

**AGENDA**  
**OCEANSIDE DEVELOPER'S CONFERENCE**

**Tuesday, March 8, 2011, 9:00 a.m.**  
**Guajome Room**

1. 9:00a.m. - 10:00 a.m.

Discussion for a commercial development on a vacant 7.4-acre site located at the south east corner of Melrose Drive and Oceanside Boulevard.

**Zoning:** Neighborhood Commercial (CN)  
**Land Use:** Neighborhood Commercial (CN)  
**Neighborhood Area:** Peacock  
**Assessor Parcel:** 161-030-07-00  
**Contact Person:** Pete Richie  
**Tel.:** (858) 292-7770

1. 10:00a.m. - 10:30 a.m.

Discussion for the construction of convenience store known as 7-11 located at the south east corner of Michigan Avenue and South Coast Highway.

**Zoning:** General Commercial (C2)  
**Land Use:** General Commercial (CG)  
**Neighborhood Area:** Townsite  
**Assessor Parcel:** 150-054-02  
**Contact Person:** Richard Saldano  
**Tel.:** (619) 520-9914

**Attachments:**

APN Maps:  
161-030-07-00  
150-054-02-00

## Neighborhood Market Preliminary Draft Project Summary



Walmart proposes to build a new Neighborhood Market and three commercial outparcels on approximately 7.5 acres of commercially-zoned vacant land located at the southeast corner of Oceanside Boulevard and North Melrose Drive in the City of Oceanside (the "Project"). The proposed Neighborhood Market will be approximately 40,000 square feet in size and will provide area customers quick, convenient access to a full line of low cost groceries, prescriptions and household products. The proposed three commercial outparcels will be approximately 4,500, 5,000, and 5,000 square feet, respectively, and will contain retail, restaurant, bank and/or office uses. The 4,500 square foot commercial outparcel may include a bank with a drive-thru. The total floor area proposed to be developed at the site will be approximately 54,500 square feet.

The Neighborhood Market will include all appurtenant facilities for the sale of food, beverages (including alcohol for offsite consumption) and general merchandise, a drive-thru pharmacy, outside storage (including a trash compactor and bale and pallet recycling area), loading, and surface parking. Additional Project details are described below.

- **Drive-thru pharmacy:** The pharmacy drive-thru will be connected to the south side of the building. Vehicles using the drive-thru will enter through the main customer vehicle entrance and exit the same way by turning around in the ample turn-around space available at the southeast corner of the site.
- **Landscaping:** The site will contain robust landscaping and greenery. Planted landscaping will cover approximately 15% of the net site area and will include perimeter landscaping, trees and parking lot treewells.
- **Parking:** Surface parking will be available to the north and west of the Neighborhood Market. In compliance with City requirements, a total of approximately 200 parking spaces will be provided on the Neighborhood Market parcel. Additional parking will be provided for the commercial outparcels consistent with City standards.
- **Pedestrian-Friendly and Transit-Oriented Features:** Perimeter sidewalks on North Melrose Drive and Oceanside Boulevard and internal pedestrian pathways will

## Neighborhood Market

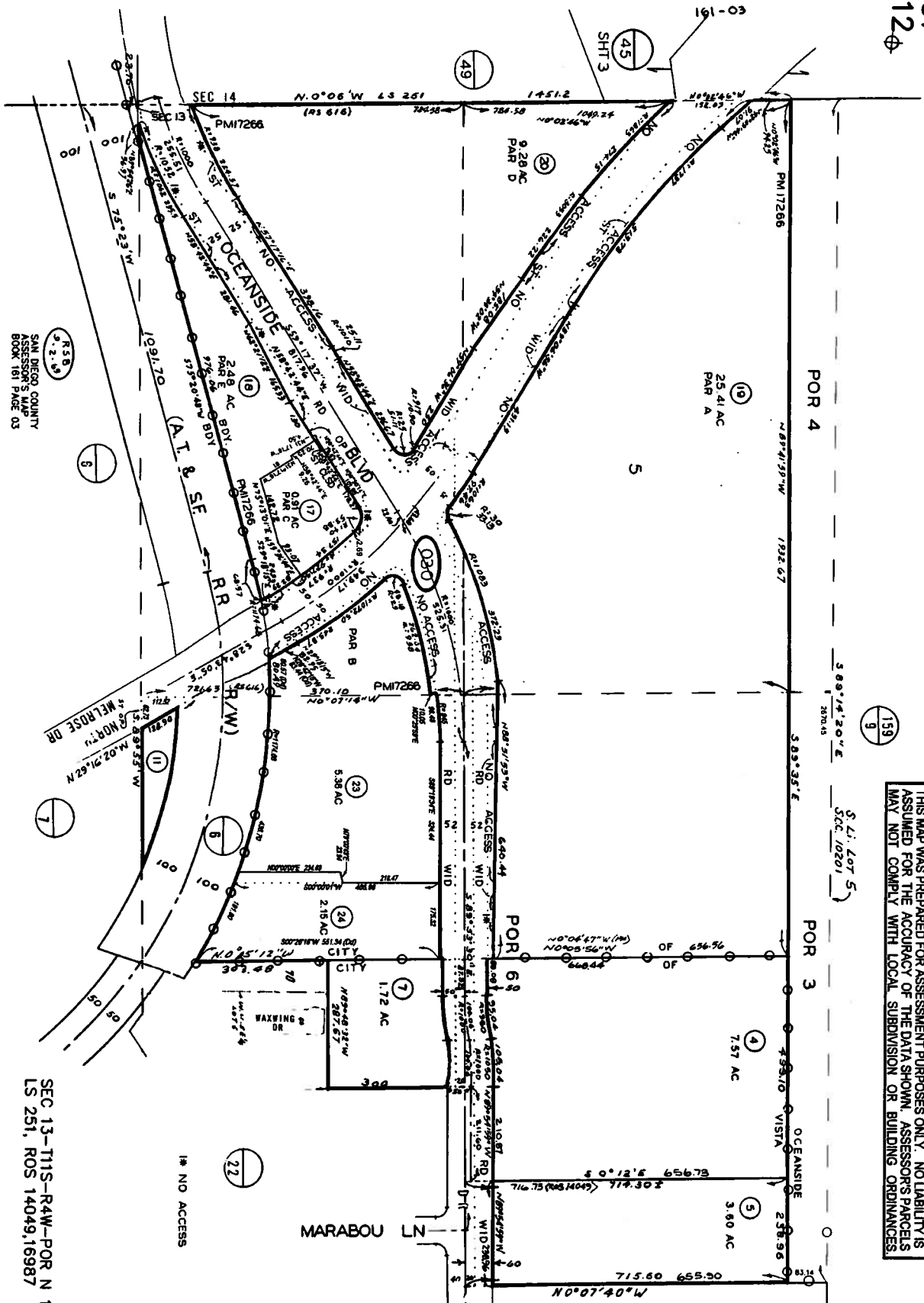
provide safe and easy access to and from the Neighborhood Market and commercial outparcels. Also, a new turn out to accommodate a bus stop will be provided in front of the site along North Melrose Drive and a bicycle path will be constructed along the east property line to connect the site with the planned Inland Rail Trail.

- **Loading facilities:** The Neighborhood Market loading dock area will be located at the rear (east) of the building and will consist of two separate loading bays, each fitted with impact absorbing rubber dock seals and dock bumpers providing sound mitigation for unloading activity. Additionally, each bay will be sloped to approximately four feet below finish floor and the loading area will be screened from view by an eight foot high masonry wall matching the building architecture, further mitigating any sound and aesthetic impacts.
- **Vehicle and Truck Access:** All truck access to the Neighborhood Market store will be from Oceanside Boulevard (West Bobier Drive) at the proposed signalized entry at the northeast corner of the site. The truck entrance is east of the customer entrance on Oceanside Boulevard (West Bobier Drive) and leads to the rear of the Neighborhood Market. The truck circulation pattern is designed so that trucks unload cargo at the rear of the store, turn around, and then exit the same dedicated truck entrance on Oceanside Boulevard (West Bobier Drive).
- **Perimeter Street Improvements:** The Project will construct deceleration lanes on North Melrose Drive and Oceanside Boulevard to enable Project traffic to safely and efficiently access the site and an acceleration lane on Oceanside Boulevard for vehicles turning east out of the customer exit. Other improvements will include the construction of new curb, gutters and sidewalks along the Project frontage on North Melrose Drive and Oceanside Boulevard and a new traffic signal on Oceanside Boulevard and West Bobier Way at the truck entrance/exit.

