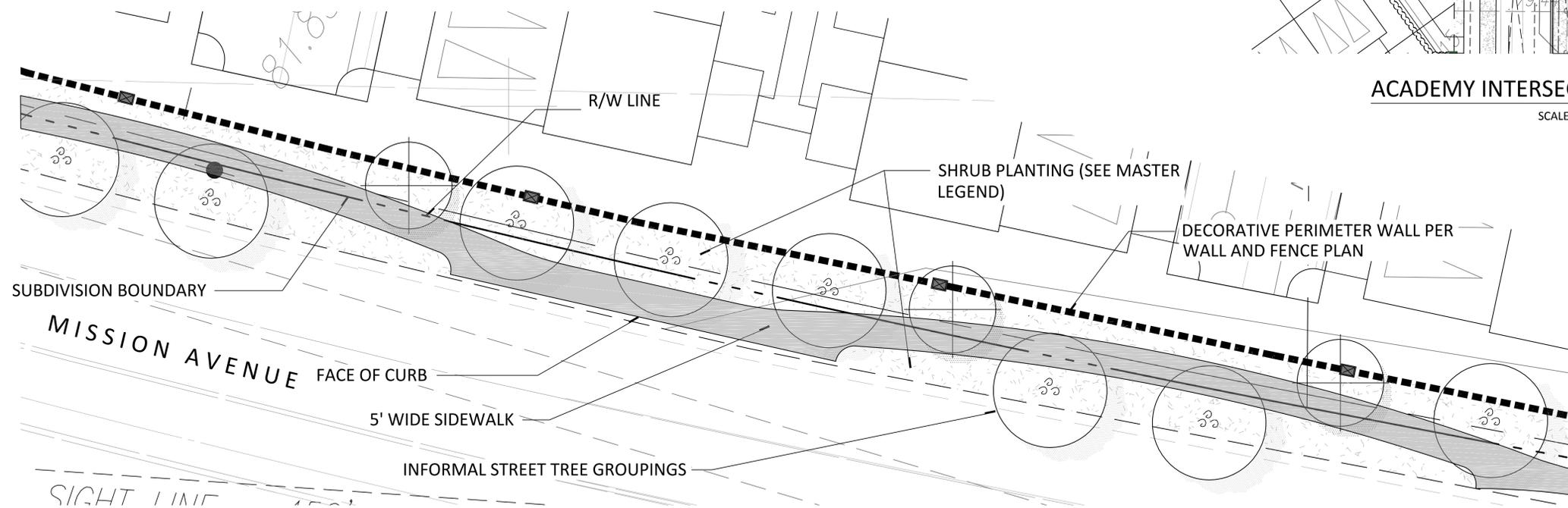
ACADEMY INTERSECTION / MINI PARK

SCALE: 1"=20'

LINE OF SIGHT NOTES
NO STRUCTURES HIGHER THAN 30" OR PLANT
MATERIAL HIGHER THAN 24" AT MATURITY
SHALL BE ALLOWED WITHIN THE CLEAR LINE
OF SIGHT AREA. THE PLANT MATERIAL SHALL
BE NO HIGHER THAN 12" AT MATURITY
WITHIN THE "SPLITTER" ISLAND MEDIANS IN
THE INTERSECTION AT ACADEMY ROAD AND
LOT "B" PRIVATE STREET.

SITE AMENITIES
REFER TO SITE AMENITIES SHEETS FOR ALL
PAVING, LIGHTING, AND SITE FURNISHINGS
SPECIFICATIONS.

ADA NOTES
ALL DECORATIVE AND ENHANCED HARDSCAPE
MATERIALS SHALL BE COMPLIANT WITH THE
MOST CURRENT EDITION OF CALDAG AND
THE AMERICANS WITH DISABILITIES ACT.

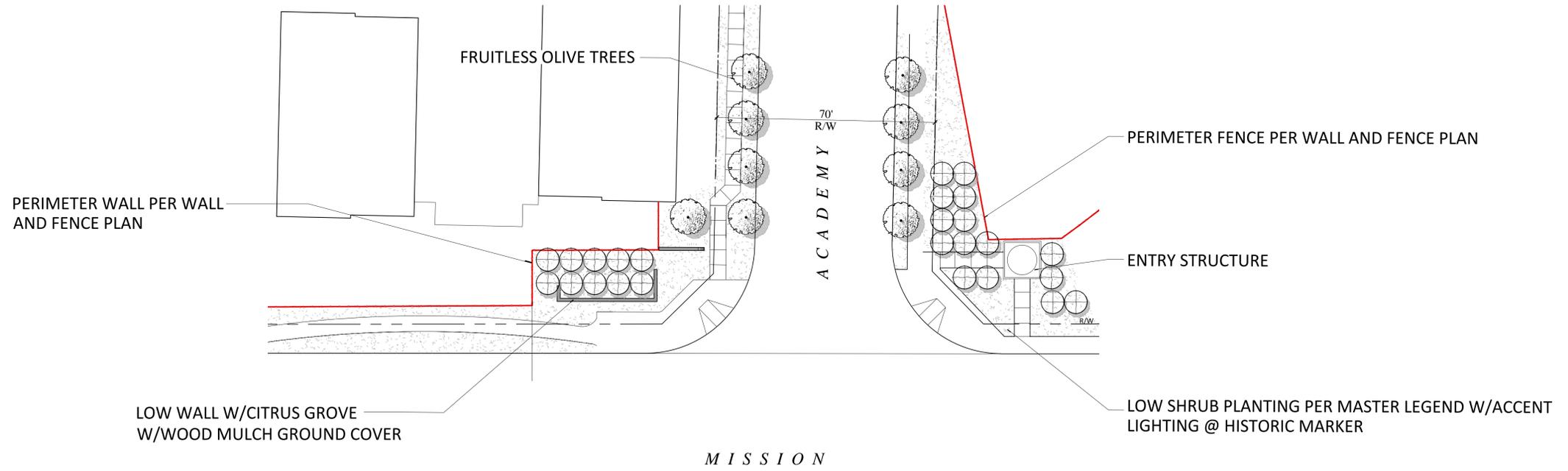


MISSION AVENUE PLAN VIEW

SCALE: 1"=20'