Construction of the Neighborhood Market is anticipated to commence in 2012, and the anticipated opening date of the Neighborhood Market is in 2013. No specific tenants for the commercial outparcels have been identified at this time and the timing of development of the outparcels has not yet been determined.



07  
12



San Diego County  
Book 161 Page 03

SEC 13-T11S-R4W-POR N 1/2  
LS 251, ROS 14049, 16987

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

02/27/09 DEP

CHANGES	BLK	OLD	NEW	YR	CUT
	030	853	10-13	03	4825
	5	1020	17	07	5752
	1	1080	24	53	2453
	12	1081	44	57	4457
	7	1082	51	08	5108
	4	1083	56	07	5607
	1	1084	62	05	6205
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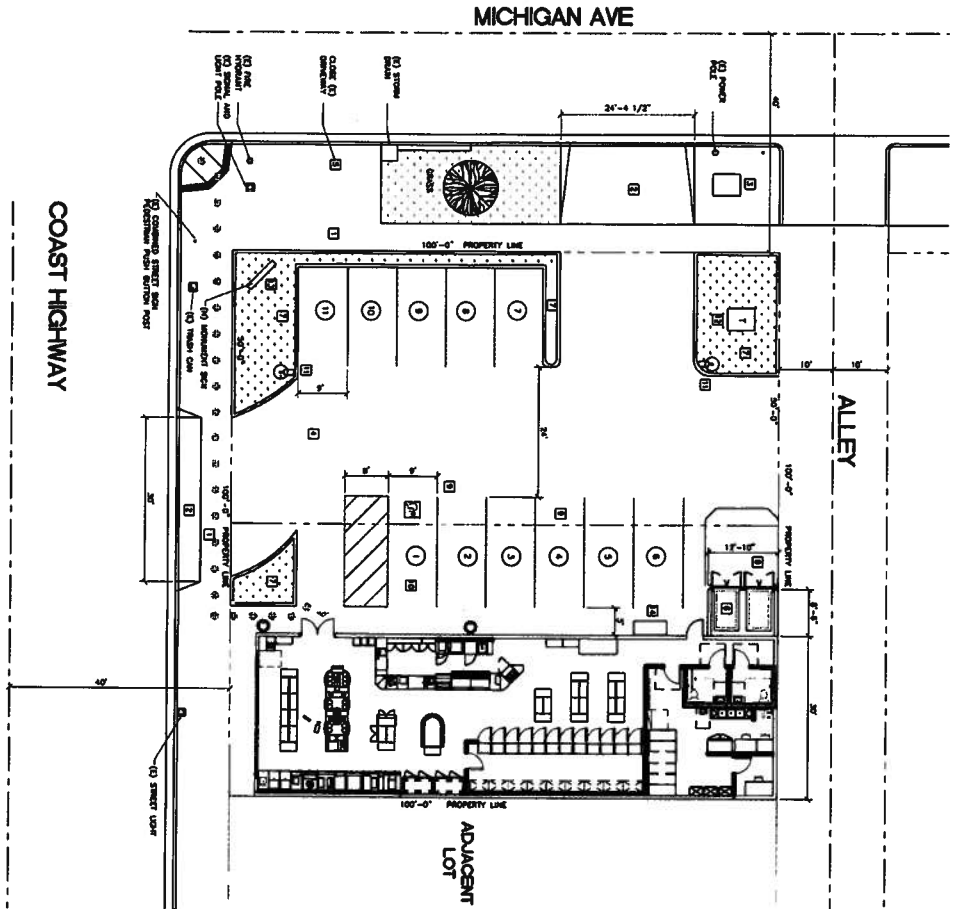
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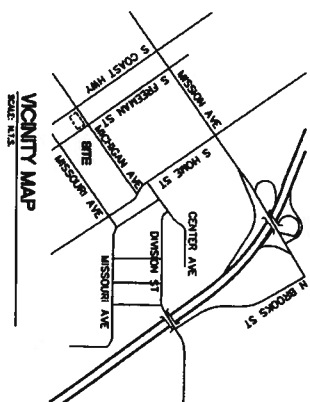
161-03

**LEGEND**

- 1 (1) CONCRETE RETAINMENT
- 2 (2) CONCRETE DRIVEWAYS
- 3 (3) DRIVEWAYS
- 4 (4) ASPHALT DRIVEWAYS
- 5 (5) DRIVEWAYS AND SIDEWALKS
- 6 (6) SIDEWALKS
- 7 (7) ASPHALT DRIVEWAYS
- 8 (8) CONCRETE DRIVEWAYS
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- 19 (19) DRIVEWAYS
- 20 (20) DRIVEWAYS



**SITE PLAN**  
SCALE: 1/8" = 1'-0"

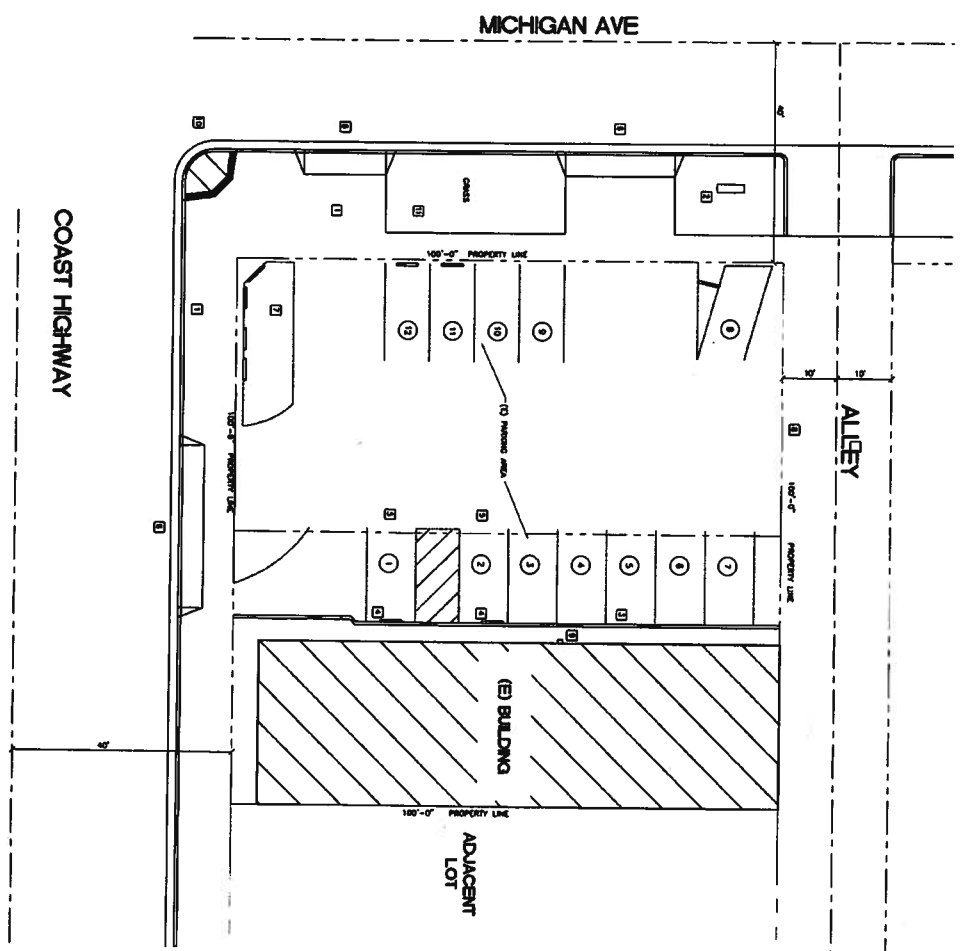


PRELIMINARY 2/22/11



<b>PROJECT SUMMARY</b>	
OWNER:	CONTEL DEVELOPMENT, INC.
PROJECT NAME:	7-ELEVEN CONVENIENCE STORE #1024100
PROJECT ADDRESS:	308 SOUTH COAST HIGHWAY OCEANSIDE, CA
OWNER'S NAME:	SHAWLYN OROZCO
OWNER'S ADDRESS:	1808 CALLE PABLO SAN DIEGO, CA 92108
ZONING:	CC
A.P.N.:	106-04-01-00 16000 SQ. FT.
CONTRACTOR:	CONTEL DEVELOPMENT, INC.
CONSTRUCTION TYPE:	TYPICALLY NON-ALIENED
HEIGHT OF CONSTRUCTION:	24' HEIGHT
<b>SITE INFORMATION</b>	
TOTAL SITE AREA:	2400 SQ. FT.
AREA OF CONSTRUCTION:	1875 SQ. FT.
AREA OF PARKING:	525 SQ. FT.
AREA OF DRIVEWAYS:	1000 SQ. FT.
<b>LEGAL DESCRIPTION</b>	
MAP # 219 BLOCK 14, LOT 15A11	
<b>SHEET INDEX</b>	
C10 SHEET PLAN	
C11 SITE PRELIMINARY	
C12 SITE PRELIMINARY	
C13 SITE PRELIMINARY	
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C100 SITE PRELIMINARY	

<p><b>CONTEL</b> Project Development, Inc. 1892 N. MANOLILA AVE. SUITE 1 EL CAJON, CA 92020 PH: (619) 449-6773</p>	<p><b>SITE PLAN</b> 7-ELEVEN STORE #1024100 308 COAST HIGHWAY OCEANSIDE, CA</p>	<p><b>ARCHITECTURAL/ENGINEERING DEVELOPMENT</b> 7-ELEVEN, INC. CONSTRUCTION DEPT. 1722 SOUTH STREET DALLAS, TX 75202</p> <p style="text-align: right;">972-828-7011</p>
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EXISTING SITE PLAN  
SCALE: 1/8" = 1'-0"

- LEGEND:**
- PROPERTY LINE
  - - - - - STREET CENTER LINE
  - ▭ CONCRETE FOOTING
  - ▭ TYPING BOX
  - ▭ 6" CURB
  - ▭ WALK SIGN
  - ▭ ADA SIGNAGE
  - ▭ DRIVEWAY
  - ▭ SWAMP AREA
  - ▭ ALLEY
  - ▭ ELECTRIC UTILITY
  - ▭ ADA CURB
  - ▭ NEW PLANTING

PRELIMINARY 2/22/11



NO.	DATE	DESCRIPTION

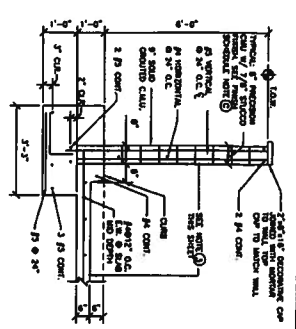
**CONTEL**  
Project Development Inc.  
2802 N. MACDONALD AVE SUITE 1  
EL CAJON, CA 92020 PH: (619) 448-0773

EXISTING SITE PLAN  
7-ELEVEN STORE #1024190  
308 COAST HIGHWAY  
OCEANSIDE, CA

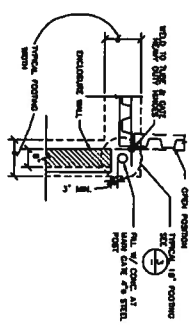
**ARCHITECTURAL/ENGINEERING DEVELOPMENT**  
7-ELEVEN, INC.  
CONSTRUCTION DEPT.  
1722 SOUTH STREET  
DALLAS, TX 75202

972-828-7011

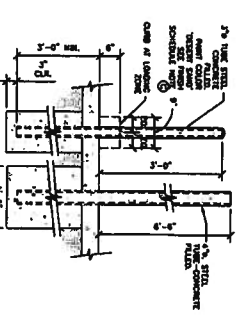
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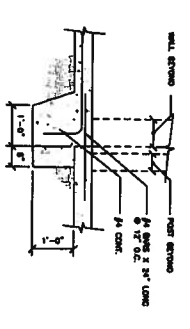
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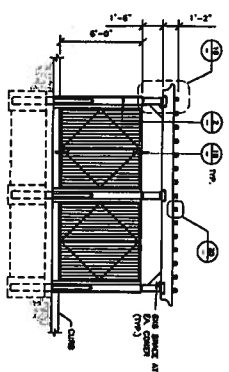
2 GATE POST PLAN  
SCALE: 1/2" = 1'-0"



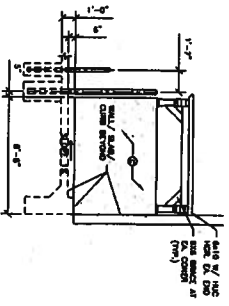
3 BOLLARD+GATE POST SEC.  
SCALE: 1/2" = 1'-0"



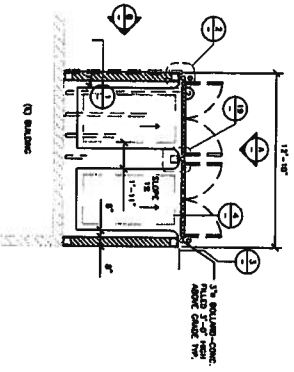
4 FOOTING  
SCALE: 1/2" = 1'-0"



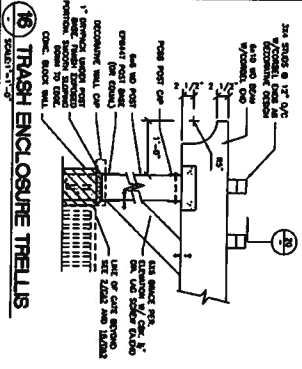
A NORTH GATE ELEVATION  
SCALE: 1/2" = 1'-0"



B NORTH ELEVATION  
SCALE: 1/2" = 1'-0"

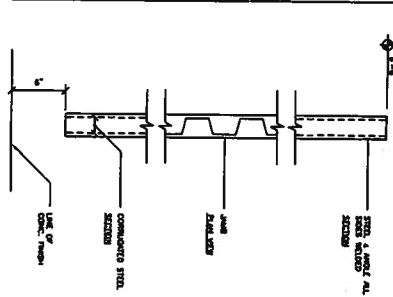


7 DUMPSTER ENCLOSURE PLAN  
SCALE: 1/2" = 1'-0"

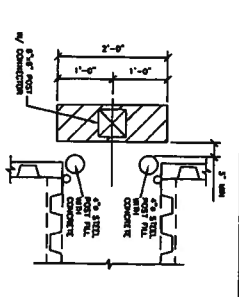


18 TRASH ENCLOSURE TRELLIS  
SCALE: 1/2" = 1'-0"

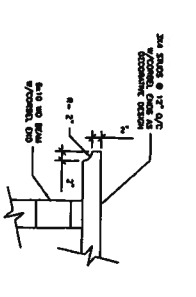
- NOTE:**
1. SEE PLAN FOR DIMENSIONS AND MATERIALS.
  2. FINISHES SHOWN AT DUMPSTER.
  3. FINISHES SHOWN AT TRASH ENCLOSURE.
  4. FINISHES SHOWN AT GATE.
  5. FINISHES SHOWN AT BOLLARD.
  6. FINISHES SHOWN AT FOOTING.
  7. FINISHES SHOWN AT WALL.
  8. FINISHES SHOWN AT GATE POST.
  9. FINISHES SHOWN AT BOLLARD+GATE POST.
  10. FINISHES SHOWN AT TRASH ENCLOSURE TRELLIS.
  11. FINISHES SHOWN AT HINGE POST.
  12. FINISHES SHOWN AT GATE TYPICAL.