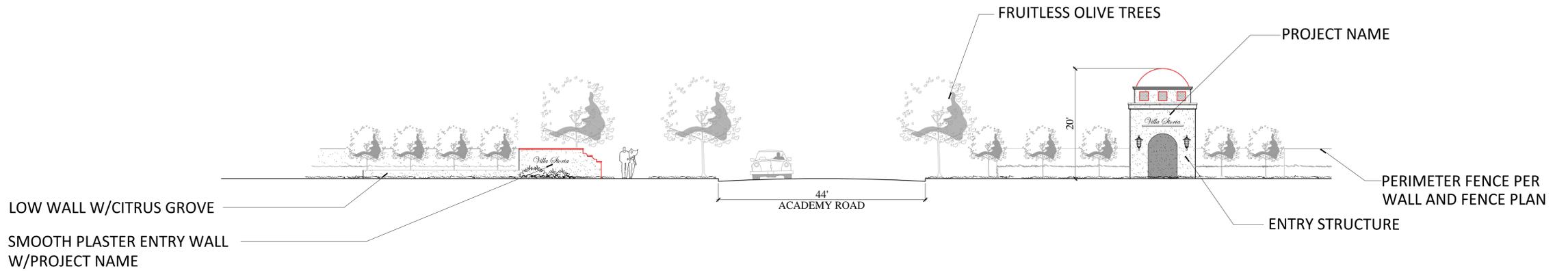
VILLA STORIA PD PLAN





ENTRY MONUMENTATION (PLAN)

SCALE: 1"=20'
SEPARATE BUILDING PERMIT REQUIRED



ENTRY MONUMENTATION (ELEVATION)

SCALE: 3/32" = 1'-0"
SEPARATE BUILDING PERMIT REQUIRED

LIGHTING NOTE
LOW LANDSCAPE LIGHTING WILL BE PROVIDED AT THE ENTRY MONUMENT LOCATION. FINAL LOCATION SHALL BE SPECIFIED ON ENTRY IMPROVEMENT PLANS.

HISTORIC MARKER NOTE
LOW SHRUB PLANTING AND ACCENT LIGHTING AT HISTORIC MARKER HAS BEEN DEFERRED UNTIL AN APPROPRIATE LOCATION HAS BEEN DETERMINED BY THE PLANNING DIVISION.