19 GATE TYPICAL  
SCALE: 1/2" = 1'-0"



20 HINGE POST (TYP)  
SCALE: 1/2" = 1'-0"



20 TRELLIS DETAIL  
SCALE: 1/2" = 1'-0"

STANDARD FINISH SCHEDULE			
FINISH	MANUFACTURER / COLOR	FINISH	MANUFACTURER / COLOR
1. EXTERIOR WALLS	CONCRETE	2. INTERIOR WALLS	CONCRETE
3. FLOORING	CONCRETE	4. CEILING	CONCRETE
5. ROOFING	CONCRETE	6. TRUSS	CONCRETE
7. TRUSS	CONCRETE	8. TRUSS	CONCRETE
9. TRUSS	CONCRETE	10. TRUSS	CONCRETE

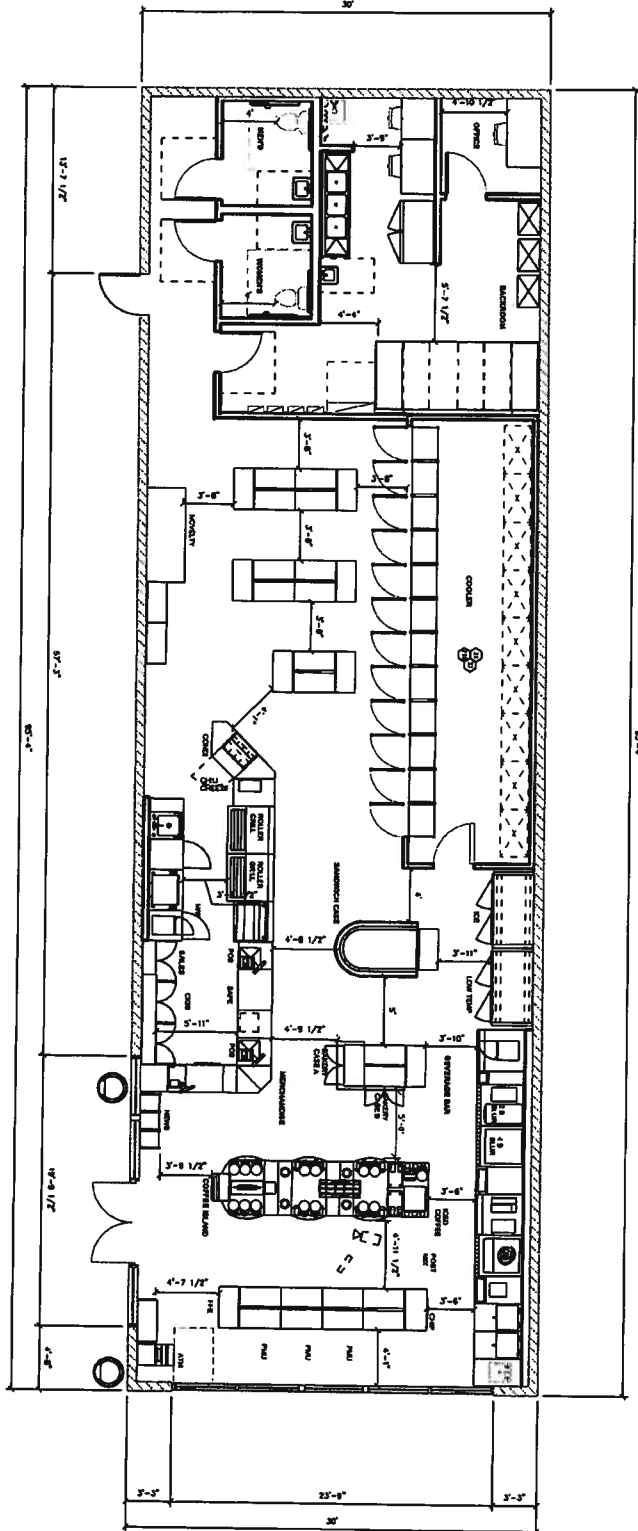
NO.	DATE	DESCRIPTION
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2	08/11/08	ISSUED FOR CONSTRUCTION
3	08/11/08	ISSUED FOR AS-BUILT

**CONTEL**  
Project Development Inc.  
1802 N. MAGNOLIA AVE. SUITE 1  
EL CAJON, CA 92020 PH: (619) 448-6773

TRASH ENCLOSURE PLAN + DETAILS  
7-ELEVEN STORE #102480  
308 COAST HIGHWAY  
OCEANSIDE, CA

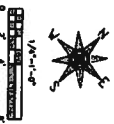
**ARCHITECTURAL/ENGINEERING DEVELOPMENT**  
7-ELEVEN, INC.  
CONSTRUCTION DEPT.  
1725 SOUTH STREET  
DALLAS, TX 75202  
972-828-7011





**PROPOSED FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

PRELIMINARY 2/22/11



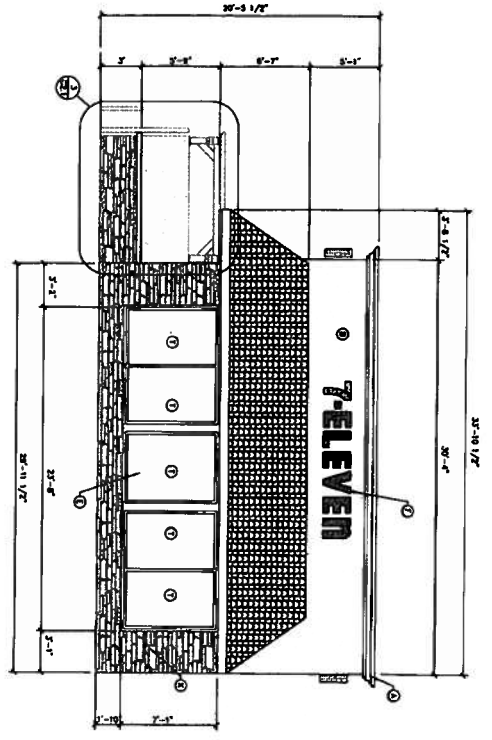
PROJECT <b>A1</b>	DATE REVISION	DATE	DESCRIPTION
	DATE REVISION	DATE	DESCRIPTION
DESIGNER & DRAWER			
PROJECT NO.			

**CONTEL**  
Project Development Inc.  
1802 N. MACHOLA AVE. SUITE 1  
EL CAJON, CA 92020 PH: (951) 448-6775

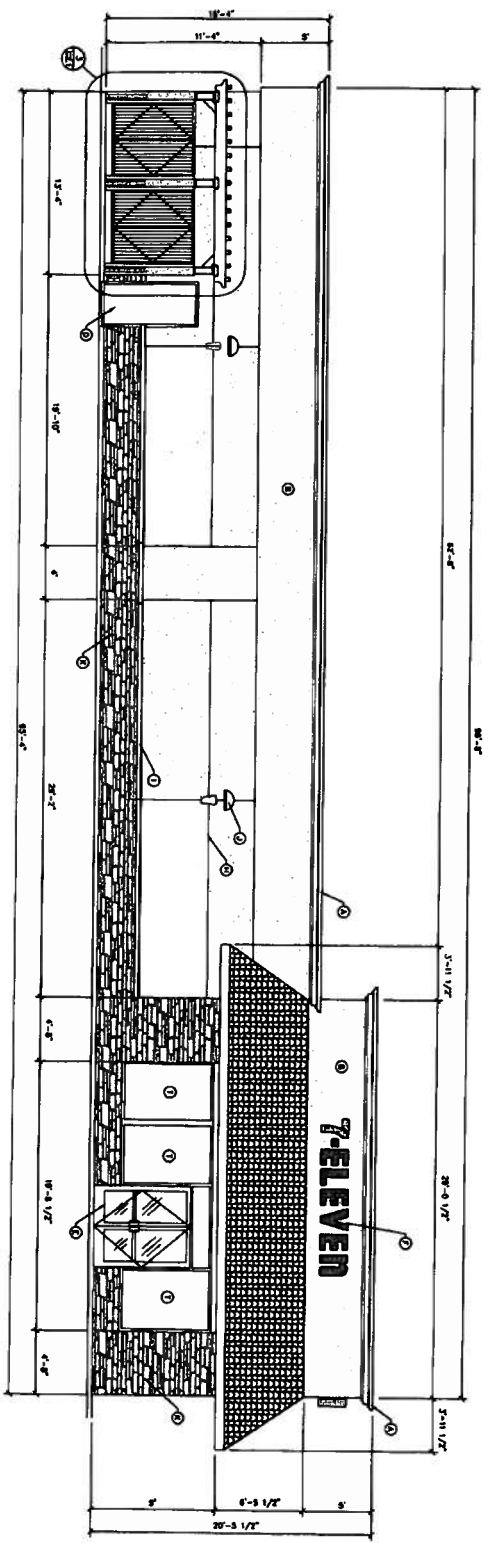
**PROPOSED FLOOR PLAN**  
7-ELEVEN STORE #02480  
308 COAST HIGHWAY  
OCEANSIDE, CA

**ARCHITECTURAL/ENGINEERING DEVELOPMENT**  
7-ELEVEN, INC.  
CONSTRUCTION DEPT.  
1722 BOWTH STREET  
DALLAS, TX 75202

872-828-7011



WEST ELEVATION  
SCALE 1/8\"/>



NORTH ELEVATION  
SCALE 1/8\"/>

**EXTERIOR FINISH SCHEDULE**

MATERIAL	FINISH	MANUFACTURE / COLOR
1. EXT. CORNER PLASTER OVER FORM CONCRETE	COLORADO PLASTER	ENVO STUCCO / 204
2. EXT. CORNER PLASTER PAINT TO MATCH CORNER PLASTER	COLORADO PLASTER	ENVO STUCCO / 482
3. CORNER SOFT	FACTORY FINISH	ENVO STUCCO / 482
4. ALUMINUM SKEWERS*	FACTORY FINISH	PAINT TO MATCH COLOR OF CORNER CORNER PLASTER
5. BRASS	FACTORY	PAVEMENT / CLEAN ALUMINUM
6. CHANNEL SKEWED 3/8"	PAINT	
7. ACCENT CORNER SILL	COLORADO CONCRETE	
8. WALL LIGHT FINISH	PAINTED	USE LIGHTING FINISH / PAINTED TO MATCH STUCCO SAVED TO COLOR HONEY BEAR*
9. STONE VENEER	FACTORY	PAINT TO MATCH CORNER PLASTER HONEY BEAR*

10. TROPICAN GLASS

PRELIMINARY 2/22/11

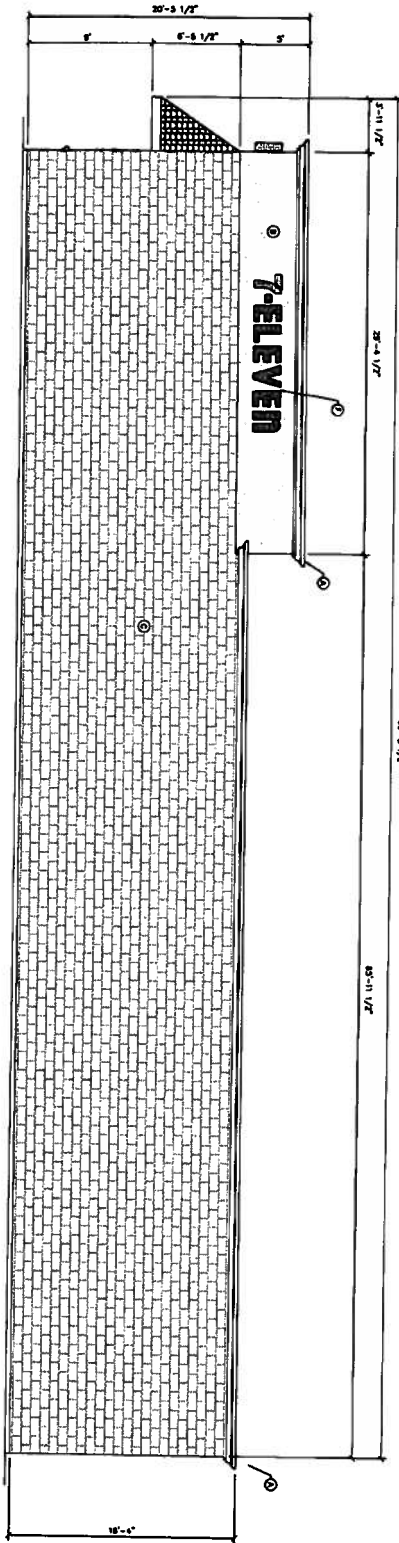
DATE	DESCRIPTION

PROJECT NO. 111111  
DATE 11/11/11  
SCALE 1/8"

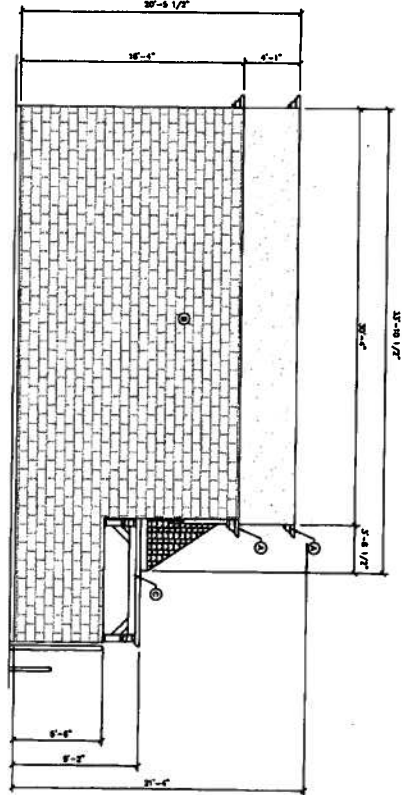
**CONTEL**  
Project Development Inc.  
1802 N. MAGNOLIA AVE. SUITE 1  
EL CAJON, CA 92020 PH: (619) 448-6773