VILLA STORIA PD PLAN

CONCEPTUAL LANDSCAPE PLAN - ENTRY DETAILS

SHEET PD4

PLANT MATERIAL NOTE

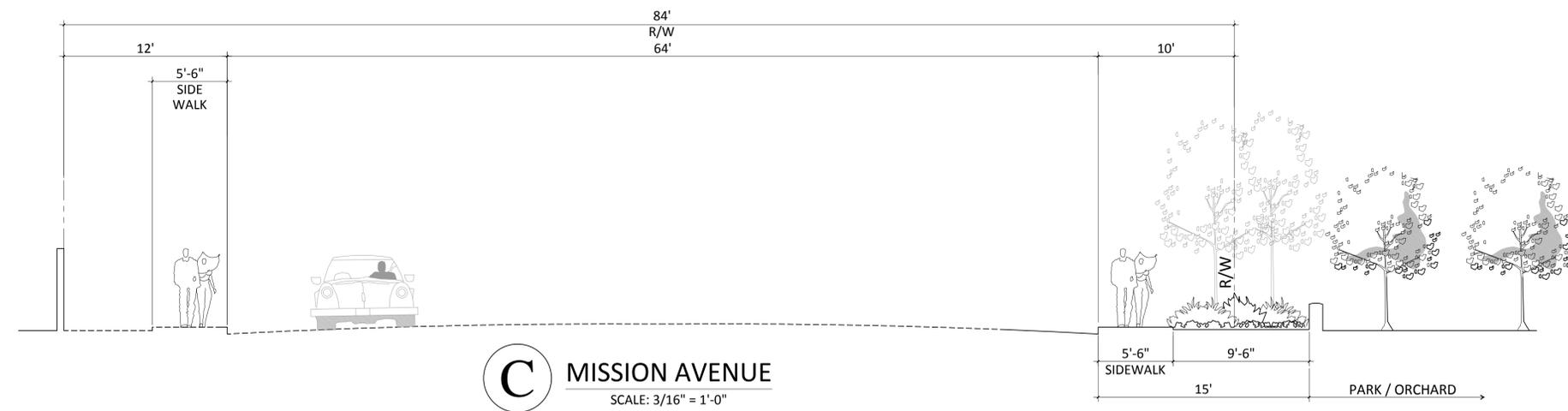
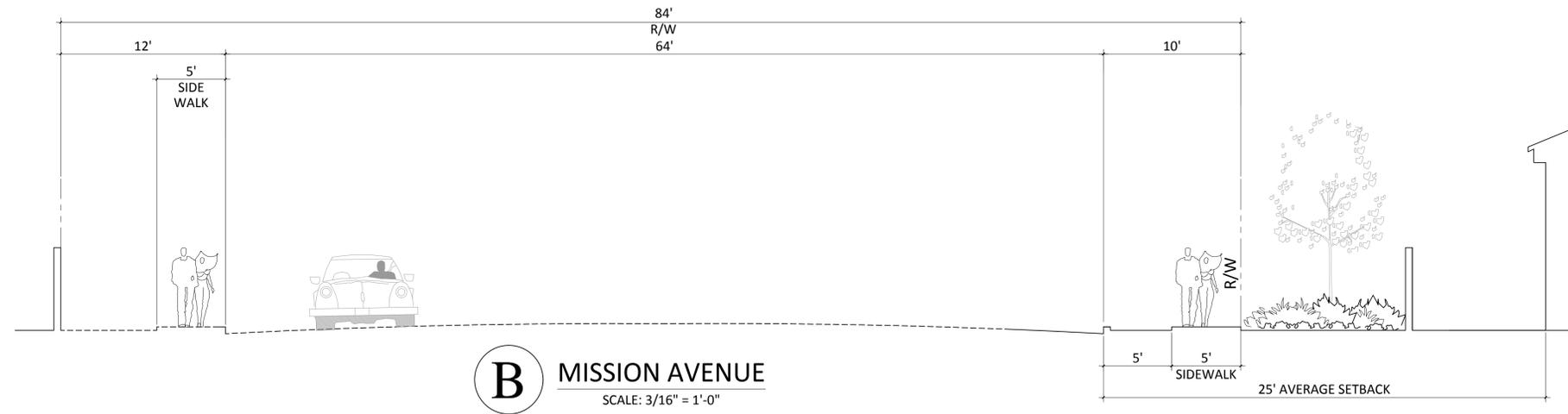
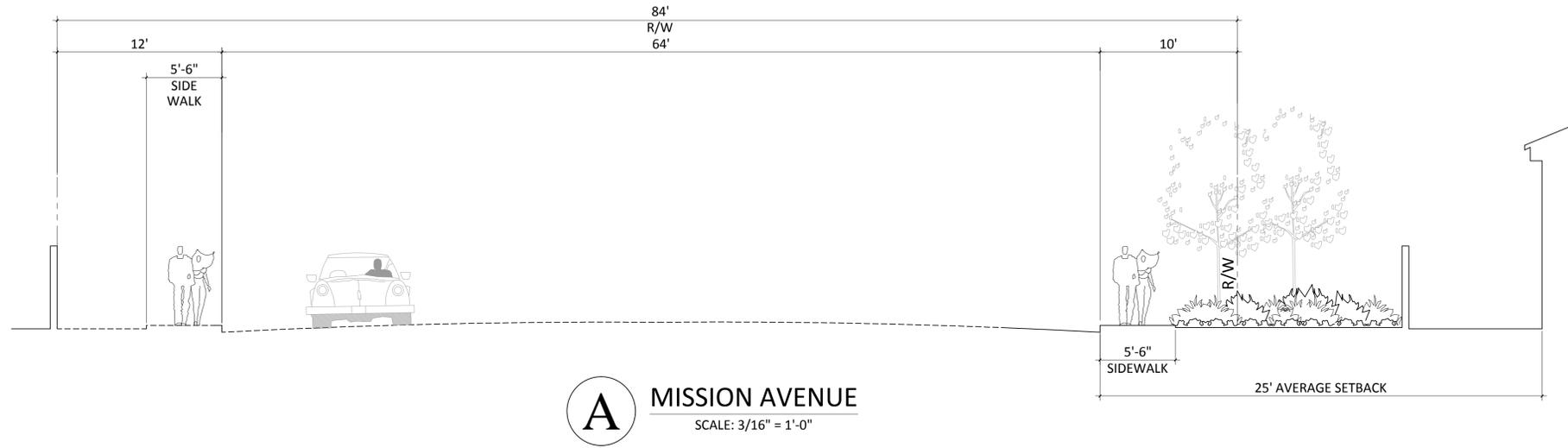
SHRUBS WILL BE INSTALLED USING THE FOLLOWING MIN. SIZES

BACKGROUND SHRUBS	5 GALLON MIN.
MID-GROUND SHRUBS	1 & 5 GALLON
FOREGROUND SHRUBS	1 GALLON MIN.
GROUNDCOVER	FLATS
VINES	5 GALLON MIN.

ALL PLANT MATERIAL WILL BE INSTALLED PER THE APPROVED MSLRHD GUIDELINES

REFER TO PLANT PALETTE (SHEET PD9) FOR SPECIFIC PLANT GENUS AND SPECIES AND TITLE SHEET FOR LINE OF SITE NOTES.

REFER TO GMP WALL AND FENCE PLANS FOR WALL MATERIALS AND TYPES



VILLA STORIA PD PLAN

CONCEPTUAL LANDSCAPE PLAN - MISSION AVENUE STREET SECTIONS

SHEET PD5

PLANT MATERIAL NOTE

SHRUBS WILL BE INSTALLED USING THE FOLLOWING MIN. SIZES

BACKGROUND SHRUBS	5 GALLON MIN.
MID-GROUND SHRUBS	1 & 5 GALLON
FOREGROUND SHRUBS	1 GALLON MIN.
GROUND COVER	FLATS
VINES	5 GALLON MIN.