**ELEVATIONS**  
7-ELEVEN STORE #102480  
308 COAST HIGHWAY  
OCEANSIDE, CA

**ARCHITECTURAL/ENGINEERING DEVELOPMENT**  
7-ELEVEN, INC.  
CONSTRUCTION DEPT.  
1732 SOUTH STREET  
DALLAS, TX 75202



**SOUTH ELEVATION**



**EAST ELEVATION**

SEE SHEET A2 FOR LAYOUT

PRELIMINARY 2/22/11

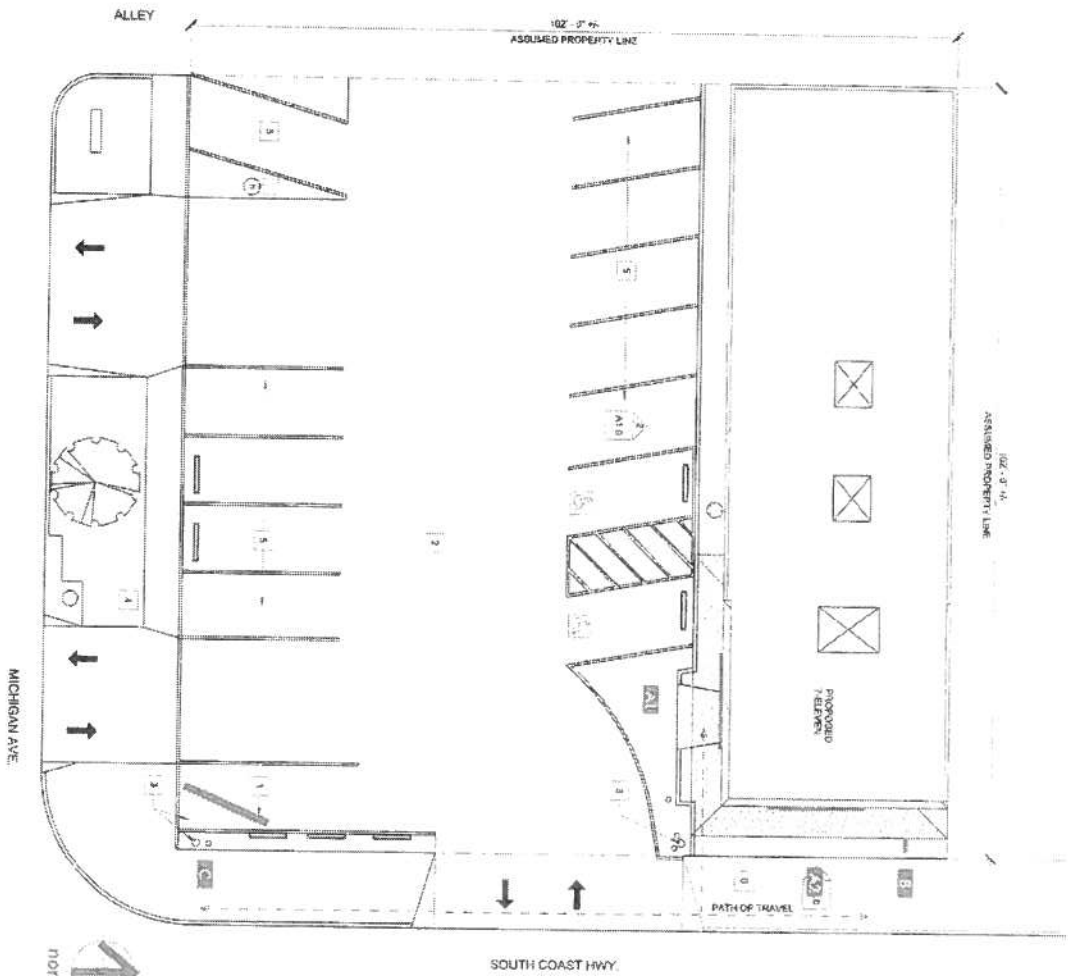
DATE	DESCRIPTION

**CONTEL**  
 Project Development Inc.  
 1802 N. MARICOLA AVE. SUITE 1  
 EL CAJON, CA 92020 PH: (619) 448-0378

**ELEVATIONS**  
 7-ELEVEN STORE #024190  
 308 COAST HIGHWAY  
 OCEANSIDE, CA

**ARCHITECTURAL/ENGINEERING DEVELOPMENT**  
 7-ELEVEN, INC.  
 CONSTRUCTION DEPT.  
 1722 SOUTH STREET  
 DALLAS, TX 75202  
 972-628-7011

A2.1

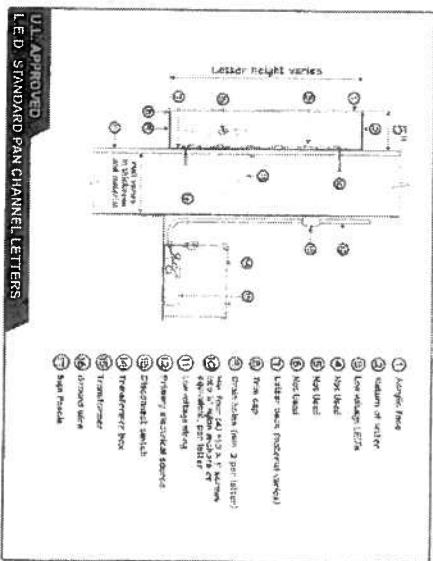


102'-9" W.  
ASSIGNED PROPERTY LINE

102'-9" W.  
ASSIGNED PROPERTY LINE

LOCATION: 7-ELEVEN  
PCH & Michigan Ave  
Oceanside, CA

- A1 A2 TWO (2) SETS OF LED CHANNEL LETTERS
- B ONE (1) D/F BLADE SIGN
- C ONE (1) NEW D/F MONUMENT SIGN



Site Plan / NIS  
PCH & Michigan Ave.  
Oceanside, CA

CALIFORNIA CONTRACTOR LICENSE NO. 948 887278 & 9211



**YESCO**  
LOS ANGELES DIVISION  
5405 W. Industrial Parkway  
Brea, California, CA 92607  
Tel: (714) 925-7848 Fax: (714) 925-9445  
www.yesco.com

**CLIENT INFORMATION**

Name: YESCO  
Address: 216 W. PCH & Michigan Ave.  
Oceanside, CA 92054  
Sales Dept. Contact: [Redacted]

**REVISIONS**

NO.	DATE	BY	DESCRIPTION
1	08/12/10	BT	Revised panel signs, added additional option
2	10/20/10	BT	Revised on-ropes sign to include on-ropes with reduced height sign from 17" to 11" high

**PRODUCTION APPROVAL**

Client Name (Required): YESCO  
Production Order No.: 244

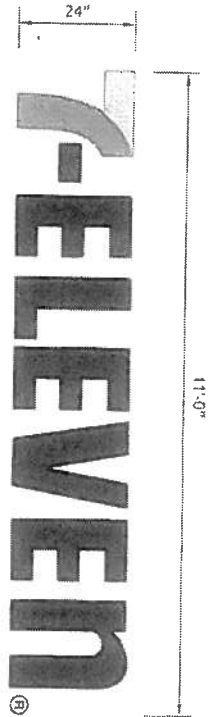
**CUSTOMER APPROVAL**

Accepted with no changes:  YES  
Accepted with changes as noted:  NO  
Noting a change and re-order:  NO

**REVISIONS**

Revision: 1 of 3  
Drawing: 10-9232-3

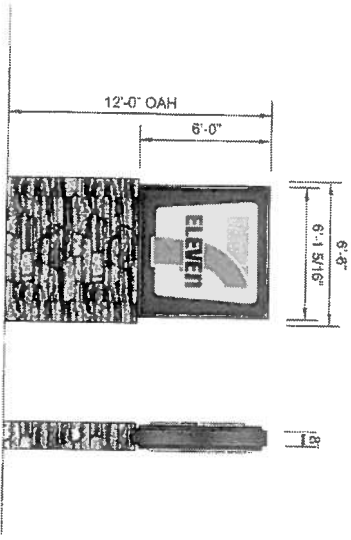
California Contractor License No. 948 887278 & 9211



**SIGNS A1 & A2**

**PROVIDE & INSTALL TWO (2) NEW SETS OF LED CHANNEL LETTERS**  
 Scale: 1/2" = 1'-0"

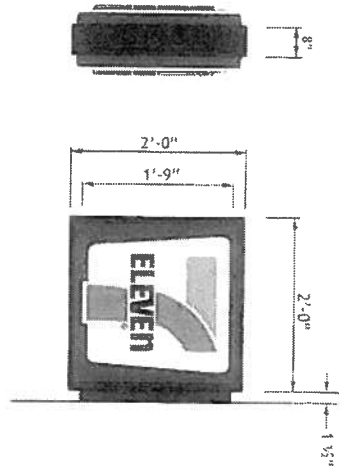
Channels are aluminum construction w/ 5" pre coated bronze returns. Internally illuminated w/ white LEDs to remove transformers behind wall. Faces are 3/16" white acrylic with 1" bronze trim cap and vinyl overlays as follow: #3630-33 Red, #3630-44 Orange, #3630-26 Green, @ mark is a flat 3/16" white acrylic disk w/ #3630-26 Green vinyl overlay



**SIGN C**

**PROVIDE & INSTALL ONE (1) NEW D/F MONUMENT SIGN**  
 Scale: 3/16" = 1'-0"

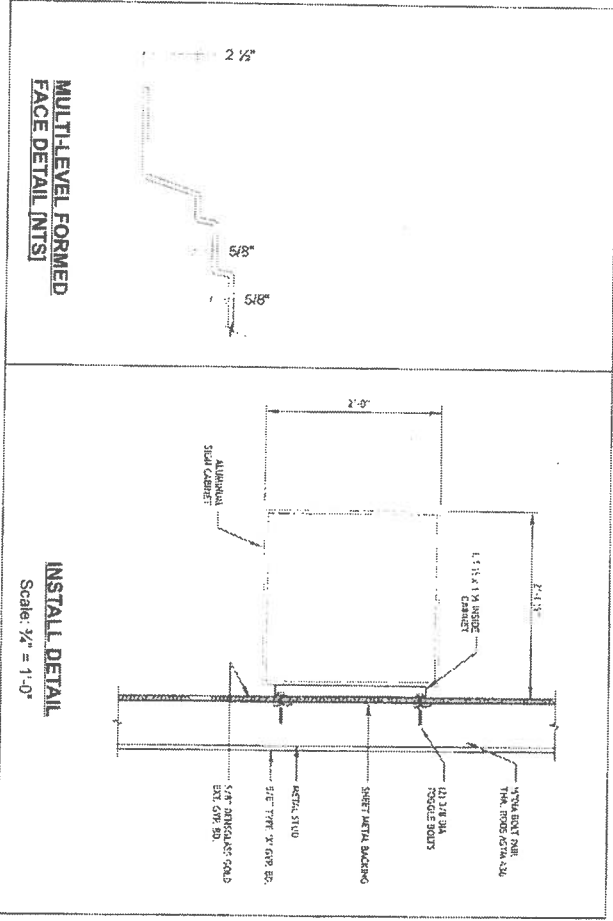
Remove & discard two (2) existing pole signs  
 Install one (1) new M37 formed-face D/F monument sign  
 In place of existing pole sign near intersection  
 Rock base to match existing building



**SIGN B**

**INSTALL ONE (1) CUSTOMER PROVIDED D/F INTILLUM BLADE SIGN**  
 Scale: 3/4" = 1'-0"

Cabinet and reveal are aluminum construction painted bronze. Internally illuminated w/ LEDs to self-contained transformer. Faces are custom pan formed and double embossed.



CALIFORNIA CONTRACTOR LICENSE NO. SAC 28718-D-2818



YESCO  
 165 ANGELES BLVD. DR.  
 Suite 16, Industrial Parkway  
 San Bernardino, CA 92407  
 Tel: (909) 825-7088 Fax: (909) 825-9015  
 www.yescosign.com

**CLIENT INFORMATION**  
 Name: YALRYN  
 Address: 655 S. PICO & M 1020 N. Ave.  
 CHULUPARK, CA 91204  
 Sign Desc: 10, 2nd 1/2 inch

NO.	DATE	BY	REVISIONS
1	05/21/13	BR	1st Reveal
2	05/21/13	BR	Revised sign face, added additional option
3	05/21/13	BR	Revised sign face to match colors to reduced panel height from 17" to 12" OAH
4	05/21/13	BR	Revised sign face to match colors to match sign

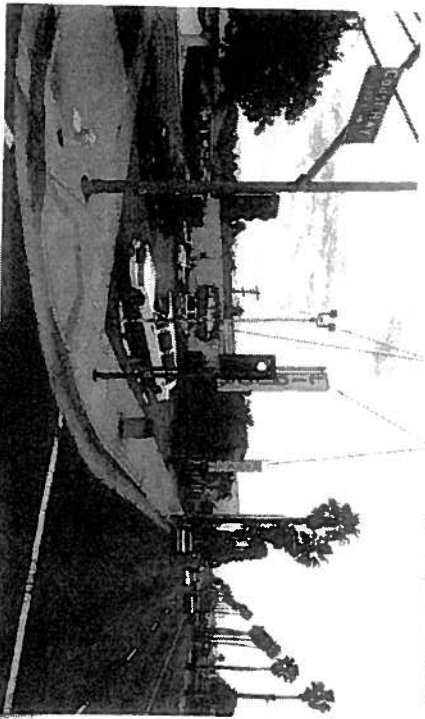
**CUSTOMER APPROVAL**  
 ACCEPTED WITH NO CHANGES  
 ACCEPTED WITH CHANGES AS NOTED  
 REJECT AS NOTED AND RE-DESIGN  
 (Customer Signature) \_\_\_\_\_  
 Title \_\_\_\_\_  
 Date \_\_\_\_\_

**PRODUCTION APPROVAL**  
 (Client Signature) \_\_\_\_\_  
 Title \_\_\_\_\_  
 Date \_\_\_\_\_

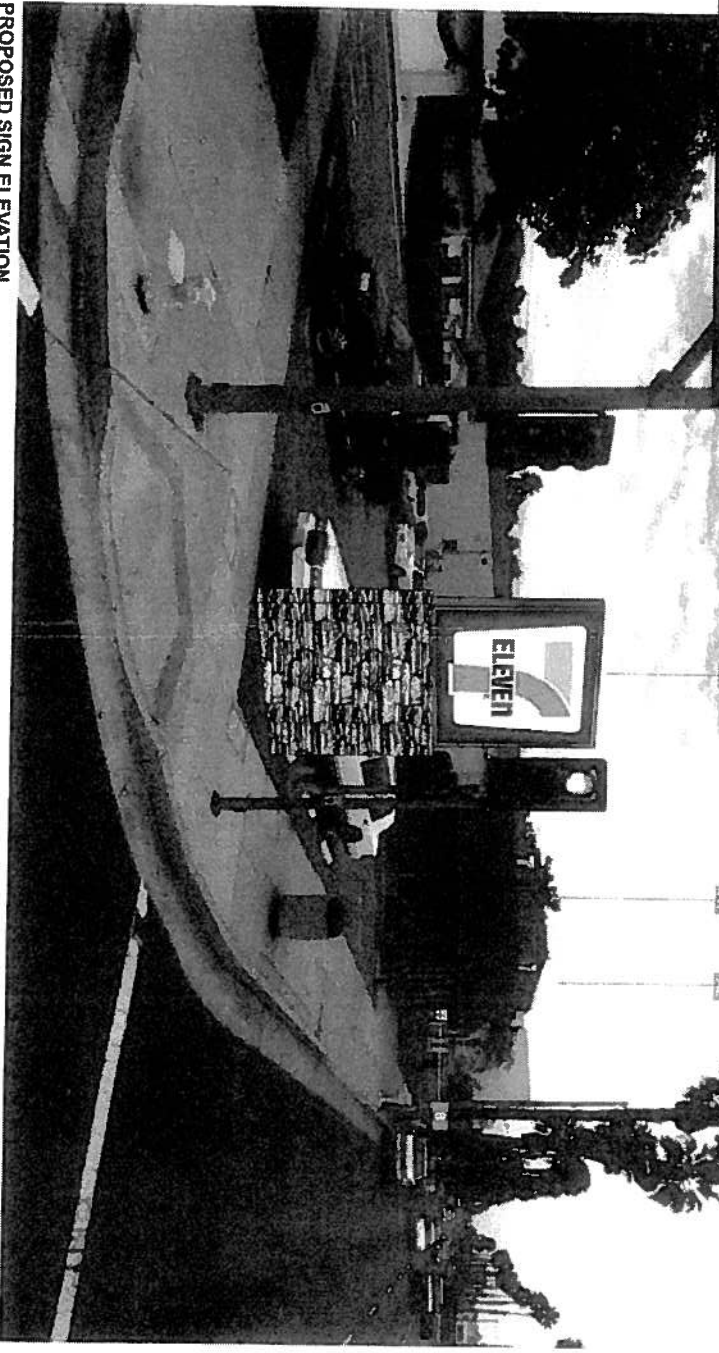
**Design** 10-92323-3  
**Sheet** 2 of 3

This sign is intended to be installed in accordance with the requirements of the California Sign Code, Chapter 10, Section 10.01, and the applicable provisions of the California Sign Code, Chapter 10, Section 10.02, and the applicable provisions of the California Sign Code, Chapter 10, Section 10.03. The sign is intended to be installed in accordance with the requirements of the California Sign Code, Chapter 10, Section 10.01, and the applicable provisions of the California Sign Code, Chapter 10, Section 10.02, and the applicable provisions of the California Sign Code, Chapter 10, Section 10.03.