ALL PLANT MATERIAL WILL BE INSTALLED PER THE APPROVED MSLRHD GUIDELINES

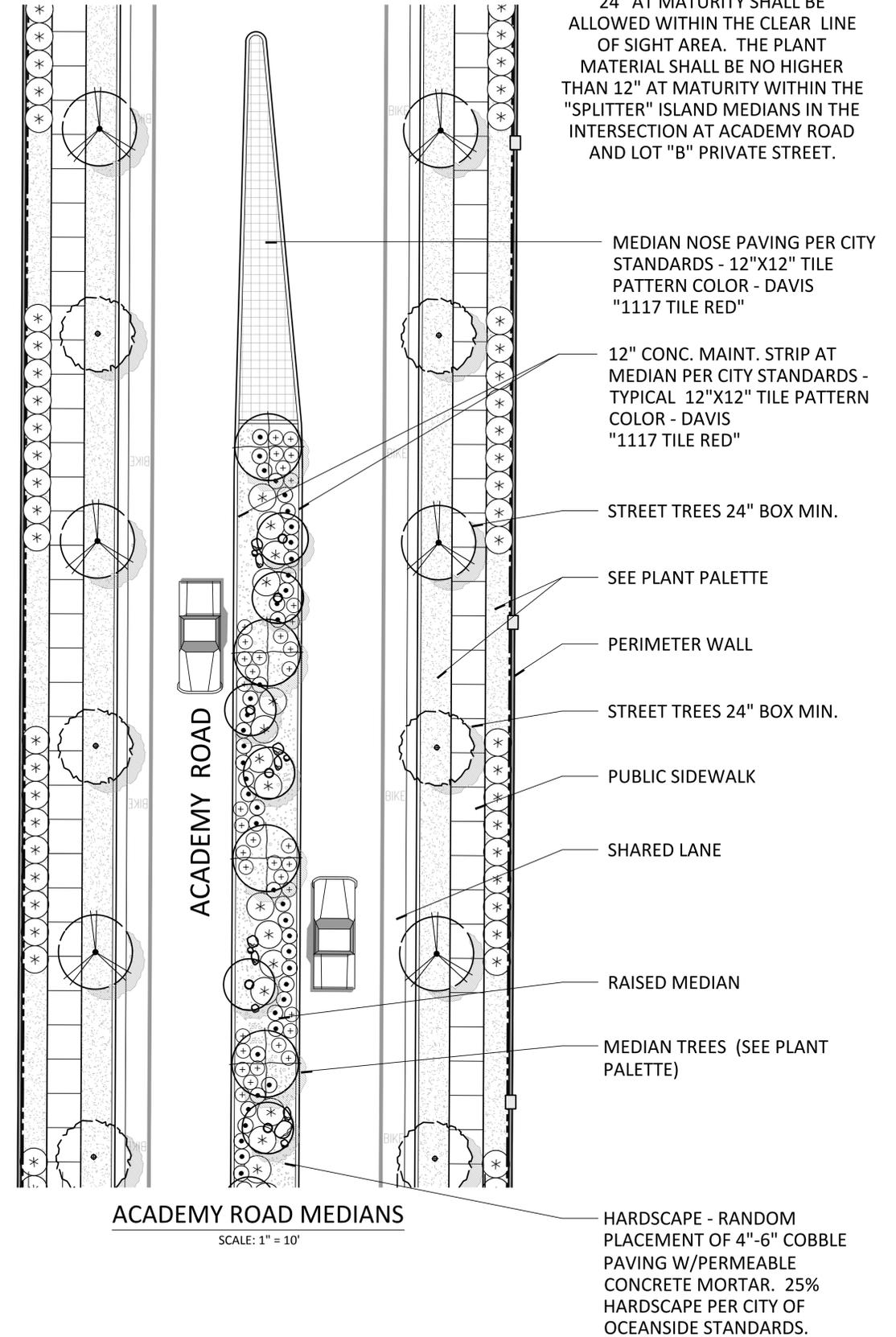
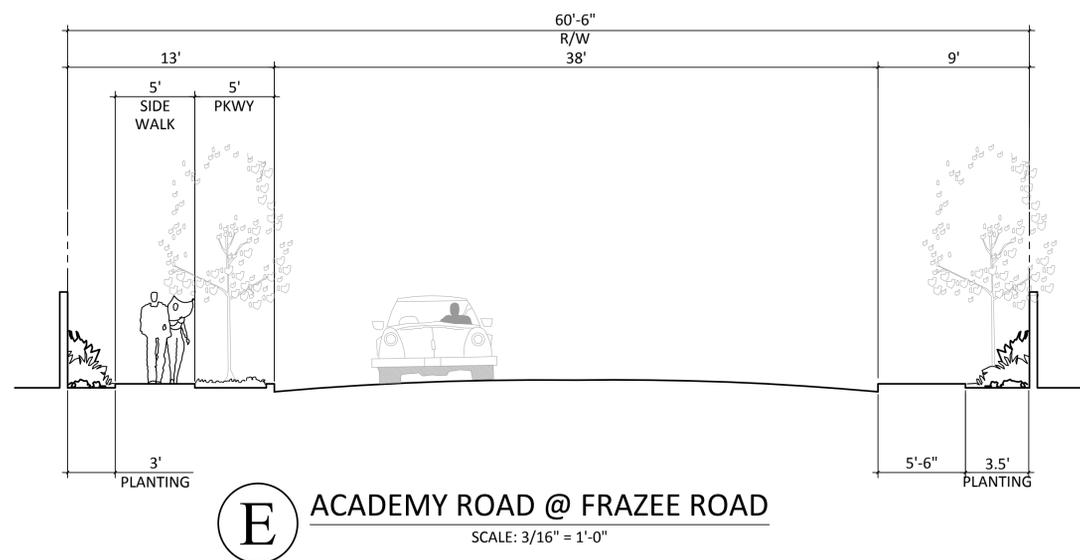
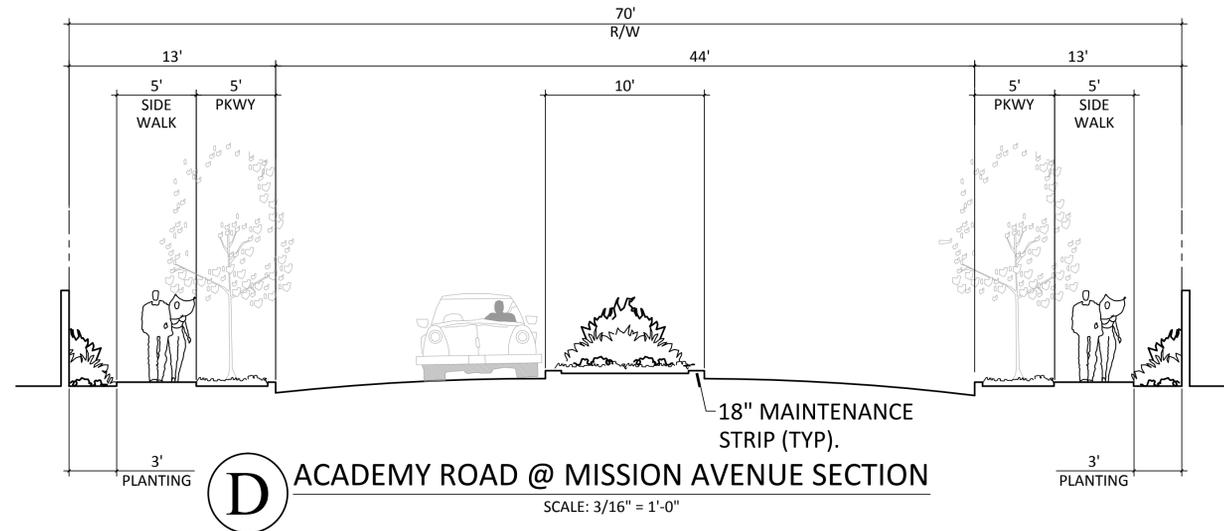
REFER TO PLANT PALETTE (SHEET PD9) FOR SPECIFIC PLANT GENUS AND SPECIES AND TITLE SHEET FOR LINE OF SITE NOTES.