Existing mural & light post to be removed  
 Existing pole signs to be removed



**EXISTING SIGNS**



**PROPOSED SIGN ELEVATION**

X:\design\10 108\SVT\_ELEVEN\08amr1110 8232.cdr

CALIFORNIA CONTRACTOR LICENSE NO. 445 280728 © 2018



**YESCO**  
 1285 ARCADES DRIVE  
 5005 N. Hollywood Blvd.  
 Burbank, CA 91507  
 Tel: (818) 225-7888 Fax: (818) 222-8013  
 www.yesco.com

**CLIENT INFORMATION**  
 Name: YALOVEN  
 Address: PE of SVT & MILLINGTON  
 KOSTERLICH, CA 91338  
 Sales Exec: Robert Robertson

DATE	BY	REVISIONS
10/10/18	YCS	1
10/10/18	YCS	2
10/10/18	YCS	3

Date: 10/10/18  
 By: YCS  
 Description: Replaced 4 1/2" type signs to LED lit channel letters, reduced height of monument sign from 15 to 17' OAH  
 Date: 10/10/18 By: YCS  
 Description: Replaced 5 1/2" wall signs & replaced with one (1) new 0 1/2" blade sign

**CUSTOMER APPROVAL**  
 ACCEPTS SIGN TO DIMENSIONS  
 ACCEPTS SIGN COLORS AS SHOWN  
 SIGN AS NOTED AND RE-ASSEMBLE  
 Customer Signature: \_\_\_\_\_  
 Title: \_\_\_\_\_

**PRODUCTION APPROVAL**  
 Designer: \_\_\_\_\_  
 Date: \_\_\_\_\_

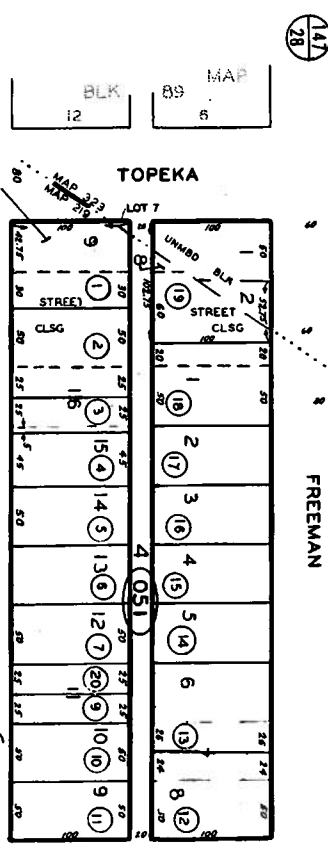
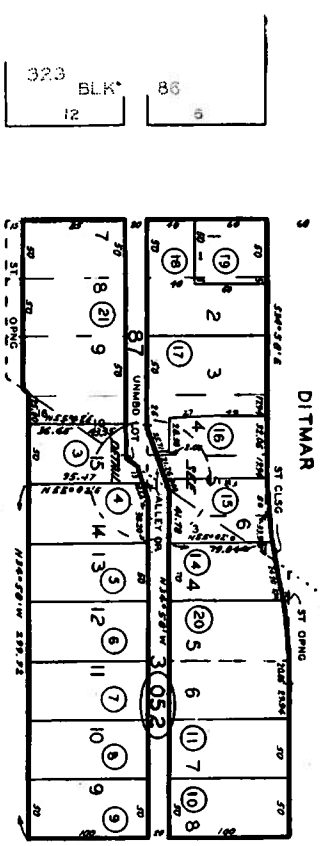
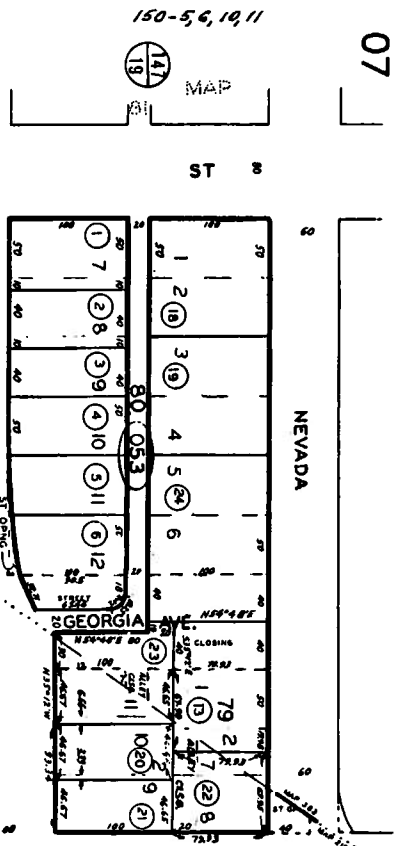
**DESIGNER**  
 Designer: \_\_\_\_\_  
 Date: \_\_\_\_\_

**REVISIONS**  
 3 of 3

This sign is intended to be installed in accordance with the requirements of Article 16.04 of the Uniform Building Code and the California Building Code. The building department shall be notified of the sign's location and height prior to installation and construction. The sign shall be installed in accordance with the requirements of Article 16.04 of the Uniform Building Code and the California Building Code. The building department shall be notified of the sign's location and height prior to installation and construction. The sign shall be installed in accordance with the requirements of Article 16.04 of the Uniform Building Code and the California Building Code. The building department shall be notified of the sign's location and height prior to installation and construction.

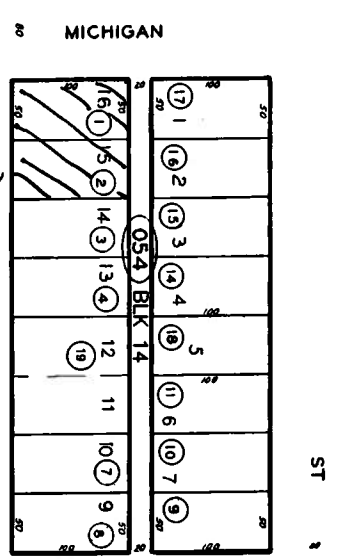
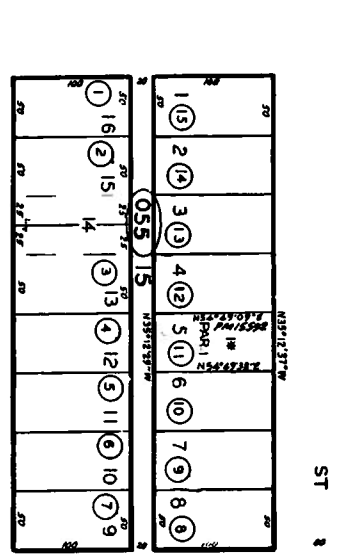
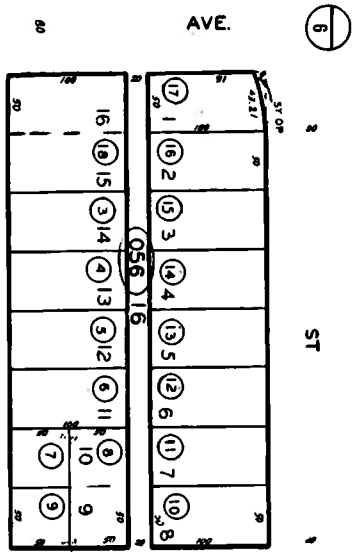
07

150-5, 6, 10, 11



MAP 219  
BLK 5  
SAN DIEGO COUNTY ASSESSOR'S MAP BK 150 PG 05

08



MAP 219  
BLK 5  
SAN DIEGO COUNTY ASSESSOR'S MAP BK 150 PG 05

ST

AVE.

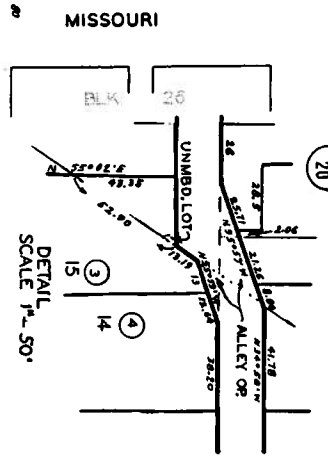
150 - 05

1"=100'  
5/22/08 SM

**CHANGES**

BLK	OLD	NEW	YR	CUT
054	142	18	70	2802
054	12-18	20	71	6833
054	182	24	72	2849
054	1917	24	72	3766
054	12413	18	75	2539
051	8	20	77	457
054	388	19	98	1044

18 (CONDOM PEND)  
PAR 1, PM15592  
DOC92-568820



MAP 323 - HORNE'S ADD. - UNIMPROVED BLK & BLKS 79, 80, 87  
MAP 219 - BRYAN'S ADD. - BLKS 1-4 & 14-16

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S MARKERS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BOUNDARY ORDINANCES.