REFER TO GMP WALL AND FENCE PLANS FOR WALL MATERIALS AND TYPES

HARDSCAPE NOTES

- A. ENHANCED CONCRETE MAINTENANCE BANDS 12"X12" TILE PATTERN COLOR - DAVIS "1117 TILE RED".
- B. MEDIAN LANDSCAPE SHALL ADHERE TO ALL CITY OF OCEANSIDE DESIGN STANDARDS. PER "LANDSCAPE DEVELOPMENT MANUAL" SECTION V- GUIDELINES FOR CITY OF OCEANSIDE LANDSCAPE MEDIANS, MOST CURRENT EDITION.
- C. MEDIAN HARDSCAPE SHALL USE PERMEABLE CONCRETE MORTAR WHERE APPROPRIATE.

LINE OF SIGHT NOTES
 NO STRUCTURES HIGHER THAN 30" OR PLANT MATERIAL HIGHER THAN 24" AT MATURITY SHALL BE ALLOWED WITHIN THE CLEAR LINE OF SIGHT AREA. THE PLANT MATERIAL SHALL BE NO HIGHER THAN 12" AT MATURITY WITHIN THE "SPLITTER" ISLAND MEDIANS IN THE INTERSECTION AT ACADEMY ROAD AND LOT "B" PRIVATE STREET.



VILLA STORIA PD PLAN

PLANT MATERIAL NOTE

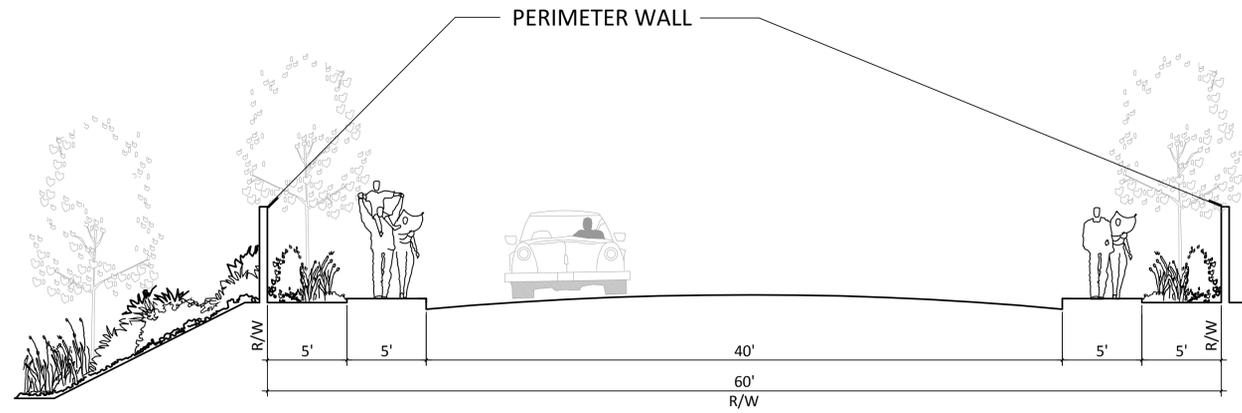
SHRUBS WILL BE INSTALLED USING THE FOLLOWING MIN. SIZES

BACKGROUND SHRUBS	5 GALLON MIN.
MID-GROUND SHRUBS	1 & 5 GALLON
FOREGROUND SHRUBS	1 GALLON MIN.
GROUND COVER	FLATS
VINES	5 GALLON MIN.

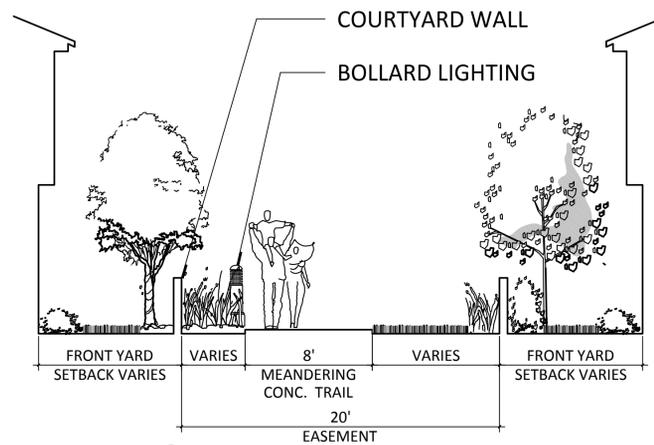
ALL PLANT MATERIAL WILL BE INSTALLED PER THE APPROVED MSLRHD GUIDELINES

REFER TO PLANT PALETTE (SHEET PD9) FOR SPECIFIC PLANT GENUS AND SPECIES AND TITLE SHEET FOR LINE OF SITE NOTES.

REFER TO GMP WALL AND FENCE PLANS FOR WALL MATERIALS AND TYPES



F FRAZEE ROAD @ PLANNING AREA 1
SCALE: 3/16" = 1'-0"



G PASEO SECTION
SCALE: 3/16" = 1'-0"

PASEO NOTES

- A. LIGHT BOLLARD SPACING SHALL BE APPROX. 90' O.C.
- B. A MIN. OF THREE (3) TRASH RECEPTACLES SHALL BE PROVIDED ALONG THE PASEO, ONE AT EACH END AND ONE IN THE MIDDLE.
- C. COURTYARD WALLS TO MATCH ARCHITECTURAL STYLE.

VILLA STORIA PD PLAN

PLANT MATERIAL NOTE

SHRUBS WILL BE INSTALLED USING THE FOLLOWING MIN. SIZES

BACKGROUND SHRUBS	5 GALLON MIN.
MID-GROUND SHRUBS	1 & 5 GALLON
FOREGROUND SHRUBS	1 GALLON MIN.
GROUND COVER	FLATS
VINES	5 GALLON MIN.

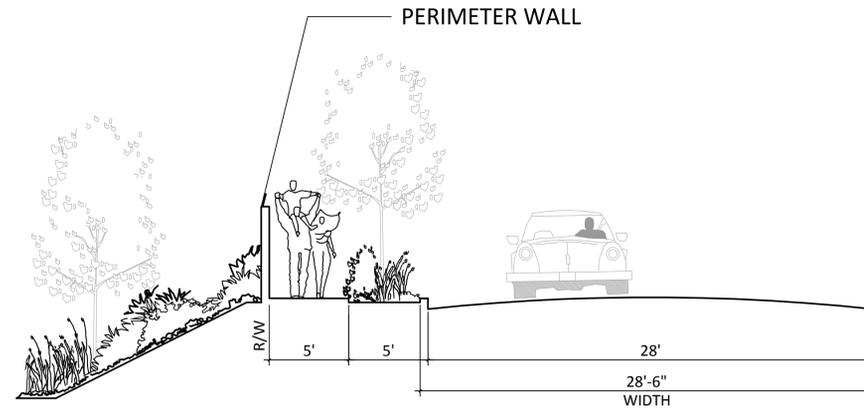
ALL PLANT MATERIAL WILL BE INSTALLED PER THE APPROVED MSLRHD GUIDELINES

REFER TO PLANT PALETTE (SHEET PD9) FOR SPECIFIC PLANT GENUS AND SPECIES AND TITLE SHEET FOR LINE OF SITE NOTES.

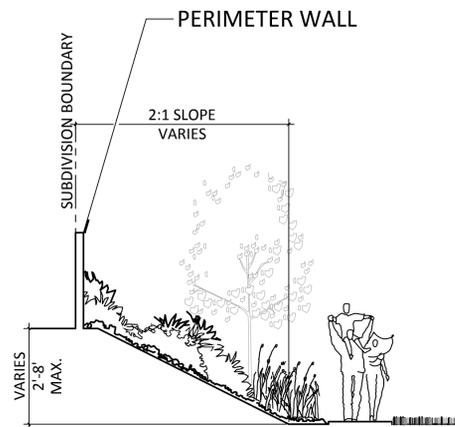
REFER TO GMP WALL AND FENCE PLANS FOR WALL MATERIALS AND TYPES

GENERAL LANDSCAPE NOTES FOR UTILITY EASEMENT

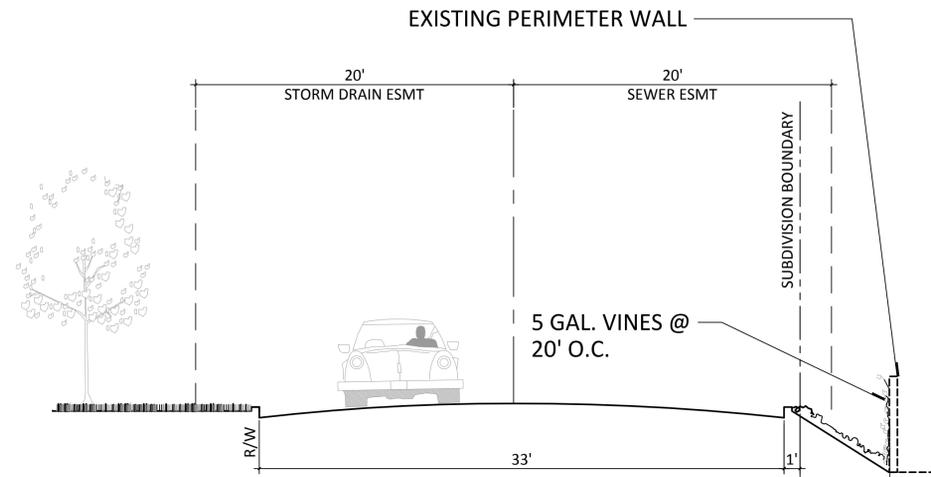
1. DUE TO THE LOCATION OF NUMEROUS UTILITIES WITHIN THIS EASEMENT, CARE SHALL BE TAKEN TO USE SMALL SCALE TREES WHICH DO NOT HAVE INVASIVE ROOT SYSTEMS AND/OR LARGE VARIETIES OF TALL SHRUBS.
2. LANDSCAPE ARCHITECT SHALL BE AWARE OF UTILITY, SEWER, STORM DRAIN EASEMENTS AND PLACE PLANTINGS ACCORDINGLY TO MEET CITY OF OCEANSIDE REQUIREMENTS.
3. ALL REQUIRED LANDSCAPE AREAS (INCLUDING PUBLIC RIGHT OF WAY) ALONG MISSION AVENUE; ACADEMY ROAD, FRAZEE ROAD AND COLLECTOR STREETS SHALL BE MAINTAINED BY OWNER OR H.O.A. ALL LANDSCAPE AREAS SHALL BE MAINTAINED PER CITY OF OCEANSIDE REQUIREMENTS.
4. STREET TREES AND OTHER TREES SHALL BE SPACED AS FOLLOWS:
 - 4.1. 8' FROM TRANSFORMERS, CABLE, AND PULL BOXES
 - 4.2. 5 FEET FROM MAIL BOXES
 - 4.3. 5 FEET FROM FIRE HYDRANTS (ALL SIDES)
 - 4.4. 10 FEET FROM CENTERLINE OF ALL UTILITY LINES (WITHOUT EASEMENT)(SEWER, WATER, STORM DRAINS, DOUBLE CHECK DETECTOR VALVES, AIR RELIEF VALVES, AND GAS)
 - 4.5. 10 FEET FROM EASEMENT BOUNDARIES (SEWER, WATER, STORM DRAINS, ACCESS OR OTHER UTILITIES)
 - 4.6. 10 FEET FROM DRIVEWAYS (UNLESS A LINE OF SIGHT IS DETERMINED BY THE TRAFFIC DIVISION TO BE OTHERWISE)
 - 4.7. 10 FEET FROM TRAFFIC AND DIRECTIONAL SIGNS.
 - 4.8. 15 FEET (MINIMUM) FROM STREETLIGHTS, OTHER UTILITY POLES, (DETERMINED BY SPECIFICATIONS)
 - 4.9. STREET TREES SHALL BE PLANTED 3' OUTSIDE RIGHT-OF-WAY IF THE RIGHT-OF-WAY DOES NOT ALLOW SPACE, SUBJECT TO CITY ENGINEERS APPROVAL
 - 4.10. LINE OF SIGHT AT ARTERIALS, COLLECTOR AND LOCAL STREETS SHALL BE REVIEWED AND DETERMINED BY THE TRAFFIC ENGINEER.
 - 4.11. MINIMUM FIFTEEN (15') STREETLIGHT AND STOP SIGN OR CLEARANCE DETERMINED BY SPECIFICATIONS.
 - 4.12. SCREEN ALL UTILITIES ACCORDING TO SPECIFIC AGENCY REQUIREMENTS



H CHAPTER ROAD
SCALE: 3/16" = 1'-0"

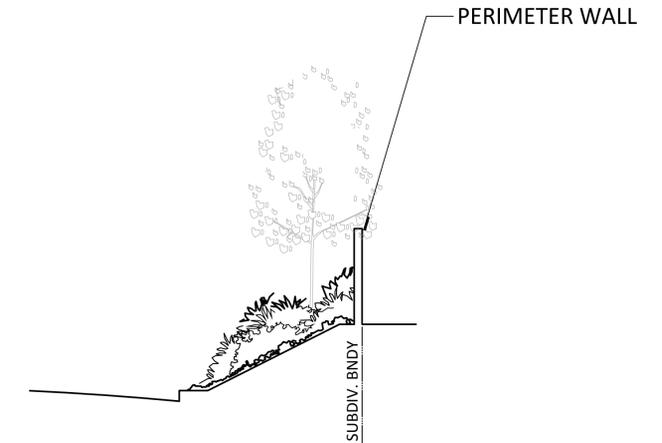


I WEST BOUNDARY @ PLANNING AREAS 3 & 4
SCALE: 3/16" = 1'-0"



J EAST BOUNDARY @ PLANNING AREA 1 / UTILITY EASEMENT
SCALE: 3/16" = 1'-0"

* EASEMENT NOTE
A PRIVATE NON-REVOCABLE
AGREEMENT/EASEMENT SHALL BE
SECURED BETWEEN VILLA STORIA HOA
AND THE RIVER RANCH HOA FOR ACCESS
AND MAINTENANCE

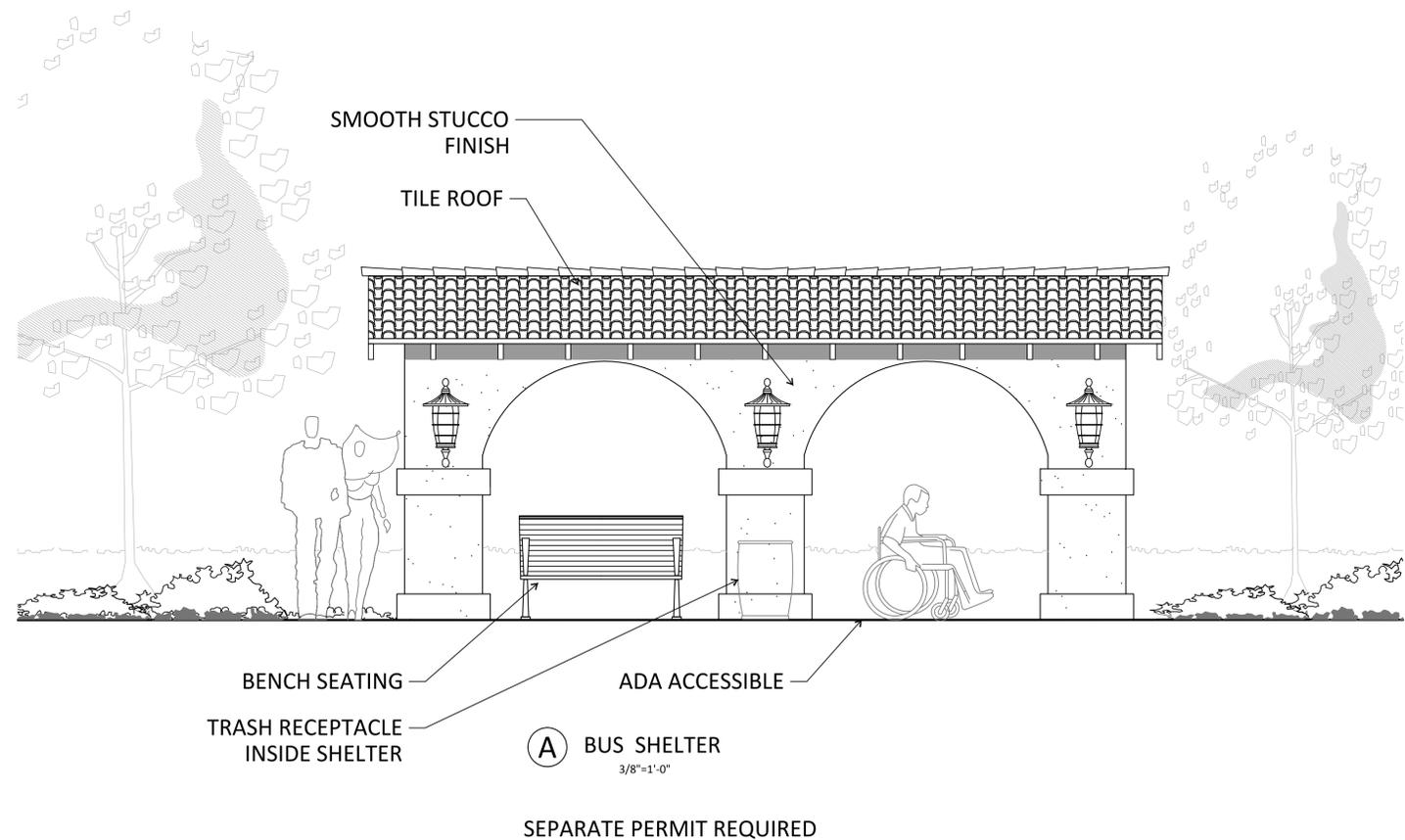


K N. BOUNDARY @ PLANNING AREA 1
SCALE: 3/16" = 1'-0"

VILLA STORIA PD PLAN

CONCEPTUAL LANDSCAPE PLAN - BOUNDARY SECTIONS

SHEET PD8



(A) BUS SHELTER
3/8"=1'-0"

SEPARATE PERMIT REQUIRED

LIGHTING NOTE
LOW LANDSCAPE LIGHTING WILL BE PROVIDED AT THE BUS SHELTER LOCATION.
FINAL LOCATION SHALL BE SPECIFIED ON BUS SHELTER IMPROVEMENT PLANS.

SITE FURNISHINGS NOTE
REFER TO SITE FURNISHINGS PLAN PREPARED BY GMP FOR TRASH RECEPTACLE SPECIFICATIONS.

VILLA STORIA PD PLAN

CONCEPTUAL LANDSCAPE PLAN - BUS SHELTER DETAILS

SHEET PD10

04-14-2015 D:\SJA\PROJECTS\INTEGRAL COMMUNITIES\OCEANSIDE\002_CONCEPT_OVERALL.dwg